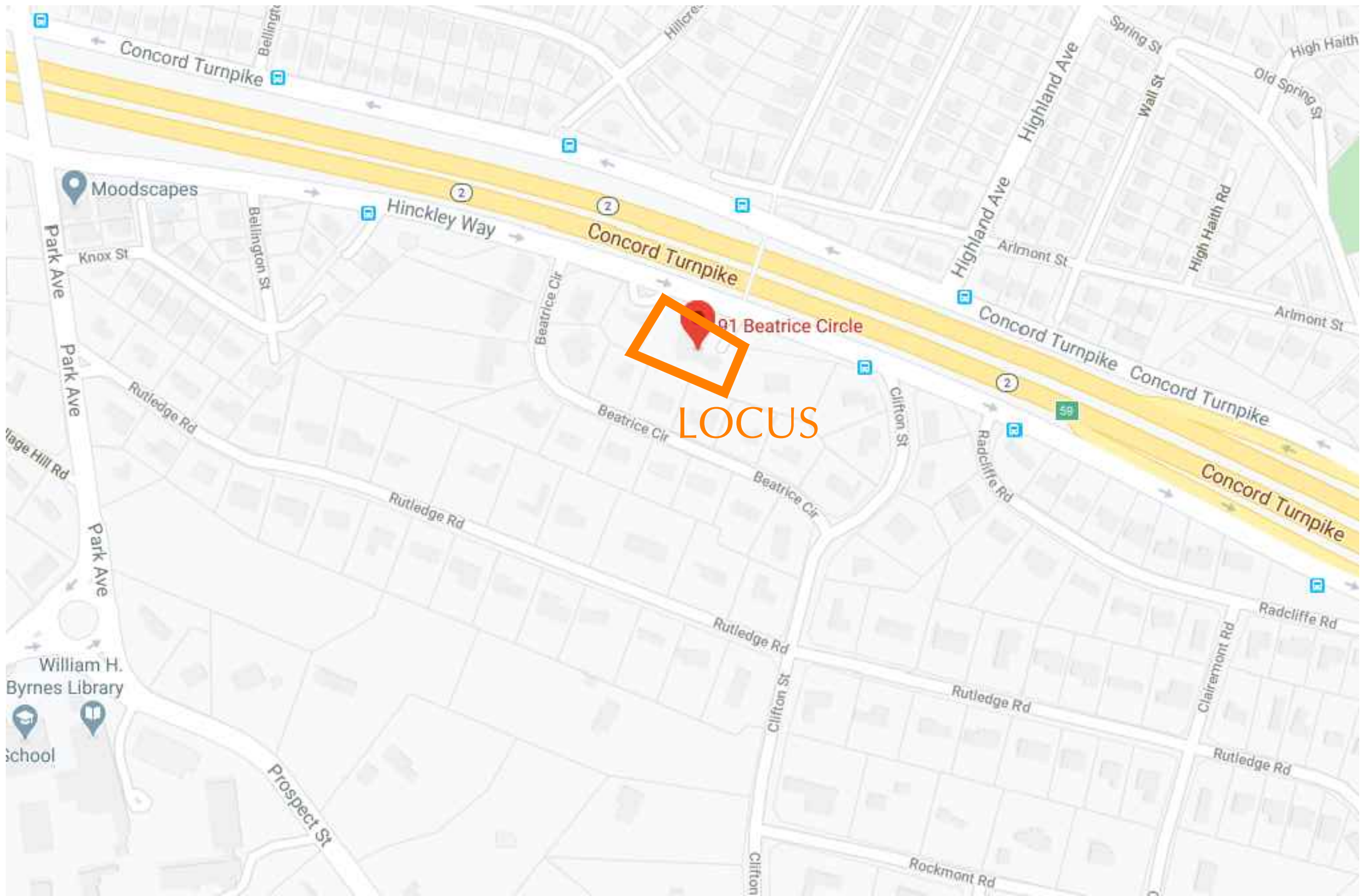
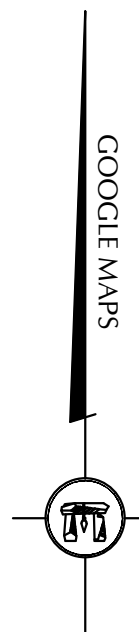


PROPOSED SITE PLAN

91 BEATRICE CIRCLE BELMONT, MASSACHUSETTS

NOVEMBER 4, 2020

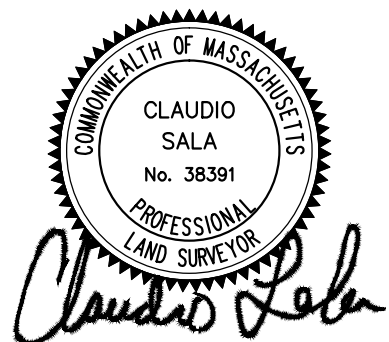


LOCUS AERIAL

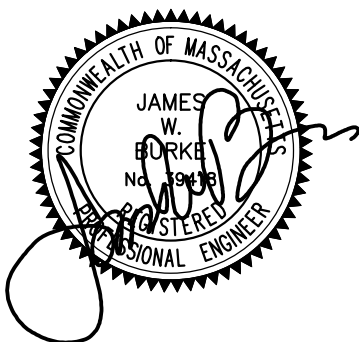
IMAGE FROM 2020 GOOGLE MAP DATA

SHEETS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 DEMOLITION
- 4 PROPOSED LAYOUT
- 5 PROPOSED GRADING
- 6 PROPOSED UTILITIES
- 7 SEWER PROFILE
- 8 PROPOSED DRAINAGE
- 9 CONSTRUCTION DETAILS
- 10 CONSTRUCTION DETAILS
- 11 CONSTRUCTION DETAILS



NO.	DATE	COMMENT
1	4/19/2021	PEER REVIEW COMMENTS
2	6/1/2021	REVISED SITE DESIGN/PEER REVIEW
3	6/25/2021	REVISED SITE DESIGN/PEER REVIEW
4	7/06/2021	REVISED SITE DESIGN/PEER REVIEW



APPLICANT

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

LEGAL

REGNANTE STERIO, LLP
401 EDGEWATER PLACE SUITE 630
WAKEFIELD, MA 01880

ARCHITECT

EMBARC STUDIO
60 K STREET
BOSTON, MA 02127

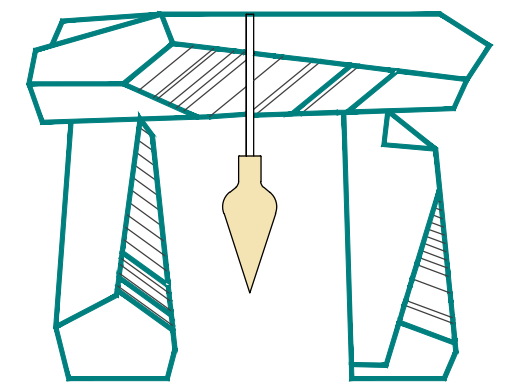
TRAFFIC

MDM TRANSPORTATION
CONSULTANTS, INC.
20 LORD ROAD SUITE 280
MARLBOROUGH, MA 01752

CIVIL/SURVEY

DECELLE-BURKE-SALA & ASSOCIATES, INC.
1266 FURNACE BROOK PARKWAY
SUITE 401
QUINCY, MA 02169

DeCelle-Burke-Sala



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100(o) 617-405-5101(f)
Project No. 19.085

DATE: 12/5/2019
TEST BY: KAMERON CAMPBELL, SE #14227

SOIL TEST PIT DATA:

TEST PIT 1
GRD. EL. 225.0
GW. EL. NGWO
0" FILL, SANDY LOAM, 10YR3/2 Granular, Very Friable
10" FILL, SANDY LOAM, 10YR3/4 Massive, Friable
48" Apb, SANDY LOAM, 10YR3/2 Granular, Very Friable
54" Bw, SANDY LOAM, 10YR4/6 Massive, Friable
88" R, Ledge

TEST PIT 2
GRD. EL. 224.7
GW. EL. NGWO
0" FILL, SANDY LOAM, 10YR3/2 Granular, Very Friable
11" FILL, SANDY LOAM, 10YR3/4 Massive, Friable
41" Apb, SANDY LOAM, 10YR3/2 Granular, Very Friable
50" Bw, SANDY LOAM, 7.5YR4/4 Massive, Friable
60" R, Ledge

TEST PIT 3
GRD. EL. 229.8
GW. EL. NGWO
0" Ap, SANDY LOAM, 10YR3/3 Granular, Very Friable
12" Bw, SANDY LOAM, 10YR4/6 Massive, Friable
37" C ₃ FINE LOAMY SAND, 5Y5/2 Massive, Friable Some gravel
77" C ₂₈ FINE LOAMY SAND, 5Y5/2, Massive, Firm Very gravelly
99" R, Ledge

DATE: 05/12/2021
TEST BY: KAMERON CAMPBELL, SE #14227

TEST PIT 4
GRD. EL. 223.5
GW. EL. NGWO
0" FILL, SANDY LOAM, 10YR3/2 Massive, Very Friable
10" FILL, SANDY LOAM, 2.5Y4/2 Massive, Friable
36" Apb, SANDY LOAM, 5Y4/2 Massive, Very Friable
42" Bw, SANDY LOAM, 10YR4/6 Massive, Friable
69" C, SANDY LOAM, 5Y4/2 Massive, Friable Cobbles(±10%)
110" R, Ledge

TEST PIT 5
GRD. EL. 230.3
GW. EL. NGWO
0" Ap, SANDY LOAM, 10YR3/2 Granular, Very Friable
12" Bw, SANDY LOAM, 10YR4/6 Massive, Friable
35" C ₂₈ SANDY LOAM, 5Y4/2 Massive, Firm Gravelly(±30%) Soil friable once removed from wall face
71" R, Ledge

SOIL TEST PIT DATA:

TEST PIT 6
GRD. EL. 229.8
GW. EL. NGWO
0" Ap, SANDY LOAM, 10YR3/2 Granular, Very Friable
12" Bw, SANDY LOAM, 10YR4/6 Massive, Friable
42" C ₃ SANDY LOAM, 5Y4/2 Massive, Friable Gravelly(±30%) grittier than C ₂
72" C ₂₈ SANDY LOAM, 5Y4/2 Massive, Firm Very gravelly(±40%) Cobbles(±10%) Soil friable once removed from wall face
107" R, Ledge

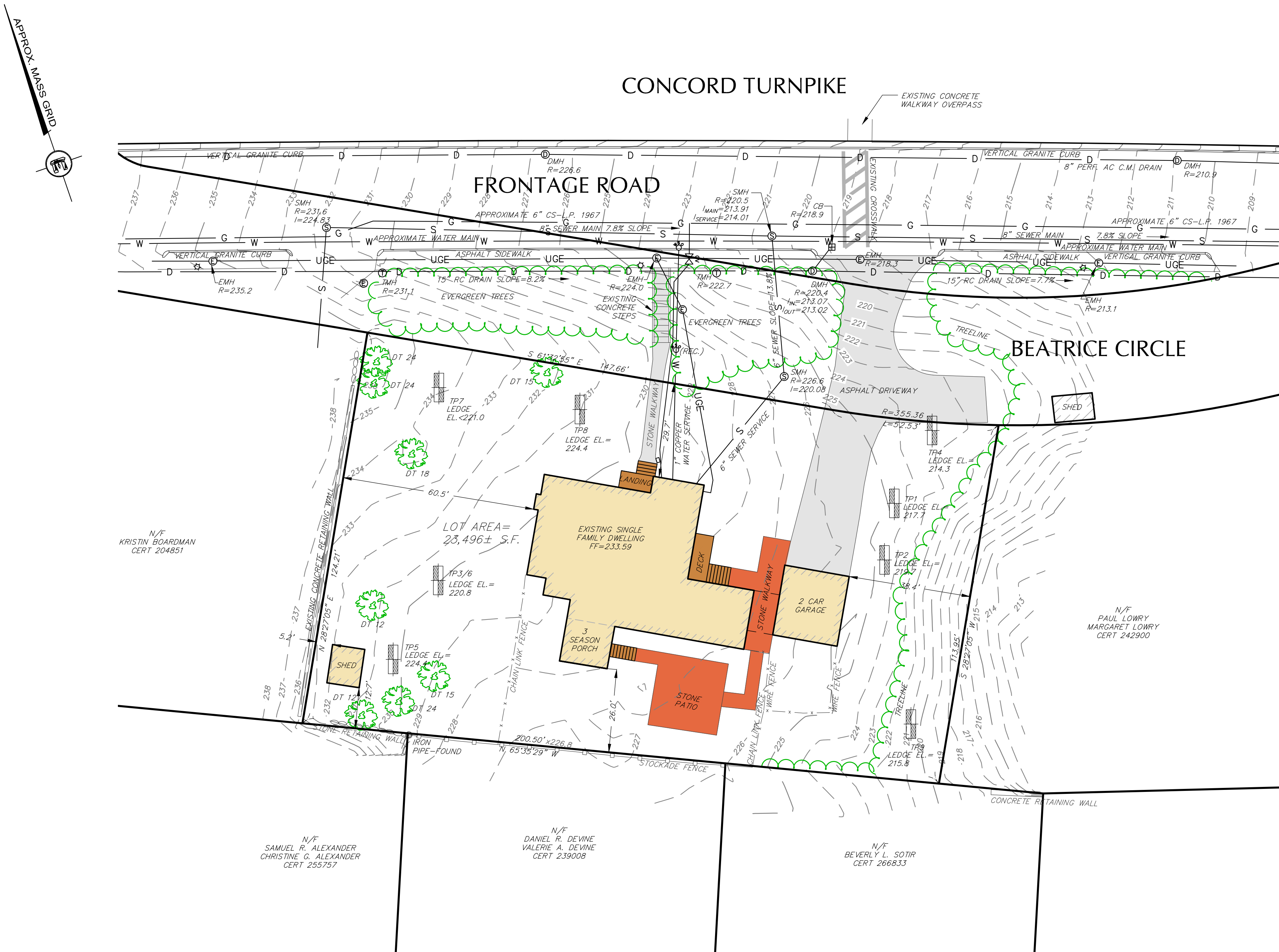
TEST PIT 7
GRD. EL. 234.2
GW. EL. NGWO
0" FILL, SANDY LOAM, 10YR3/2 Massive, Very Friable
10" FILL, SAND 2.5Y6/6 Single Grained, Loose
34" Apb, SANDY LOAM, 5Y4/2 Massive, Very Friable
37" Bw, SANDY LOAM, 10YR4/6 Massive, Friable
72" C, SANDY LOAM, 5Y4/2 Massive, Friable Cobbles(±10%)
144" R, Ledge

