

EXISTING GARAGE

EXISTING DRIVEWAY

10' SETBACK LINE

PROPERTY LINE

TEMPORARY STAIRS

EXISTING VESTIBULE TO BE RAZED

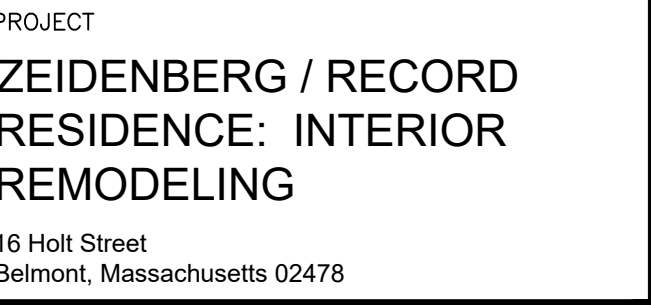
EXISTING WALKWAY

HOLT STREET

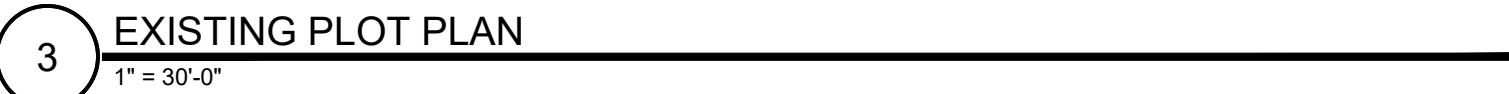
1 SITE PLAN

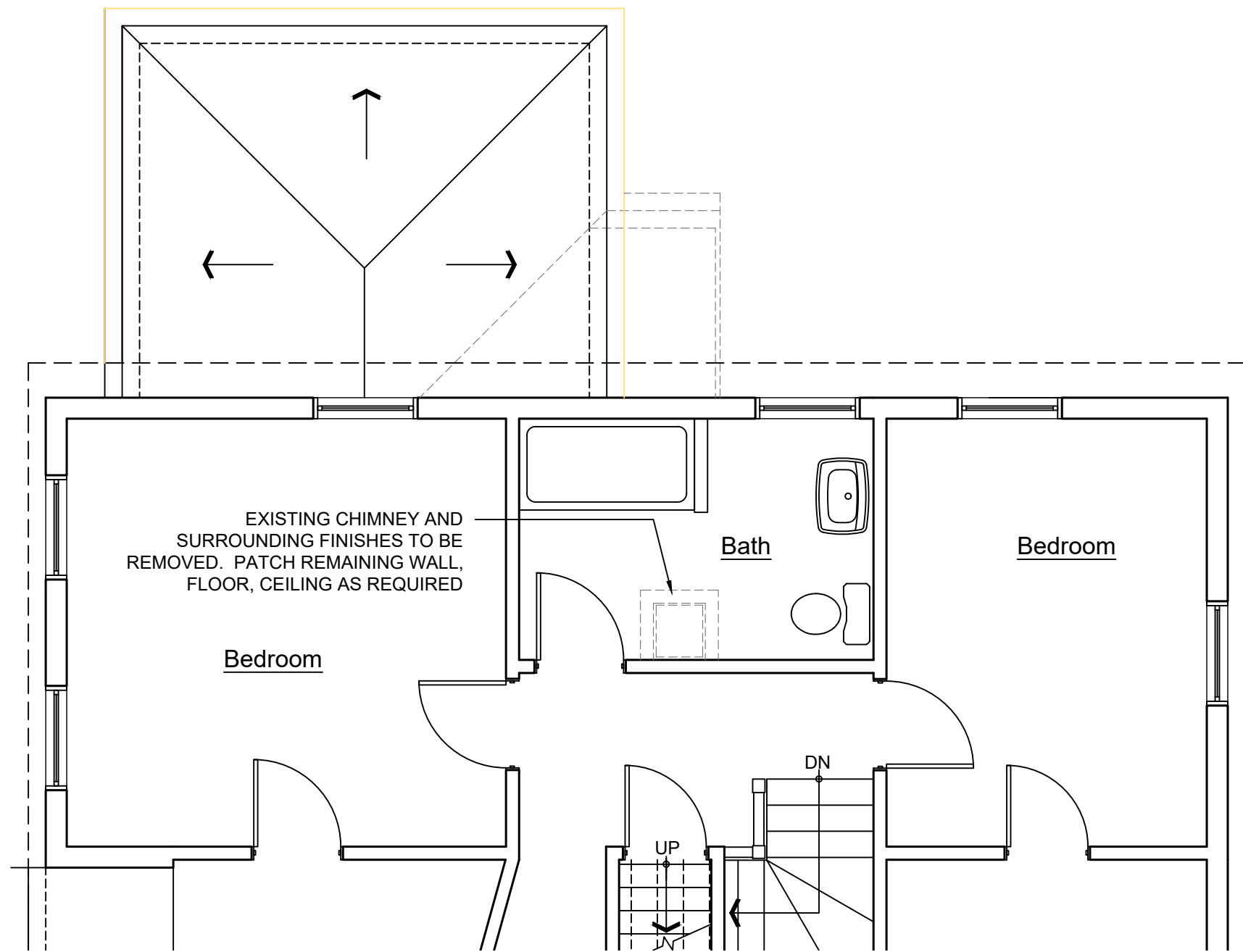
X-101	SITE PLAN, LOCUS PLAN, SURVEY PLAN
A-101	FLOOR PLANS
A-201	EXISTING AND PROPOSED EXTERIOR ELEVATIONS
A-202	EXISTING AND PROPOSED EXTERIOR ELEVATIONS
E-101	LIGHTING / ELECTRICAL PLANS & PROJECT SPECIFICATIONS

