



Town of Belmont  
Zoning Board of Appeals

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BELMONT, MA

2023 JAN 18 PM 1:47

**APPLICATION FOR A SPECIAL PERMIT**

Date: 12/5/22

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 16 Holt St. Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for

The demolition of a small vestibule  
and building an addition with a  
larger, zoning compliant vestibule. Install  
a projecting window that projects less  
than ~~24~~ 10" from the house

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

Address

Daytime Telephone Number

Samuel Record

16 Holt St

Belmont MA 02478

617 775 1615

16 Holt Street, Belmont, MA  
Special Permit for Proposed Alterations

## **Description of the Proposal**

1/5/2023

The proposed project is the demolition of a small (60 square-foot) vestibule and an 18-square-foot closet bump-out on the rear of the existing single-family dwelling, and the construction of an addition consisting of a larger vestibule, and a set of exterior stairs and a landing for access to the house from the back yard area. The proposed addition will be about 86 square feet, one story with crawlspace. The work will include a new projecting window on the existing rear wall of the house. The projection will be less than 24 inches out from the existing wall (approximately 10 inches).

The existing house is non-conforming with respect to the side-yard setback and the number of stories (3 stories including the unfinished basement). The proposed work (other than some of the demolition) is fully conforming with setback requirements. The addition will extend no further into the rear yard than an existing one-story sunroom at the back of the house, and will be an extension of the sunroom's roofline and walls.

A special permit is required because the work involves an addition to an existing non-conforming structure, even though all new work will be conforming.

The proposed addition will not be visible from the street or front property line. It will be visible from the neighbor's yard to the right (west), and minimally visible from the neighbor's yard to the left (east). The property most affected will be that to the right (west). The project will remove the unsightly old vestibule that is about 7'-8" from the west property line and replace it with new construction about 16'-8" away from the property line and approximately the same height (one story).

The proposed work will reduce the degree of nonconformity and improve the house's appearance by demolishing an old, tired portion of the existing structure that is close to the property line. The addition will be consistent in design, materials, colors and details as the existing house, thus not changing its character or that of the neighborhood.



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT

19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

December 12, 2022

Lisa Zeidenberg  
16 Holt Street  
Belmont, MA 02478

RE: Denial to construct rear deck

Dear Ms. Zeidenberg,

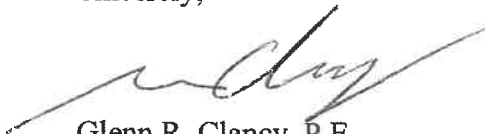
The Office of Community Development is in receipt of your building permit application for your proposal to construct a deck at 16 Holt Street located in a General Residence Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 1.5.4 A allows extensions and alterations of non-conforming structures in the GR zoning district by a Special Permit from the Zoning Board of Appeals. In addition, §4.2.2 of the Zoning By-Law Dimensional Regulations requires a minimum side setback of 10.0'.

1. The proposed changes to the structure are allowed by a Special Permit.
2. The existing side setback is 6.2' and the proposed side setback is 8.1'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Gabriel S. Distler, Staff Planner, at (617) 993-2666 in order to begin the process.

Sincerely,



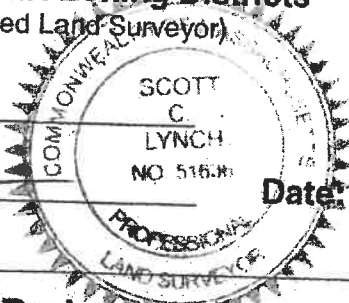
Glenn R. Clancy, P.E.  
Inspector of Buildings

# Zoning Compliance Check List

Properties Located within the GR Zoning Districts  
(To be Completed by a Registered Land Surveyor)

Property Address: 16 Holt Rd

Surveyor Signature and Stamp: Scott C. Lynch



Date: 10/27/2022

## Per §4.2 of the Zoning By-Laws

		REQUIRED		EXISTING		PROPOSED	
Lot Area (sq. ft.)		5000		9131		-	
Lot Frontage (feet)		50		61.0		-	
Lot Area/Unit (sq. ft./d.u.)							
Lot Coverage (% of lot)		30%		17.6%		17.8%	
Open Space (% of lot)		40%		71.2%		70.9%	
Setbacks: (feet)	➤ Front	20.2		23.9		-	
	➤ Side/Side	10	10	6.2	20.2	8.1	-
	➤ Rear	29.9		78.1		73.9	
Building Height:	➤ Feet	33		23.7		-	
	➤ Stories	2.5		3.5		-	
1/2 Story (feet) (Per §1.4)	➤ Perimeter						
	➤ Area						
	➤ Length						

## Per §6D of the Zoning By-Laws

		REQUIRED	EXISTING	PROPOSED
Front Doors:	➤ Face Street			
	➤ Setback			
Curb Cut				
HVAC:	➤ Front Yard			
	➤ Side/Rear Setbacks			

**SUBMIT CALCULATIONS** for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated