

An aerial photograph of Belmont, Massachusetts, showing a network of roads and green spaces. The image is dark and serves as a background for the text.

91 BEATRICE CIRCLE

BELMONT, MA

ARCHITECTURAL DESIGN PRESENTATION

JULY 12, 2021

ARCHITECTURE

SUMMARY OF REVISIONS

REDUCED IMPACT OF REAR TOWNHOUSES

THIRD FLOOR INCORPORATED INTO ROOF STRUCTURE

OVERALL ROOF HEIGHT LOWERED

SECOND FLOOR BALCONIES REMOVED

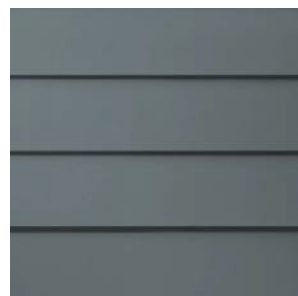




ASPHALT SHINGLES
BLACK



FIBER CEMENT
CLAPBOARD SIDING
WHITE



FIBER CEMENT
CLAPBOARD SIDING
DARK BLUE



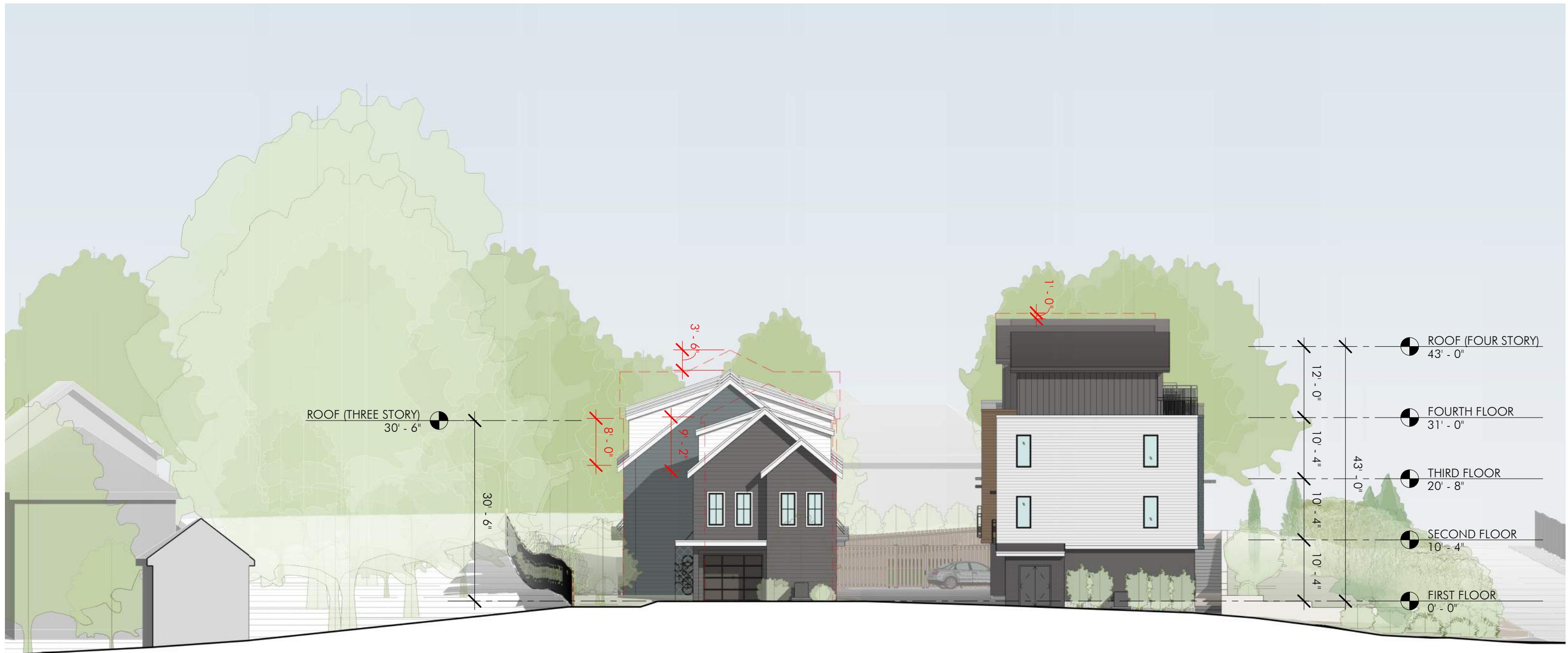
FIBER CEMENT
CLAPBOARD SIDING
MEDIUM GRAY



FIBER CEMENT
VERTICAL BOARD & BATTEN
WHITE







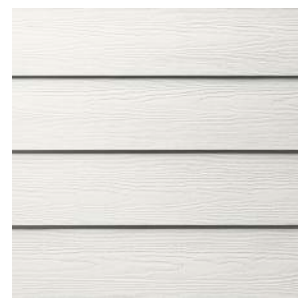








IRONSPOT MASONRY



FIBER CEMENT
CLAPBOARD SIDING