TEST PIT 8
GRD. EL. 231.0
GW. EL. NGWO
0" FILL, SANDY LOAM, 10YR3/2 Massive, Very Friable
24" Apb, SANDY LOAM, 10YR3/2 Massive, Very Friable
30" Bw, SANDY LOAM, 7.5YR4/4 Massive, Friable
*very gravelly throughout entire test pit
79" R, Ledge

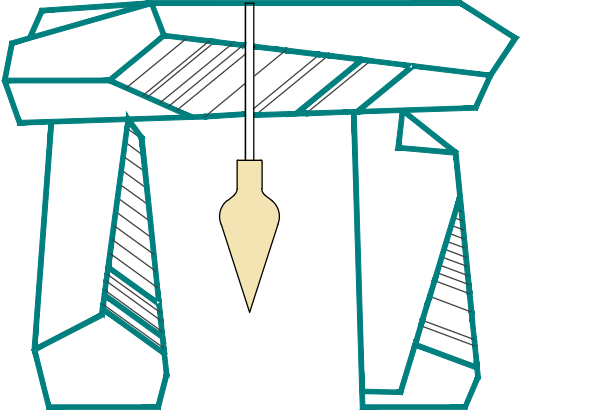
TEST PIT 9
GRD. EL. 220.8
GW. EL. NGWO
0" Ap, SANDY LOAM, 10YR3/2 Granular, Very Friable
12" Bw, SANDY LOAM, 10YR5/4 Massive, Friable
32" C ₃ SANDY LOAM, 5Y5/2 Massive, Friable Gravelly(±30%) Cobbles(±10%)
60" R, Ledge

*No groundwater or any signs of groundwater observed in any of the test pits performed.

- LEGEND:
- EXISTING:
- LOCUS PROPERTY LINE
 - TREE LINE
 - SEWER MANHOLE (SMH)
 - DRAIN MANHOLE (DMH)
 - CATCH BASIN (CB)
 - STONEWALL
 - GAS VALVE
 - WATER VALVE
 - WATER SERVICE
 - HYDRANT
 - UTILITY POLE
 - NOW OR FORMERLY
 - DRAIN PIPE
 - WATER MAIN
 - GAS SERVICE
 - UNDERGROUND POWER
 - OVERHEAD WIRES
 - SEWER MAIN
 - LANDSCAPED AREA
 - GRADE
 - SPOT GRADE
 - CHAIN LINK FENCE
 - STOCKADE FENCE
 - TEST PIT
 - HAND HOLES FOR UTILITIES
 - LIGHT POLE
 - FIRST FLOOR



DeCelle-Burke-Sala



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com



CLAUDIO SALA, PLS

- GENERAL NOTES:
- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
 - ELEVATIONS REFER TO NAVD-88.
 - EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40B AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
 - THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
 - PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

EXISTING CONDITIONS

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

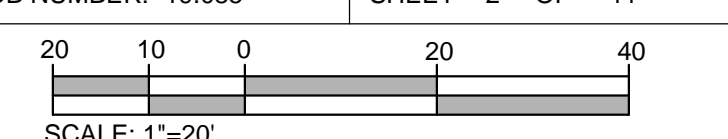
REVISED: APRIL 19, 2021

REVISED: JUNE 1, 2021

REVISED: JUNE 25, 2021

REVISED: JULY 6, 2021

JOB NUMBER: 19.085 SHEET 2 OF 11





A WATER TRUCK SHALL BE ON-SITE DURING THE DEMOLITION AND SITE
WORK PROCESS TO MINIMIZE FUGITIVE DUST.

A CRUSHED STONE APRON SHALL BE CONSTRUCTED AS SHOWN TO MINIMIZE TRUCK TIRES LEAVING SEDIMENT ON THE ROADWAYS.

A COVERED DUMPSTER SHALL BE KEPT ONSITE TO ELIMINATE ANY WIND BLOWN DEBRIS FROM BECOMING LITTER IN THE NEIGHBORHOOD.

ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND
DISPOSED OF IN A LEGAL MANNER.

CONTRACTOR TO GRADE THE SITE AND USE TEMPORARY EROSION CONTROL BARRIERS PARALLEL WITH SITE CONTOURS TO MINIMIZE CHANNELIZING SURFACE RUNOFF. THE SITE AND THE CRUSHED STONE APRON SHALL BE GRADED TO PREVENT ANY CHANNELIZED RUNOFF FROM FLOWING OFF SITE.

CONTRACTOR IS RESPONSIBLE TO CONTROL THE ON-SITE STORMWATER USING BEST MANAGEMENT PRACTICES TO PREVENT EROSION AND FLOODING IMPACTS.

CONTRACTOR TO MANAGE ON-SITE SNOW BY STOCKPILING SNOW ALLOWING IT TO MELT IN A CONTROLLED MANNER WITHOUT IMPACTS TO THE ADJUTERS. IF THE SNOW VOLUME EXCEEDS THE STOCKPILE ALLOWANCE VOLUME THE CONTRACTOR SHALL REMOVE IT FROM THE SITE AND DISPOSE OF IT IN A LEGAL MANNER.

CONSTRUCTION HOURS SHALL BE FROM 7:00AM TO 5:00PM MONDAY THROUGH FRIDAY, 8:00AM TO 4:00PM ON SATURDAYS. ALL CONSTRUCTION AND DELIVERIES ARE PROHIBITED SUNDAYS UNLESS APPROVED BY THE BUILDING COMMISSIONER.

EXISTING:

- PROPOSED:

-

- GENERAL NOTES:

1. LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271859
PLAN REFERENCE: LC PLAN 2367-12
2. ELEVATIONS REFER TO NAVD-88.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
- DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS REG. NO. 82, 83B, 84B, 85B, 86B, 87B, 88B, 89B, 90B, 91B, 92B, 93B, 94B, 95B, 96B, 97B, 98B, 99B, 00B, 01B, 02B, 03B, 04B, 05B, 06B, 07B, 08B, 09B, 10B, 11B, 12B, 13B, 14B, 15B, 16B, 17B, 18B, 19B, 20B, 21B, 22B, 23B, 24B, 25B, 26B, 27B, 28B, 29B, 30B, 31B, 32B, 33B, 34B, 35B, 36B, 37B, 38B, 39B, 40B, 41B, 42B, 43B, 44B, 45B, 46B, 47B, 48B, 49B, 50B, 51B, 52B, 53B, 54B, 55B, 56B, 57B, 58B, 59B, 60B, 61B, 62B, 63B, 64B, 65B, 66B, 67B, 68B, 69B, 70B, 71B, 72B, 73B, 74B, 75B, 76B, 77B, 78B, 79B, 80B, 81B, 82B, 83B, 84B, 85B, 86B, 87B, 88B, 89B, 90B, 91B, 92B, 93B, 94B, 95B, 96B, 97B, 98B, 99B, 00B, 01B, 02B, 03B, 04B, 05B, 06B, 07B, 08B, 09B, 10B, 11B, 12B, 13B, 14B, 15B, 16B, 17B, 18B, 19B, 20B, 21B, 22B, 23B, 24B, 25B, 26B, 27B, 28B, 29B, 30B, 31B, 32B, 33B, 34B, 35B, 36B, 37B, 38B, 39B, 40B, 41B, 42B, 43B, 44B, 45B, 46B, 47B, 48B, 49B, 50B, 51B, 52B, 53B, 54B, 55B, 56B, 57B, 58B, 59B, 60B, 61B, 62B, 63B, 64B, 65B, 66B, 67B, 68B, 69B, 70B, 71B, 72B, 73B, 74B, 75B, 76B, 77B, 78B, 79B, 80B, 81B, 82B, 83B, 84B, 85B, 86B, 87B, 88B, 89B, 90B, 91B, 92B, 93B, 94B, 95B, 96B, 97B, 98B, 99B, 00B, 01B, 02B, 03B, 04B, 05B, 06B, 07B, 08B, 09B, 10B, 11B, 12B, 13B, 14B, 15B, 16B, 17B, 18B, 19B, 20B, 21B, 22B, 23B, 24B, 25B, 26B, 27B, 28B, 29B, 30B, 31B, 32B, 33B, 34B, 35B, 36B, 37B, 38B, 39B, 40B, 41B, 42B, 43B, 44B, 45B, 46B, 47B, 48B, 49B, 50B, 51B, 52B, 53B, 54B, 55B, 56B, 57B, 58B, 59B, 60B, 61B, 62B, 63B, 64B, 65B, 66B, 67B, 68B, 69B, 70B, 71B, 72B, 73B, 74B, 75B, 76B, 77B, 78B, 79B, 80B, 81B, 82B, 83B, 84B, 85B, 86B, 87B, 88B, 89B, 90B, 91B, 92B, 93B, 94B, 95B, 96B, 97B, 98B, 99B, 00B, 01B, 02B, 03B, 04B, 05B, 06B, 07B, 08B, 09B, 10B, 11B, 12B, 13B, 14B, 15B, 16B, 17B, 18B, 19B, 20B, 21B, 22B, 23B, 24B, 25B, 26B, 27B, 28B, 29B, 30B, 31B, 32B, 33B, 34B, 35B, 36B, 37B, 38B, 39B, 40B, 41B, 42B, 43B, 44B, 45B, 46B, 47B, 48B, 49B, 50B, 51B, 52B, 53B, 54B, 55B, 56B, 57B, 58B, 59B, 60B, 61B, 62B, 63B, 64B, 65B, 66B, 67B, 68B, 69B, 70B, 71B, 72B, 73B, 74B, 75B, 76B, 77B, 78B, 79B, 80B, 81B, 82B, 83B, 84B, 85B, 86B, 87B, 88B, 89B, 90B, 91B, 92B, 93B, 94B, 95B, 96B, 97B, 98B, 99B, 00B, 01B, 02B, 03B, 04B, 05B, 06B, 07B, 08B, 09B, 10B, 11B, 12B, 13B, 14B, 15B, 16B, 17B, 18B, 19B, 20B, 21B, 22B, 23B, 24B, 25B, 26B, 27B, 28B, 29B, 30B, 31B, 32B, 33B, 34B, 35B, 36B, 37B, 38B, 39B, 40B, 41B, 42B, 43B, 44B, 45B, 46B, 47B, 48B, 49B, 50B, 51B, 52B, 53B, 54B, 55B, 56B, 57B, 58B, 59B, 60B, 61B, 62B, 63B, 64B, 65B, 66B, 67B, 68B, 69B, 70B, 71B, 72B, 73B, 74B, 75B, 76B, 77B, 78B, 79B, 80B, 81B, 82B, 83B, 84B, 85B, 86B, 87B, 88B, 89B, 90B, 91B, 92B, 93B, 94B, 95B, 96B, 97B, 98B, 99B, 00B, 01B, 02B, 03B, 04B, 05B, 06B, 07B, 08B, 09B, 10B, 11B, 12B, 13B, 14B, 15B, 16B, 17B, 18B, 19B, 20B, 21B, 22B, 23B, 24B, 25B, 26B, 27B, 28B, 29B, 30B, 31B, 32B, 33B, 34B, 35B, 36B, 37B, 38B, 39B, 40B, 41B, 42B, 43B, 44B, 45B, 46B, 47B, 48B, 49B, 50B, 51B, 52B, 53B, 54B, 55B, 56B, 57B, 58B, 59B, 60B, 61B, 62B, 63B, 64B, 65B, 66B, 67B, 68B, 69B, 70B, 71B, 72B, 73B, 74B, 75B, 76B, 77B, 78B, 79B, 80B, 81B, 82B, 83B, 84B, 85B, 86B, 87B, 88B, 89B, 90B, 91B, 92B, 93B, 94B, 95B, 96B, 97B, 98B, 99B, 00B, 01B, 02B, 03B, 04B, 05B, 06B, 07B, 08B, 09B, 10B, 11B, 12B, 13B, 14B, 15B, 16B, 17B, 18B, 19B, 20B, 21B, 22B, 23B, 24B, 25B, 26B, 27B, 28B, 29B, 30B, 31B, 32B, 33B, 34B, 35B, 36B, 37B, 38B, 39B, 40B, 41B, 42B, 43B, 44B, 45B, 46B, 47B, 48B, 49B, 50B, 51B, 52B, 53B, 54B, 55B, 56B, 57B, 58B, 59B, 60B, 61B, 62B, 63B, 64B, 65B, 66B, 67B, 68B, 69B, 70B, 71B, 72B, 73B, 74B, 75B, 76B, 77B, 78B, 79B, 80B, 81B, 82B, 83B, 84B, 85B, 86B, 87B, 88B, 89B, 90B, 91B, 92B, 93B, 94B, 95B, 96B, 97B, 98B, 99B, 00B, 01B, 02B, 03B, 04B, 05B, 06B, 07B, 08B, 09B, 10B, 11B, 12B, 13B, 14B, 15B, 16B, 17B, 18B, 19B, 20B, 21B, 22B, 23B, 24B, 25B, 26B, 27B, 28B, 29B, 30B, 31B, 32B, 33B, 34B, 35B, 36B, 37B, 38B, 39B, 40B, 41B, 42B, 43B, 44B, 45B, 46B, 47B, 48B, 49B, 50B, 51B, 52B, 53B, 54B, 55B, 56B, 57B, 58B, 59B, 60B,