1. These drawings and the designs, ideas, and arrangements represented herein are and shall remain the property of the Architect. These drawings shall not be copied, disclosed to others, or used in connection with any work or project other than the specified project for which they have been prepared, without the prior written consent of the Architect.
2. Dimensions are to finish face of wall or to centerline of window or door, unless otherwise indicated. Dimensions pertaining to built-in cabinets, fixtures, accessories, and the like are typically to finish face of wall and work or project other than the specified project for which they have been prepared, without the prior written consent of the Architect. Foundation dimensions are to face of concrete. Exterior dimensions are to face of stud which is assumed to align with face of concrete at foundation walls. Exterior finish face of wall is assumed to be 1 1/2" from face of concrete or face of stud.
3. All construction shall conform to the requirements of the "Commonwealth of Massachusetts State Building Code," latest edition, the Stetch Code, NFPA, the National Electrical Code, latest edition, to all other applicable codes, and to the requirements of regulatory agencies including the local fire department.
4. Field-verify all dimensions and existing conditions. Notify Architect of discrepancies prior to commencing or continuing work.
5. Written dimensions shall have precedence over scaled dimensions. Due to possible distortions in the drawings caused by reproduction processes, use care when scaling drawings.
6. Details and larger-scale drawings shall have precedence over general drawings.
7. All changes and deviations from the drawings shall be done in consultation with the Architect.

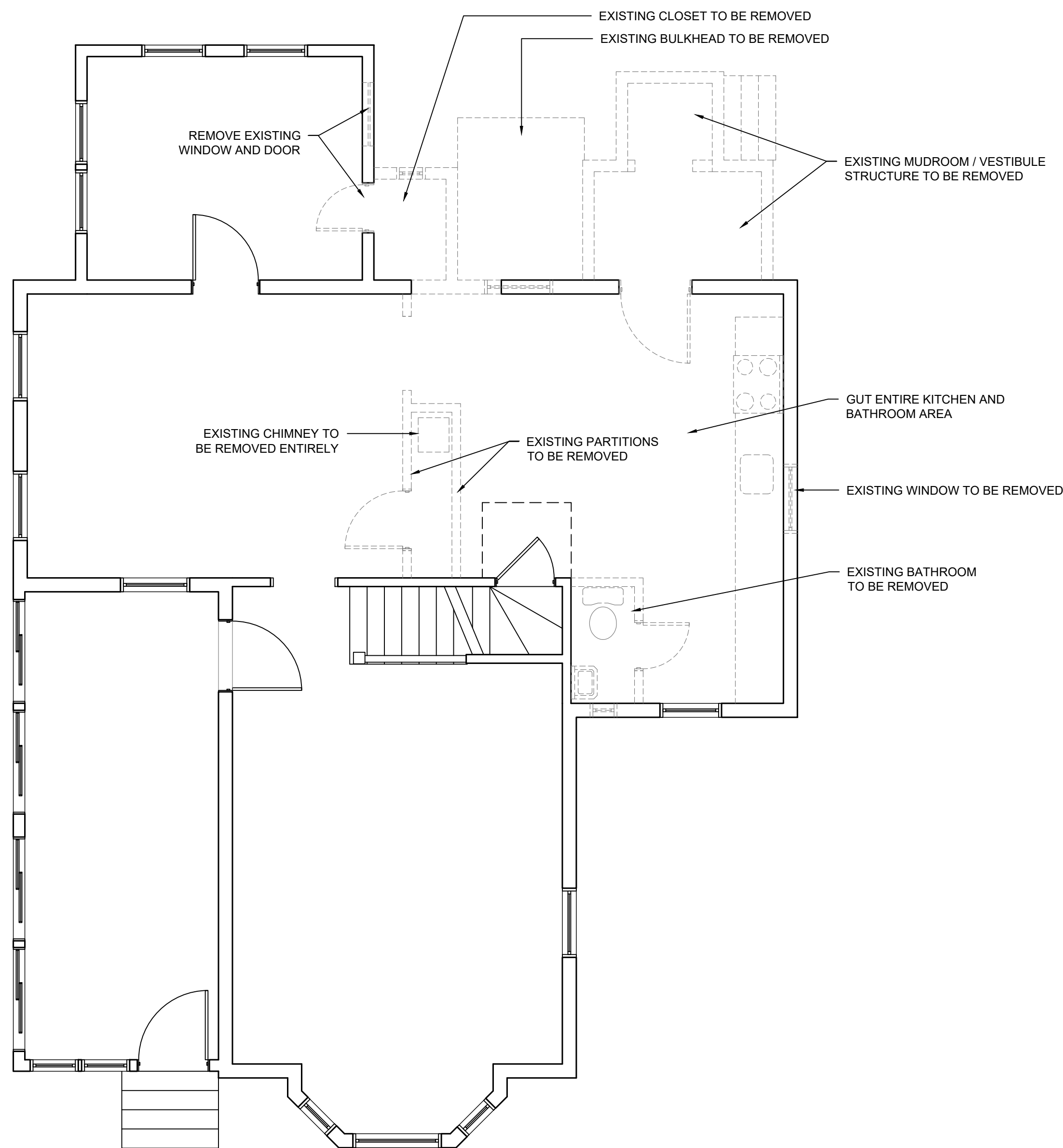


DATE 11/12/2022	SHEET NO. X-101
SCALE AS NOTED	
PROJECT NO. 1920.01	
SET PROGRESS	

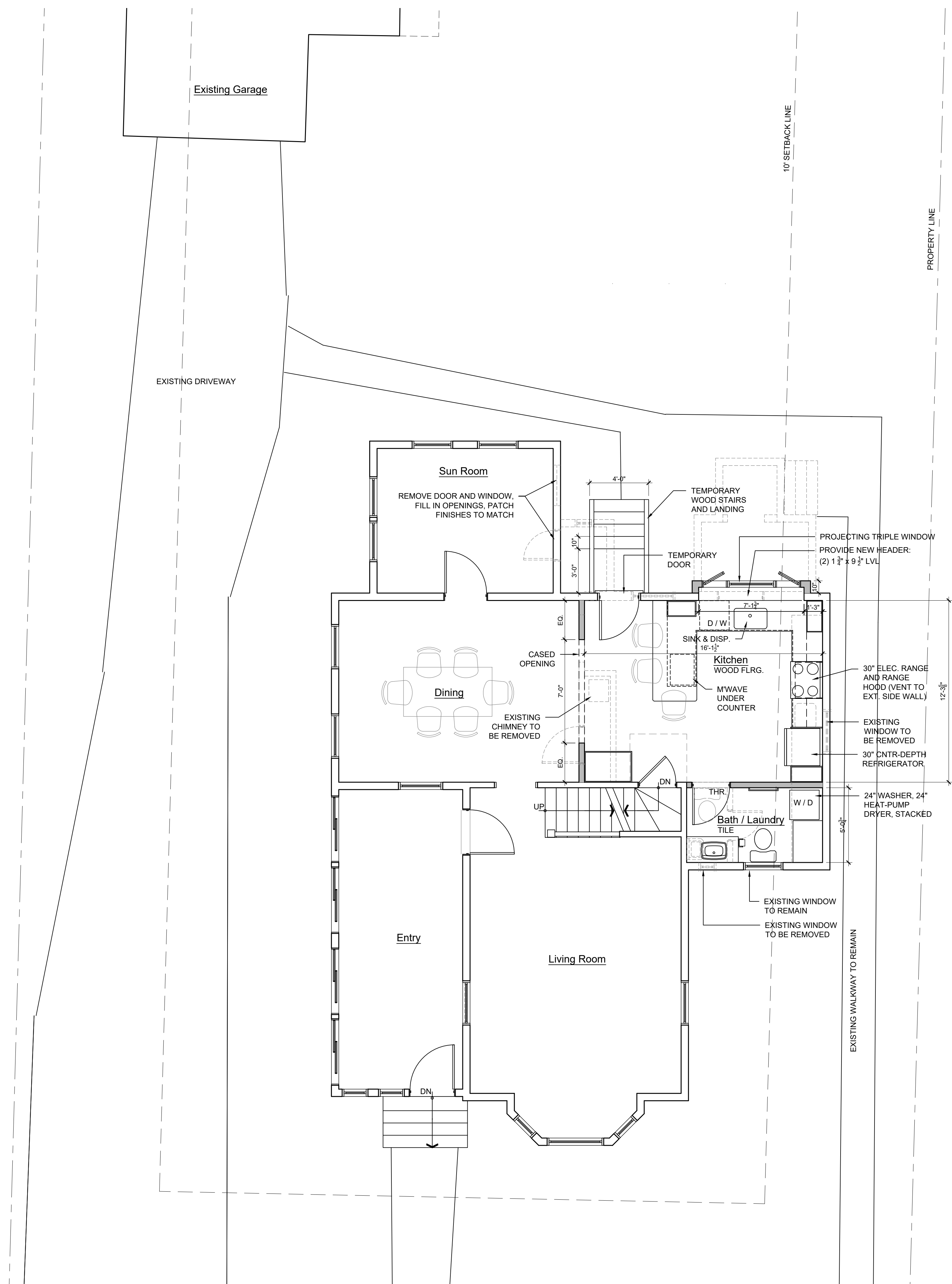




1 PARTIAL SECOND FLOOR PLAN
1/4" = 1'-0"



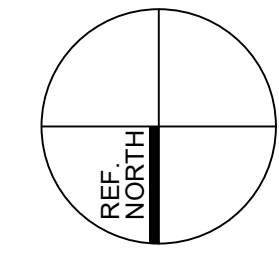
3 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



2 FIRST FLOOR PLAN
1/4" = 1'-0"

INSULATION:
EXISTING EXTERIOR WALLS EXPOSED DUE TO WORK OF THIS PROJECT:
Open-cell or spray-foam insulation as appropriate to achieve min. R-21 in available cavity space.