LIGHT GRAY



FIBER CEMENT
SHINGLE SIDING
DARK BLUE



CEDAR SHIPLAP SIDING
NATURAL FINISH



FIBER CEMENT
CLAPBOARD SIDING
MEDIUM GRAY



FIBER CEMENT
SHINGLE SIDING
DARK GREEN



FIBER CEMENT
VERTICAL BOARD & BATTEN
DARK GRAY



SUMMARY OF REVISIONS

REDUCED IMPACT OF REAR TOWNHOUSES

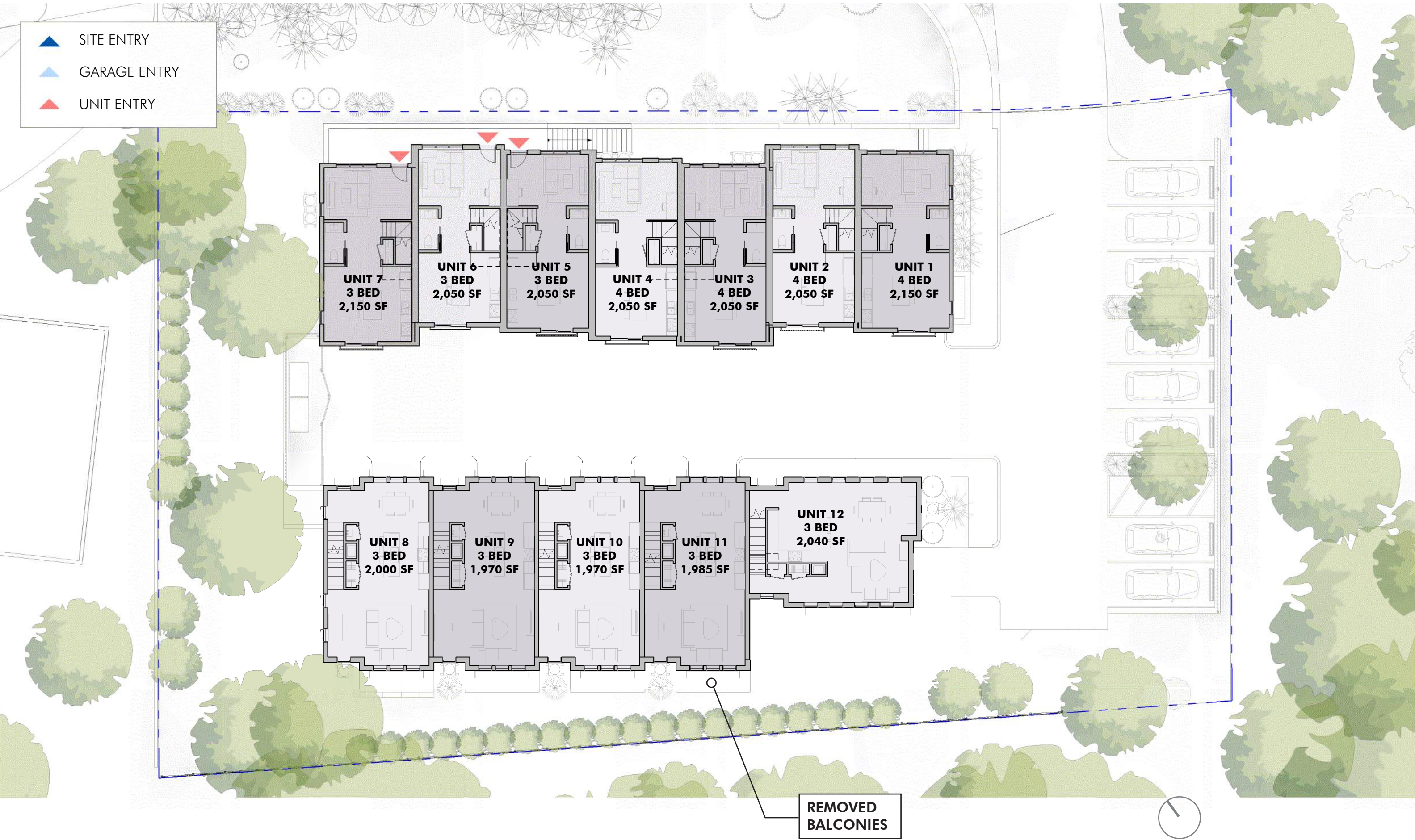
RECONFIGURED ELEMENTS OF SITE PLAN

REDUCED IMPACT ON EXISTING TREES AT WEST OF SITE

RELOCATED SHARED PATIO SPACE

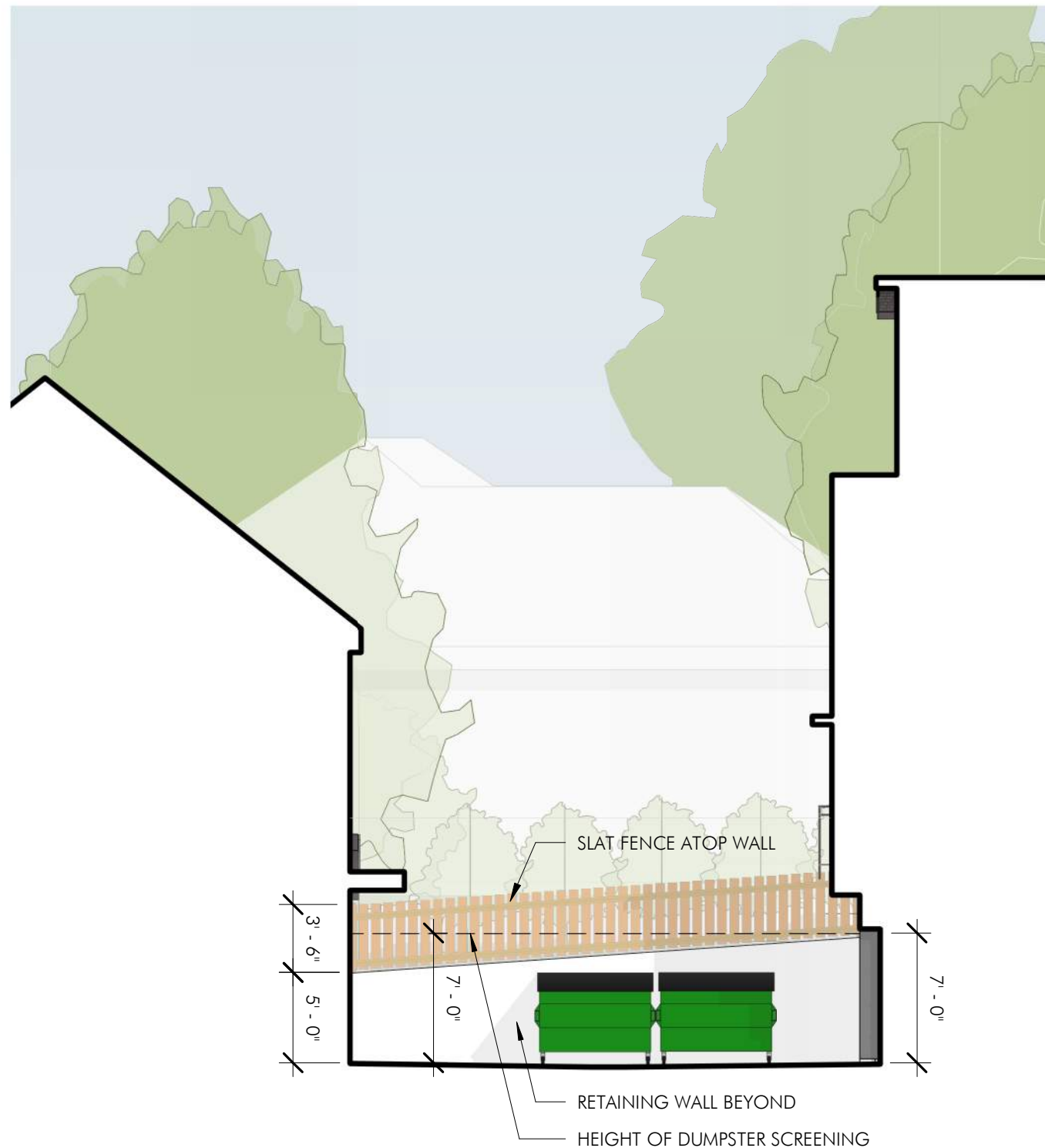
INTRODUCED ADDITIONAL PARKING SPACE

INCREASED CLEARANCE BETWEEN TOWNHOUSE ROWS











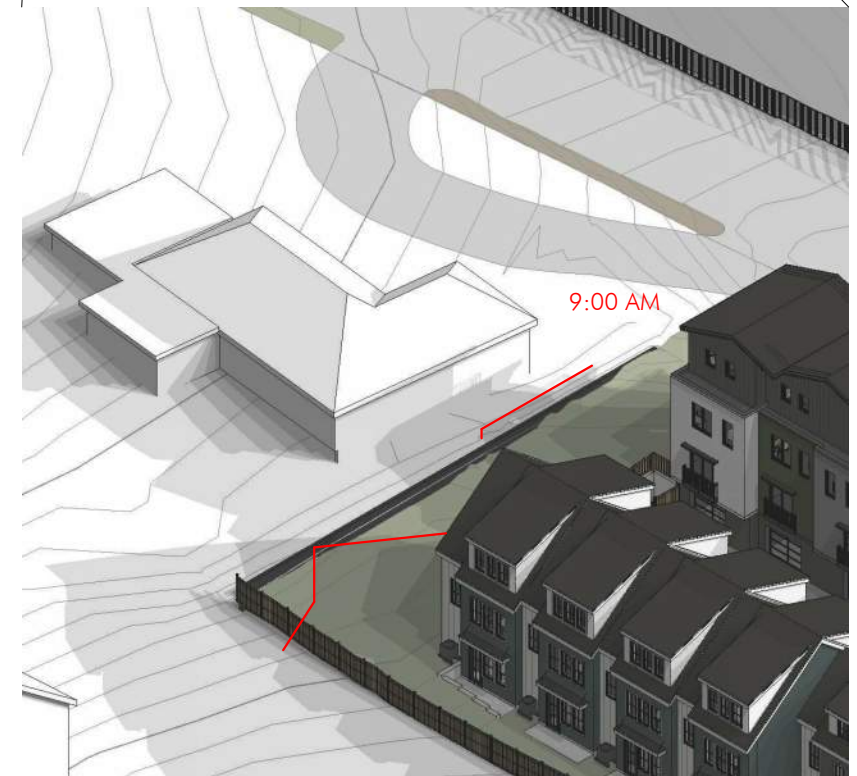
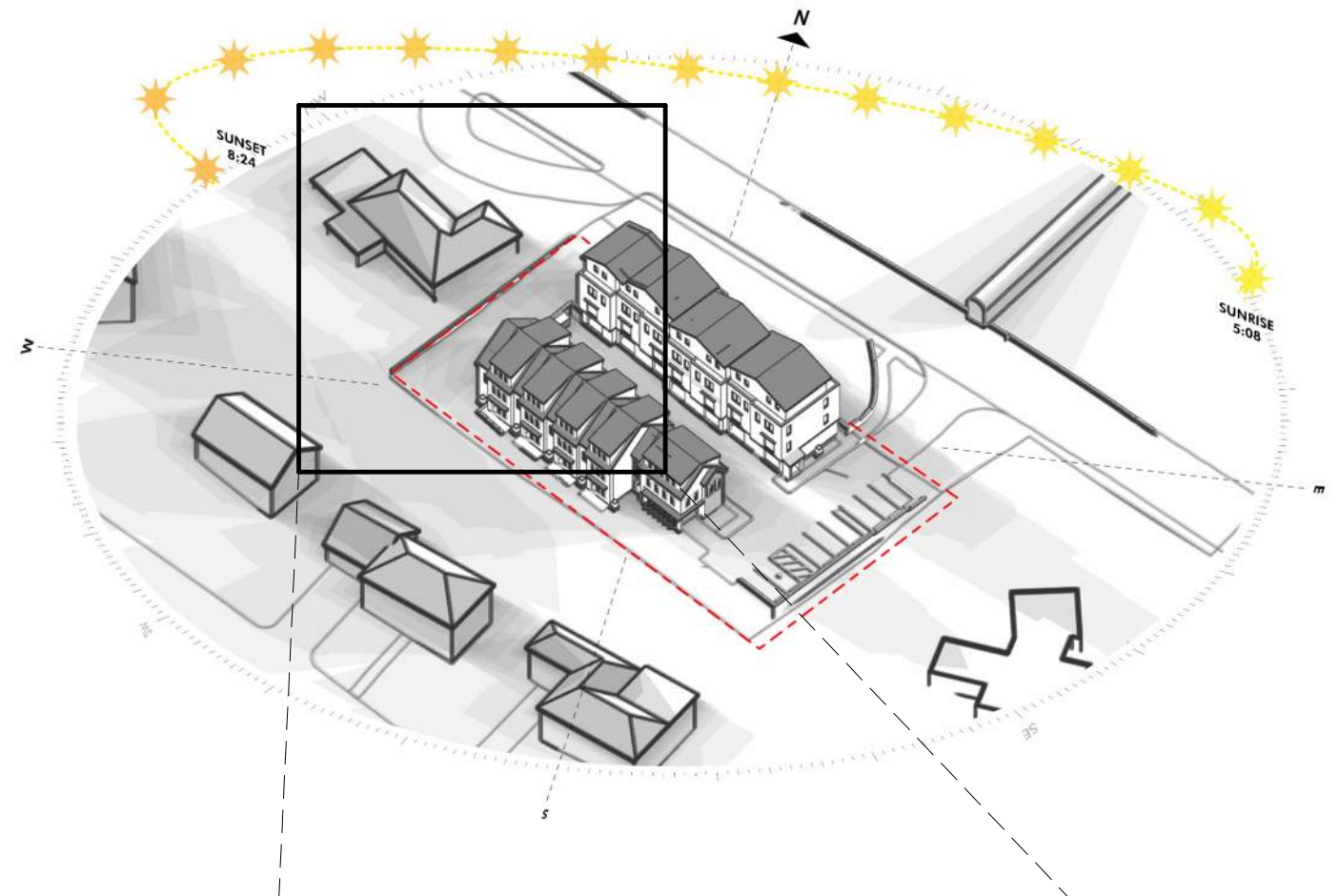
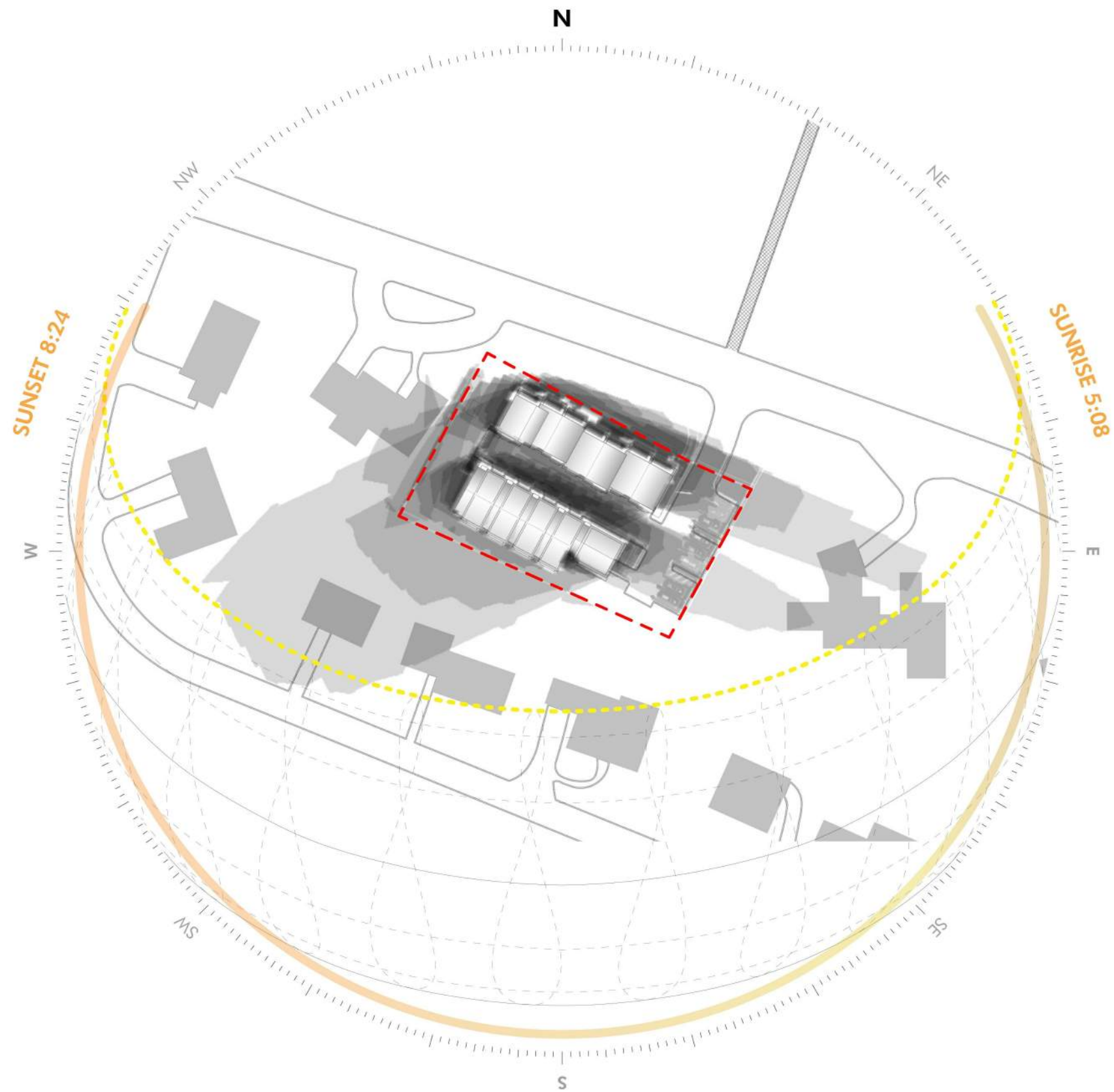


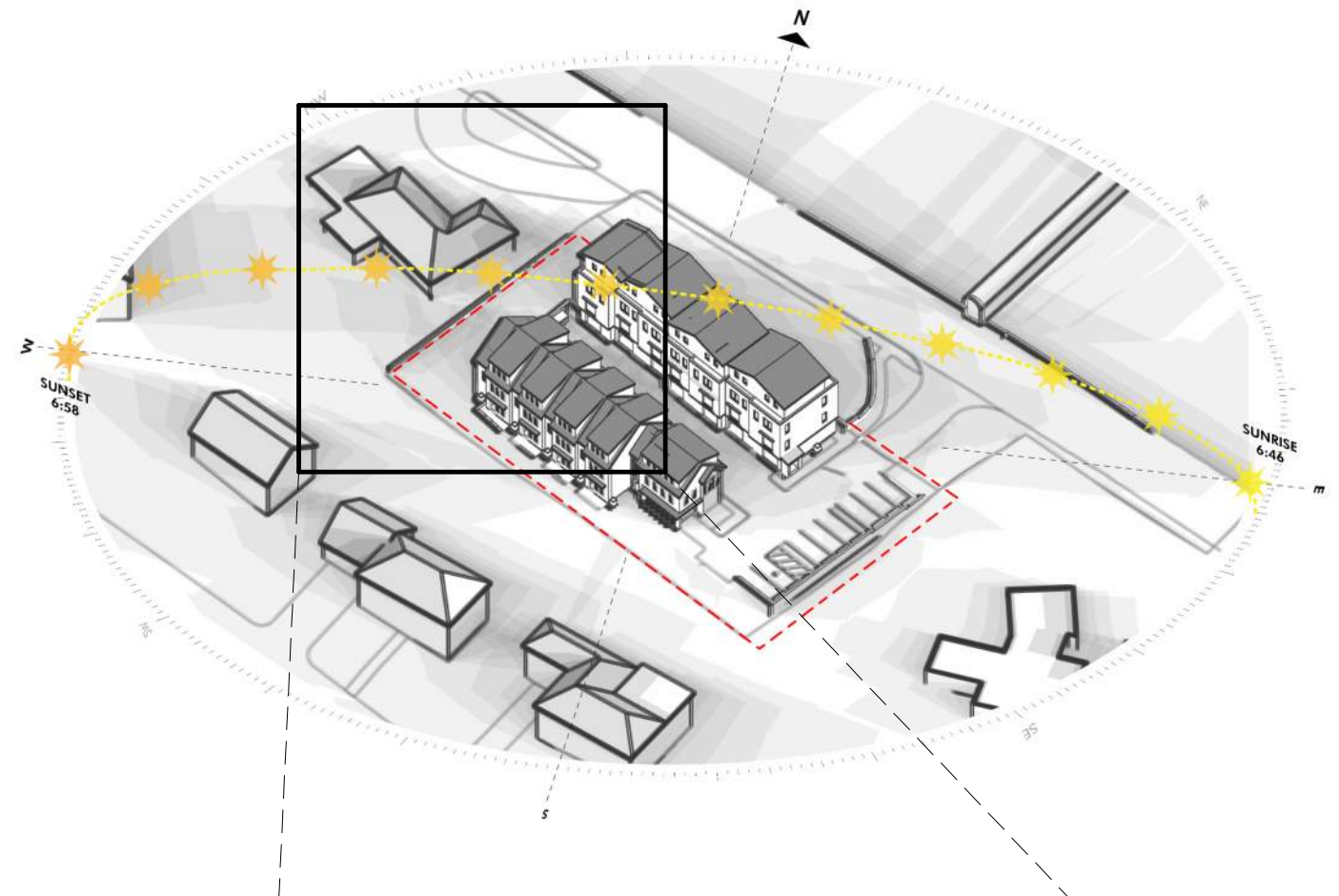
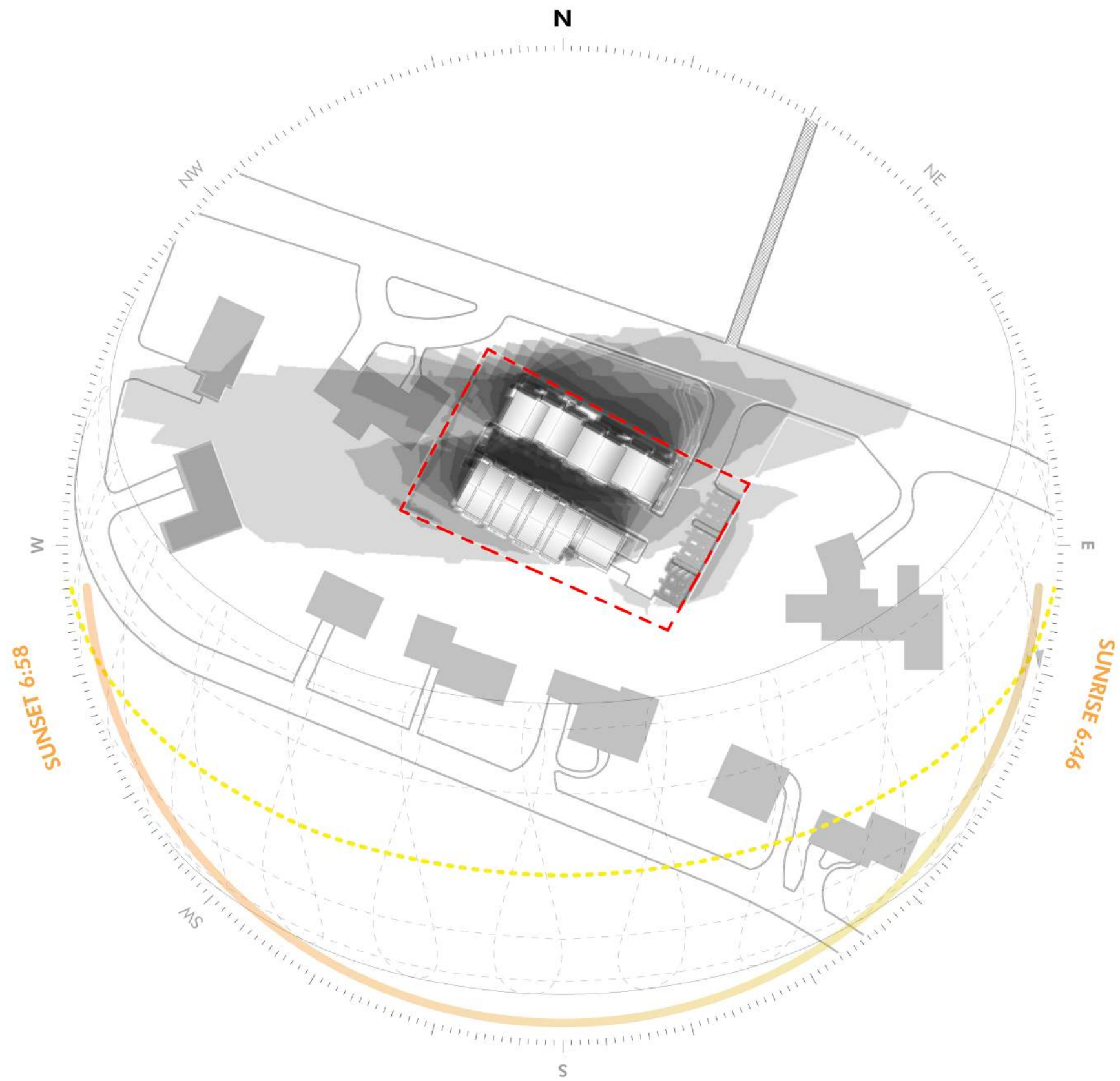
SUMMARY OF REVISIONS