PROJECT TITLE & LOCATION

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

DEMOLITION

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISÉ: APRIL 19, 2021

REVISÉ: JUNE 1, 2021

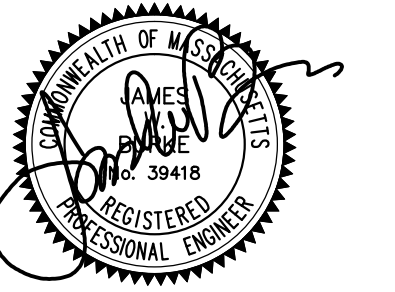
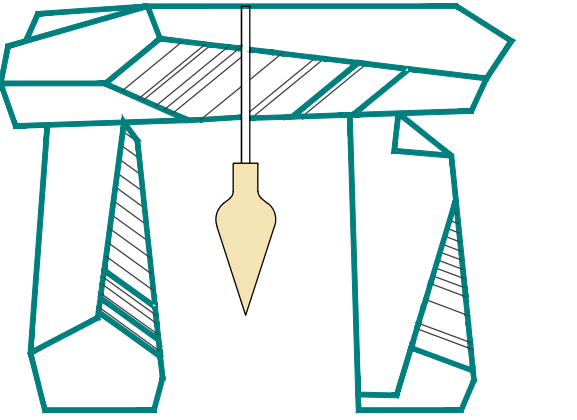
REVISÉ: JUNE 25, 2022

REVISÉ: JULY 6, 2021

JOB NUMBER: 19.085	SHEET 3 OF 11
--------------------	---------------

A horizontal number line with arrows at both ends. Tick marks are placed every 10 units. The numbers -40, -30, -20, -10, 0, 10, 20, 30, and 40 are labeled below the line. A vertical line is drawn at the 0 mark.

SCALE: 1"=20'



JAMES W BURKE, P.E.

GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
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- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
- PARCEL IS ZONED SR-A.
- FOR PROPOSED BUILDING DIMENSIONS SEE ARCHITECTS PLAN BY EMERG.

ZONING DISTRICT: SR-A			
DIMENSIONAL REQUIREMENTS	EXISTING	PROPOSED	
MINIMUM LOT AREA (SQ.FT.)	25,000	23,496	23,496
MINIMUM FRONTAGE (FT.)	125	200	200
MAX. BUILDING HEIGHT (FT.)	36		
MIN. SETBACKS (FT.)			
FRONT	30	29.7'	8.2'
SIDE	15	38.4'	23.3'
REAR	40	26.0'	12.1'
MAXIMUM LOT COVERAGE	20%	14.5%	29.9%
MINIMUM OPEN SPACE	50%	81.4%	38.3%

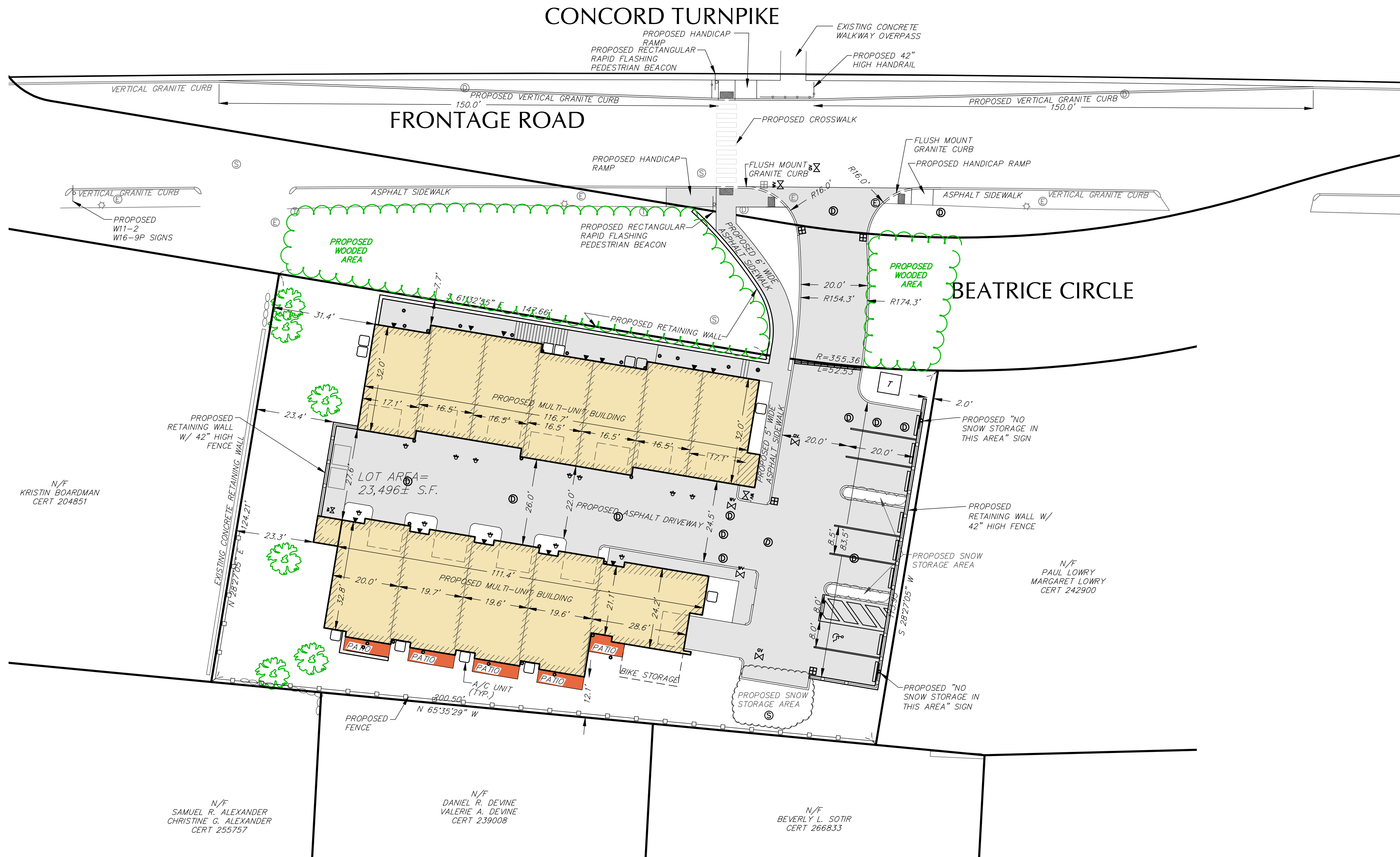
LEGEND:

EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- CHAIN LINK FENCE
- TEST PIT
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR

PROPOSED:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- CHAIN LINK FENCE
- TEST PIT
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR



PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED LAYOUT

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

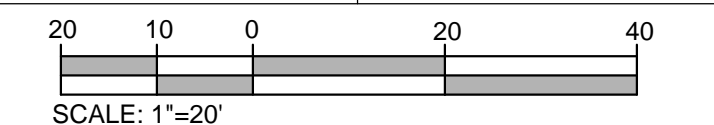
REVISED: JUNE 1, 2021

REVISED: JUNE 25, 2021

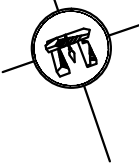
REVISED: JULY 6, 2021

JOB NUMBER: 19.085

SHEET 4 OF 11



APPROX. MASS GRID



CONCORD TURNPIKE

FRONTAGE ROAD

BEATRICE CIRCLE

LEGEND:

EXISTING:

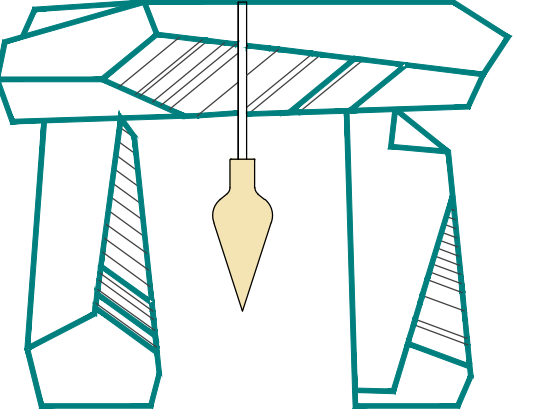
- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- CHAIN LINK FENCE
- TEST PIT
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR

PROPOSED:

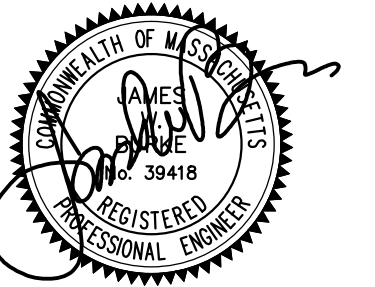
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- SECOND FLOOR



DeCelle-Burke-Sala



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100(o) 617-405-5101(f)
www.decelle-burke-sala.com



JAMES W BURKE, P.E.

GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE, CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
- PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED GRADING

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

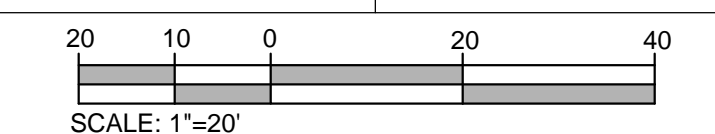
REVISED: JUNE 1, 2021

REVISED: JUNE 25, 2021

REVISED: JULY 6, 2021

JOB NUMBER: 19.085

SHEET 5 OF 11





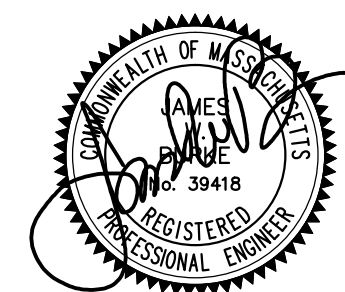
1. ALL WATER SERVICES LESS THAN OR EQUAL TO 2" IN SIZE SHALL BE CONSTRUCTED OF TYPE K COPPER PIPING. ALL WATER SERVICES GREATER THAN 2" IN SIZE SHALL BE CONSTRUCTED OF CONCRETE LINER DUCTILE IRON PIPE.
2. ALL SEWER PIPES SHOULD BE CONSTRUCTED OF 6" SDR35 PVC AND HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 8.0%.
3. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN ALL SEWER AND WATER CROSSINGS. IF 18" OF VERTICAL SEPARATION CANNOT BE OBTAINED THEN THE SEWER LINE SHALL BE ENCASED IN 6" OF CONCRETE FOR A MINIMUM OF 10' ON EITHER SIDE OF THE CROSSING.
4. ALL WATER SERVICES SHALL HAVE A MINIMUM COVER OF 4'-6".
5. ALL SEWER PIPES SHALL HAVE A MINIMUM COVER OF 4'-0".
6. ALL DRAIN PIPES SHALL HAVE A MINIMUM DEPTH OF 2'-0"
7. ALL UTILITIES SHALL BE AS-BUILT BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR PRIOR TO BEING BACKFILLED.
8. A BENTONITE DAM SHALL BE PLACED EVERY 20' WITHIN THE EXCAVATION OF THE WATER SERVICES ALONG THE INFILTRATION SYSTEM TO PREVENT A FLOW OF GROUNDWATER THROUGH THE UTILITY TRENCH. (SEE DETAIL PROVIDED).

ANTICIPATED SEWER FLOW:

- (4) 4-BEDROOM UNITS
(8) 3-BEDROOM UNITS
TOTAL= 40 BEDROOMS
 $110 \text{ GPD/BEDROOM} \times 40 \text{ BEDROOMS} = 4,400 \text{ GPD}$

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JAMES W BURKE, P.E.

