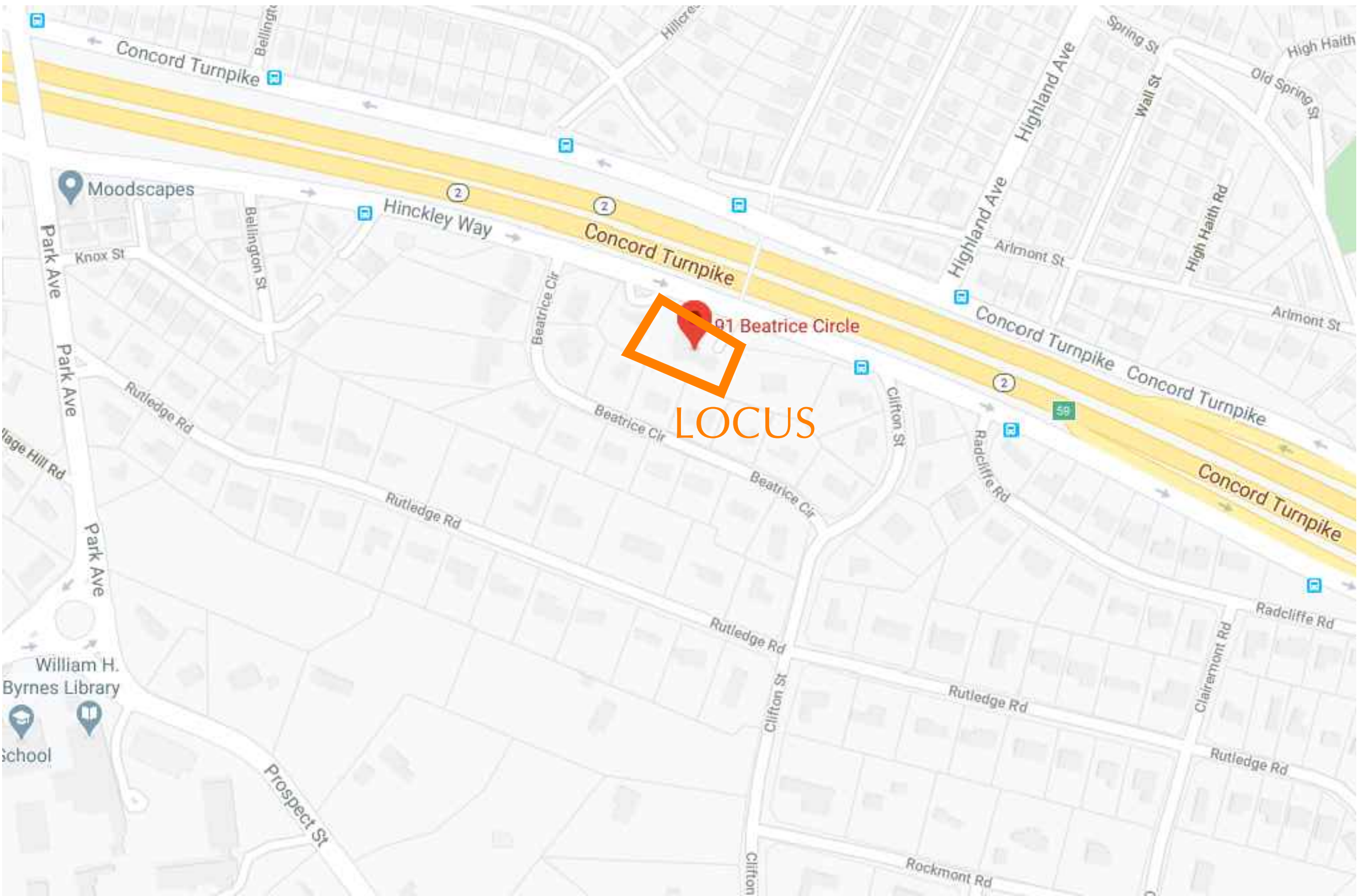
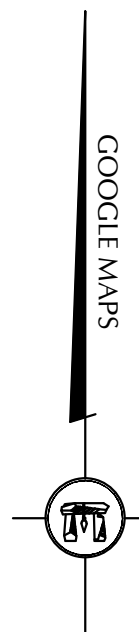


PROPOSED SITE PLAN

91 BEATRICE CIRCLE BELMONT, MASSACHUSETTS

NOVEMBER 4, 2020

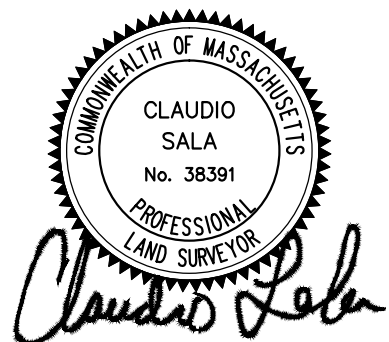


LOCUS AERIAL

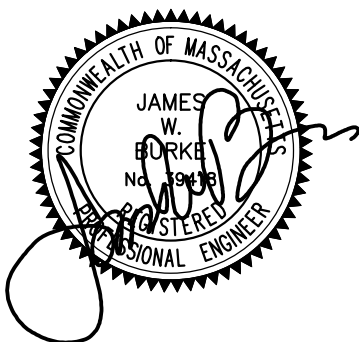
IMAGE FROM 2020 GOOGLE MAP DATA

SHEETS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 DEMOLITION
- 4 PROPOSED LAYOUT
- 5 PROPOSED GRADING
- 6 PROPOSED UTILITIES
- 7 CONSTRUCTION DETAILS
- 8 CONSTRUCTION DETAILS



REVISIONS	NO.	DATE	COMMENT
1	4/19/2021	PEER REVIEW COMMENTS	



APPLICANT

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

LEGAL

REGNANTE STERIO, LLP
401 EDGEWATER PLACE SUITE 630
WAKEFIELD, MA 01880

ARCHITECT

EMBARC STUDIO
60 K STREET
BOSTON, MA 02127

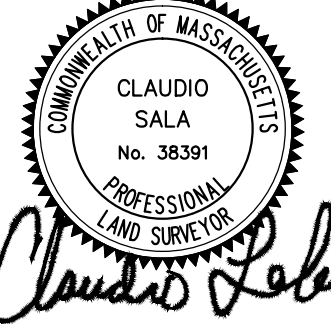
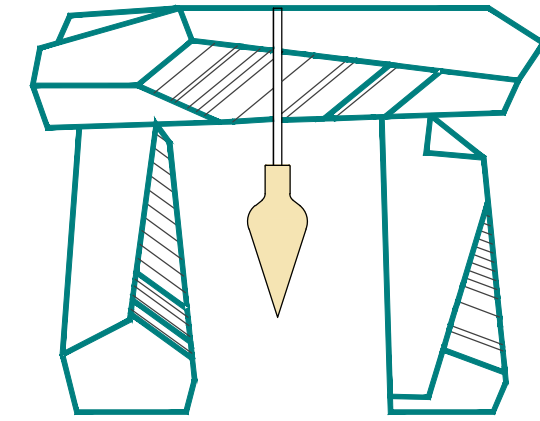
TRAFFIC

MDM TRANSPORTATION
CONSULTANTS, INC.
20 LORD ROAD SUITE 280
MARLBOROUGH, MA 01752

CIVIL/SURVEY

DECELLE-BURKE-SALA & ASSOCIATES, INC.
1266 FURNACE BROOK PARKWAY
SUITE 401
QUINCY, MA 02169





CLAUDIO SALA, PLS

GENERAL NOTES:

1. LOCUS: ASSESSORS MAP 51 BLOCK LOT 36

RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12

2. ELEVATIONS REFER TO NAVD-88.

3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.

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4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.

5. PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

EXISTING CONDITIONS

PREPARED FOR:

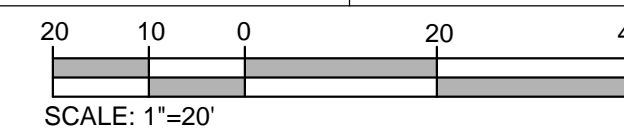
91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

JOB NUMBER: 19.085

SHEET 2 OF 8



SOIL TEST PIT DATA:

TEST PIT	1
GRD. EL.	225.0
GW. EL.	NGWO
0"	FILL, SANDY LOAM, 10YR3/2 Granular, Very Friable
10"	FILL, SANDY LOAM, 10YR3/4 Massive, Friable
48"	Apb, SANDY LOAM, 10YR3/2 Granular, Very Friable
54"	Bw, SANDY LOAM, 10YR4/6 Massive, Friable
88"	R, Ledge

TEST PIT	2
GRD. EL.	224.7
GW. EL.	NGWO
0"	FILL, SANDY LOAM, 10YR3/2 Granular, Very Friable
11"	FILL, SANDY LOAM, 10YR3/4 Massive, Friable
41"	Apb, SANDY LOAM, 10YR3/2 Granular, Very Friable
50"	Bw, SANDY LOAM, 7.5YR4/4 Massive, Friable
60"	R, Ledge

TEST PIT	3
GRD. EL.	229.8
GW. EL.	NGWO
0"	Ap, SANDY LOAM, 10YR3/3 Granular, Very Friable
12"	Bw, SANDY LOAM, 10YR4/6 Massive, Friable
37"	C ₃ FINE LOAMY SAND, 5Y5/2 Massive, Friable Some gravel
77"	C ₂₈ FINE LOAMY SAND, 5Y5/2 Massive, Firm Very gravelly
99"	

DATE:

12/5/2019

TEST BY:

KAMERON CAMPBELL, SE #14227

INDICATES
ESTIMATED
SEASONAL HIGH
GROUND WATER

INDICATES
OBSERVED
GROUND WATER

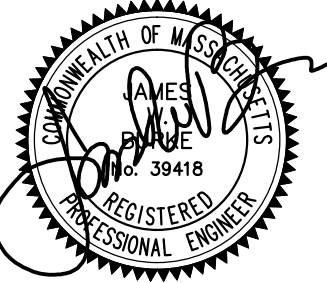
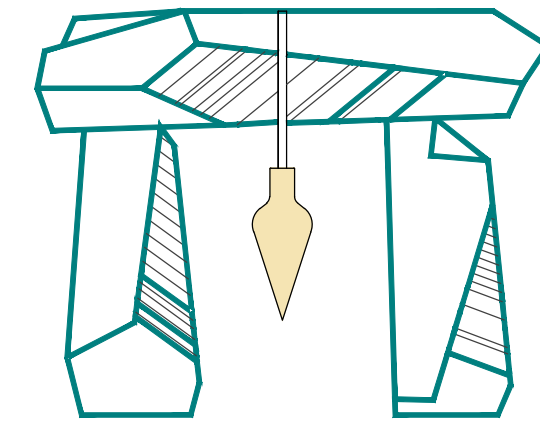
CONCORD TURNPIKE



LEGEND:

EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- SPOT GRADE
- CHAIN LINK FENCE
- STOCKADE FENCE
- TEST PIT
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR



JAMES W BURKE, P.E.

GENERAL NOTES:

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- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
- PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

DEMOLITION

PREPARED FOR:

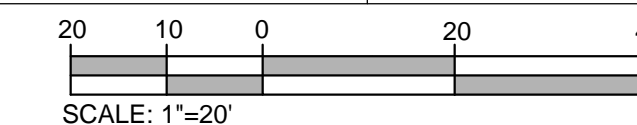
91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

JOB NUMBER: 19.085

SHEET 3 OF 8



APPROX. MASS GRID



DEMOLITION & CONSTRUCTION NOTES:

THE CONTRACTOR SHALL PLACE A 6' HIGH TEMPORARY SAFETY FENCE AROUND THE SITE PRIOR TO THE DEMOLITION ON SITE.

A WATER TRUCK SHALL BE ON-SITE DURING THE DEMOLITION PROCESS TO MINIMIZE FUGITIVE DUST.

A CRUSHED STONE APRON SHALL BE CONSTRUCTED AS SHOWN TO MINIMIZE TRUCK TIRES LEAVING SEDIMENT ON THE ROADWAYS.

ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

CONTRACTOR TO GRADE THE SITE AND USE TEMPORARY EROSION CONTROL BARRIERS PARALLEL WITH SITE CONTOURS TO MINIMIZE CHANNELLIZING SURFACE RUNOFF. THE SITE AND THE CRUSHED STONE APRON SHALL BE GRADED TO PREVENT ANY CHANNELIZED RUNOFF FROM FLOWING OFF SITE.

CONTRACTOR IS RESPONSIBLE TO CONTROL THE ON-SITE STORMWATER USING BEST MANAGEMENT PRACTICES TO PREVENT EROSION AND FLOODING IMPACTS.

CONTRACTOR TO MANAGE ON-SITE SNOW BY STOCKPILING SAND ALLOWING IT TO MELT IN A CONTROLLED MANNER WITHOUT IMPACTS TO THE ADJUTERS. IF THE SNOW VOLUME EXCEEDS THE STOCKPILE ALLOWANCE VOLUME THE CONTRACTOR SHALL REMOVE IT FROM THE SITE AND DISPOSE OF IT IN A LEGAL MANNER.

CONSTRUCTION HOURS SHALL BE FROM 7:00AM TO 5:00PM MONDAY THROUGH FRIDAY, 8:00AM TO 4:00PM ON SATURDAYS. ALL CONSTRUCTION AND DELIVERIES ARE PROHIBITED SUNDAYS UNLESS APPROVED BY THE BUILDING COMMISSIONER.

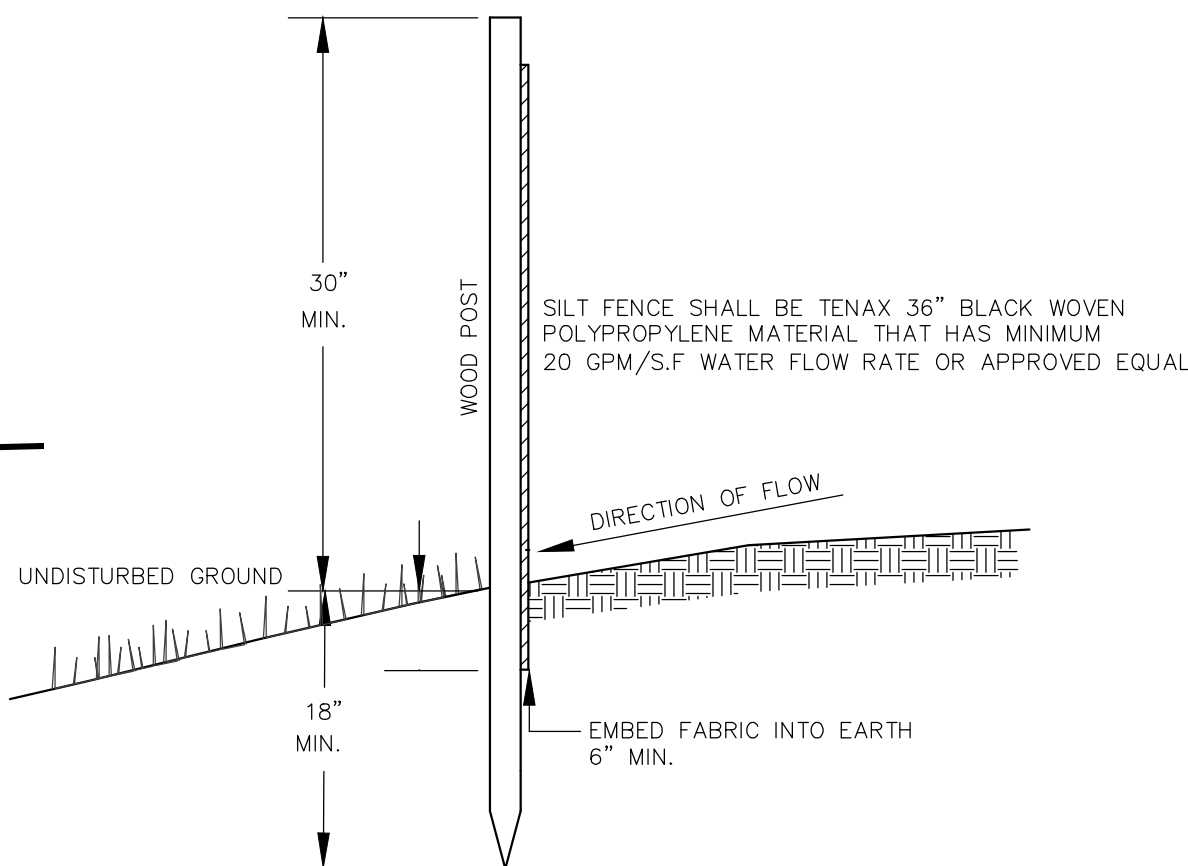
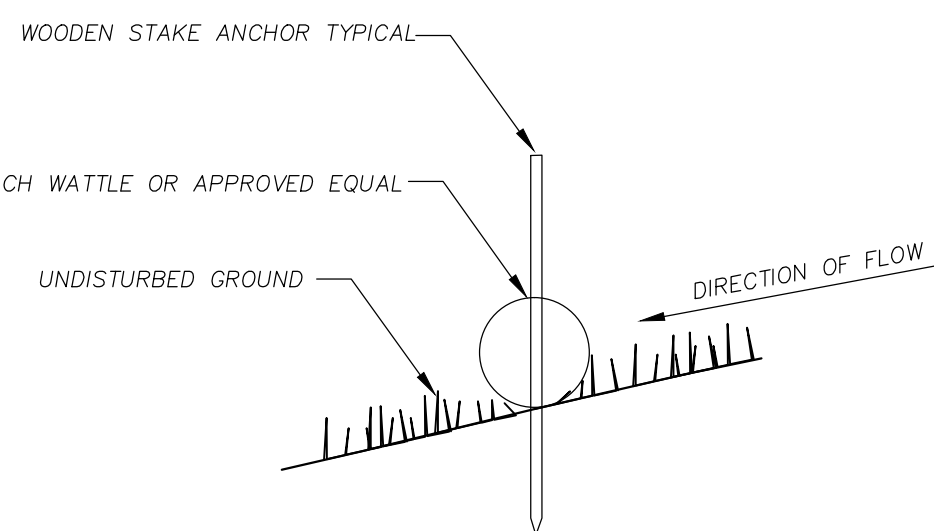
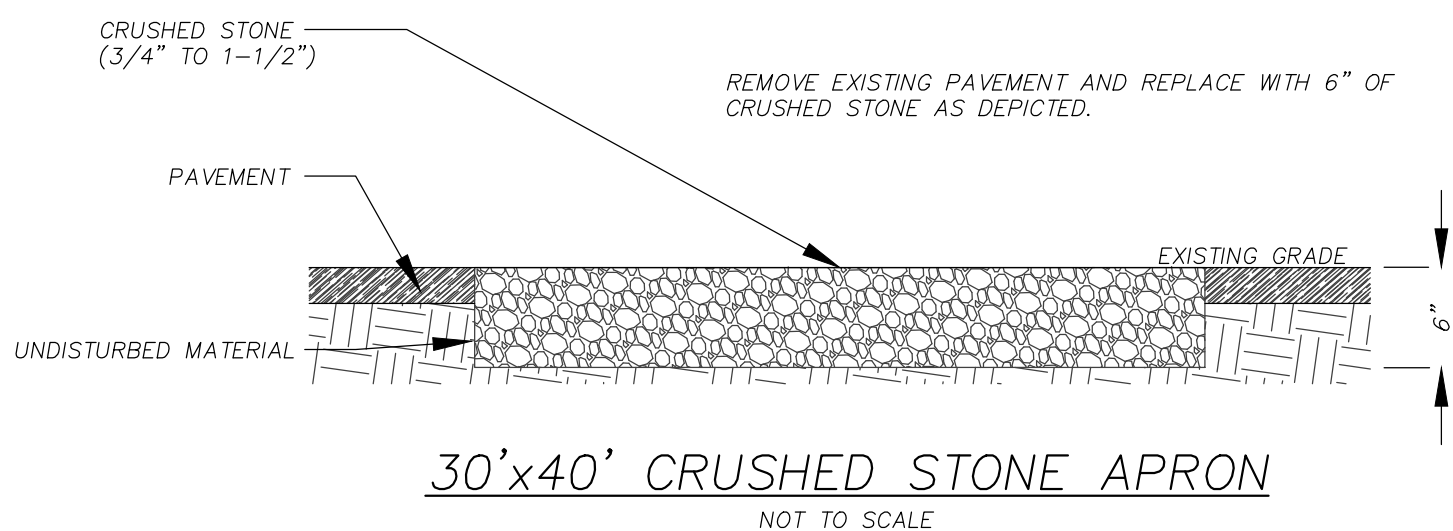
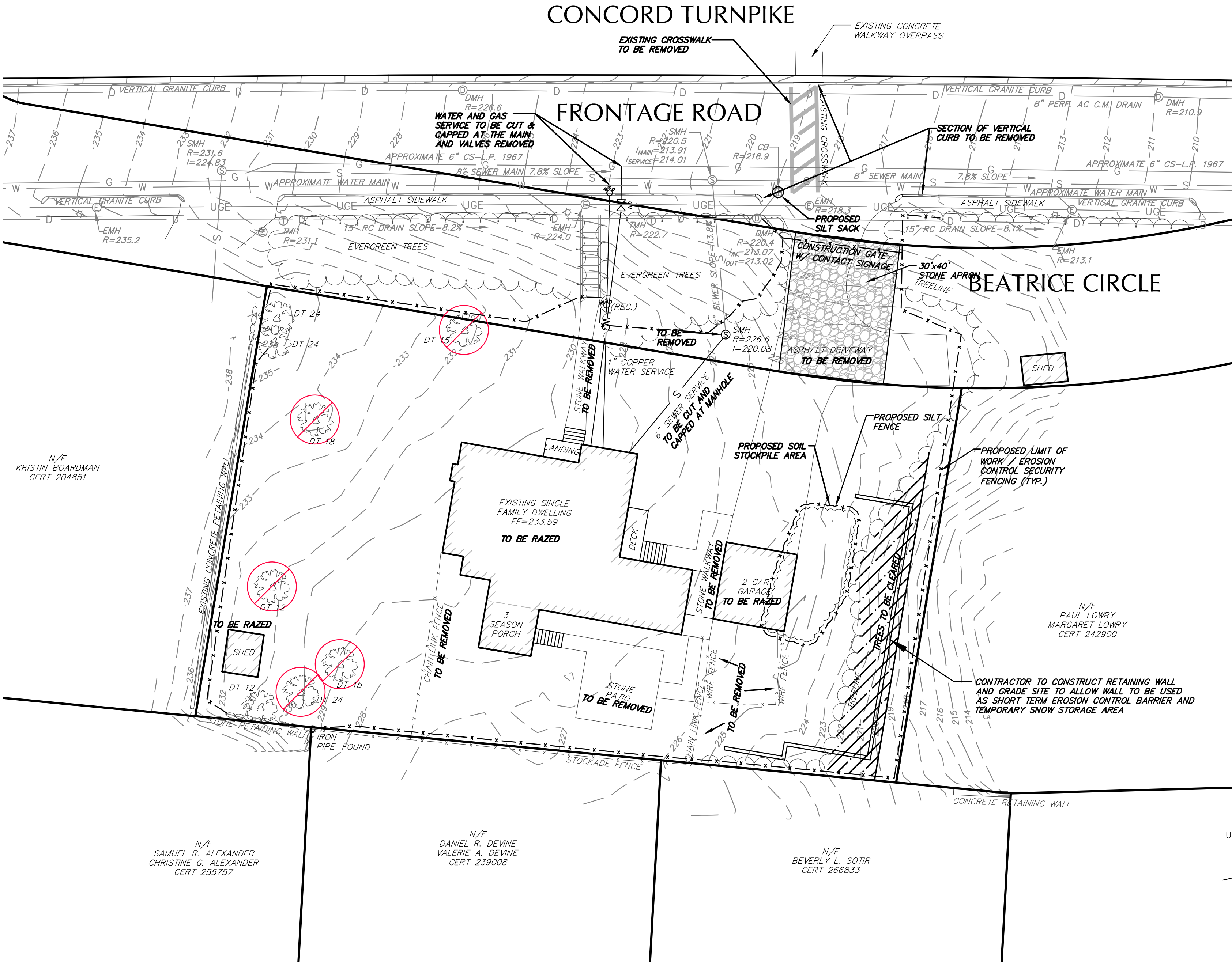
LEGEND:

EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- CHAIN LINK FENCE
- TEST PIT
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR
- EROSION CONTROL

PROPOSED:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
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SPECIFICATIONS & INSTALLATION

FABRIC SHALL CONSIST OF WOVEN POLYPROPYLENE, 36" IN WIDTH AND FASTENED TO HARDWOOD POSTS WITH THREE (3), ONE INCH (1") WIDE CROWN STAPLES.

WOOD POSTS SHALL BE OF SOUND HARDWOOD, FORTY EIGHT INCHES (48") IN LENGTH WITH A MINIMUM CROSS SECTION OF 1.125 SQUARE INCHES. SOFTWOOD POSTS SHALL NOT BE USED.

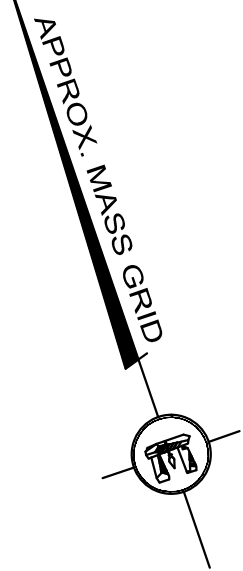
POSTS SHALL BE POSITIONED VERTICALLY AT A DISTANCE NOT TO EXCEED TEN FEET (10') ON CENTER FOR THE ENTIRE LENGTH OF THE SILT FENCE.

SOIL SHALL BE TRENCHED TO ALLOW SIX INCHES (6") OF THE SILT FENCE FABRIC TO FALL BELOW GRADE. POSTS SHALL BE DRIVEN A MINIMUM OF EIGHTEEN INCHES (18") BELOW NATURAL GRADE TO ALLOW SIX INCHES (6") OF MATERIAL TO EXTEND INTO THE TRENCH. TRENCH SHALL BE BACKFILLED TO ORIGINAL GRADE, LEAVING A MINIMUM OF SIX INCHES (6") OF FABRIC BELOW FINISH GRADE. IF THE SILT FENCE IS INSTALLED ON A SLOPE, THE POSTS SHALL BE POSITIONED ON THE DOWNWARD SIDE. IF THE SILT FENCE IS INSTALLED ON A LEVEL SITE, THE POSTS SHALL BE INSTALLED TO THE OUTSIDE OF THE WORK SITE.

CONNECTION/JOINING OF SILT FENCES SHALL BE COMPLETED BY TIGHTLY OVERLAPPING THE ENDS OF THE ROLLS A MINIMUM OF TWELVE INCHES (12") OR BY OVERLAPPING THE END POSTS AND SECURING THE TWO POSTS TOGETHER TIGHTLY WITH PLASTIC WIRE TIES AND/OR STEEL BAILING WIRE.

SILT FENCE DETAIL FOR
TEMPORARY SOIL STOCKPILE AREA

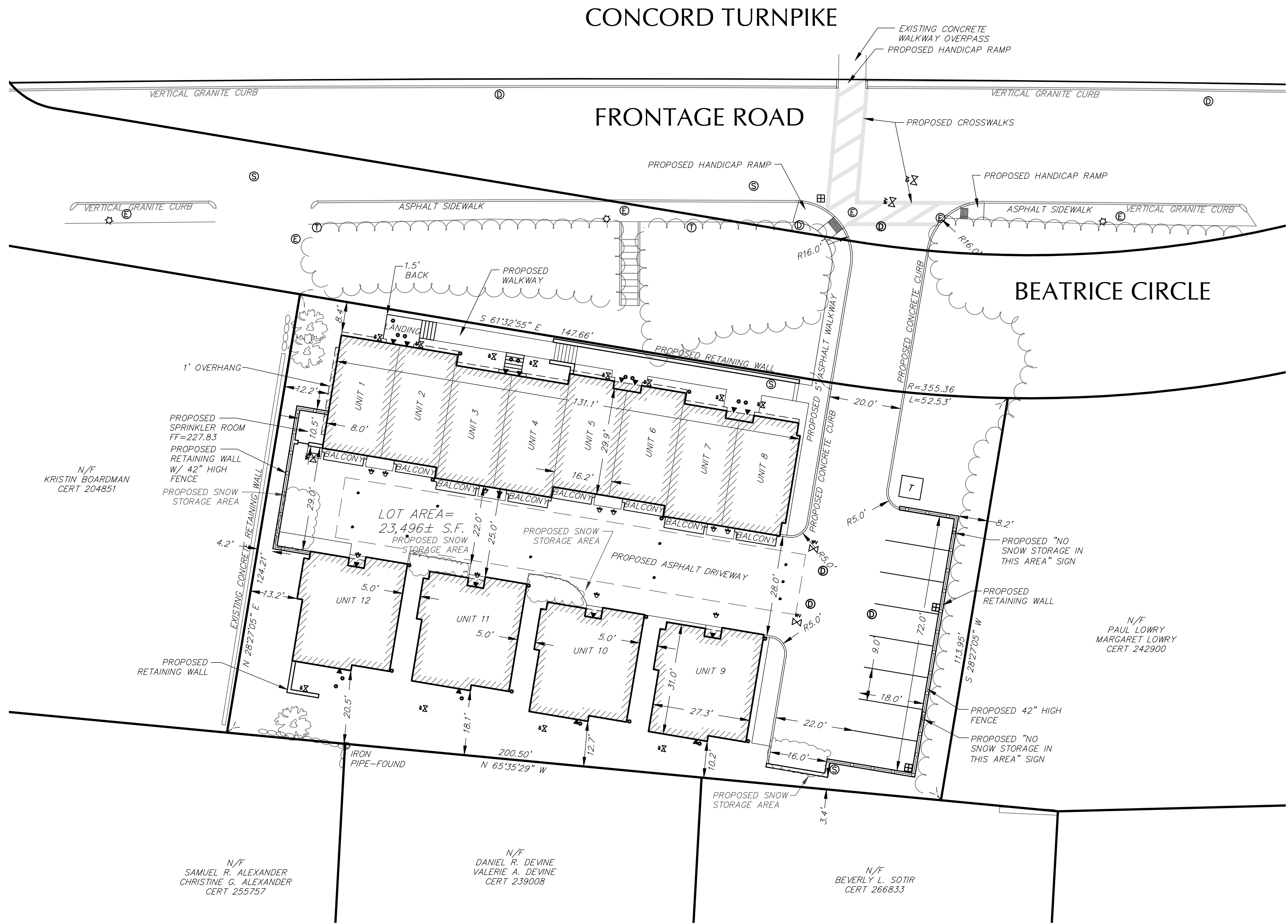
N.T.S.



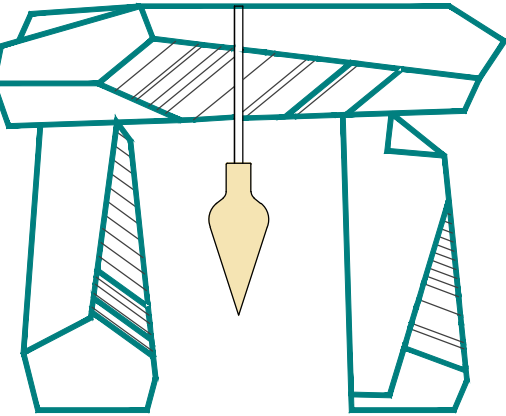
ZONING DISTRICT: SR-A			
DIMENSIONAL REQUIREMENTS	EXISTING	PROPOSED	
MINIMUM LOT AREA (SQ.FT.)	25,000	23,496	23,496
MINIMUM FRONTAGE (FT.)	125	200	200
MAX. BUILDING HEIGHT (FT.)	36		
MIN. SETBACKS (FT.)			
FRONT	30	29.7'	8.4'
SIDE	15	38.4'	12.2'
REAR	40	26.0'	11.0'
MAXIMUM LOT COVERAGE	20%	14.5%	33.0%
MINIMUM OPEN SPACE	50%	81.4%	34.3%

LEGEND:

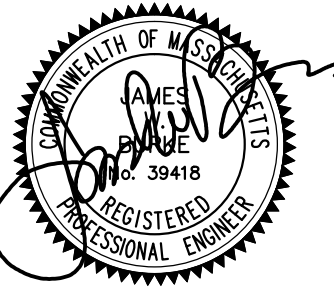
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DeCelle-Burke-Sala



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100(o) 617-405-5101(f)
www.decelle-burke-sala.com



JAMES W BURKE, P.E.

GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
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- PARCEL IS ZONED SR-A.
- FOR PROPOSED BUILDING DIMENSIONS SEE ARCHITECTS PLAN TITLED "91 BEATRICE CIRCLE, BELMONT, MA, PEL SUBMISSION" DATED AUGUST 11, 2020 BY EMBARC.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED LAYOUT

PREPARED FOR:

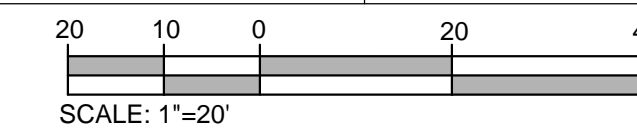
91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

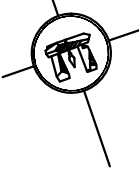
REVISED: APRIL 19, 2021

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SHEET 4 OF 8



APPROX. MASS GRD



CONCORD TURNPIKE

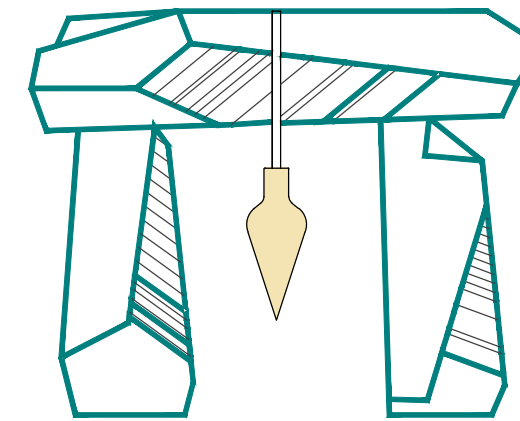
FRONTAGE ROAD

BEATRICE CIRCLE

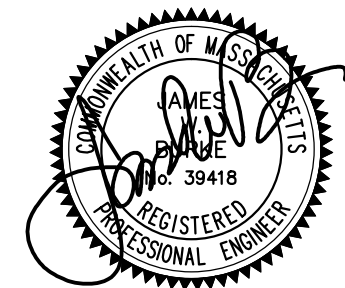
EXISTING:		PROPOSED:	
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	- CHAIN LINK FENCE		- CHAIN LINK FENCE
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PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED GRADING

PREPARED FOR:

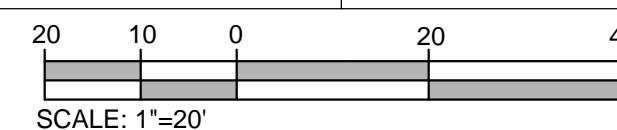
91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

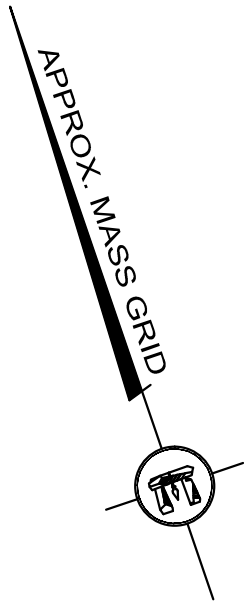
DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

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SHEET 5 OF 8





CONCORD TURNPIKE

FRONTAGE ROAD

BEATRICE CIRCLE

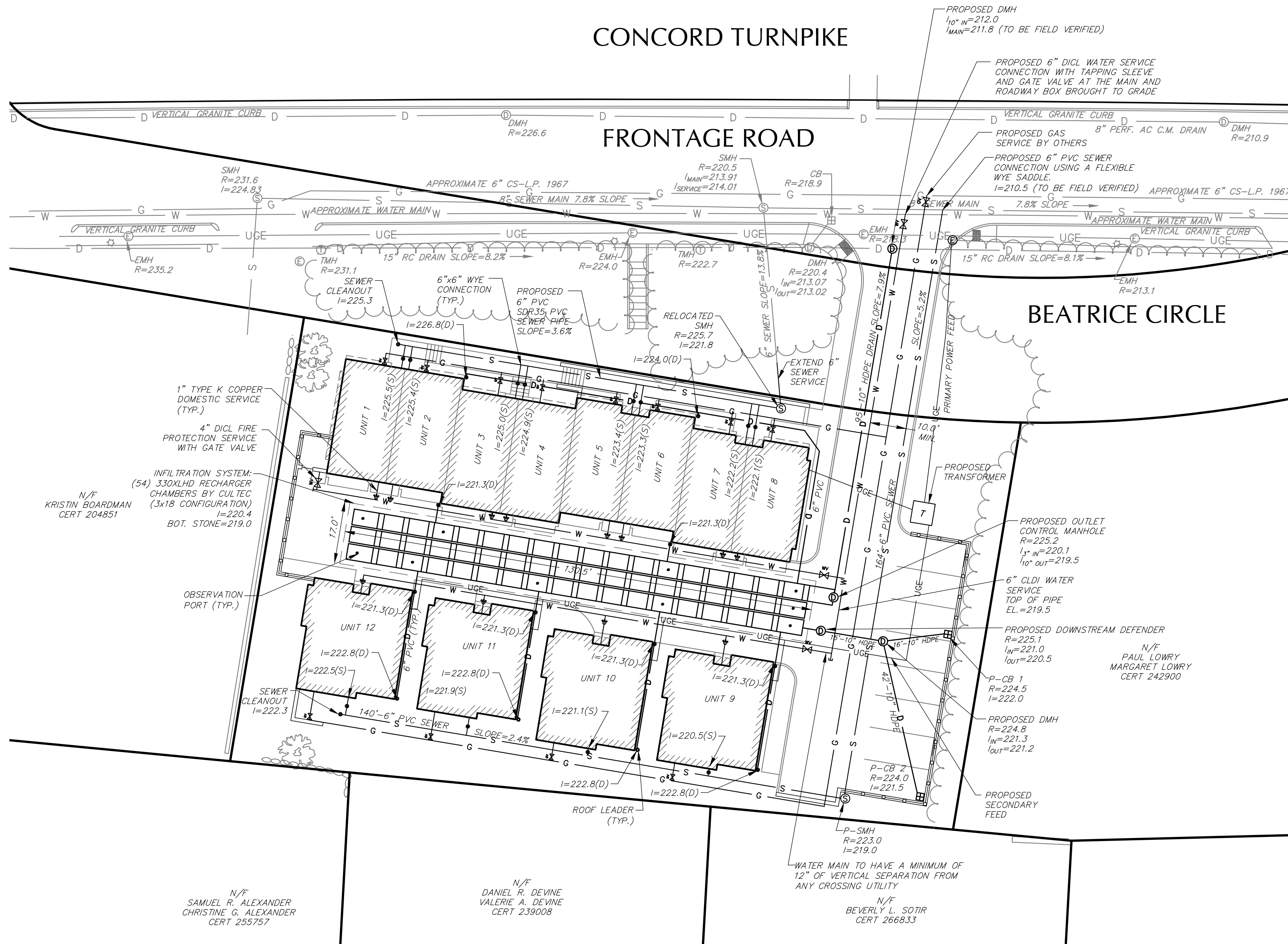
LEGEND:

EXISTING:

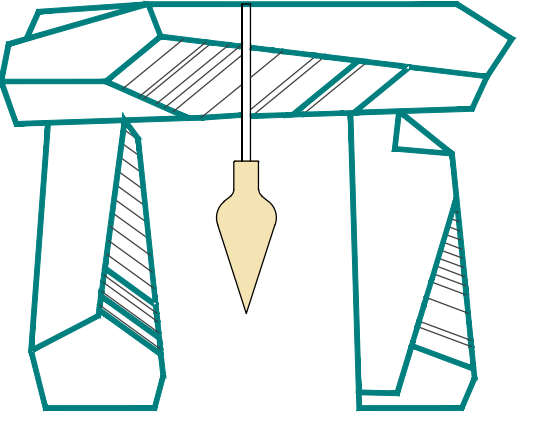
- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- CHAIN LINK FENCE
- TEST PIT
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR
- EROSION CONTROL
- SEWER INVERT
- DRAIN INVERT

PROPOSED:

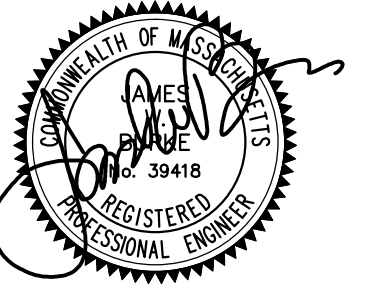
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JAMES W BURKE, P.E.

GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
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- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
- PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED UTILITIES

PREPARED FOR:

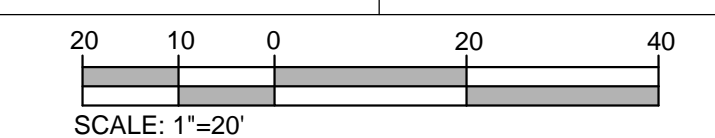
91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

JOB NUMBER: 19.085

SHEET 6 OF 8



PRECAST CONCRETE CATCH BASIN

STANDARD PRE-CAST DRAIN MANHOLE
NOT TO SCALE

PAVEMENT SECTION
NOT TO SCALE

1" WATER SERVICE CONNECTION
NOT TO SCALE

PRECAST CONCRETE CURB
NOT TO SCALE

The drawing consists of two main views: a Plan view at the top and a Section view at the bottom.

Plan View: Shows the top of the manhole. It features a circular brick-lined invert with a brick shelf having a slope of 1 in./ft. The wall of the manhole is shown as a thick circular boundary. A flow arrow indicates the direction of sewer flow. A detail callout shows a cross-section of the joint sealant, labeled "ASTIC OR E-CAST" and "AND 6'".

Section View: Shows the vertical profile of the manhole. Key components and dimensions include:

- Top:** Finished road grade or ground surface, brick as required to adjust to grade (8" max.), and precast concrete transition sections with precast top slab designed for H-20 loading (min.).
- Barrel:** Precast concrete barrel sections with riser multiples of 1', 2', 3', 4', 5' or 6' lengths. The barrel is filled with Korn-Seal barrel sections and mortar, with joints filled with hydraulic cement (non-shrinking mortar). A water proof coating is applied to the outer surface.
- Base:** Precast concrete base, 5" min. wall, resting on an 8" min. compacted crushed stone base. The base is filled with brick or concrete fill.
- Dimensions:** Total width is 24" with 8" sections on either side of the centerline. The barrel diameter is 4' min. The base is 8" min. thick. The invert is 8" min. thick.
- Labels:** Manhole frame & cover (H-20 rated), mortar bed, shelf elevation at same as crown of largest pipe, undisturbed earth or ledge.

PLAN

SECTION

TYPICAL PRECAST SEWER MANHOLE

NOT TO SCALE

NEOPRENE BOOT CONNECTION
NOT TO SCALE

SEWER SADDLE CONNECTION
NOT TO SCALE

NOTES:

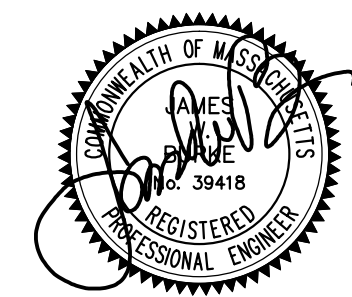
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
- USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
- SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

The diagram illustrates the vertical assembly of a water service connection. At the top, the 'FINISHED STREET GRADE' is shown with a hatched pattern. Below it, a 'SIDEWALK' is indicated. A vertical pipe assembly descends from the street level. The assembly includes a 'BWSC STANDARD VALVE BOX AND COVER' at the top, followed by an 'ACCESS TUBE'. Below the access tube is a 'MASONRY RING' which houses a 'MECHANICAL JOINT TAPPING GATE VALVE'. The pipe continues down to an 'EXISTING WATER MAIN' (labeled as '2" DUCTILE IRON PIPE'). The connection between the new service pipe and the existing main is made using a 'TAPPING SLEEVE' and 'MECHANICAL JOINTS'. A vertical dimension line on the left indicates a depth of '5'-6" TYPICAL' from the street grade to the tapping point. A 'PROPERTY LINE' is shown on the right side of the diagram.

TRENCH WIDTH		
D DIAMETER OF PIPE	W UNSHEETED	W SHEETED
1" TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'

TYPICAL TRENCH SECTIONS
NOT TO SCALE

12R SNOUT
NOT TO SCALE



JAMES W BURKE, P.E.

GENERAL NOTES:

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PLAN REFERENCE: LC PLAN 2367-12
2. ELEVATIONS REFER TO NAVD-88.
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4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FR-50A-00-0416, DATED JUNE 4, 2010.
5. PARCEL IS ZONED SR-2.

PROJECT TITLE & LOCATION

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

CONSTRUCTION DETAILS

PREPARED FOR:

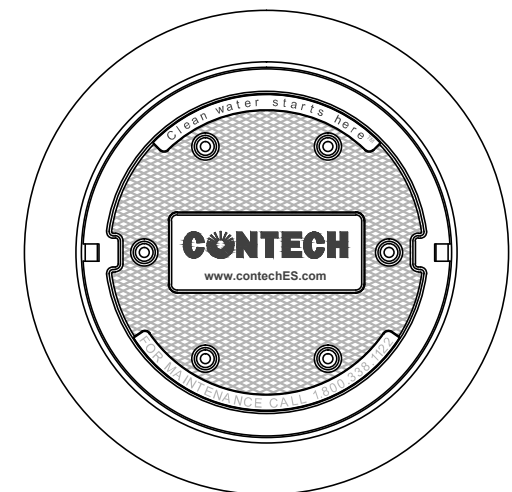
91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

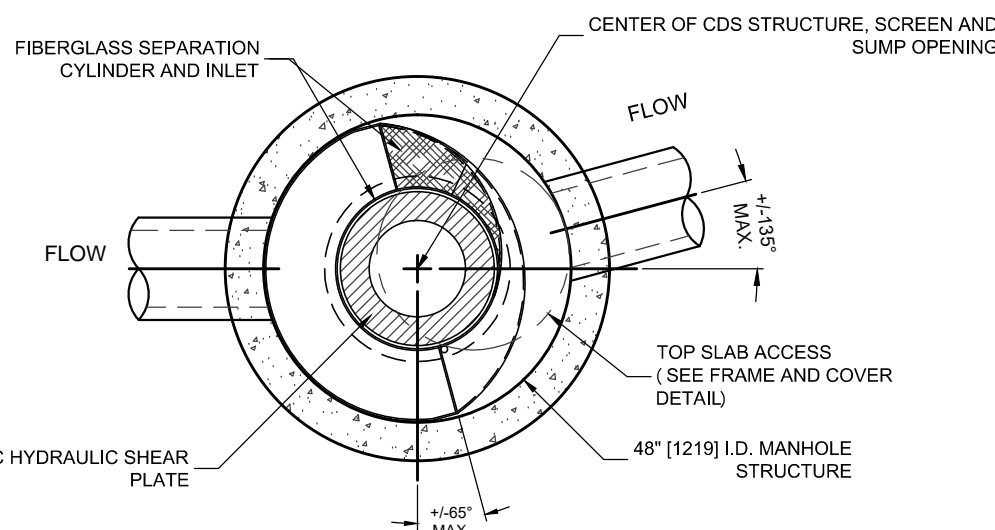
REVISÉ: APRIL 19, 2021

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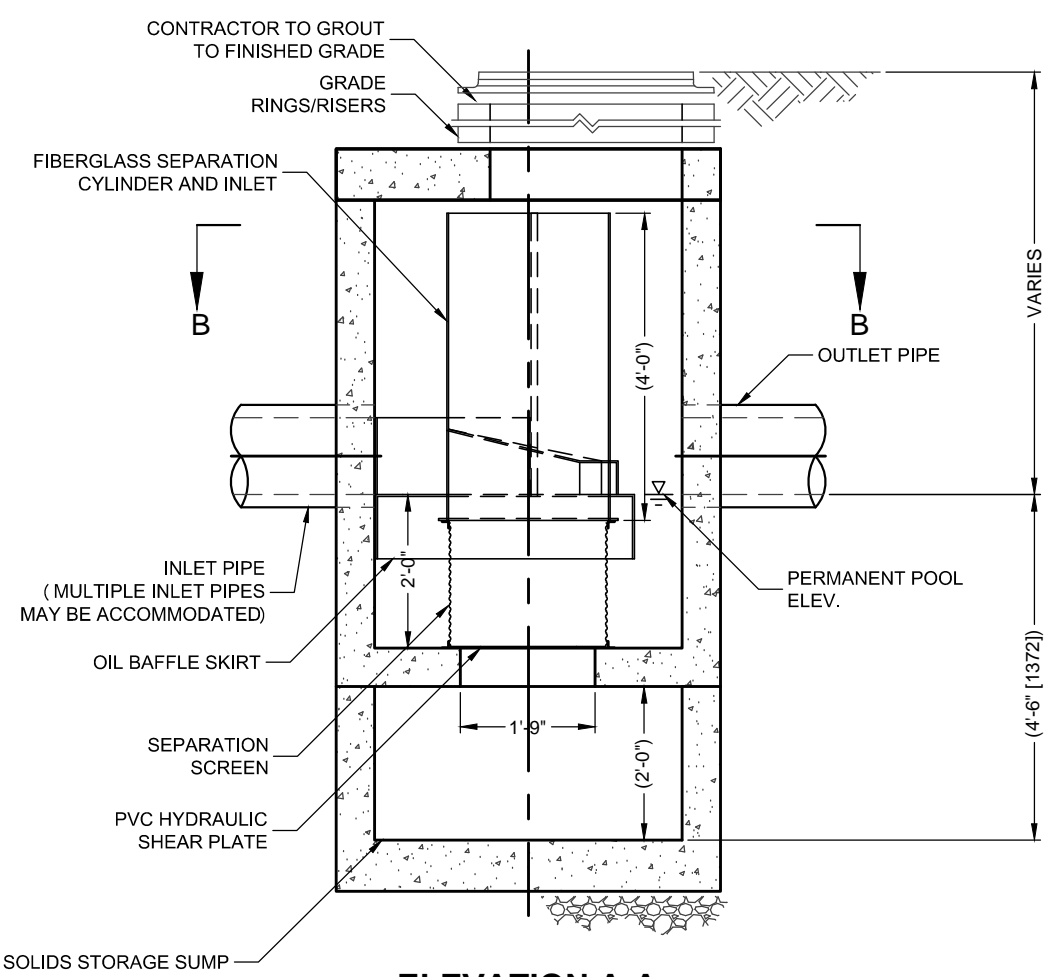
SHEET 7 OF 8



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

GENERAL NOTES

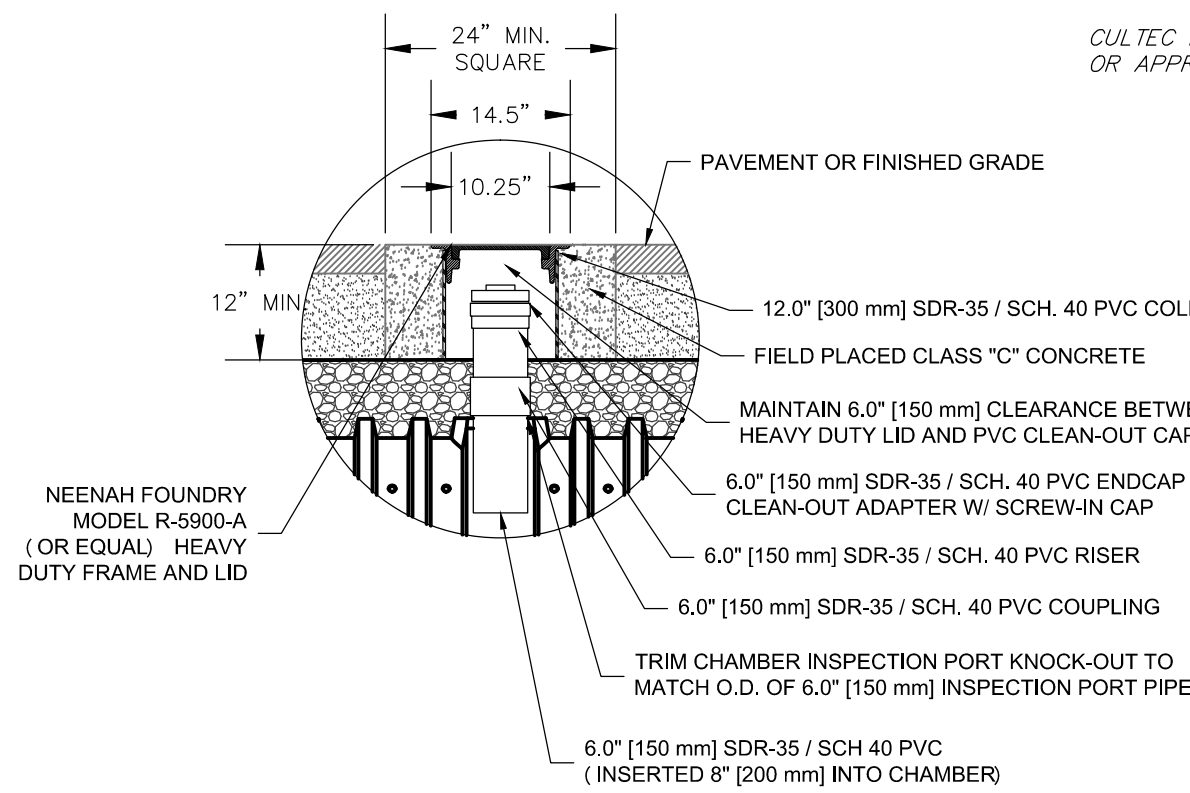
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M 306) LOAD RATING. ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- C. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