NO.	REVISION	DATE





Carl C. Oldenburg AIA | Architect
1666 Massachusetts Avenue
Suite 11
Lexington, MA 02420
781-862-2275

PROJECT
**ZEIDENBERG / RECORD
RESIDENCE: INTERIOR
REMODELING**
16 Holt Street
Belmont, Massachusetts 02478

TITLE
PLANS

DATE 11/12/2022	SHEET NO.
SCALE 1/4" = 1'-0"	A-101
PROJECT NO. 1920.01	
SET PROGRESS	



2 EXISTING REAR ELEVATION
1/4" = 1'-0"



1 PROPOSED REAR ELEVATION
1/4" = 1'-0"



4 EXISTING LEFT SIDE ELEVATION
1/4" = 1'-0"



3 PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE

MARK	OPERATION	SIZE CODE	UNIT SIZE		REMARKS
			WIDTH	HEIGHT	
A	CASEMENT	CN145 LH	1'-8 1/2"	4'-4 13/16"	MULLED
B	CASEMENT PICTURE	P3045	2'-11 15/16"	4'-4 13/16"	
C	CASEMENT	CN145 RH	1'-8 1/2"	4'-4 13/16"	

WINDOW SPECIFICATIONS:

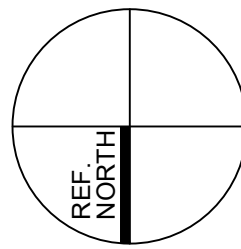
MANUFACTURER: ANDERSEN
SERIES: 400
GLAZING: LOW-E4 SMARTSUN
MUNTINS: NONE
EXTERIOR COLOR: WHITE
INTERIOR: PRIMED WOOD
INSECT SCREENS: VIVID-VIEW
HARDWARE COLOR: SATIN NICKEL (CONFIRM WITH OWNER)


PROVIDE TEMPERED GLASS AT ALL WINDOWS WHERE REQUIRED BY APPLICABLE CODES, INCLUDING WHERE GLASS IS LESS THAN 18" ABOVE THE FLOOR AND WHERE WINDOW IS ADJACENT TO TUBS, BENCHES, AND DOORS.

SUBMIT COPY OF WINDOW ORDER TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
CONFIRM ALL SPECIFICATIONS WITH OWNER AND/OR ARCHITECT.

ENERGY PERFORMANCE:
CASEMENT: U = 0.28, SHGC = 0.21, VLT = 48%

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TITLE
**EXISTING AND PROPOSED
EXTERIOR ELEVATIONS**

DATE 11/12/2022	SHEET NO. A-201
SCALE 1/4" = 1'-0"	
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SET PROGRESS	



2 EXISTING FRONT ELEVATION
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

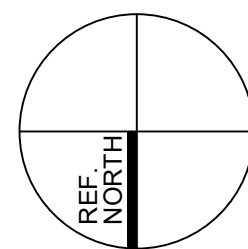


4 EXISTING RIGHT SIDE ELEVATION
1/4" = 1'-0"



3 PROPOSED RIGHT SIDE ELEVATION
1/4" = 1'-0"

NO.	REVISION	DATE
























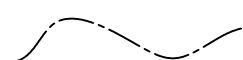
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**EXISTING AND PROPOSED
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ELECTRICAL LEGEND

	LIGHT FIXTURE (SEE LIGHT FIGURE SCHED.) "A" DESIGNATES FIXTURE TYPE		DUPLEX RECEPTACLE OUTLET
	SMOKE DETECTOR		DUPLEX RECEPTACLE OUTLET @ HEIGHT A.F.F. INDICATED. (12" A.F.F. UNLESS OTHERWISE NOTED)
	CARBON MONOXIDE DETECTOR		GROUND FAULT INTERRUPTER OUTLET
	COMBINATION CO / SMOKE DETECTOR		OUTLET WITH WEATHERPROOF COVER
	HEAT DETECTOR		220-VOLT OUTLET
	SWITCH		QUADRUPLIX RECEPTACLE OUTLET
	JAMB SWITCH		TELEPHONE JACK
	3-WAY SWITCH		WALL-MOUNTED TELEPHONE JACK
	DIMMER SWITCH		THERMOSTAT
			CATV JACK
			DATA JACK
			AUDIO SPEAKER CONNECTION
			WIRING (DIAGRAMMATIC)

SMOKE AND CARBON MONOXIDE ALARM NOTES:

SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.