GENERAL NOTES:

1. LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271869
PLAN REFERENCE: LC PLAN 2367-12
2. ELEVATIONS REFER TO NAVD-88.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
- DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS REQUIREMENTS AT 91A CMR 17.00 (800-344-7233). THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD DRAWINGS. CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON PLAN 25017C-00416E, DATED JUNE 4, 2010.
5. PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED UTILITIES

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

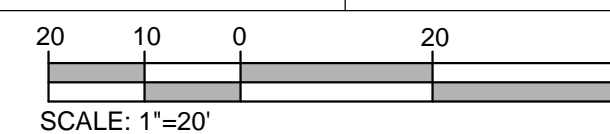
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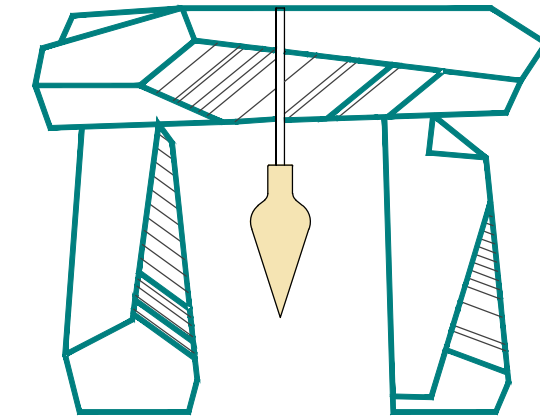
REVISÉ: JUNE 1, 2021

REVISÉ: JUNE 25, 202

REVISÉ: JULY 6, 2021

JOB NUMBER: 19.085	SHEET 6 OF 11
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JAMES W BURKE, P.E.

GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL: 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
- PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED SEWER PROFILE

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

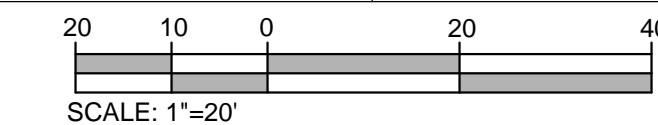
REVISED: JUNE 1, 2021

REVISED: JUNE 25, 2021

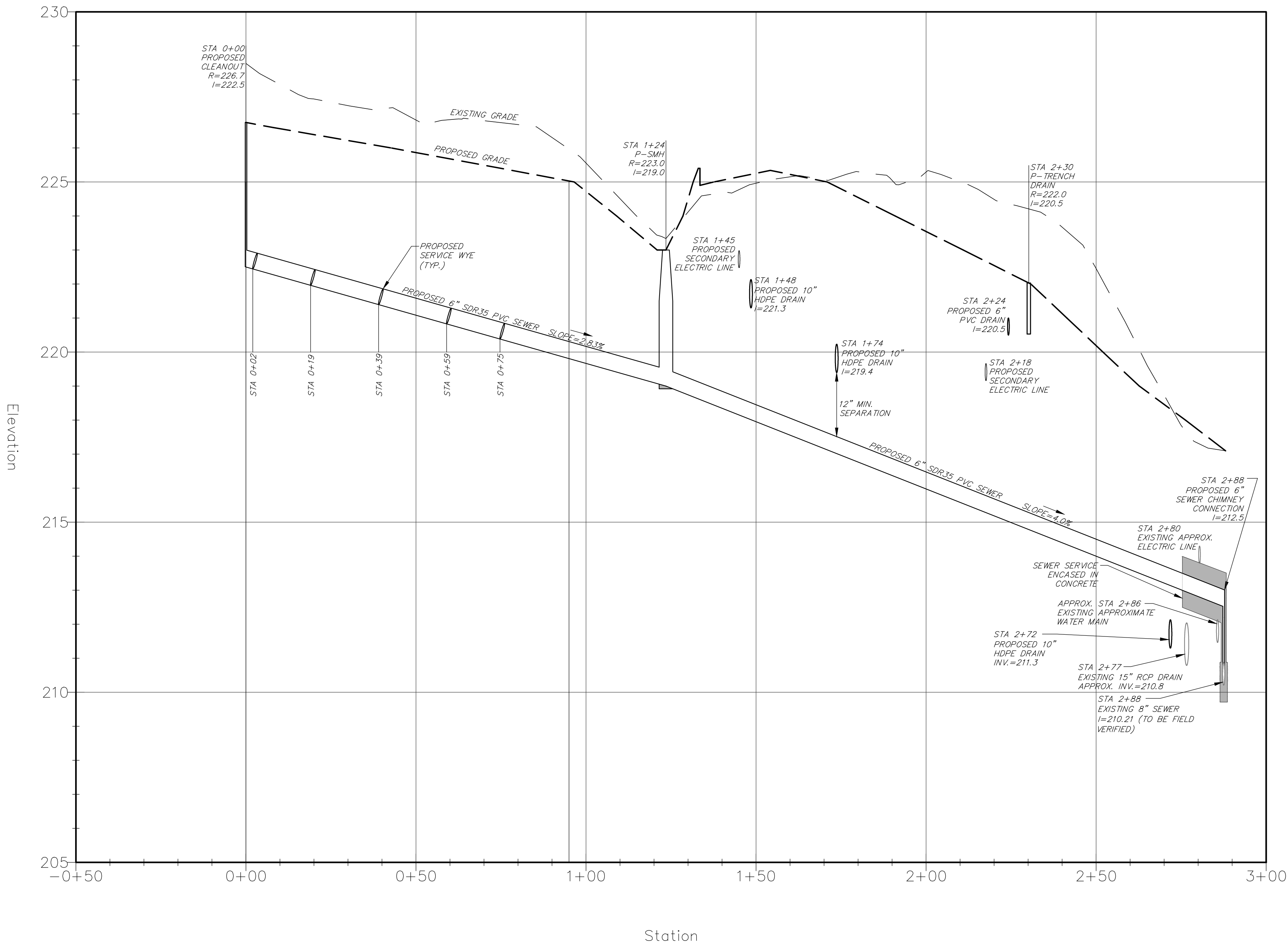
REVISED: JULY 6, 2021

JOB NUMBER: 19.085

SHEET 7 OF 11



Proposed Sewer Alignment Profile



HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'

LEGEND:

EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- N/F - NOW OR FORMERLY
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- CHAIN LINK FENCE
- TEST PIT
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR
- SEWER INVERT
- DRAIN INVERT

PROPOSED:

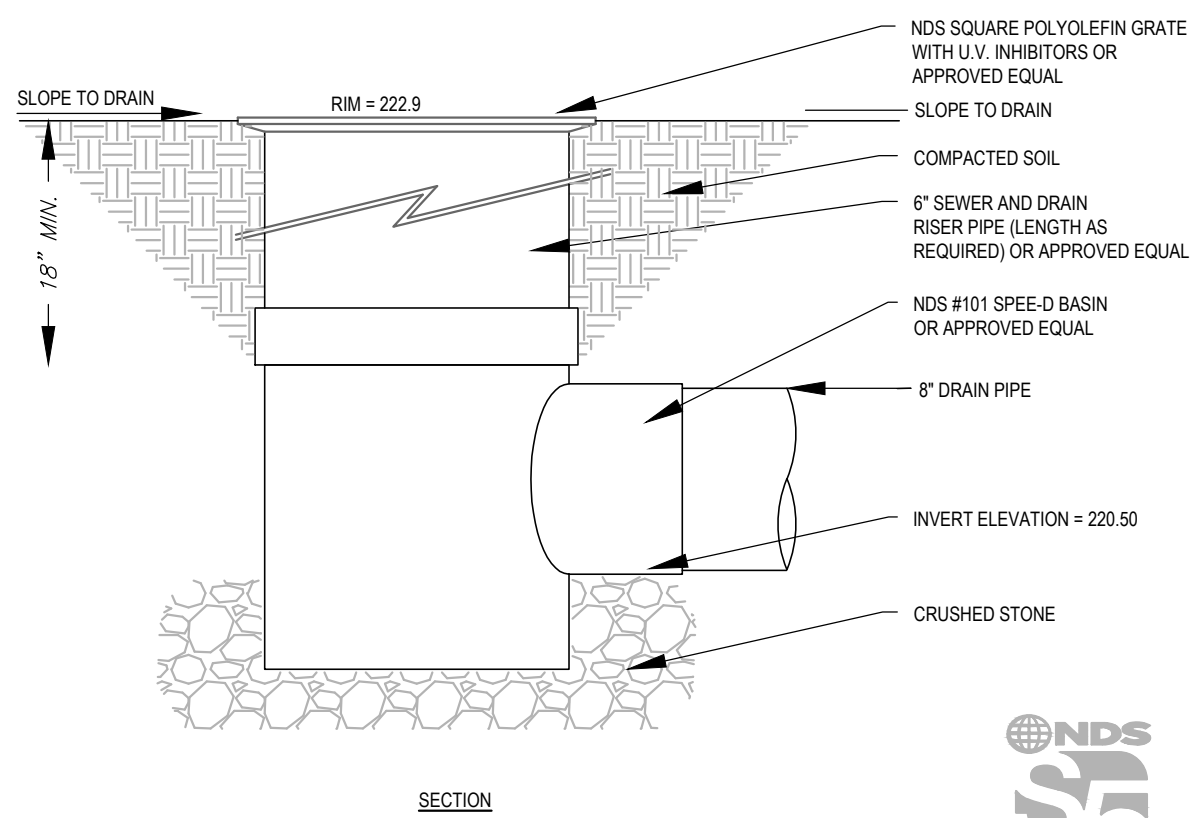
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
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- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR
- SEWER INVERT
- DRAIN INVERT

I=220.0(S)

I=220.0(D)



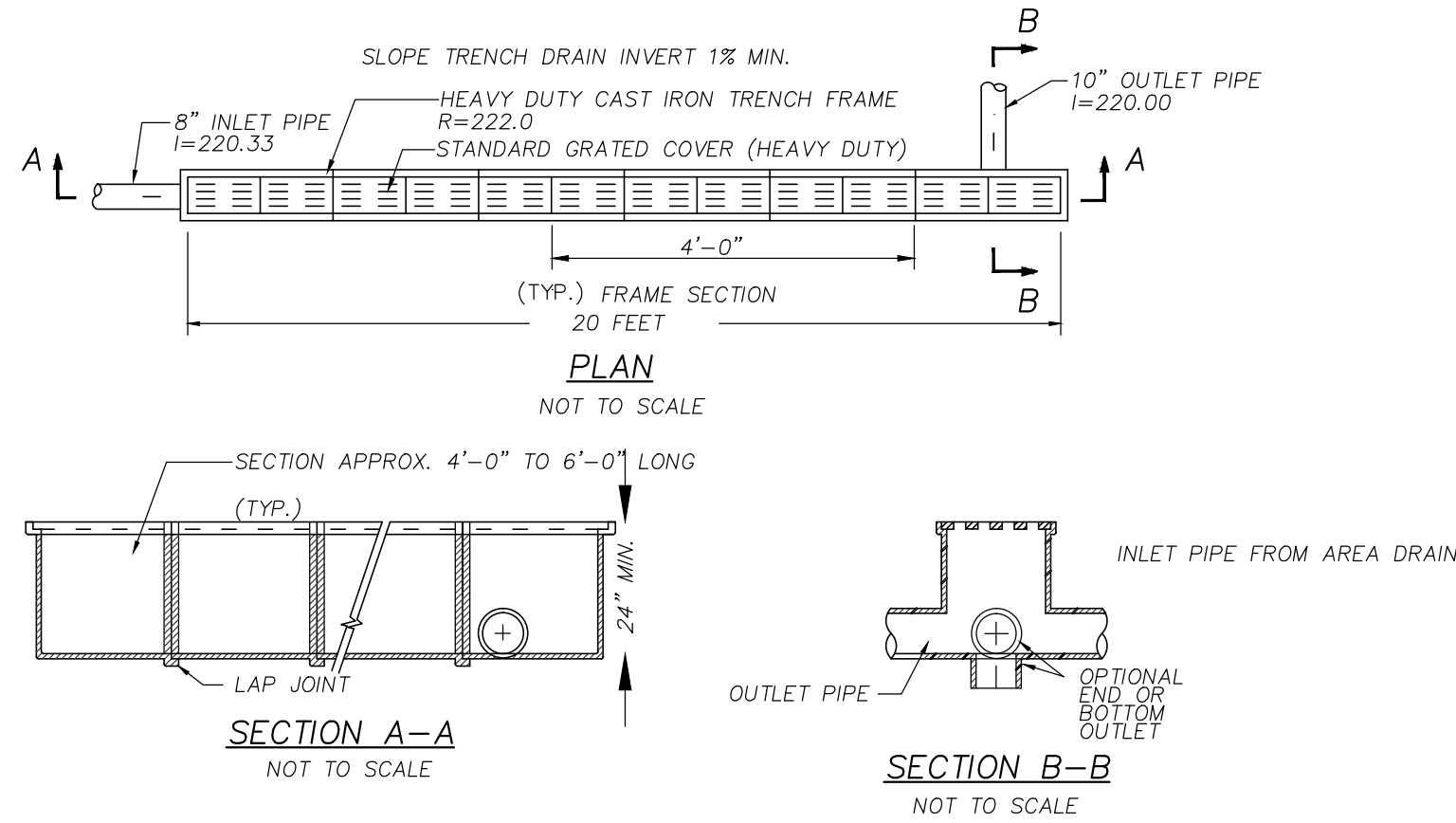
NDS, INC.
851 NORTH HARVARD AVE.
LINDSAY, CA 93247
TOLL FREE: 1-800-726-1994
PHONE: (559) 562-9888
FAX: (559) 562-4488
www.ndspro.com



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

PROPOSED AREA DRAIN ROUND SPEE-D BASINS

SQUARE GRATE WITH SPEE-D BASIN (N/S)



TRENCH DRAIN DETAIL

(W/ HEAVY DUTY FRAME AND GRATED COVER)
MANUFACTURER: NEENAH FOUNDRY CO.
OR APPROVED EQUAL

NOTE: PROVIDE BOTTOM OUTLET, LENGTH L = 20'-0"