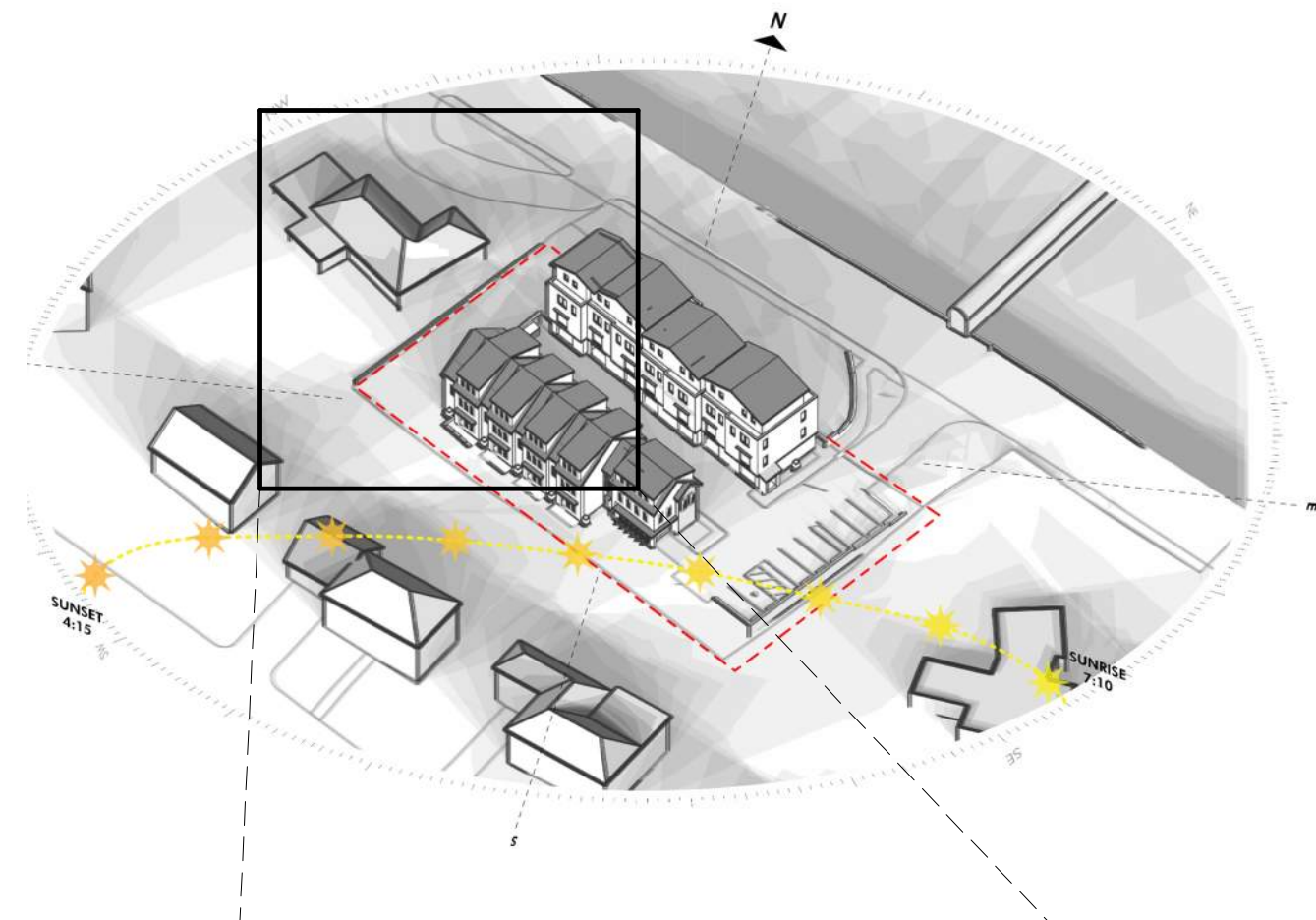
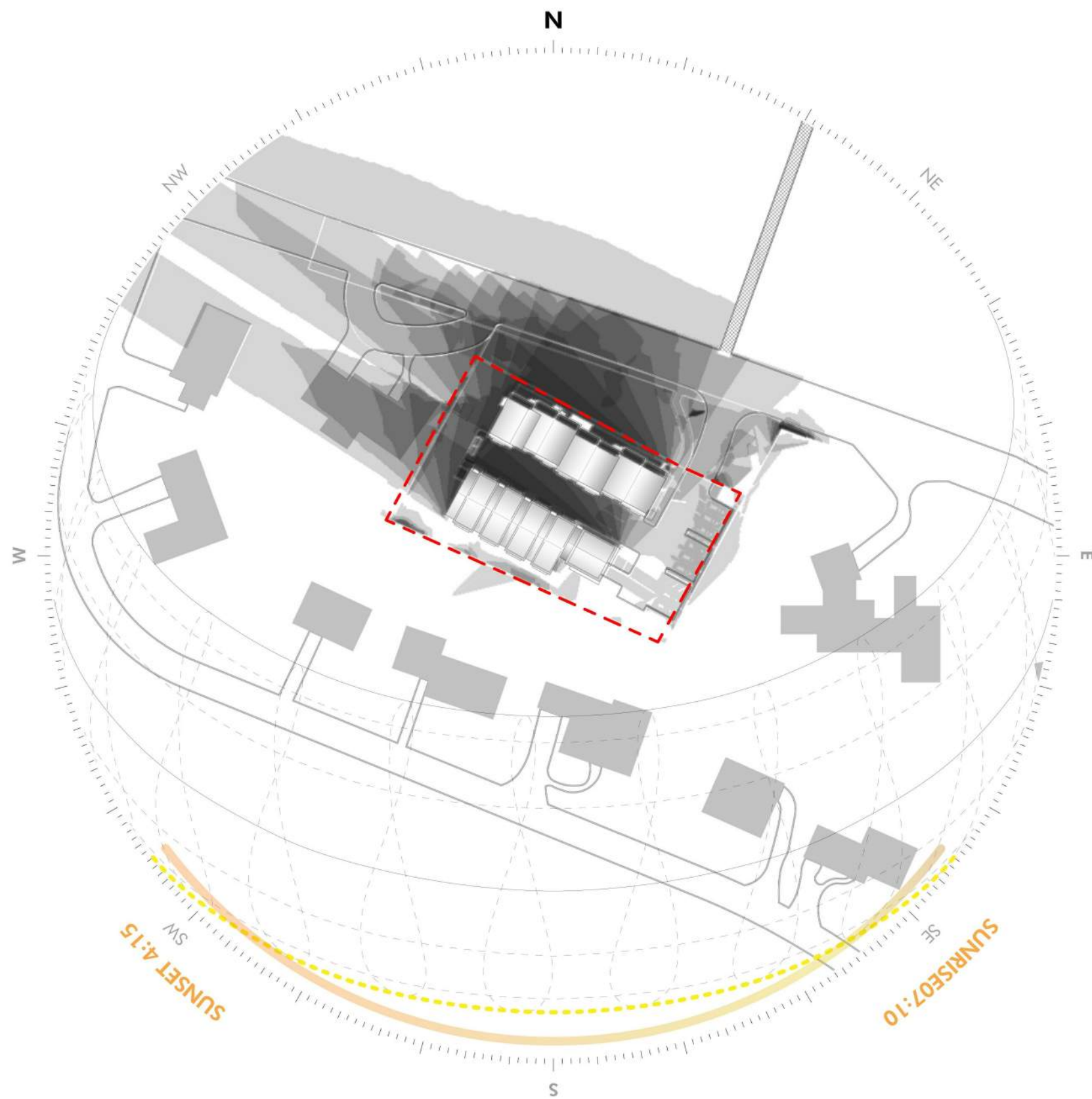
REDUCED IMPACT OF REAR TOWNHOUSES

RECONFIGURED ELEMENTS OF SITE PLAN

UPDATED SHADOW STUDIES







91 BEATRICE CIRCLE

Site Area	23,496
Total Building GSF	24,515
FAR	1.04
Total Footprint GSF	7,235
Site Coverage	31%
Building Height (Four Story Townhouse)	43 FT
Building Height (Three Story Townhouse)	30 FT 6 IN
Total Parking Spaces	21
In-Unit Garage Space	12
Surface Parking Spaces	9
Parking Ratio	1.75

Building Type	Area (GSF)	Footprint (GSF)
Four Story Townhouse (Units 1-7)		3,740
Floor 1 (7 Garage Parking Spaces included)	3,740	
Floor 2	4,030	
Floor 3	4,030	
Floor 4	2,750	
Total Building (GSF)	14,550	
Three Story Townhouse (Units 8-12)		3,495
Floor 1 (5 Garage Parking Spaces included)	3,495	
Floor 2	3,520	
Floor 3	2,950	
Total Building (GSF)	9,965	
TOTAL	24,515	7,235

Total Residential Units	12	Avg. Area
3 Bedroom (Three-Story Townhouse)	5 (42%)	1,995
3 Bedroom (Four-Story Townhouse)	3 (25%)	2,085
4 Bedroom (Four-Story Townhouse)	4 (33%)	2,075