Project Notes and Specifications

GENERAL PROJECT DESCRIPTION:

- Selective demolition of small structures attached to the rear of the house.
- Remodeling of portions of the first floor of the existing house.
- New kitchen to replace existing, in the same general location.
- New projecting triple window at kitchen.
- Temporary exterior door, stairs and landing.

SECTION 1: GENERAL REQUIREMENTS

- Contractor (GC and subs) shall carry insurance appropriate for the nature of the project.
- GC shall obtain the building permit and coordinate all inspections.
- GC shall perform all work in accordance with state and local codes.
- GC shall keep jobsite orderly, clean and safe at all times.
- Faulty or defective work shall be replaced at no cost to the Owner.
- Additional Work or Change Orders shall be reviewed by Owner and Architect prior to order and installation.
- GC shall provide dumpster or other suitable means of debris and construction waste disposal.
- GC shall provide portable sanitary facilities.
- Verify all dimensions and other existing conditions on site and report any discrepancies to Architect for coordination prior to commencing or continuing affected work. Do not scale the drawings for construction.
- All work shown on the drawings is the responsibility of the GC unless otherwise noted.
- GC is responsible for all instructions to Subcontractors.

SECTION 2: SITE WORK AND DEMOLITION

- Site Work:
 - Plantings will be by others.
- Demolition:
 - Remove existing one-story vestibule, sunroom closet, and related construction as shown on drawings.
 - Remove portions of existing roof at existing one-story Sunroom.
 - Remove existing chimney for its full height.
 - Remove interior partitions, finishes, plumbing and electrical items, and other construction where indicated and as required.
 - Protect adjacent elements which are to remain.

SECTION 3: CONCRETE

(Not used)

SECTION 4: MASONRY

- (Not used)

SECTION 5: METALS

- (Not Used)

SECTION 6: WOOD AND PLASTICS

- Rough Carpentry:
 - Wall framing: 2x4 SPF wall studs @ 16" o.c.
 - See framing plans for other framing sizes and configurations.
 - Framing wood in contact with concrete shall be pressure-treated.
 - Provide solid blocking in walls for cabinets, shelving, stair wall rails, bath accessories, shower curtain rods, grab bars (including future grab bars where directed by Owner), and other locations as required.
- Exterior finish carpentry:
 - New exterior siding shall match existing.
 - Exterior door and window trim shall be "Azek" or similar composite material, configured to match existing door and window trim.
- Interior finish carpentry:
 - Provide interior trim including door and window casing, and baseboards.
 - Interior trim shall be suitable wood for painted finish. Match existing profiles at first floor of house.

SECTION 7 - THERMAL AND MOISTURE CONTROL

- Thermal Insulation: See notes on drawings.
- Acoustic insulation: Provide "Roxsoll" or similar acoustic insulation in new wall at first-floor bathroom.
- Roofing:
 - Provide 30-year architectural shingles to match existing for new roofs.
- Metal flashing and drip edge:
 - White aluminum.

SECTION 8 - DOORS AND WINDOWS

- Provide interior doors as shown on drawings. Wood, for painted finish, to match existing.
 - Interior door hardware:
 - Provide privacy locksets at bathroom door.
 - Provide passage sets at other new hinged interior doors.
 - Interior door hardware shall match existing.
- See Window Schedule on drawings for new windows.