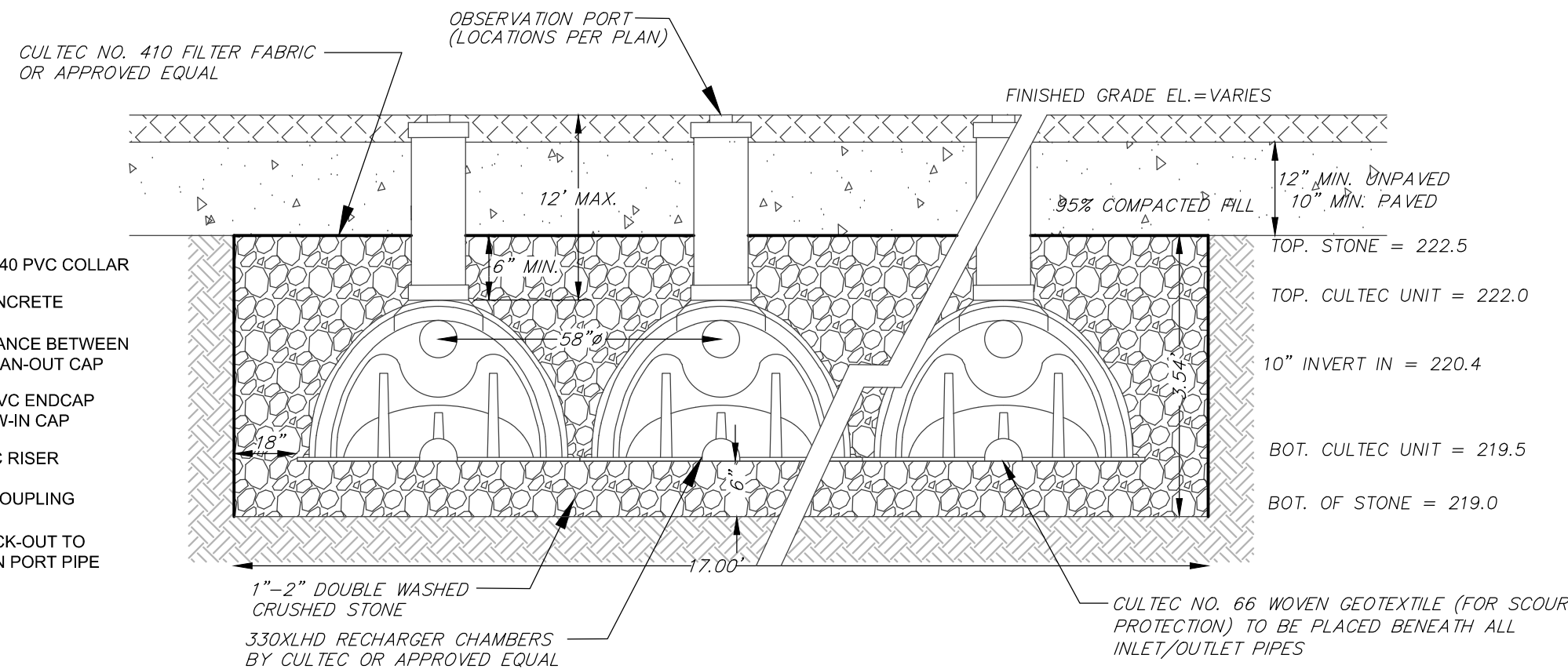
CDS2015-4-C INLINE WATER QUALITY UNIT

NOT TO SCALE



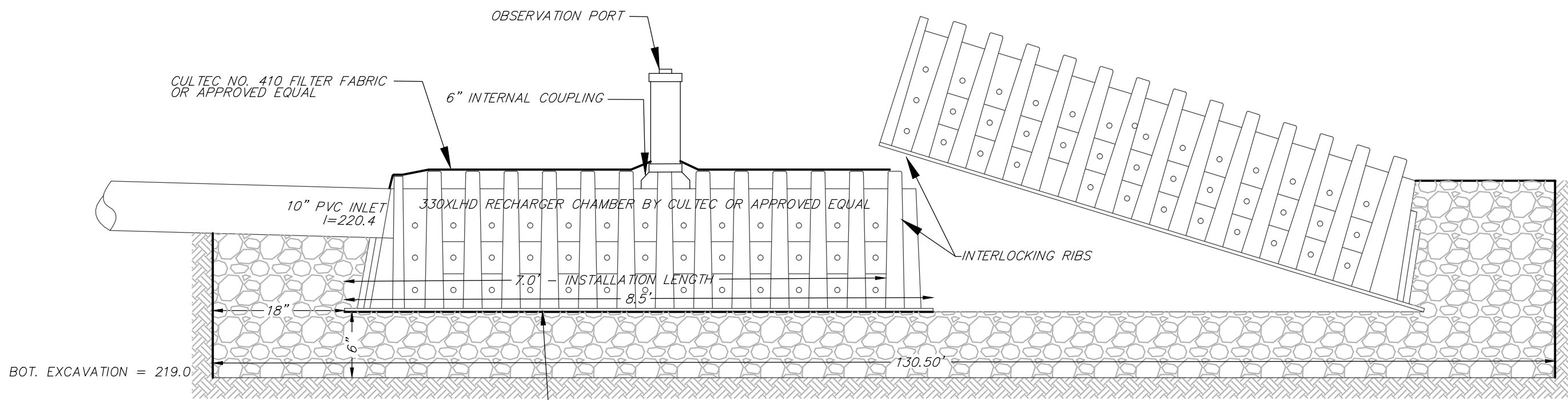
INSPECTION PORT UNDER PAVEMENT

NOT TO SCALE



CULTEC CHAMBER TYPICAL SECTION

NOT TO SCALE



OBSERVATION PORT INSTALLATION NOTES:

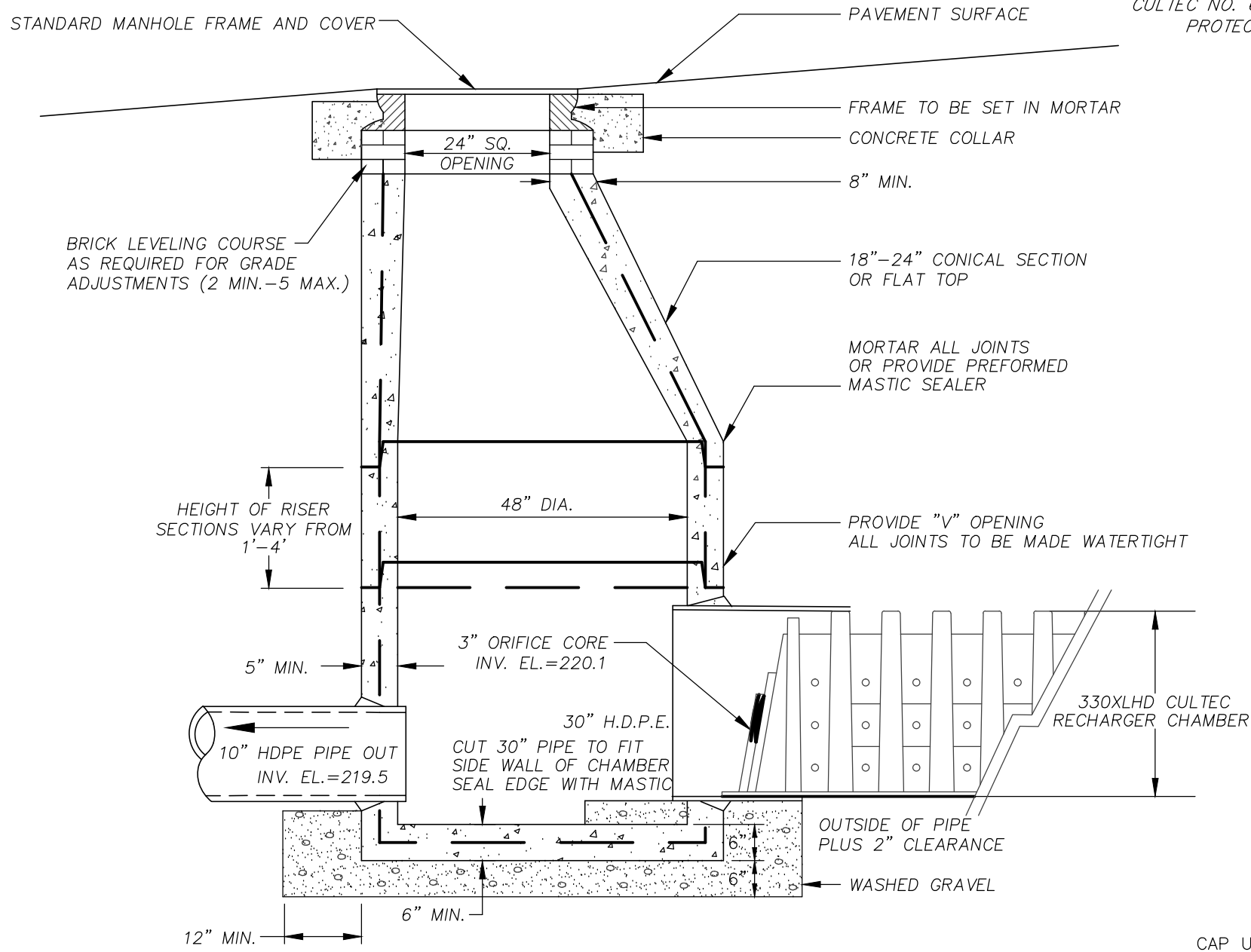
- CONTRACTOR TO CUT 6" HOLE AT TOP OF CHAMBER IN THE CENTER OF THE UNIT.
- INSERT A 6" INTERNAL COUPLING INTO INSPECTION PORT OPENING.
- USE A 6" SCH.40 PVC PIPE TO BRING INSPECTION PORT TO WITHIN 6" OF FINISHED GRADE.
- INSTALL A 6" SCH.40 END CAP OR PLUG.
- BACKFILL IN ACCORDANCE WITH SPECIFICATIONS.

CULTEC CHAMBER INSTALLATION NOTES:

- CONTRACTOR TO INSTALL CULTEC CHAMBERS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- CULTEC NO. 410 FILTER FABRIC OR APPROVED EQUAL TO BE PLACED OVER THE TOP OF THE DRAINAGE SYSTEM PRIOR TO BACKFILL.
- CONTRACTOR TO REMOVE ALL LOAM, SUBSOIL AND ALL DELETERIOUS MATERIAL FROM EXCAVATION PRIOR TO PLACEMENT OF THE STONE BED.

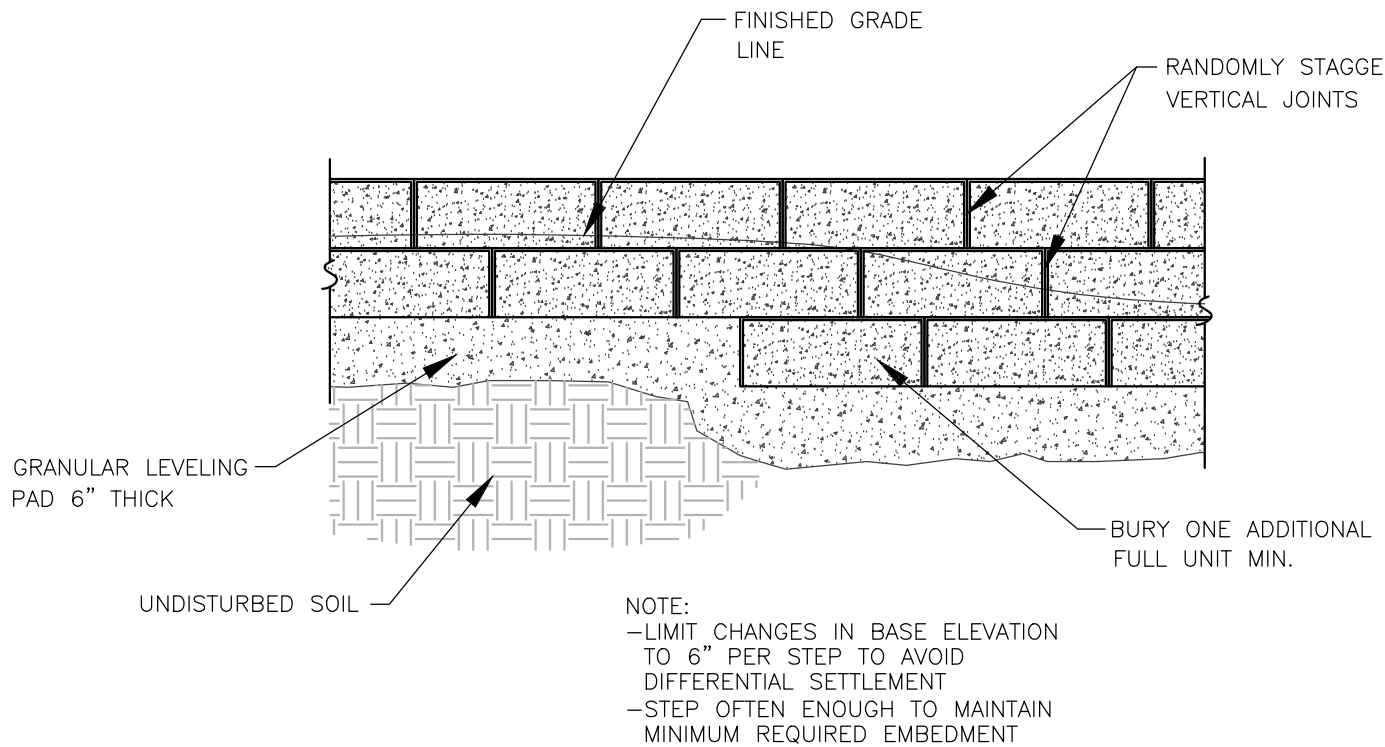
CULTEC CHAMBER TYPICAL PROFILE

NOT TO SCALE



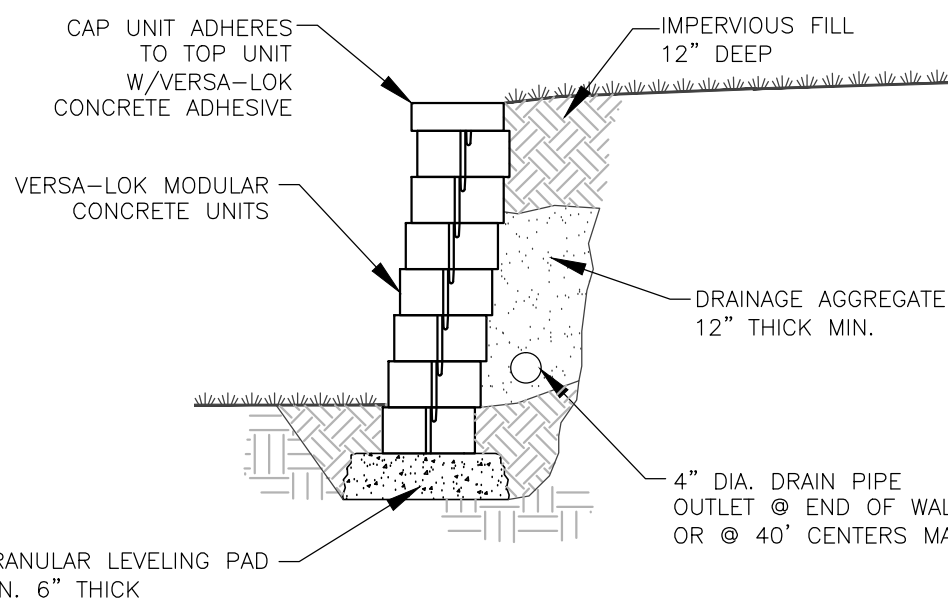
OUTLET CONTROL MANHOLE

N.T.S.



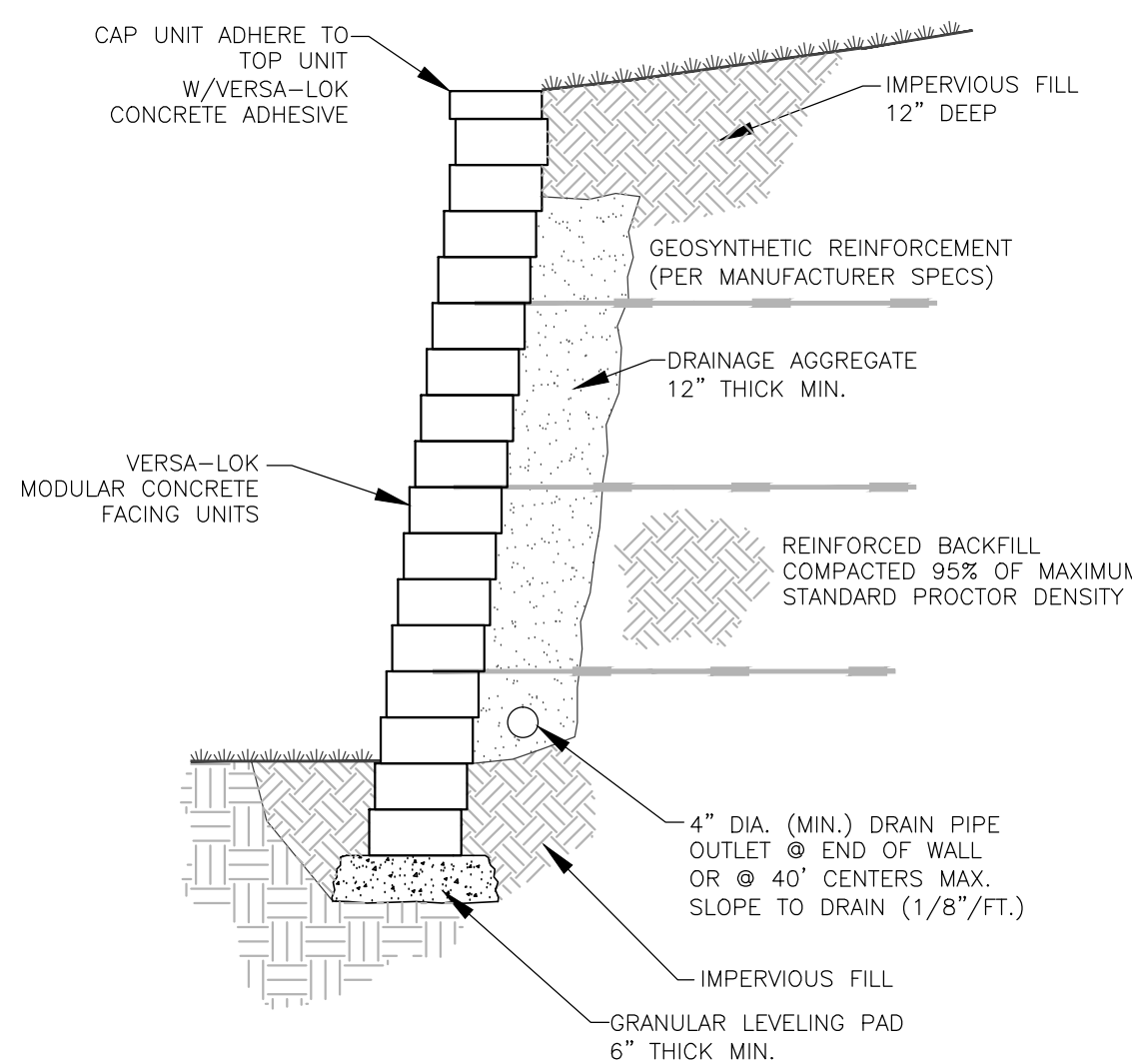
STEPPING BASE DETAIL

NOT TO SCALE



TYPICAL SECTION-UNREINFORCED RETAINING WALL

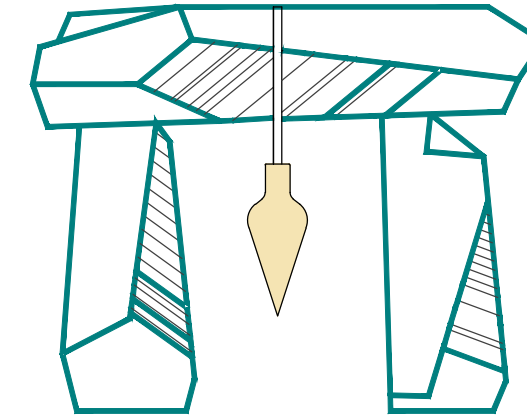
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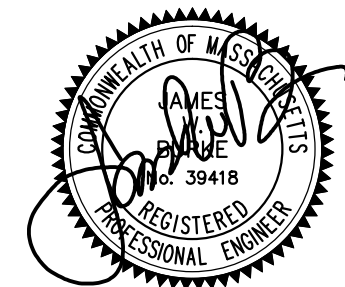
TYPICAL SECTION-REINFORCED RETAINING WALL

NOT TO SCALE

DeCelle-Burke-Sala



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BELMONT, MASS.

PLAN TITLE:

CONSTRUCTION DETAILS

PREPARED FOR:

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SHEET 8 OF 8