LANDSCAPE ARCHITECTURE



VERDANT

LANDSCAPE PLAN
91 BEATRICE CIRCLE
BELMONT, MA

JULY 7, 2021

L1



Columnar Sweet Gum



Pillar Pin Oak



Green Giant Red Cedar



Red Oak



Pennsylvania Carex



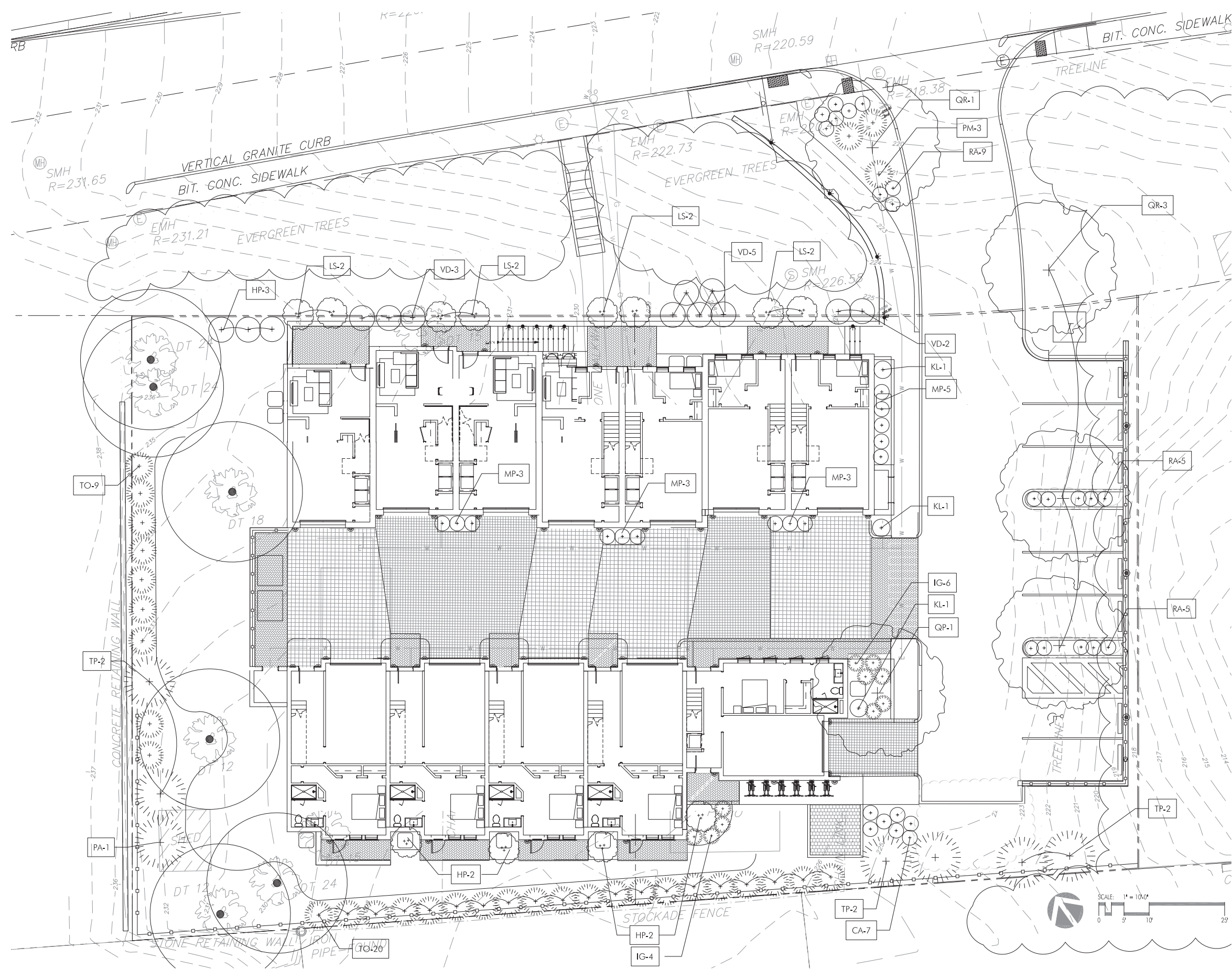
Vinca



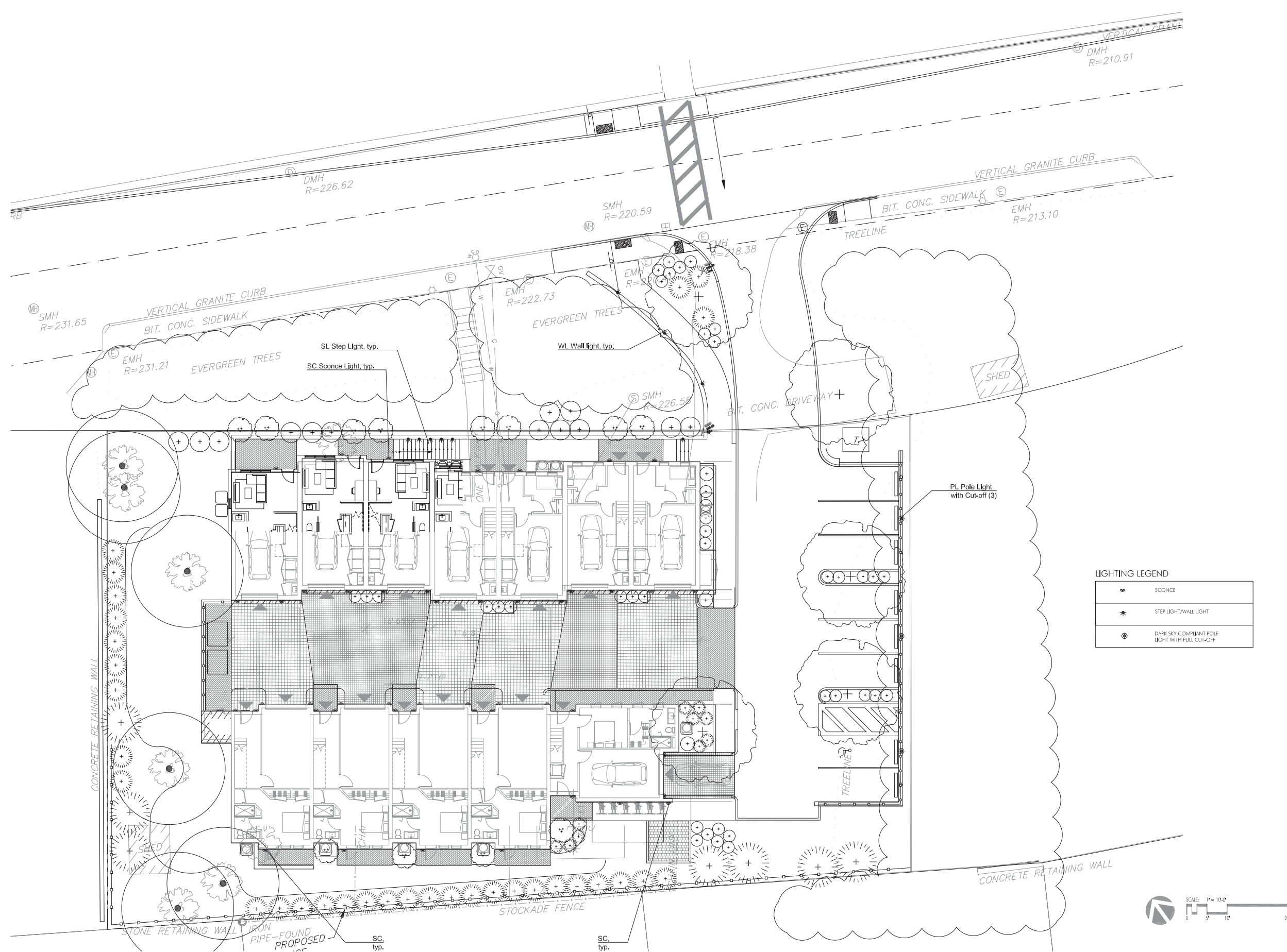
Rhododendron



Mountain Laurel



PROPOSED PLANT LIST					
SYMB		LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
PA	1	Picea abies	Norway Spruce	7-8' ht.	b&b
TP	5	Thuja plicata 'Green Giant'	Green Giant Western Red Cedar	7-8' ht.	b&b
TO	27	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	7-8' ht.	b&b
LS	7	Liquidambar styraciflua 'Slend. Silhouette'	Slender Silhouette Sweetgum	2-2.5" cal.	b&b
QP	1	Quercus palustris 'Green Pillar'	Green Pillar Pin Oak	3-3.5" cal.	b&b
QR	4	Quercus rubra	Red Oak	2-2.5" cal.	b&b
SHRUBS					
CA	7	Clethra alnifolia	Summersweet	3 gal.	
HP	7	Hydrangea paniculata 'Grandiflora'	Pee Gee Hydrangea	7 gal.	
IG	10	Ilex glabra 'Densa'	Inkberry	5 gal.	
KL	3	Kalmia latifolia	Mountain Laurel	24" ht.	
MP	14	Myrica pennsylvanica	Northern Bayberry	24-36" ht.	
PM	3	Pinus mugo 'Pumila'	Dwarf Mugo Pine	5 gal.	
RA	19	Rhus aromatica 'Lo Gro'	Lo Gro Sumac	5 gal.	
VD	10	Virburnum dentatum	Arrowwood Viburnum	3'-4' ht.	
PERENNIALS & GRASSES					
cp	110	Carex pennsylvanica	Pennsylvania Carex	2" plug	12" o.c
ls	46	Liriope spicata	Lilyturf	2 gal	
vm	209	Vinca minor	Myrtle	2 gal	



Sconce by Bega



Step Light/Wall Light by Bega



Pole Light by Sternberg
With shield and dialer

CIVIL ENGINEERING

DATE: 12/5/2019
TEST BY: KAMERON CAMPBELL, SE #14227

SOIL TEST PIT DATA:

TEST PIT 1
GRD. EL. 225.0
GW. EL. NGWO
0" FILL, SANDY LOAM, 10YR3/2 Granular, Very Friable
10" FILL, SANDY LOAM, 10YR3/4 Massive, Friable
48" Apb, SANDY LOAM, 10YR3/2 Granular, Very Friable
54" Bw, SANDY LOAM, 10YR4/6 Massive, Friable
88" R, Ledge

TEST PIT 2
GRD. EL. 224.7
GW. EL. NGWO
0" FILL, SANDY LOAM, 10YR3/2 Granular, Very Friable
11" FILL, SANDY LOAM, 10YR3/4 Massive, Friable
41" Apb, SANDY LOAM, 10YR3/2 Granular, Very Friable
50" Bw, SANDY LOAM, 7.5YR4/4 Massive, Friable
60" R, Ledge

TEST PIT 3
GRD. EL. 229.8
GW. EL. NGWO
0" Ap, SANDY LOAM, 10YR3/3 Granular, Very Friable
12" Bw, SANDY LOAM, 10YR4/6 Massive, Friable
37" C ₃ FINE LOAMY SAND, 5Y5/2 Massive, Friable Some gravel
77" C ₂₈ FINE LOAMY SAND, 5Y5/2, Massive, Firm Very gravelly
99" R, Ledge

DATE: 05/12/2021
TEST BY: KAMERON CAMPBELL, SE #14227

TEST PIT 4
GRD. EL. 223.5
GW. EL. NGWO
0" FILL, SANDY LOAM, 10YR3/2 Massive, Very Friable
10" FILL, SANDY LOAM, 2.5Y4/2 Massive, Friable
36" Apb, SANDY LOAM, 5Y4/2 Massive, Very Friable
42" Bw, SANDY LOAM, 10YR4/6 Massive, Friable
69" C, SANDY LOAM, 5Y4/2 Massive, Friable Cobbles(±10%)
110" R, Ledge

TEST PIT 5
GRD. EL. 230.3
GW. EL. NGWO
0" Ap, SANDY LOAM, 10YR3/2 Granular, Very Friable
12" Bw, SANDY LOAM, 10YR4/6 Massive, Friable
35" C ₂₈ SANDY LOAM, 5Y4/2 Massive, Firm Gravelly(±10%), Soil friable once removed from wall face
71" R, Ledge

SOIL TEST PIT DATA:

TEST PIT 6
GRD. EL. 229.8
GW. EL. NGWO
0" Ap, SANDY LOAM, 10YR3/2 Granular, Very Friable
12" Bw, SANDY LOAM, 10YR4/6 Massive, Friable
42" C ₃ SANDY LOAM, 5Y4/2 Massive, Friable Gravelly(±30%) grittier than C ₂
72" C ₂₈ SANDY LOAM, 5Y4/2 Massive, Firm Very gravelly(±40%) Cobbles(±10%) Soil friable once removed from wall face
107" R, Ledge

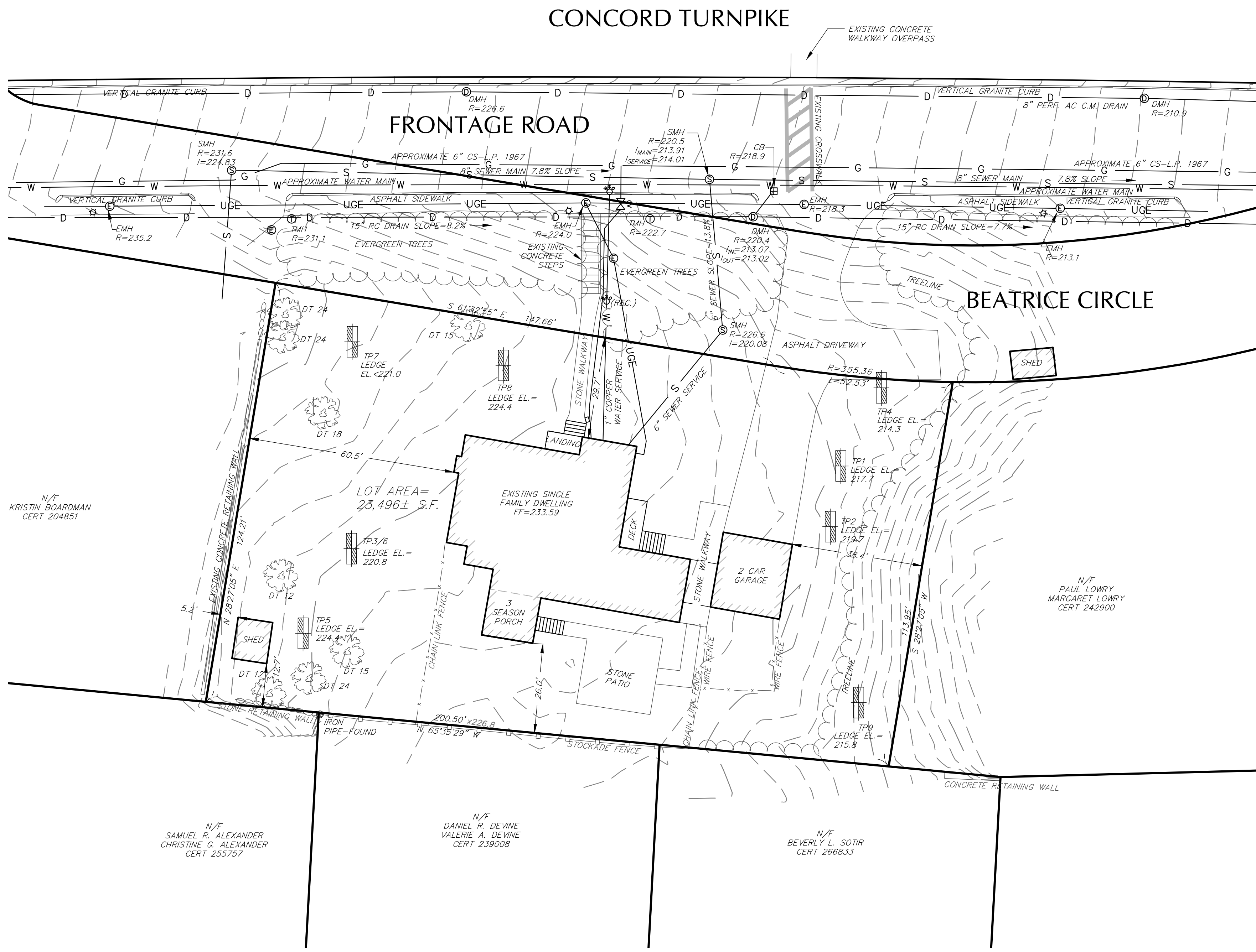
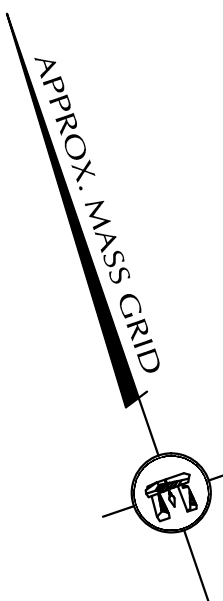
TEST PIT 7
GRD. EL. 234.2
GW. EL. NGWO
0" FILL, SANDY LOAM, 10YR3/2 Massive, Very Friable
10" FILL, SAND 2.5Y6/6 Single Grained, Loose
34" Apb, SANDY LOAM, 5Y4/2 Massive, Very Friable
37" Bw, SANDY LOAM, 10YR4/6 Massive, Friable
72" C, SANDY LOAM, 5Y4/2 Massive, Friable Cobbles(±10%)
144" R, Ledge

TEST PIT 8
GRD. EL. 231.0
GW. EL. NGWO
0" FILL, SANDY LOAM, 10YR3/2 Massive, Very Friable
24" Apb, SANDY LOAM, 10YR3/2 Massive, Very Friable
30" Bw, SANDY LOAM, 7.5YR4/4 Massive, Friable
*very gravelly throughout entire test pit
79" R, Ledge

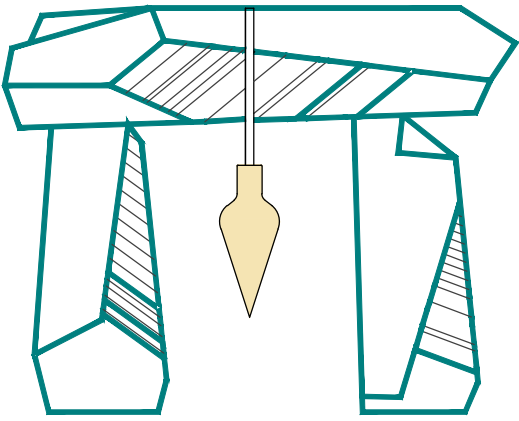
TEST PIT 9
GRD. EL. 220.8
GW. EL. NGWO
0" Ap, SANDY LOAM, 10YR3/2 Granular, Very Friable
12" Bw, SANDY LOAM, 10YR5/4 Massive, Friable
32" C ₃ SANDY LOAM, 5Y5/2 Massive, Friable Gravelly(±30%) Cobbles(±10%)
60" R, Ledge

*No groundwater or any signs of groundwater observed in any of the test pits performed.