CONCORD TURNPIKE

FRONTAGE ROAD

BEATRICE CIRCLE

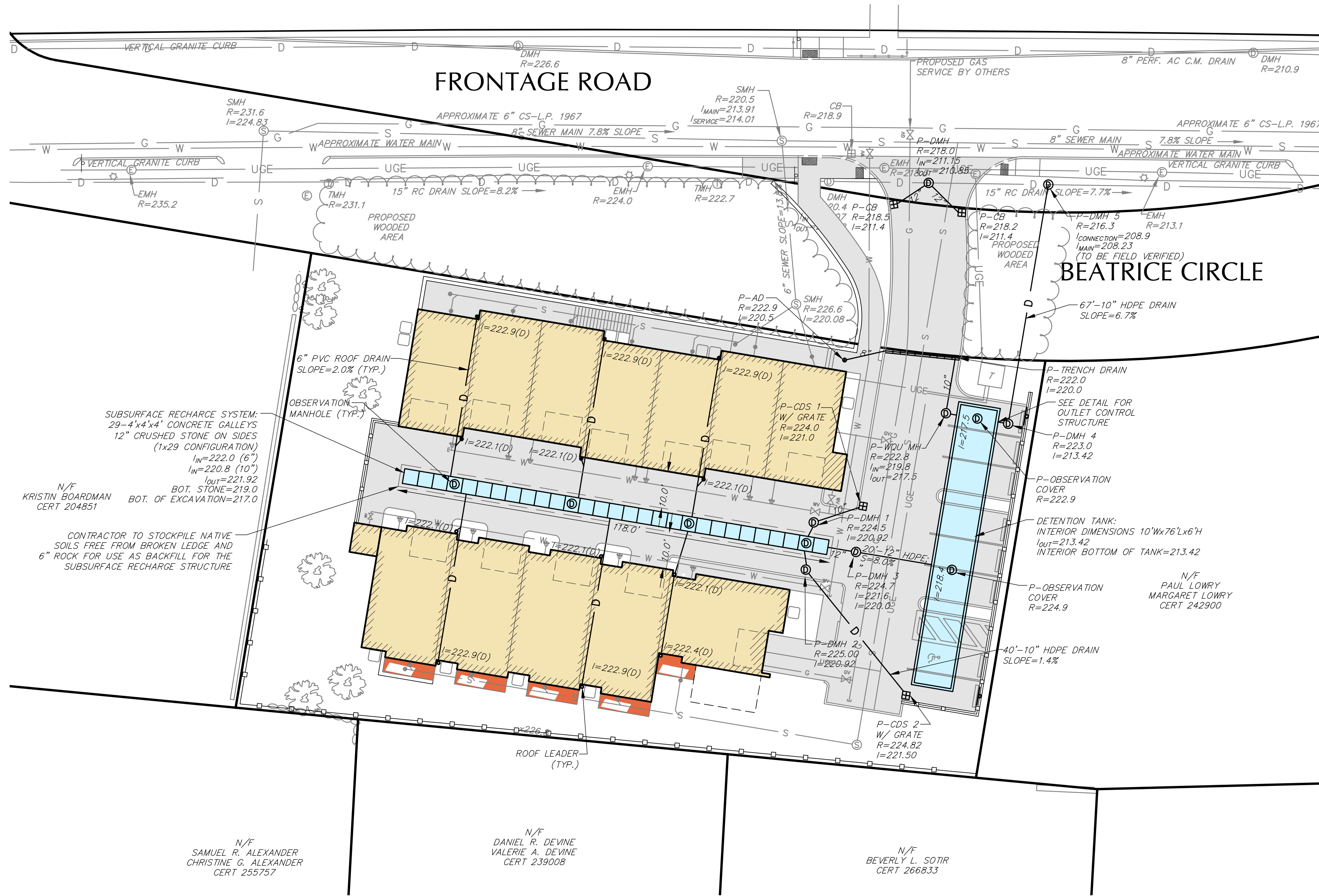
LEGEND:

EXISTING:

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PROPOSED:

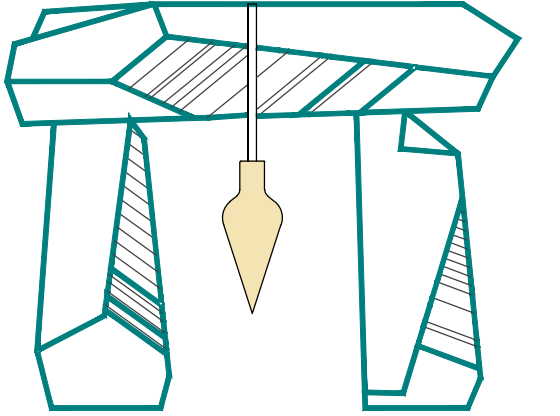
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- SECOND FLOOR
- SEWER INVERT
- DRAIN INVERT



DRAINAGE NOTES:

1. ALL DRAIN PIPES GREATER THAN OR EQUAL TO 10" IN SIZE SHALL BE CONSTRUCTED OF HDPE. ALL DRAIN PIPES LESS THAN 10" IN SIZE SHALL BE CONSTRUCTED OF SCHEDULE 40 PVC.
2. ALL DRAIN PIPES SHOULD HAVE A MINIMUM SLOPE OF 1.0% AND A MAXIMUM SLOPE OF 8.0%.
3. A MINIMUM OF 12 INCHES OF VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN ALL UTILITY CROSSINGS.
4. THE EXCAVATION FOR THE PROPOSED INFILTRATION SYSTEM SHALL BE INSPECTED AND SIGNED OFF BY THE DESIGN ENGINEER PRIOR TO THE INSTALLATION OF THE STRUCTURES.
5. THE BACKFILL MATERIAL FOR THE PROPOSED SUBSURFACE RECHARGE STRUCTURE SHALL BE INSPECTED AND SIGNED OFF BY THE DESIGN ENGINEER PRIOR TO BACKFILL.
6. SILT SACKS SHALL BE INSTALLED IN THE CATCH BASINS AND TRENCH DRAIN AFTER THEY HAVE BEEN CONSTRUCTED TO PREVENT ANY CONSTRUCTION RELATED DEBRIS FROM ENTERING THE DRAINAGE SYSTEM.
7. ALL DRAINAGE STRUCTURES AND PIPES SHALL BE FLUSHED AND CLEANED PRIOR TO CONNECTING THEM TO THE PROPOSED INFILTRATION AND DETENTION SYSTEMS.
8. THE DRAINAGE STRUCTURES AND PIPING SHALL BE AS-BUILT BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR PRIOR TO BEING BACKFILLED.

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JAMES W BURKE, P.E.

GENERAL NOTES:

1. LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
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5. PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED UTILITIES

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
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DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

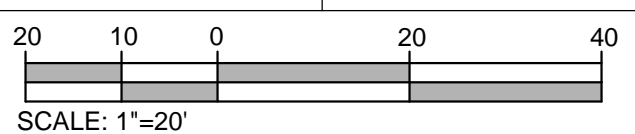
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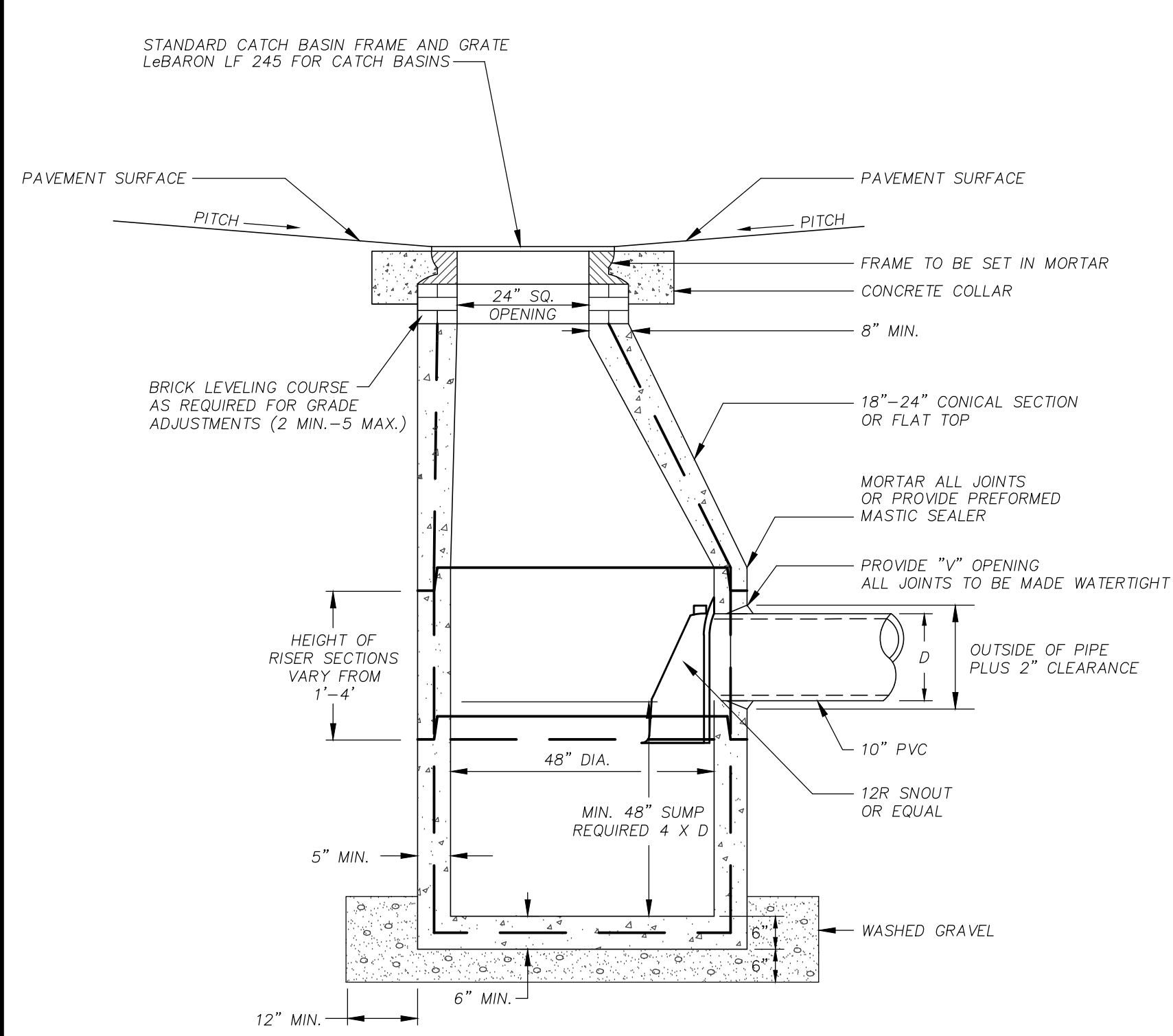
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REVISED: JULY 6, 2021