SECTION 9 - FINISHES

- Interior walls and ceilings: 1/2" "Blueboard" G.W.B. and plaster, smooth finish on all new wall and ceiling surfaces including inside closets.
- Flooring:
 - Patch, match and refinish the maple flooring in the Kitchen.
 - Alternate: Provide price for sanding and refinishing existing wood floor throughout the first floor.
 - Provide ceramic tile where indicated. Tile to be selected by Owner. Carry an allowance of \$7 per square foot for tile material.
 - Install "Durock" underlayment at new tile floors.
- Ceilings:
 - New ceilings shall be 1/2" Blueboard and skim coat plaster on 1x3 strapping on underside of existing joists.
- Painting:
 - Sand, patch and prep all surfaces before and between applications.
 - Strip wallpaper in the dining room.
 - Paint all new and existing interior walls, ceilings, doors, windows, trim, and other other elements within the work area of this project, which are exposed to view and normally intended to be painted, including the dining room.
 - Paint exterior trim, new exterior door, and other elements constructed or installed as part of this project which are exposed to view and normally intended to be painted.
- Paint products and systems:
 - Walls and ceilings: Primer and two coats interior latex paint, satin finish, more than one color.
 - Wood trim, doors, etc.: Primer and two coats interior latex paint, semi-gloss finish.
 - Paint products shall be Benjamin Moore, Sherwin-Williams, or equal as approved by Architect.
 - Paint colors to be selected by Owner and/or Architect.

SECTION 10 - SPECIALTIES

- Bath Accessories:
 - Bath accessories will be supplied by Owner; Contractor shall install.
 - Bath accessories shall include but not be limited to: toilet paper holder, towel bars, towel ring.

SECTION 11 - EQUIPMENT

Not used

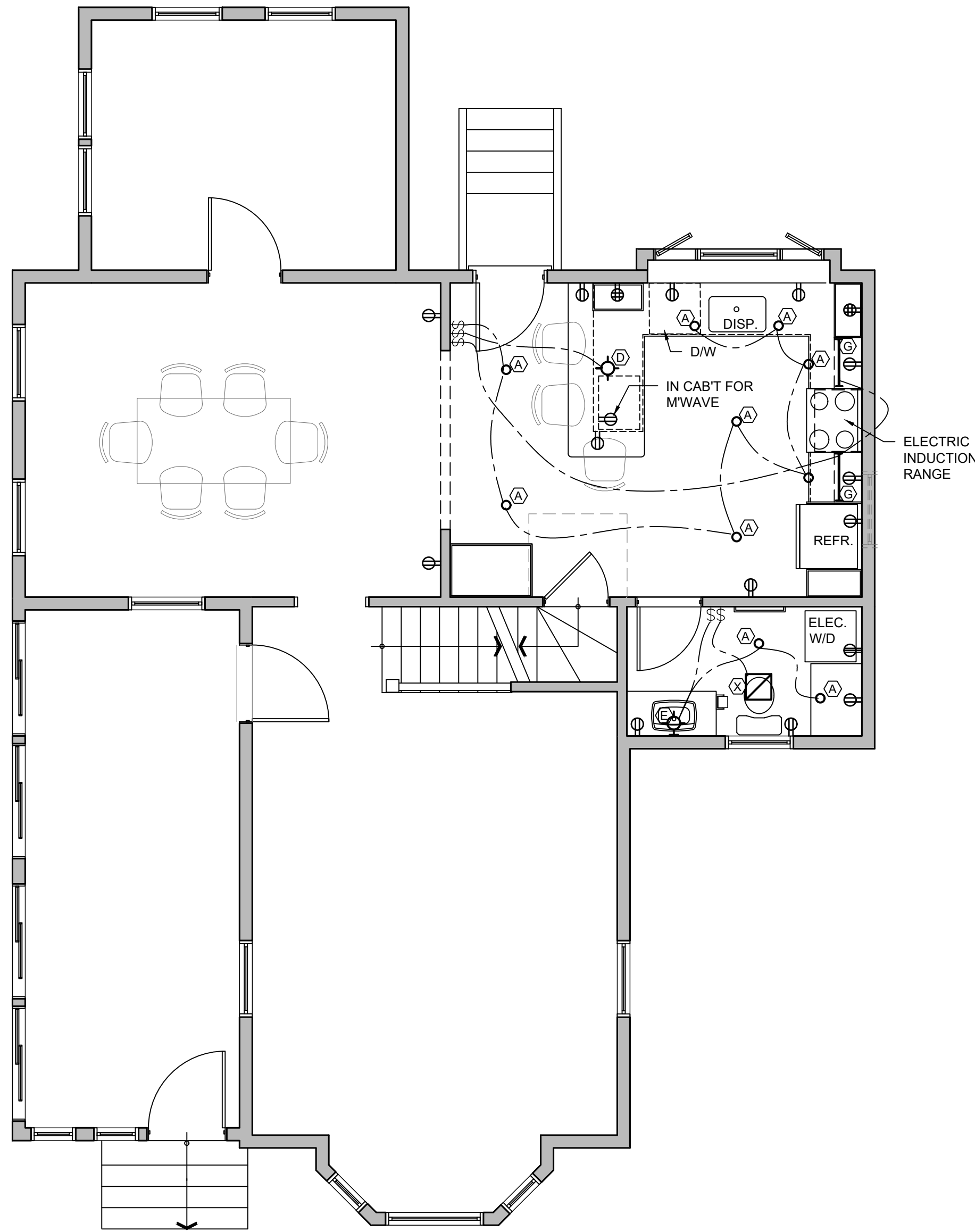
SECTION 15 - MECHANICAL

- Plumbing:
 - Provide new heat pump domestic hot water heater to replace existing.
 - Provide rough and finish plumbing work for Kitchen and remodeled Half- Bath / Laundry.
 - Provide bath plumbing fixtures:
 - Fixtures to be selected by Owner.
 - Review all plumbing fixture selections with Owner prior to ordering.
 - Insulate all new hot-water supply piping.

- Insulate existing hot-water supply pipes where reasonably accessible.
- HVAC
 - Provide new heat-pump HVAC system for the entire house.
 - Provide two systems, one with the air handler in the basement to serve the first floor, and one with the air handler in the attic to serve the second floor.
 - Provide outdoor condenser units on stabilization pads in a location acceptable to the Owner and regulatory agencies.
 - Provide two WIFI-enabled thermostats in locations acceptable to the Owner.
 - Provide bath exhaust fan, ducted to exterior.
 - Vent new dryer exhaust to the exterior.
 - Vent kitchen range hood to the exterior, with a makeup air system.

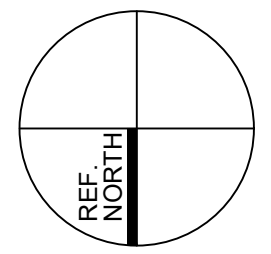
SECTION 16 - ELECTRICAL


- Upgrade house main service to 200 amps.
- Provide new 60-amp sub panel in the basement below the kitchen.
- Provide new lighting as shown in drawings.
- Provide electrical outlets as shown on drawings and as required by applicable codes. Existing outlets to remain where feasible.
- All recessed lighting fixtures shall be supplied and installed by the contractor unless otherwise noted. Surface-mounted fixtures will be supplied by the Owner and shall be installed by the Contractor. See Light Fixture Schedule.
- Review locations of all fixtures, devices, and switching with the Owner and/or architect in the field. Advise Architect of any conflicts with other construction in locating recessed fixtures before or during rough-in so that alternative locations of fixtures or framing can be determined.



1 FIRST FLOOR LIGHTING / ELECTRICAL PLAN
1/4" = 1'-0"

NO.	REVISION	DATE





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LIGHTING / ELECTRICAL PLAN
& PROJECT SPECIFICATIONS

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