- LEGEND:
- EXISTING:
- LOCUS PROPERTY LINE
 - TREE LINE
 - SEWER MANHOLE (SMH)
 - DRAIN MANHOLE (DMH)
 - CATCH BASIN (CB)
 - STONEWALL
 - GAS VALVE
 - WATER VALVE
 - WATER SERVICE
 - HYDRANT
 - UTILITY POLE
 - NOW OR FORMERLY
 - DRAIN PIPE
 - WATER MAIN
 - GAS SERVICE
 - UNDERGROUND POWER
 - OVERHEAD WIRES
 - SEWER MAIN
 - LANDSCAPED AREA
 - GRADE
 - SPOT GRADE
 - CHAIN LINK FENCE
 - STOCKADE FENCE
 - TEST PIT
 - HAND HOLES FOR UTILITIES
 - LIGHT POLE
 - FIRST FLOOR



DeCelle-Burke-Sala



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CLAUDIO SALA, PLS

GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40B AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C--00416E, DATED JUNE 4, 2010.
- PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

EXISTING CONDITIONS

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

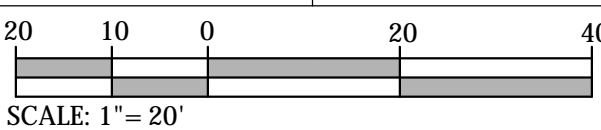
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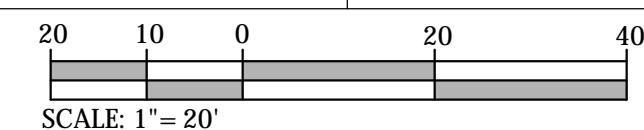
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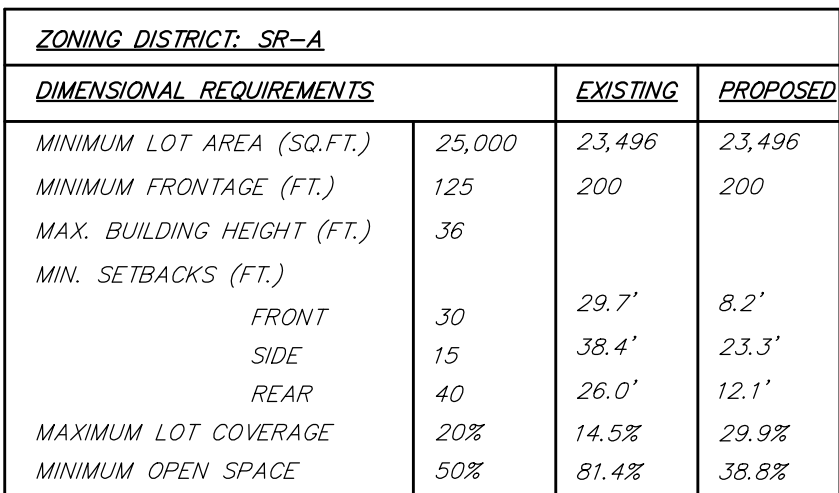
REVISED: JULY 6, 2021

JOB NUMBER: 19.085

SHEET 2 OF 11

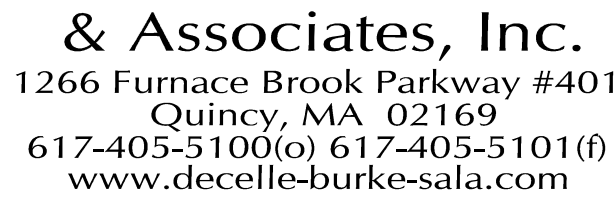






ZONING DISTRICT: SR-A			
DIMENSIONAL REQUIREMENTS		EXISTING	PROPOSED
MINIMUM LOT AREA (SQ.FT.)	25,000	23,496	23,496
MINIMUM FRONTAGE (FT.)	125	200	200
MAX. BUILDING HEIGHT (FT.)	36		
MIN. SETBACKS (FT)			
FRONT	30	29.7'	8.2'
SIDE	15	38.4'	23.3'
REAR	40	26.0'	12.1'
MAXIMUM LOT COVERAGE	20%	14.5%	29.9%
MINIMUM OPEN SPACE	50%	81.4%	38.6%

EXISTING:			
	- LOCUS PROPERTY LINE		
	- TREE LINE		
	- SEWER MANHOLE (SMH)		
	- DRAIN MANHOLE (DMH)		
	- CATCH BASIN (CB)		
	- STONE WALL		
	- GAS VALVE		
	- WATER VALVE		
	- WATER SERVICE		
	- HYDRANT		
	- UTILITY POLE		
N/F	- NOW OR FORMERLY		
	- DRAIN PIPE		
	- WATER MAIN		
	- GAS SERVICE		
	- UNDERGROUND POWER		
	- OVERHEAD WIRES		
	- SEWER MAIN		
LSA	- LANDSCAPED AREA	LSA	
-25-	- GRADE		
x25.7	- SPOT GRADE	x25.7	
	- CHAIN LINK FENCE		
	- CHAIN LINK FENCE		
	- TEST PIT		
	- HAND HOLES FOR UTILITIES		
	- LIGHT POLE		
FF	- FIRST FLOOR	FF	
TOF	- TOP OF FOUNDATION	TOF	
GF	- GARAGE FLOOR	GF	
	- SECOND FLOOR	SF	



1. RECORD ASSESSORS MAP 51 BLOCK LOT 36
LOCAL OWNERS: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
2. ELEVATIONS REFER TO NAVD-88.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND DISCOVERING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
4. DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS UTILITY CHAPTER 82, SECTION 400.14 (1) 888-344-7233 THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UTILITIES AND SUBSURFACE STRUCTURES FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
5. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON PLAN 25017C-00416E, DATED JUNE 4, 2010.
6. PARCEL IS ZONED SR-A.
7. FOR PROPOSED BUILDING DIMENSIONS SEE ARCHITECTS PLAN BY EMARC.

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

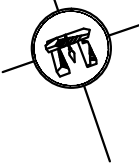
PROPOSED LAYOUT

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

REVISÉ: JULY 6, 2021

SCALE: 1" = 20'

APPROX. MASS CRD



CONCORD TURNPIKE

FRONTAGE ROAD

BEATRICE CIRCLE

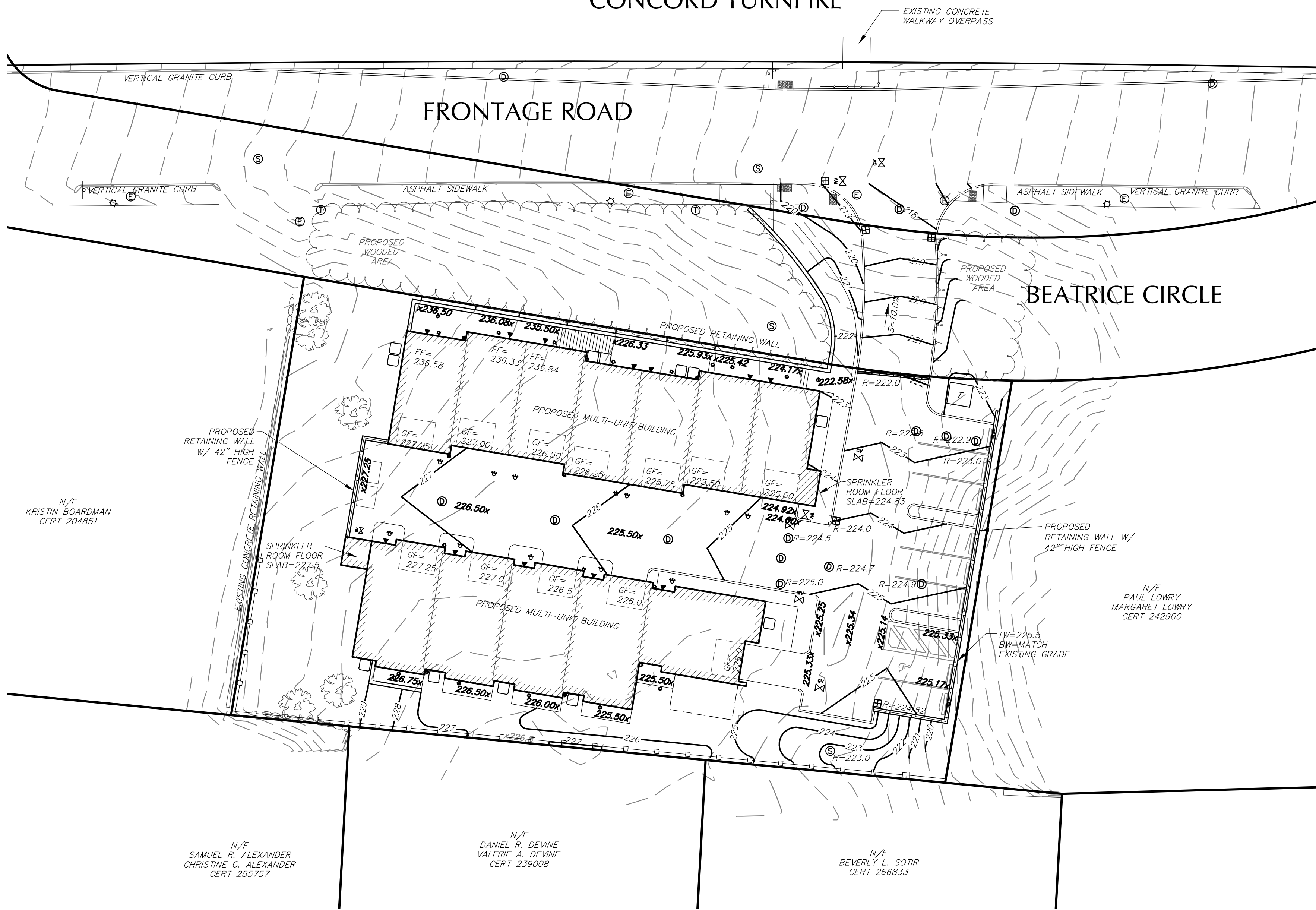
LEGEND:

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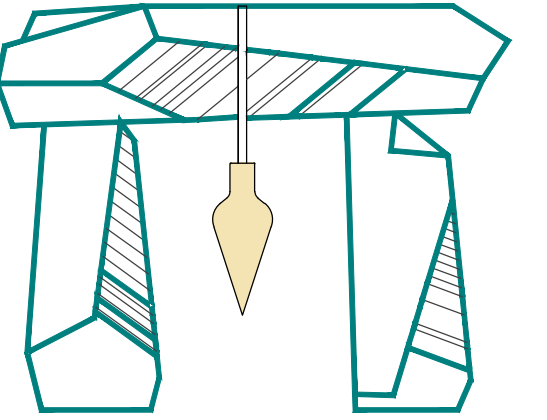
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- TOP OF FOUNDATION
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- SECOND FLOOR

PROPOSED:

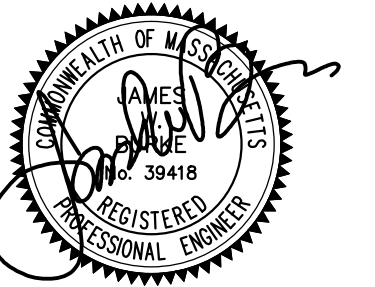
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JAMES W BURKE, P.E.

GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
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PLAN REFERENCE: LC PLAN 2367-12
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- PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED GRADING

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

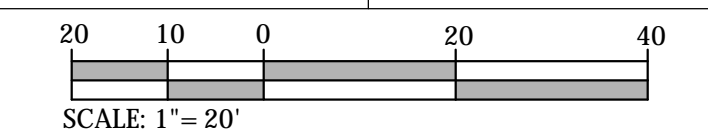
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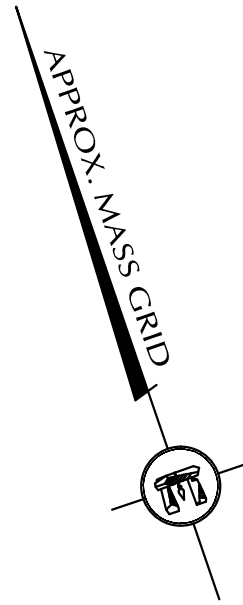
REVISED: JUNE 25, 2021

REVISED: JULY 6, 2021

JOB NUMBER: 19.085

SHEET 5 OF 11





CONCORD TURNPIKE

FRONTAGE ROAD

BEATRICE CIRCLE

LEGEND:

EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- CHAIN LINK FENCE
- TEST PIT
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR
- SEWER INVERT
- DRAIN INVERT

PROPOSED:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
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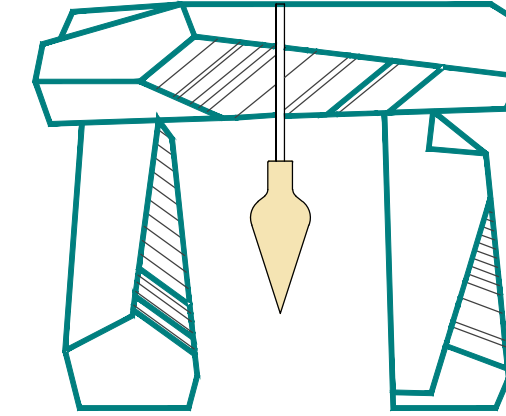
DRAINAGE NOTES:

1. ALL WATER SERVICES LESS THAN OR EQUAL TO 2" IN SIZE SHALL BE CONSTRUCTED OF TYPE K COPPER PIPING. ALL WATER SERVICES GREATER THAN 2" IN SIZE SHALL BE CONSTRUCTED OF CONCRETE LINED DUCTILE IRON PIPE.
2. ALL SEWER PIPES SHOULD BE CONSTRUCTED OF 6" SDR35 PVC AND HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 8.0%.
3. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN ALL SEWER AND WATER CROSSINGS. IF 18" OF VERTICAL SEPARATION CANNOT BE OBTAINED THEN THE SEWER LINE SHALL BE ENCASED IN 6" OF CONCRETE FOR A MINIMUM OF 10' ON EITHER SIDE OF THE CROSSING.
4. ALL WATER SERVICES SHALL HAVE A MINIMUM COVER OF 4'-6".
5. ALL SEWER PIPES SHALL HAVE A MINIMUM COVER OF 4'-0".
6. ALL DRAIN PIPES SHALL HAVE A MINIMUM DEPTH OF 2'-0".
7. ALL UTILITIES SHALL BE AS-BUILT BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR PRIOR TO BEING BACKFILLED.
8. A BENTONITE DAM SHALL BE PLACED EVERY 20' WITHIN THE EXCAVATION OF THE WATER SERVICES ALONG THE INFILTRATION SYSTEM TO MITIGATE THE FLOW OF GROUNDWATER THROUGH THE UTILITY TRENCH. (SEE DETAIL PROVIDED)

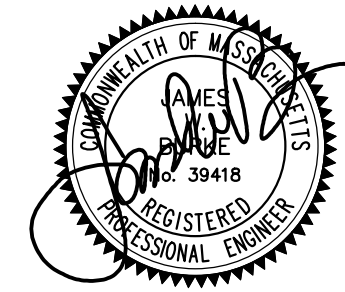
ANTICIPATED SEWER FLOW:

- (4) 4-BEDROOM UNITS
- (8) 3-BEDROOM UNITS
- TOTAL= 40 BEDROOMS
- 110 GPD/BEDROOM X 40 BEDROOMS = 4,400 GPD

DeCelle-Burke-Sala



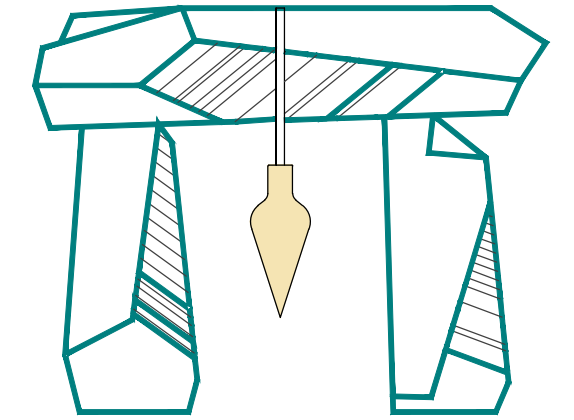
& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
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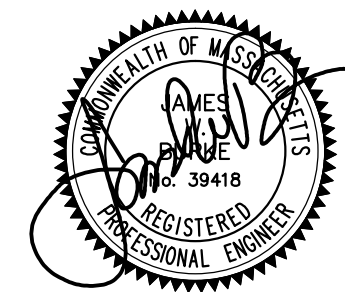
JAMES W BURKE, P.E.

GENERAL NOTES:

1. LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
- RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
2. ELEVATIONS REFER TO NAVD-88.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
- DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL: 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
5. PARCEL IS ZONED SR-A.



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PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED SEWER PROFILE

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

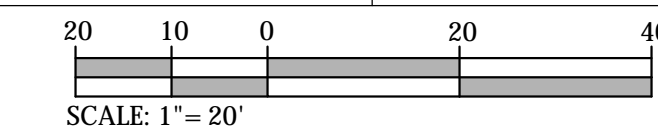
REVISED: JUNE 1, 2021

REVISED: JUNE 25, 2021

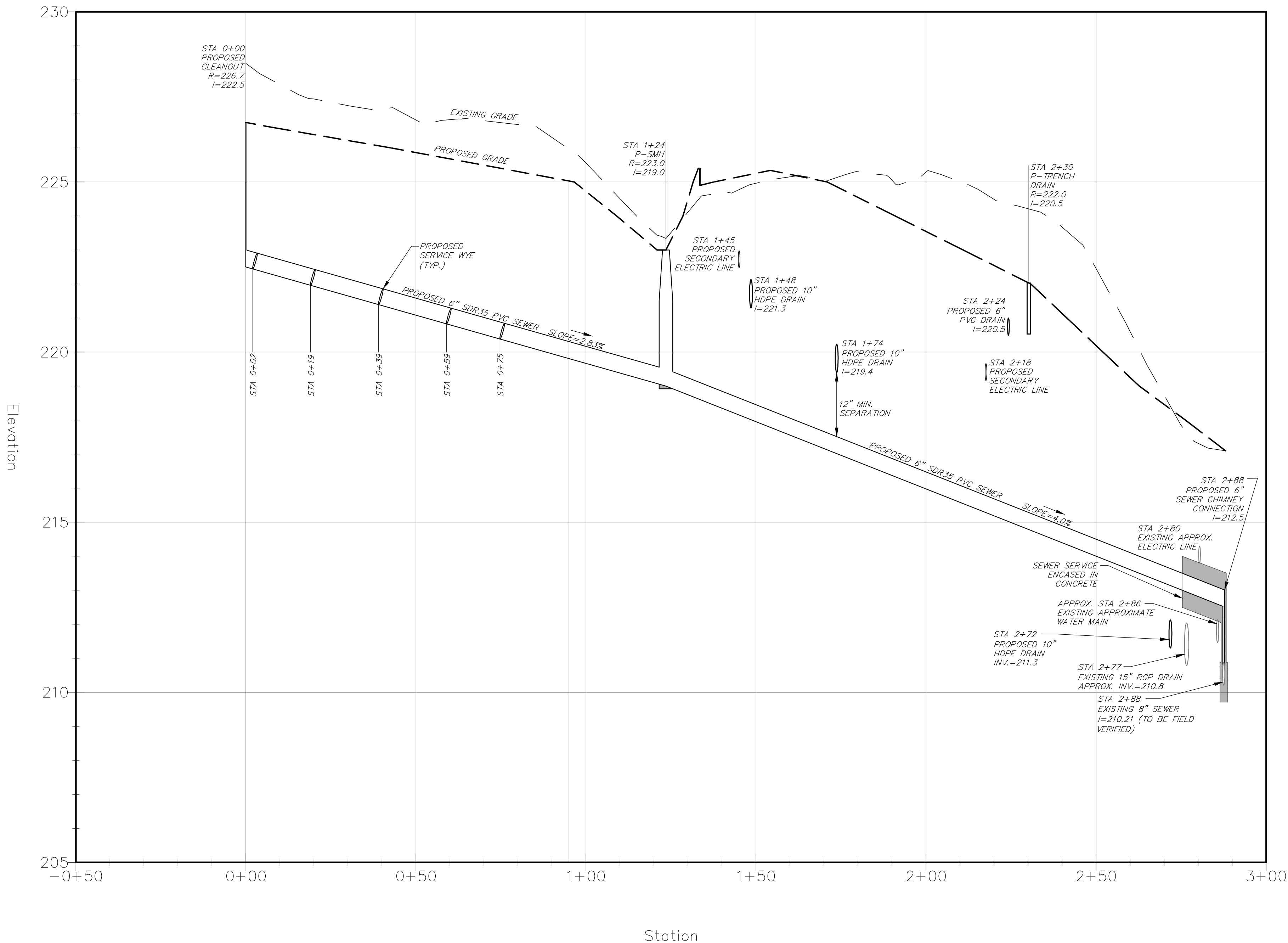
REVISED: JULY 6, 2021

JOB NUMBER: 19.085

SHEET 7 OF 11



Proposed Sewer Alignment Profile



HORIZONTAL SCALE: 1"= 20'
VERTICAL SCALE: 1"= 2'

LEGEND:

EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- N/F - NOW OR FORMERLY
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- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR
- SEWER INVERT
- DRAIN INVERT

PROPOSED:

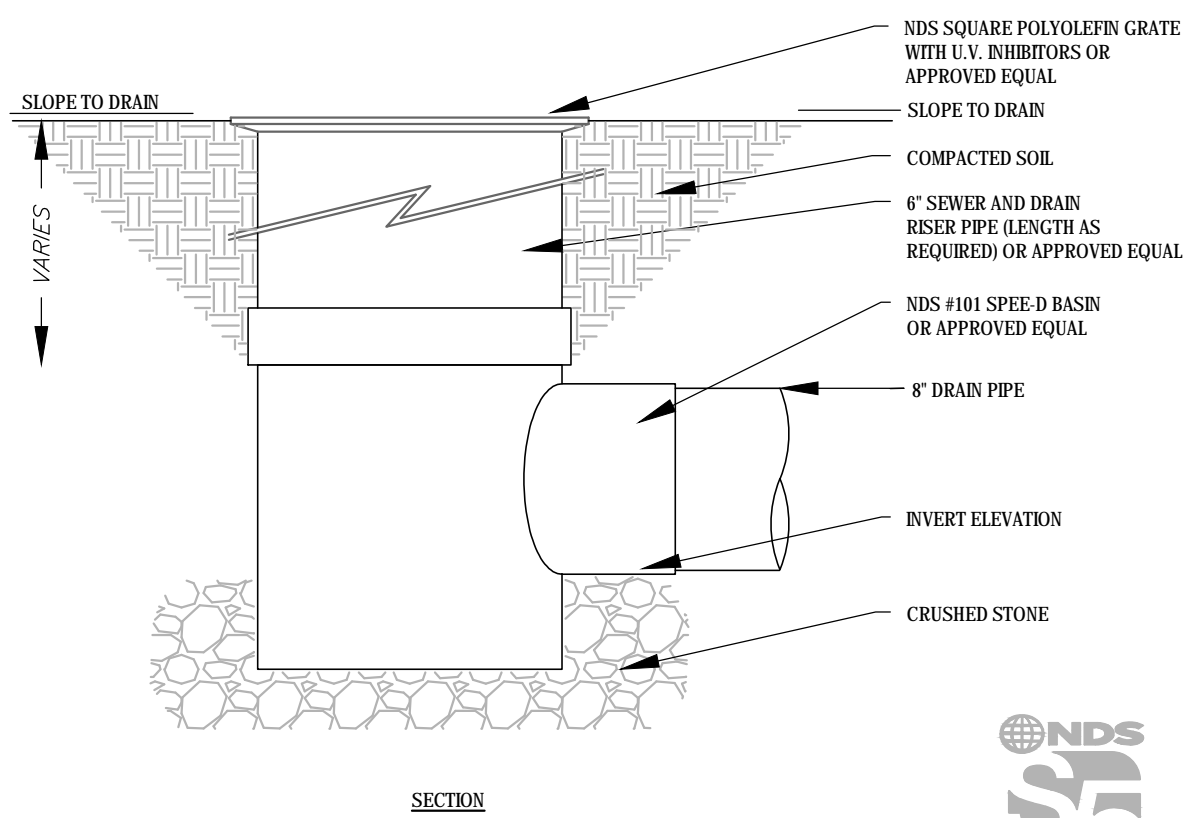
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I=220.0(S)

I=220.0(D)



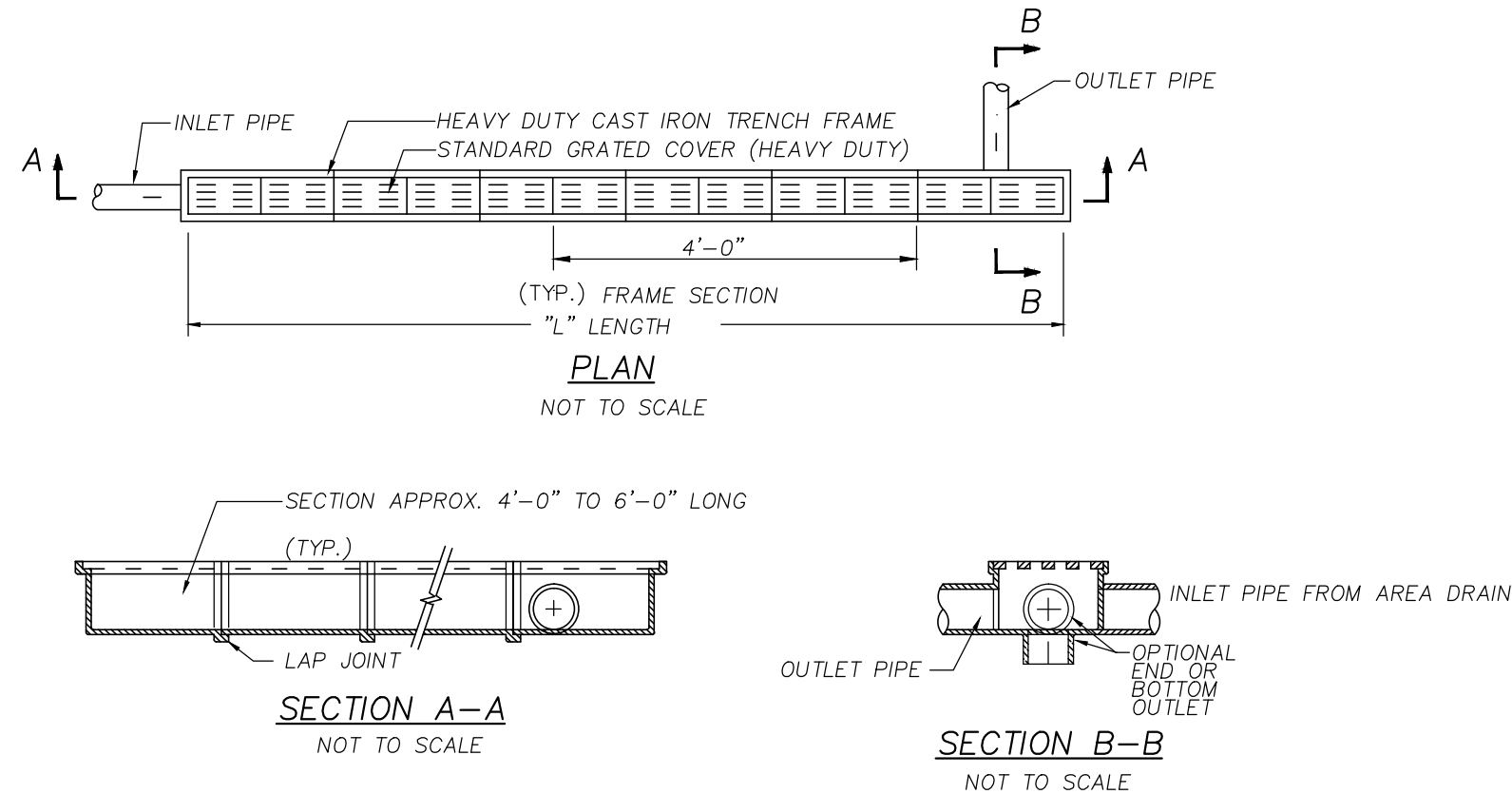
NDS, INC.
851 NORTH HARVARD AVE.
LINDSAY, CA 93247
TOLL FREE: 1-800-726-1994
PHONE: (539) 562-9888
FAX: (539) 562-4488
www.ndspro.com



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

PROPOSED AREA DRAIN ROUND SPEE-D BASINS

SQUARE GRATE WITH SPEE-D BASIN (NTS)



TRENCH DRAIN DETAIL

(W/ HEAVY DUTY FRAME AND GRATED COVER)
MANUFACTURER: NEENAH FOUNDRY CO.
OR APPROVED EQUAL

NOTE: PROVIDE BOTTOM OUTLET, LENGTH L = 20'-0"

CONCORD TURNPIKE

FRONTAGE ROAD

BEATRICE CIRCLE

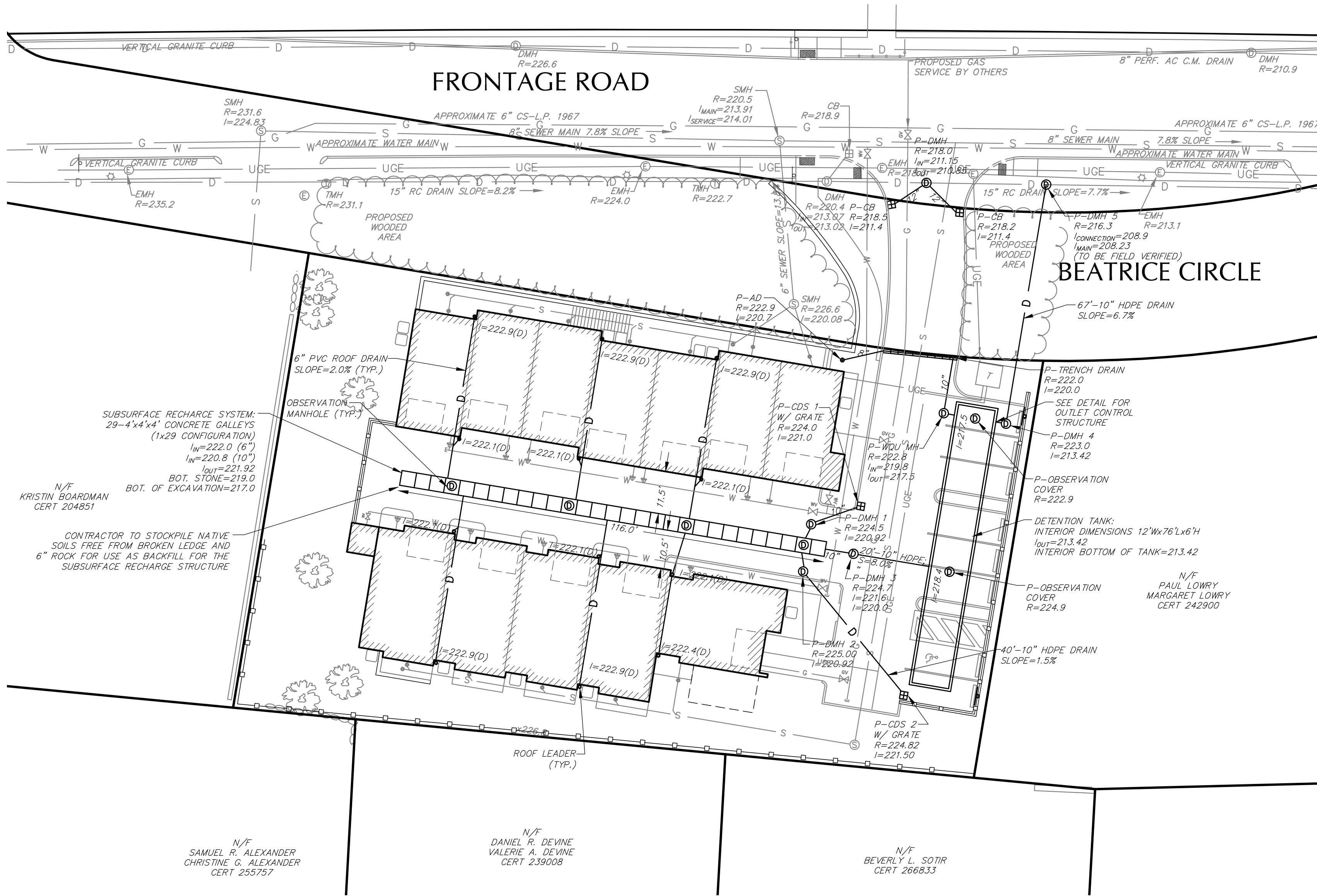
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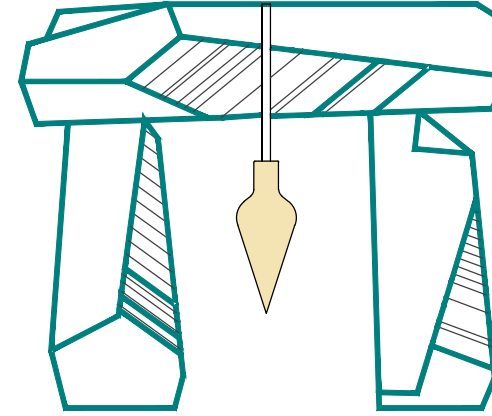
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DRAINAGE NOTES:

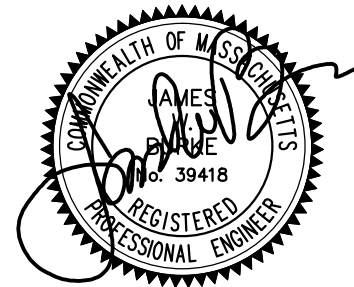
1. ALL DRAIN PIPES GREATER THAN OR EQUAL TO 10" IN SIZE SHALL BE CONSTRUCTED OF HDPE. ALL DRAIN PIPES LESS THAN 10" IN SIZE SHALL BE CONSTRUCTED OF SCHEDULE 40 PVC.
2. ALL DRAIN PIPES SHOULD HAVE A MINIMUM SLOPE OF 1.0% AND A MAXIMUM SLOPE OF 8.0%.
3. A MINIMUM OF 12 INCHES OF VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN ALL UTILITY CROSSINGS.
4. THE EXCAVATION FOR THE PROPOSED INFILTRATION SYSTEM SHALL BE INSPECTED AND SIGNED OFF BY THE DESIGN ENGINEER PRIOR TO THE INSTALLATION OF THE STRUCTURES.
5. THE BACKFILL MATERIAL FOR THE PROPOSED SUBSURFACE RECHARGE STRUCTURE SHALL BE INSPECTED AND SIGNED OFF BY THE DESIGN ENGINEER PRIOR TO BACKFILL.
6. SILT SACKS SHALL BE INSTALLED IN THE CATCH BASINS AND TRENCH DRAIN AFTER THEY HAVE BEEN CONSTRUCTED TO PREVENT ANY CONSTRUCTION RELATED DEBRIS FROM ENTERING THE DRAINAGE SYSTEM.
7. ALL DRAINAGE STRUCTURES AND PIPES SHALL BE FLUSHED AND CLEANED PRIOR TO CONNECTING THEM TO THE PROPOSED INFILTRATION AND DETENTION SYSTEMS.
8. THE DRAINAGE STRUCTURES AND PIPING SHALL BE AS-BUILT BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR PRIOR TO BEING BACKFILLED.

DeCelle-Burke-Sala



& Associates, Inc.

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617-405-5100(o) 617-405-5101(f)
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JAMES W BURKE, P.E.

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5. PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

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91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED UTILITIES

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
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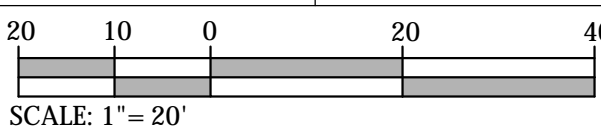
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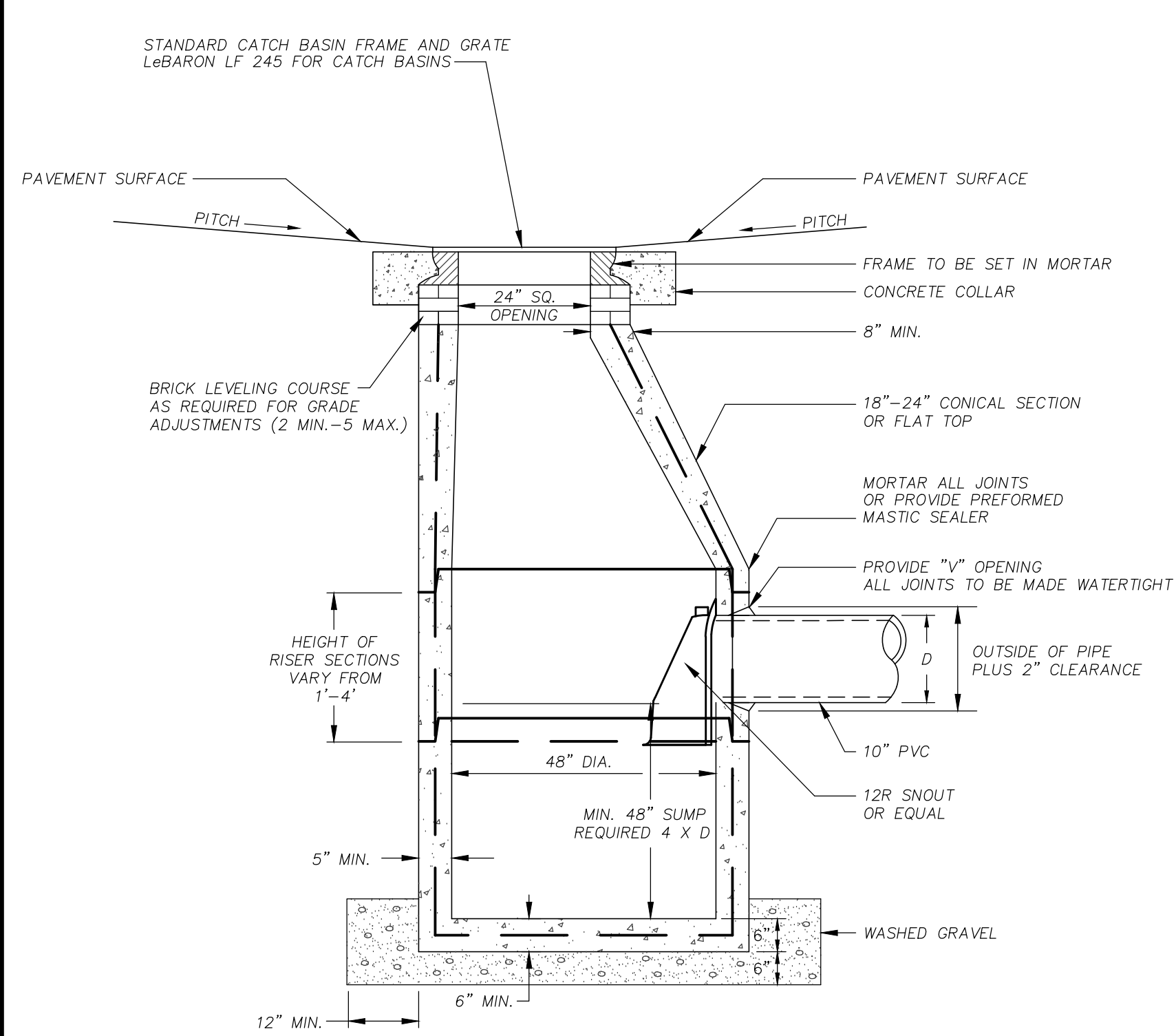
REVISED: JUNE 25, 2021