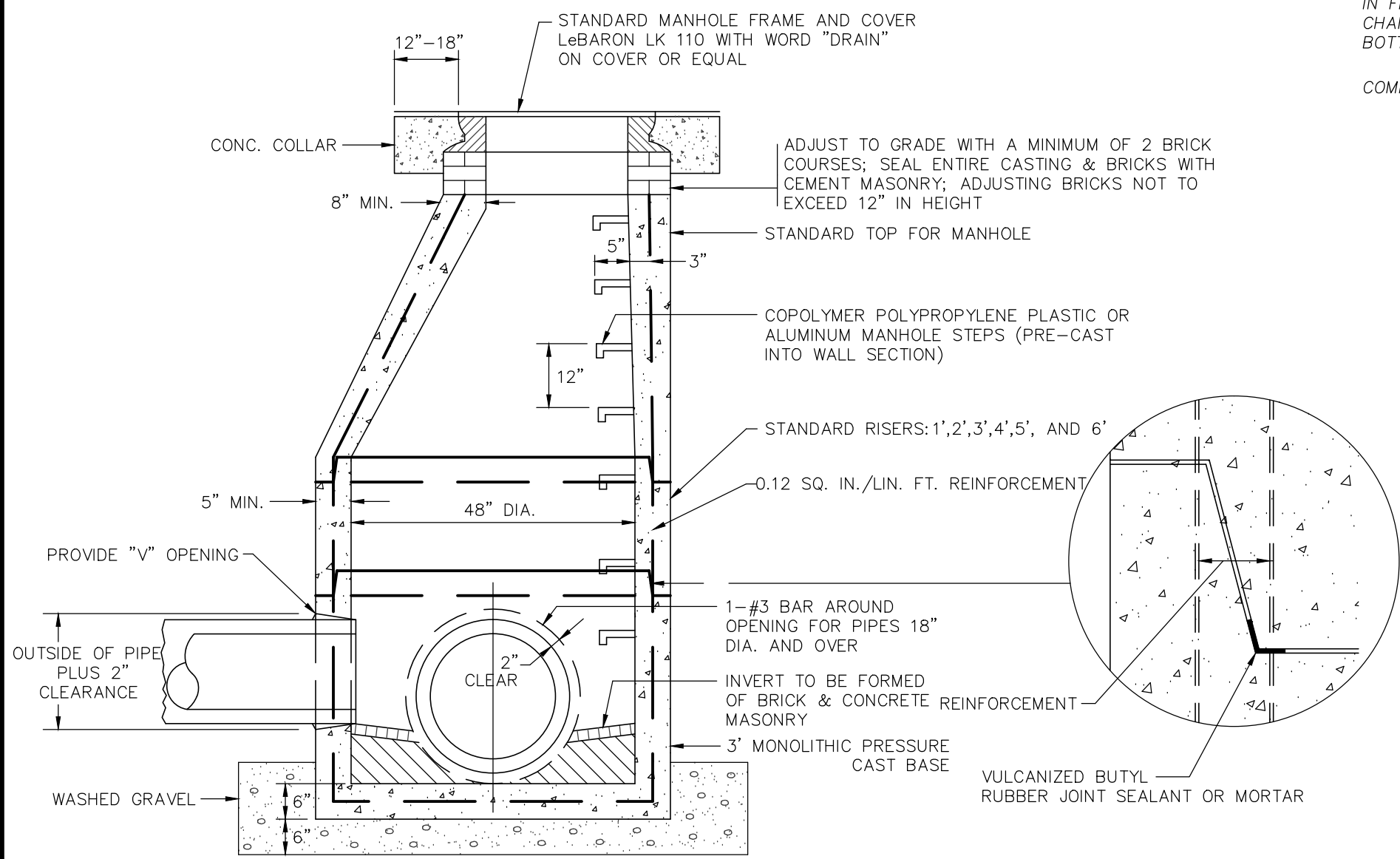
JOB NUMBER: 19.085

SHEET 8 OF 11

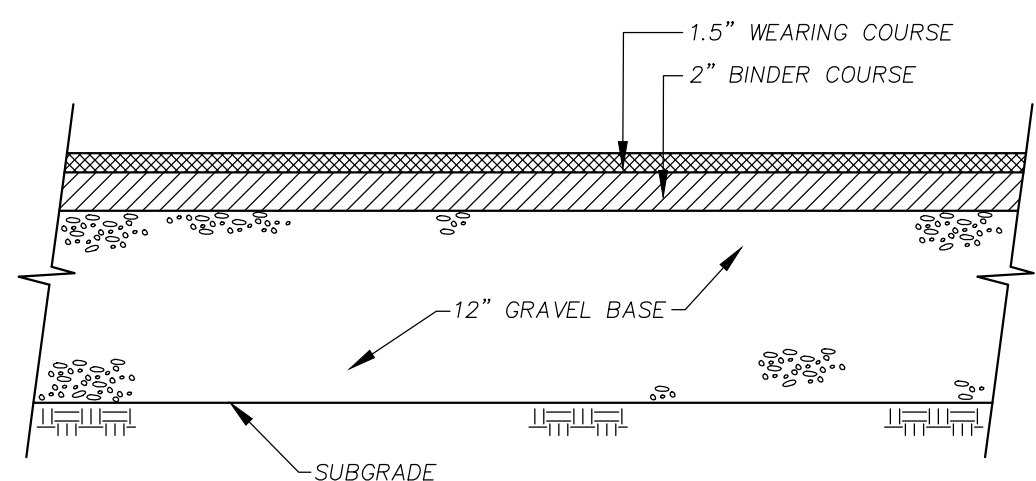




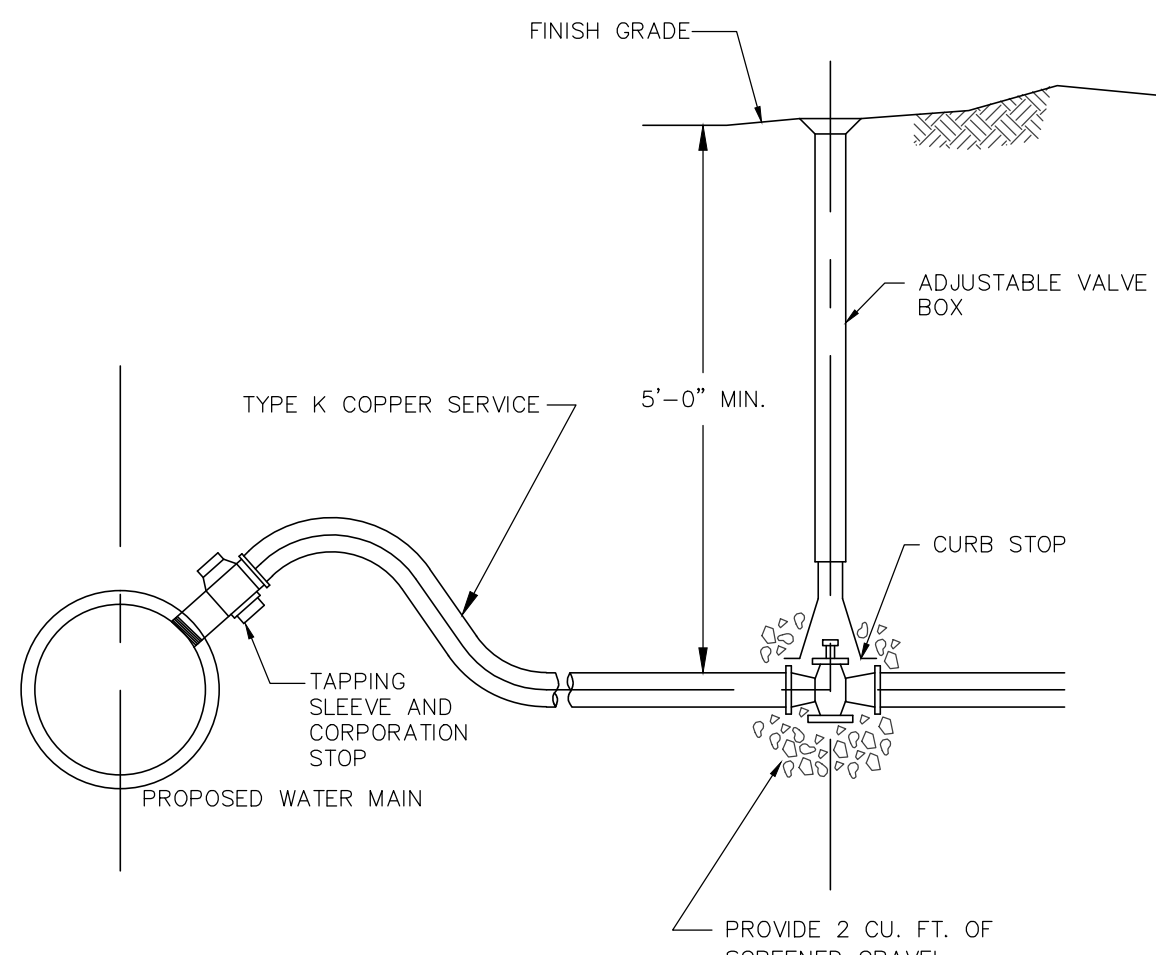
PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



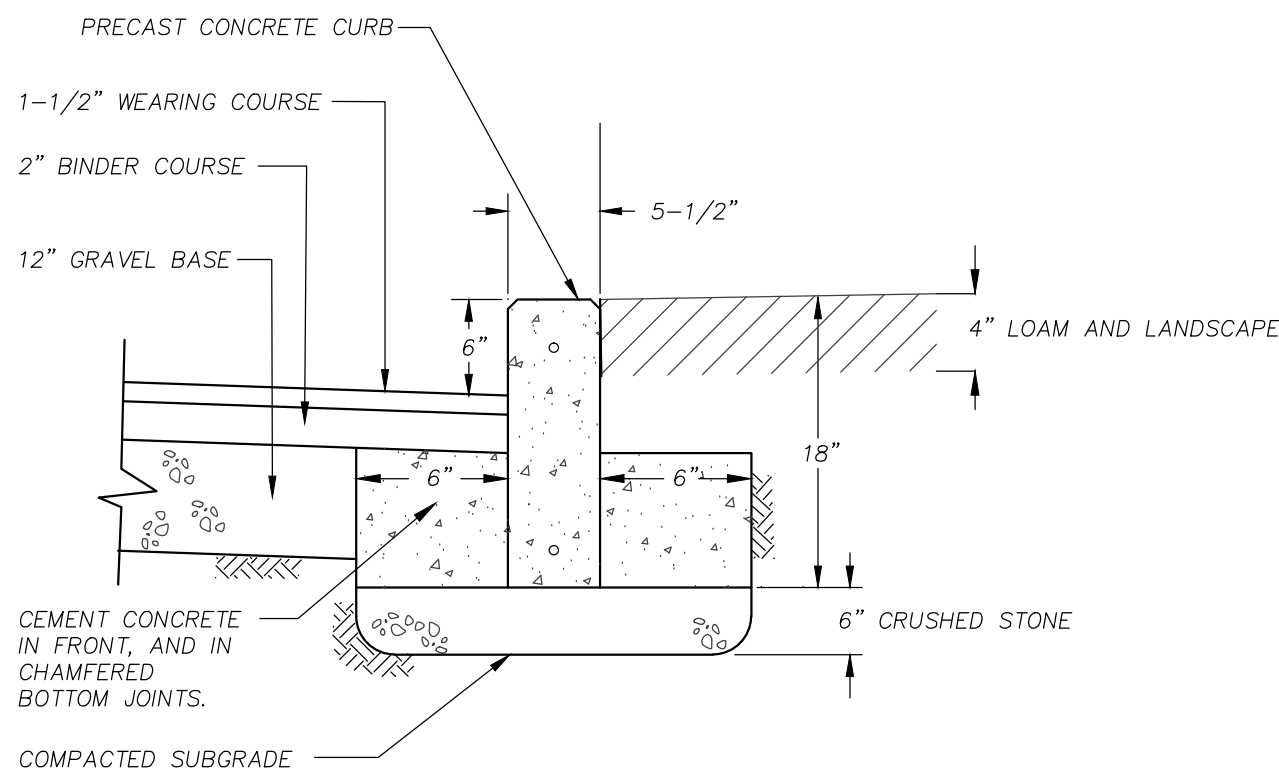
STANDARD PRE-CAST DRAIN MANHOLE
NOT TO SCALE



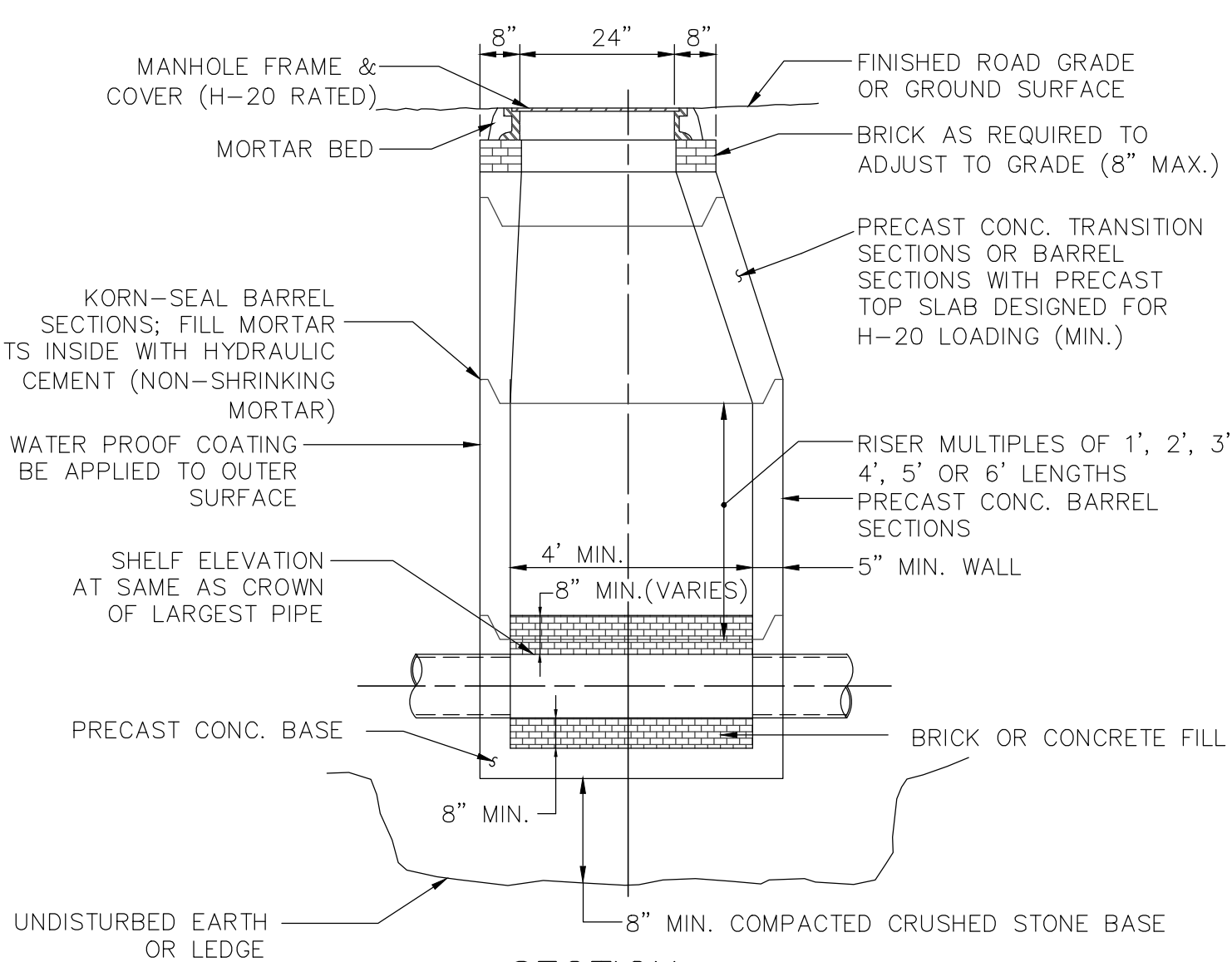
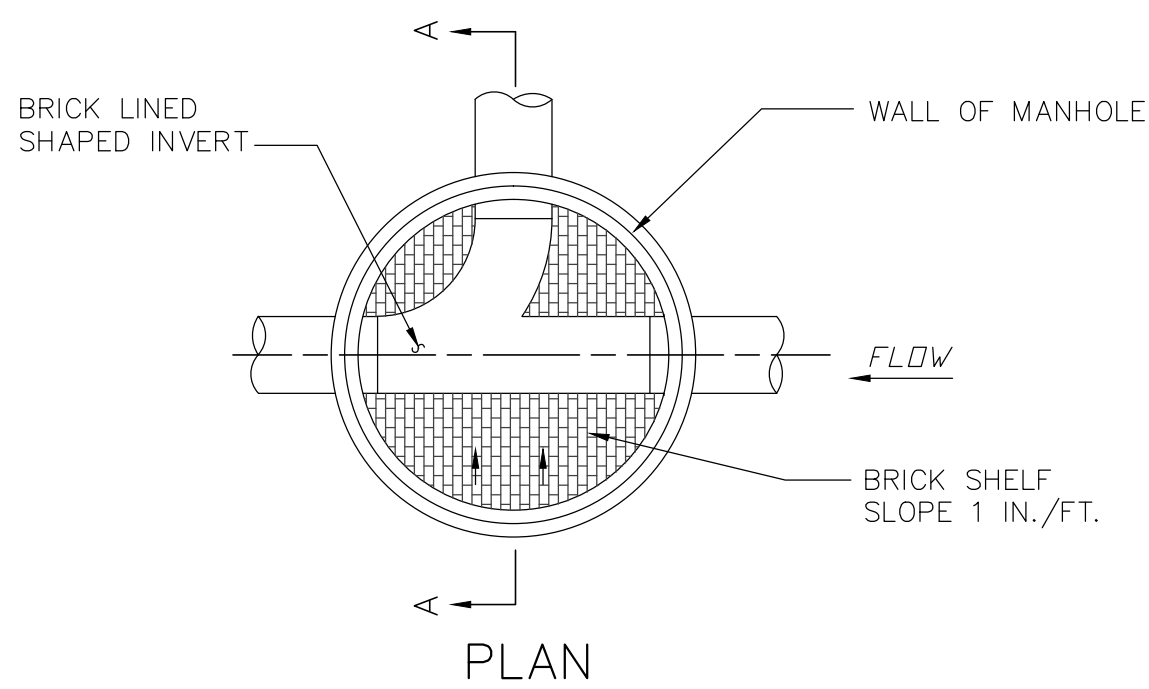
PAVEMENT SECTION
NOT TO SCALE



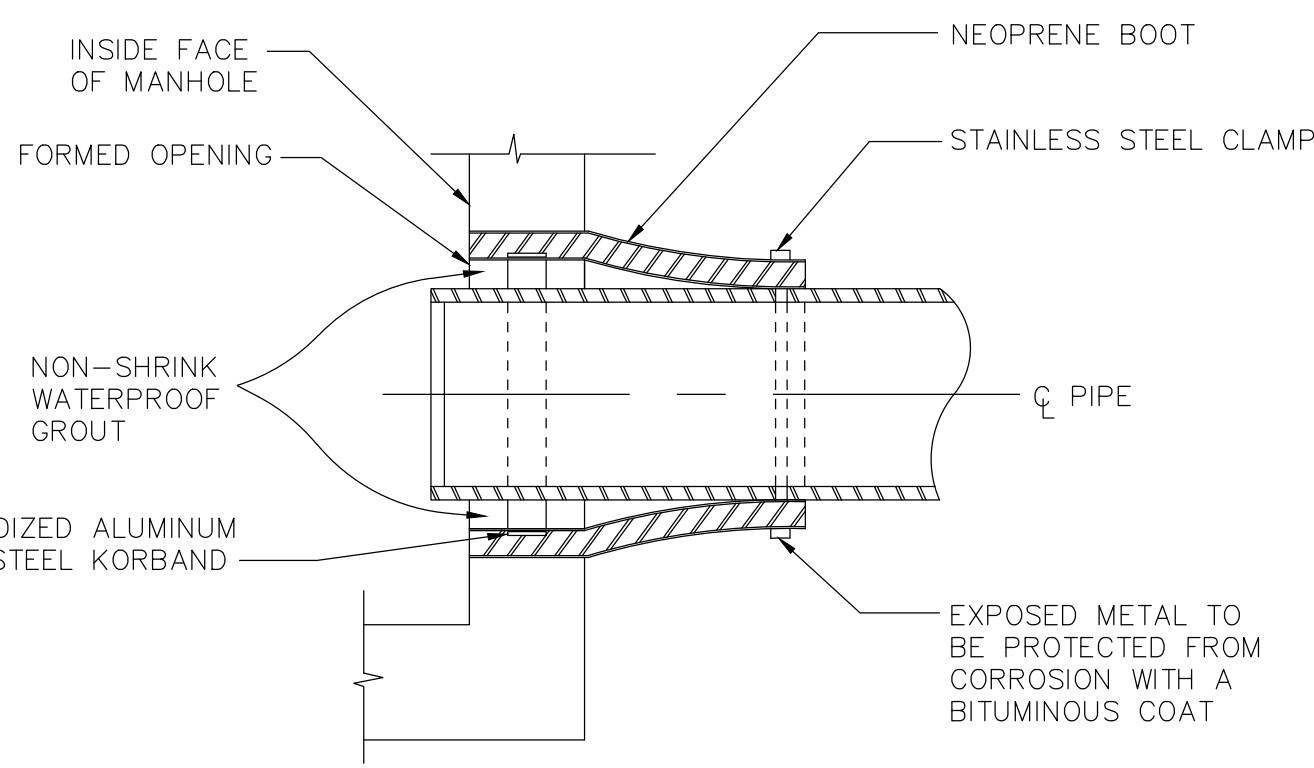
1" WATER SERVICE CONNECTION
NOT TO SCALE



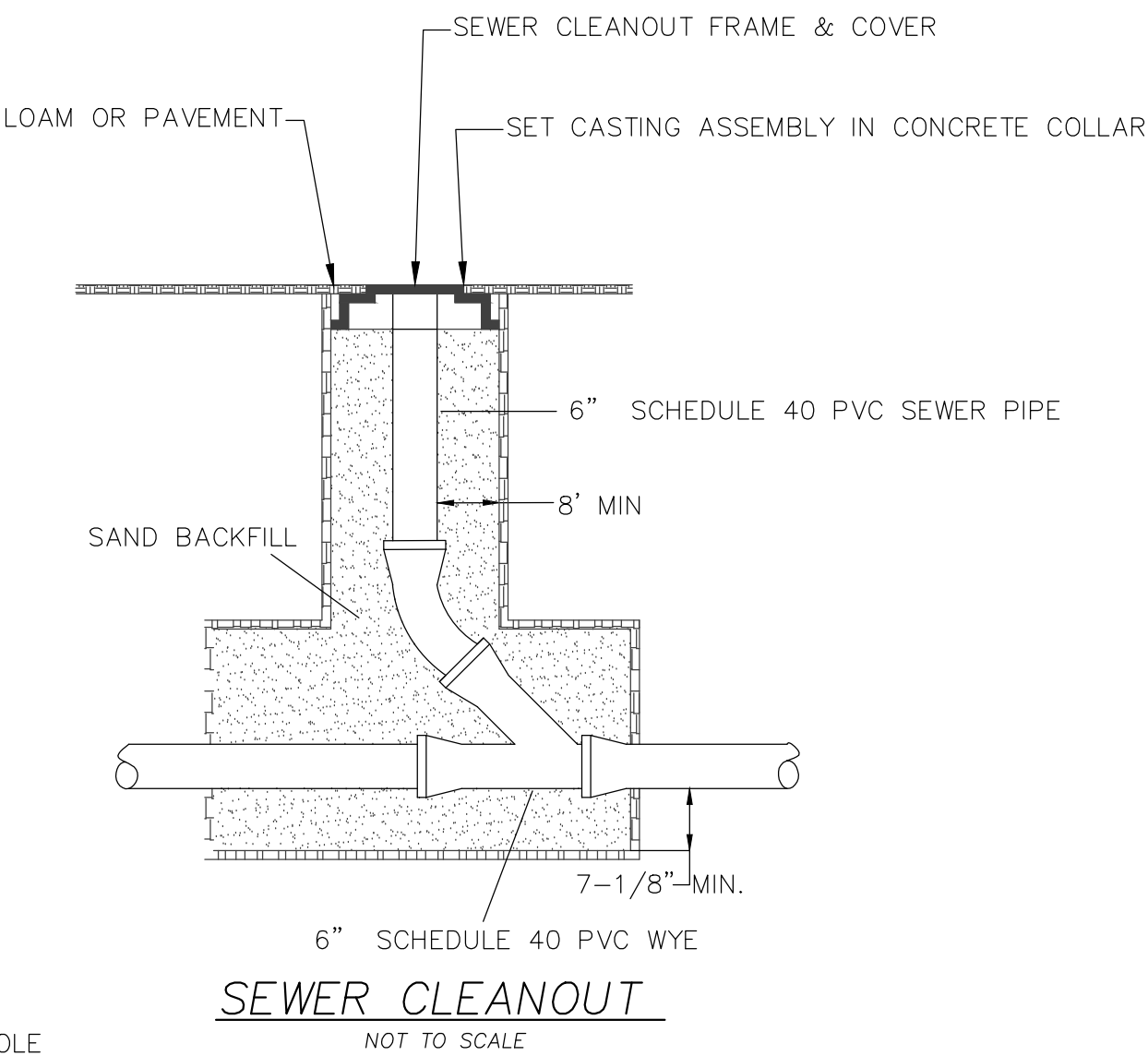
PRECAST CONCRETE CURB
NOT TO SCALE



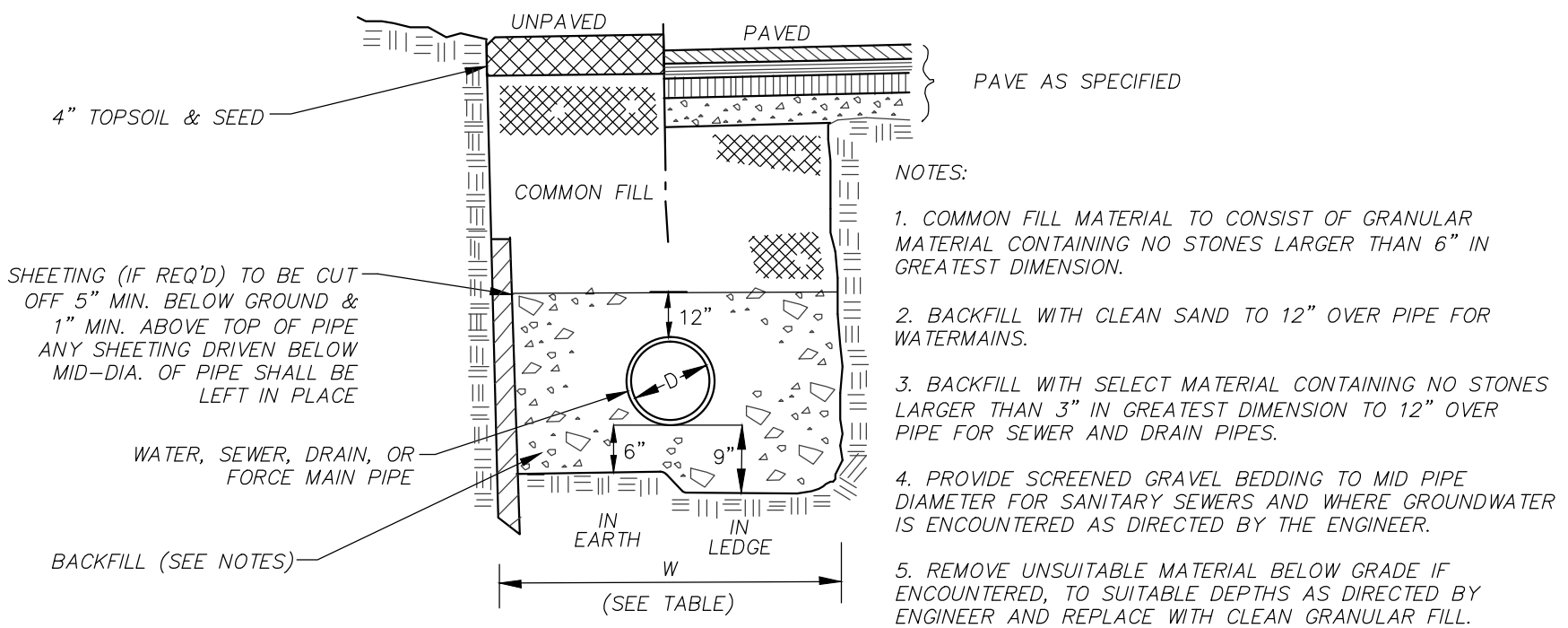
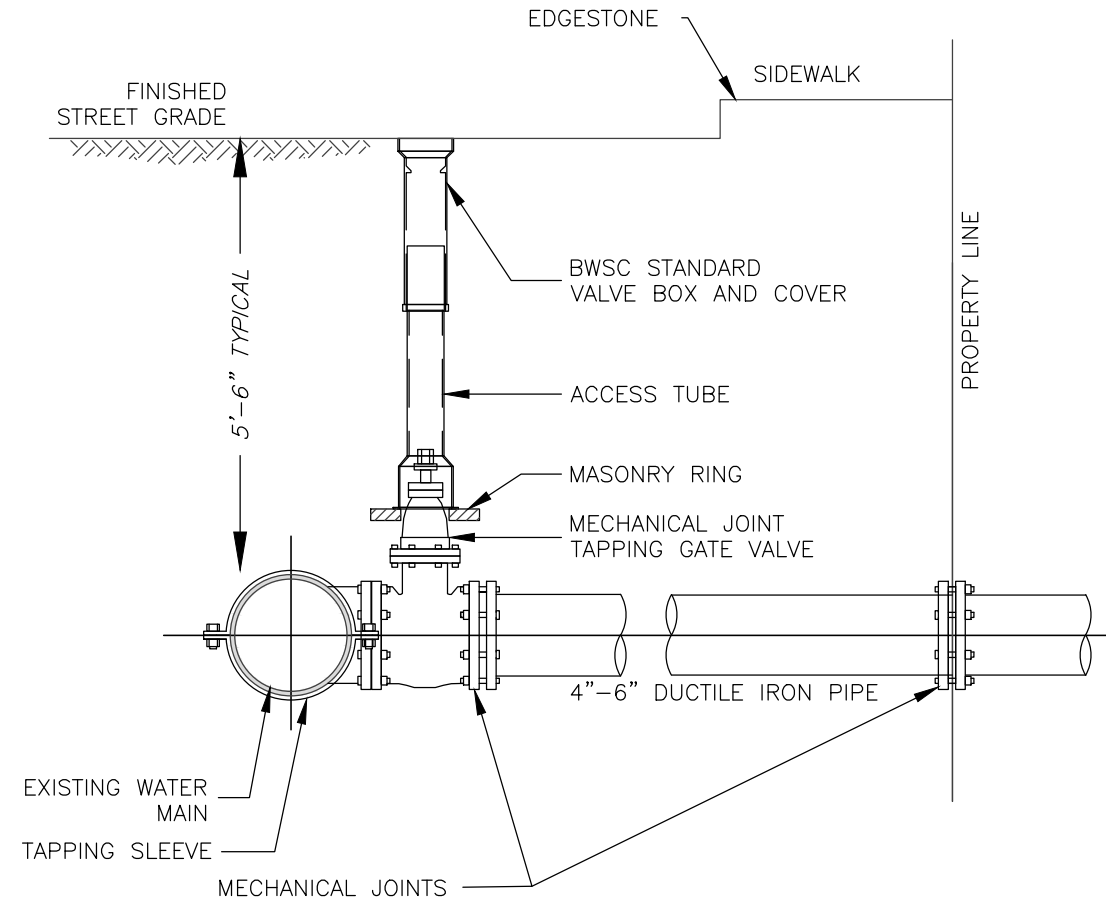
TYPICAL PRECAST SEWER MANHOLE
NOT TO SCALE



NEOPRENE BOOT CONNECTION
NOT TO SCALE



NOTES:
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL
BEAR ON UNDISTURBED EARTH.
- USE RESTRAINED JOINT FITTINGS OR TIE RODS
WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
- SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC
CONDITIONS.

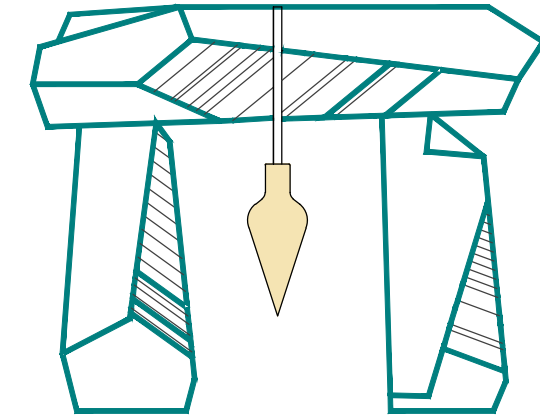


TRENCH WIDTH		
D DIAMETER OF PIPE	W UNSHEETED	W SHEETED
1" TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'

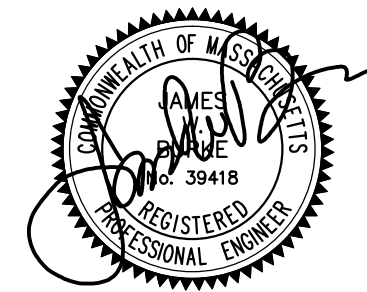
NOTES:
1. ALL TRENCH CONSTRUCTION TO CONFORM TO APPLICABLE
FEDERAL, STATE AND LOCAL REGULATIONS.
2. COMPACT FILL AND TAMP PIPE TO 93% MAX. DENSITY UNLESS
OTHERWISE SPECIFIED.

TYPICAL TRENCH SECTIONS
NOT TO SCALE

DeCelle-Burke-Sala



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100(o) 617-405-5101(f)
www.decelle-burke-sala.com



JAMES W BURKE, P.E.

GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
- RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM
SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE
CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE
FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED
CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY
COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
- DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS
STATUTE CHAPTER 82, SECTION 40B AT TEL: 1-888-344-7233. THE
ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES
AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND
ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD
PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS
OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF
CONSTRUCTION.
- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD
ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
- PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

CONSTRUCTION DETAILS

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

REVISED: JUNE 1, 2021

REVISED: JUNE 25, 2021

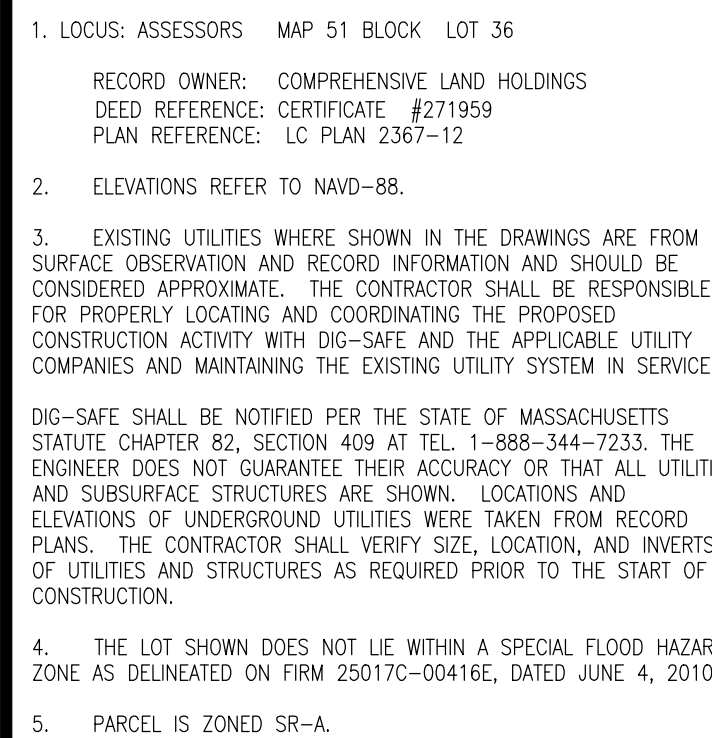
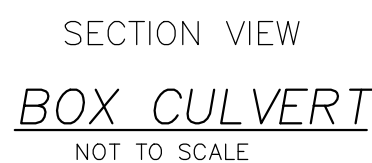
REVISED: JULY 6, 2021

JOB NUMBER: 19.085

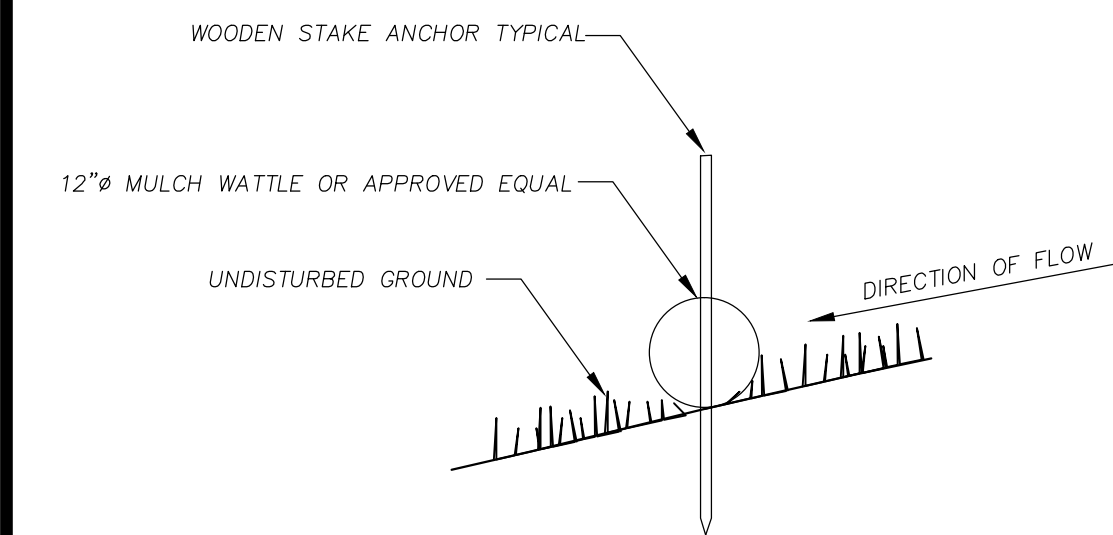
SHEET 9 OF 11



4'X4'X4' CONCRETE LEACHING GALLEY STRUCTURE
NOT TO SCALE



REVISÉ: JULY 6, 2021



SILT FENCE DETAIL FOR
TEMPORARY SOIL STOCKPILE AREA
N.T.S.



FABRIC SHALL CONSIST OF WOVEN POLYPROPYLENE, 36" IN WIDTH AND FASTENED TO HARDWOOD POSTS WITH THREE (3), ONE INCH (1") WIDE CROWN STAPLES.

WOOD POSTS SHALL BE OF SOUND HARDWOOD,
FORTY EIGHT INCHES (48") IN LENGTH WITH A
MINIMUM CROSS SECTION OF 1.125 SQUARE INCHES.
SOFTWOOD POSTS SHALL NOT BE USED.

POSTS SHALL BE POSITIONED VERTICALLY AT A DISTANCE NOT TO EXCEED TEN FEET (10') ON CENTER FOR THE ENTIRE LENGTH OF THE SILT FENCE.

SOIL SHALL BE TRENCHED TO ALLOW SIX INCHES (6") OF THE SILT FENCE FABRIC TO FALL BELOW GRADE. POSTS SHALL BE DRIVEN A MINIMUM OF EIGHTEEN INCHES (18") BELOW NATURAL GRADE TO ALLOW SIX INCHES (6") OF MATERIAL TO EXTEND INTO THE TRENCH. TRENCH SHALL BE BACKFILLED TO ORIGINAL GRADE, LEAVING A MINIMUM OF SIX INCHES (6") OF FABRIC BELOW FINISH GRADE. IF THE SILT FENCE IS INSTALLED ON A SLOPE, THE POSTS SHALL BE DRIVEN INTO THE DOWNHILL SIDE. IF THE SILT FENCE IS INSTALLED ON A LEVEL SITE, THE POSTS SHALL BE INSTALLED TO THE OUTSIDE OF THE WORK SITE.

CONNECTION/JOINING OF SILT FENCES SHALL BE COMPLETED BY TIGHTLY OVERLAPPING THE ENDS OF THE ROLLS A MINIMUM OF TWELVE INCHES (12") OR BY OVERLAPPING THE END POSTS AND SECURING THE TWO POSTS TOGETHER TIGHTLY WITH PLASTIC WIRE TIES AND/OR STEEL BAILING WIRE.



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JAMES W BURKE, P.E.

GENERAL NOTES:

1. LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: DEED 1-1886-344-7233
PLAN REFERENCE: LC PLAN 2367-12
2. ELEVATIONS REFER TO NAVD-88.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS RECORDING ACT, 94A:11-1886-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD INFORMATION. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON PLAN 250170-00416E, DATED JUNE 4, 2010.
5. PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

CONSTRUCTION DETAILS

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISÉ: APRIL 19, 2021

REVISÉ: JUNE 1, 2021

REVISÉ: JUNE 25, 2022

REVISÉ: JUILY 6, 2021

JOB NUMBER: 19.085	SHEET 11 OF 11
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GENERAL NOTES:

1. LOCUS: ASSESSORS MAP 51 BLOCK LOT 36

RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
2. ELEVATIONS REFER TO NAVD--88.
3. EXISTING UTILITIES WERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
4. DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 282, SECTION 409 AT LOT 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES WERE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
5. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS Delineated ON PLAN 25017C-004166, DATED JUNE 4, 2010.
6. PARCEL IS ZONED SR-A

VOLUME OF LEDGE TO BE REMOVED = 535 CY

LEDGE TO BE GRADED TO MINIMIZE
SUBSURFACE PONDING.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED SUBSURFACE GRADING

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: JULY 20, 2021