REVISED: JULY 6, 2021

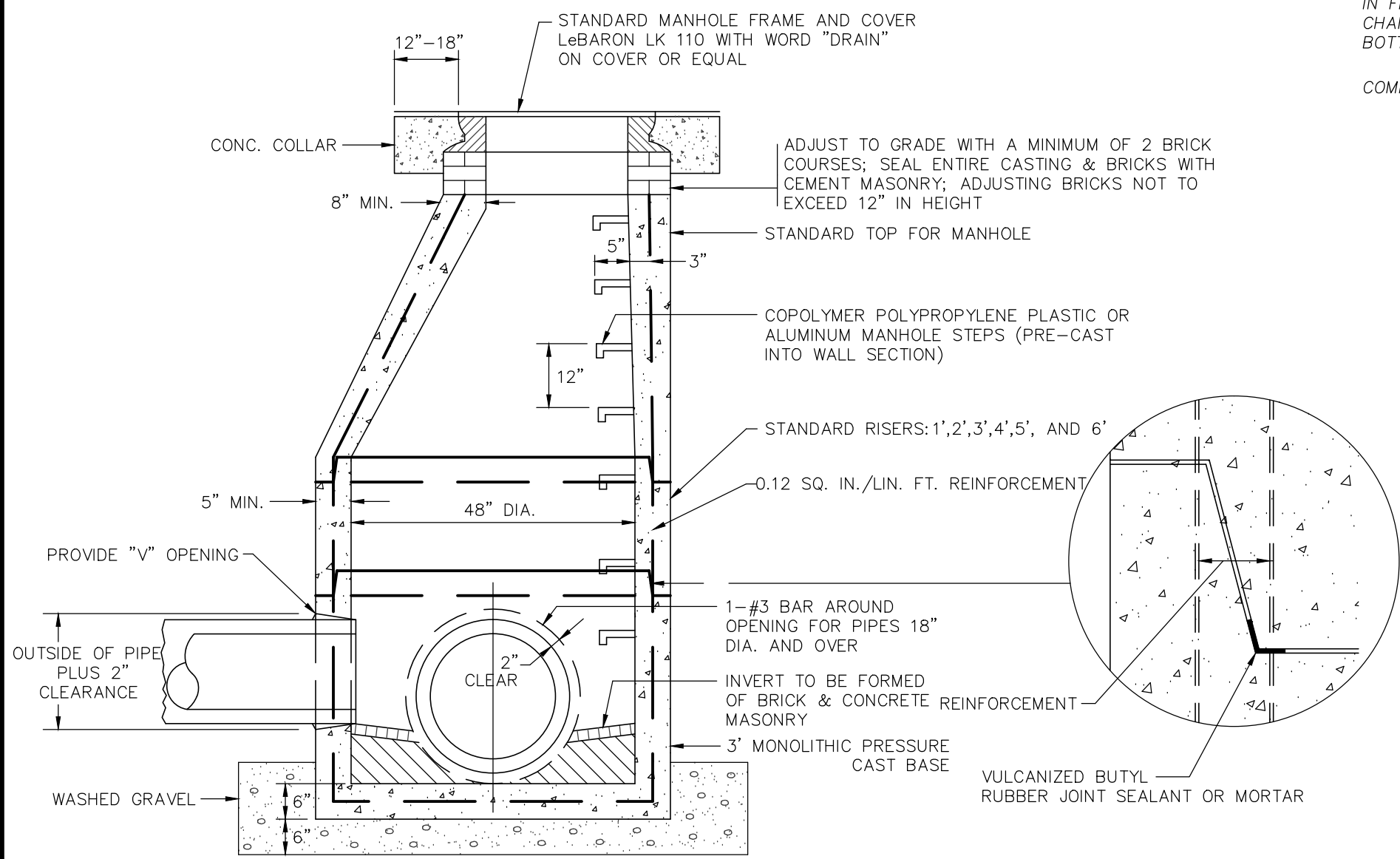
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SHEET 8 OF 11

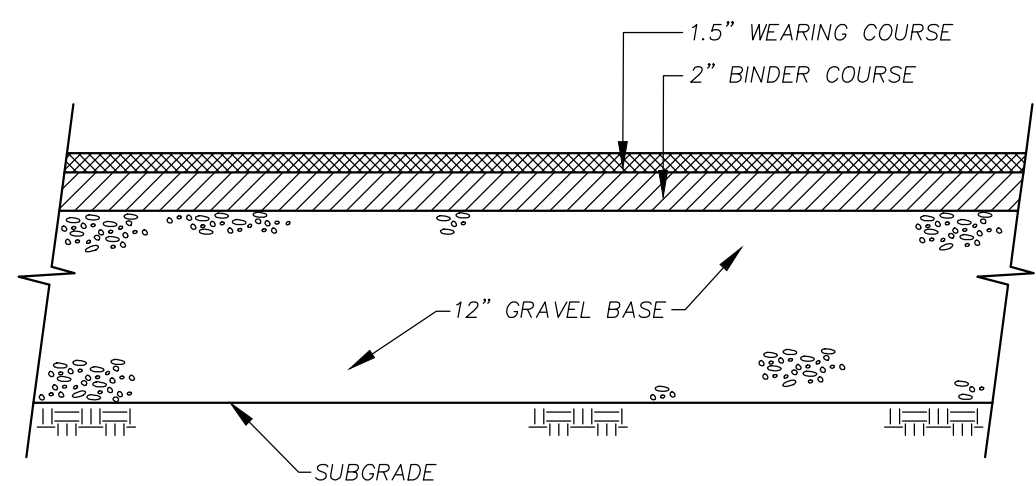




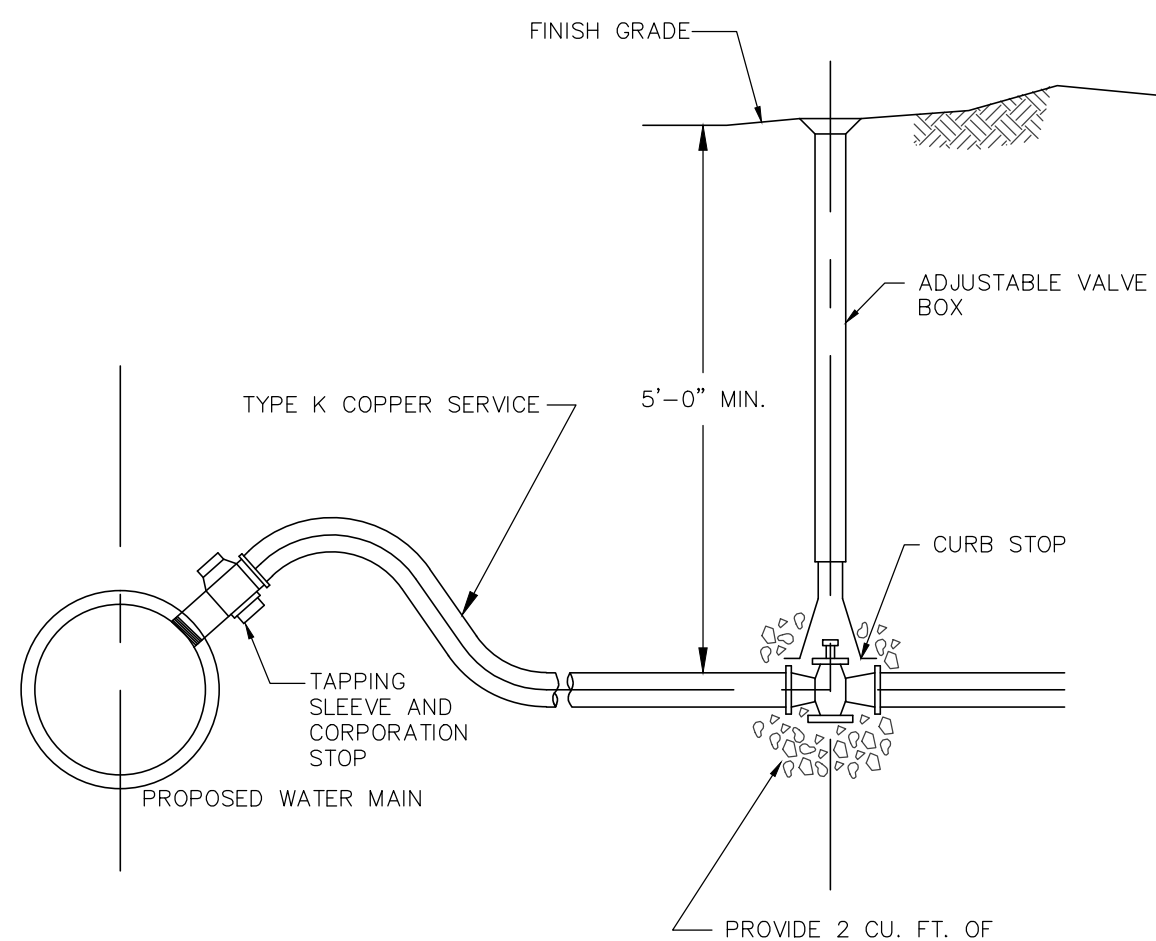
PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



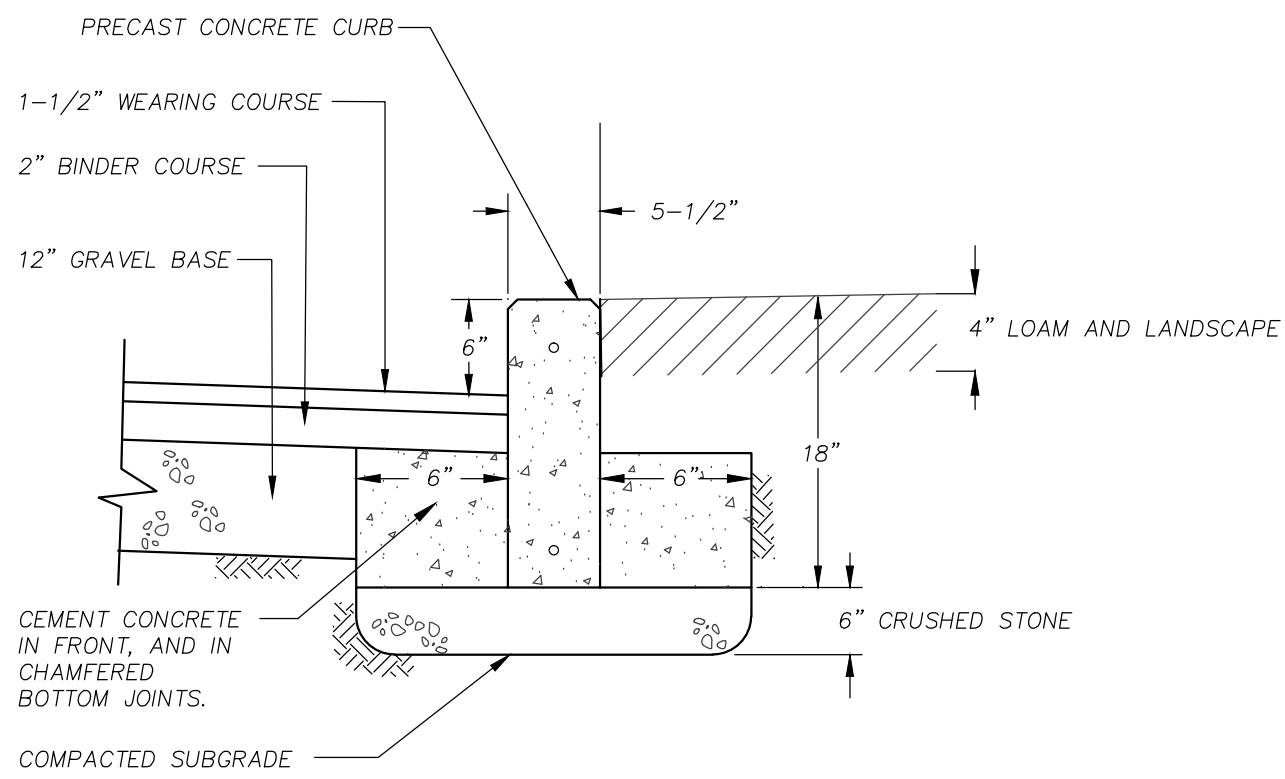
STANDARD PRE-CAST DRAIN MANHOLE
NOT TO SCALE



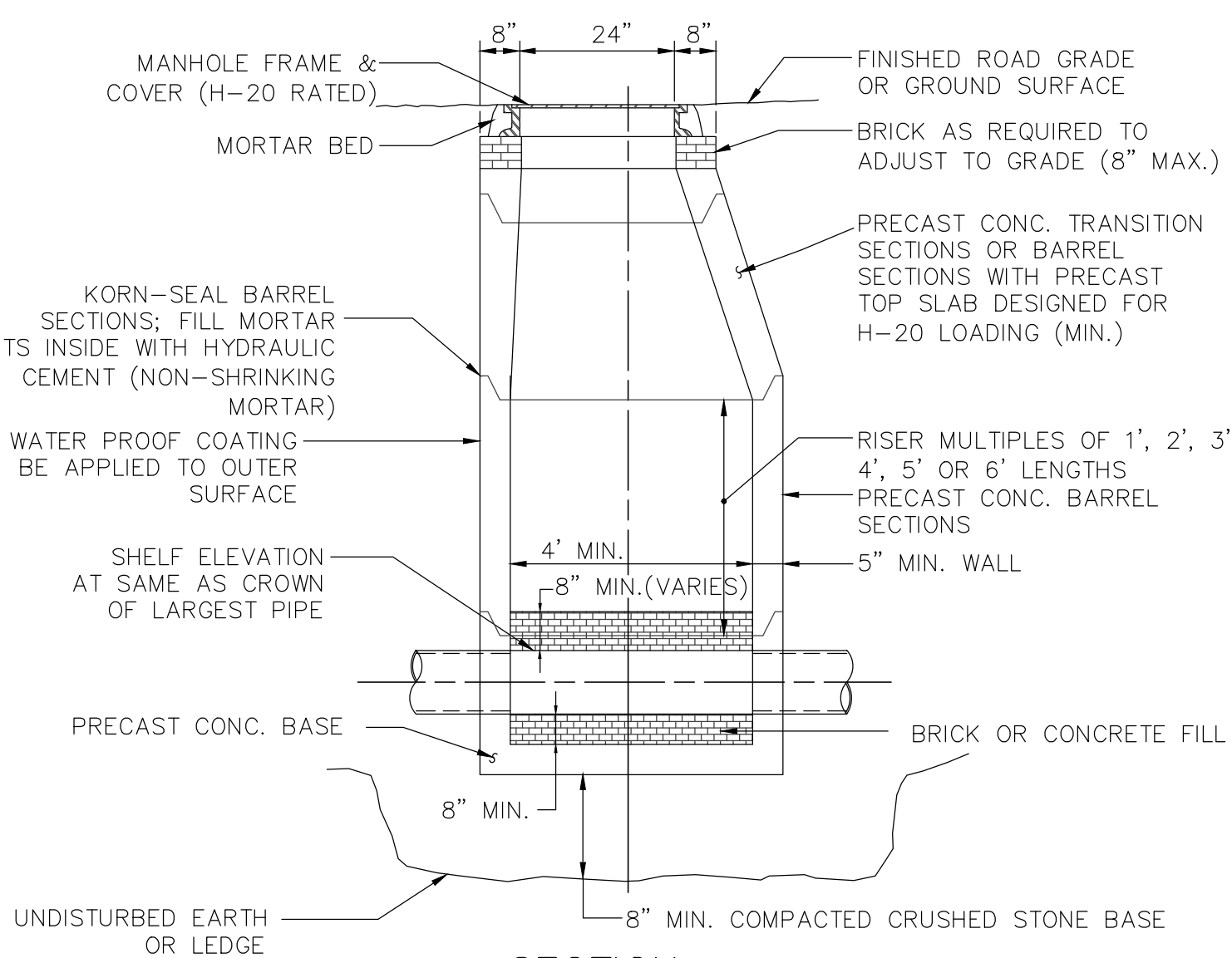
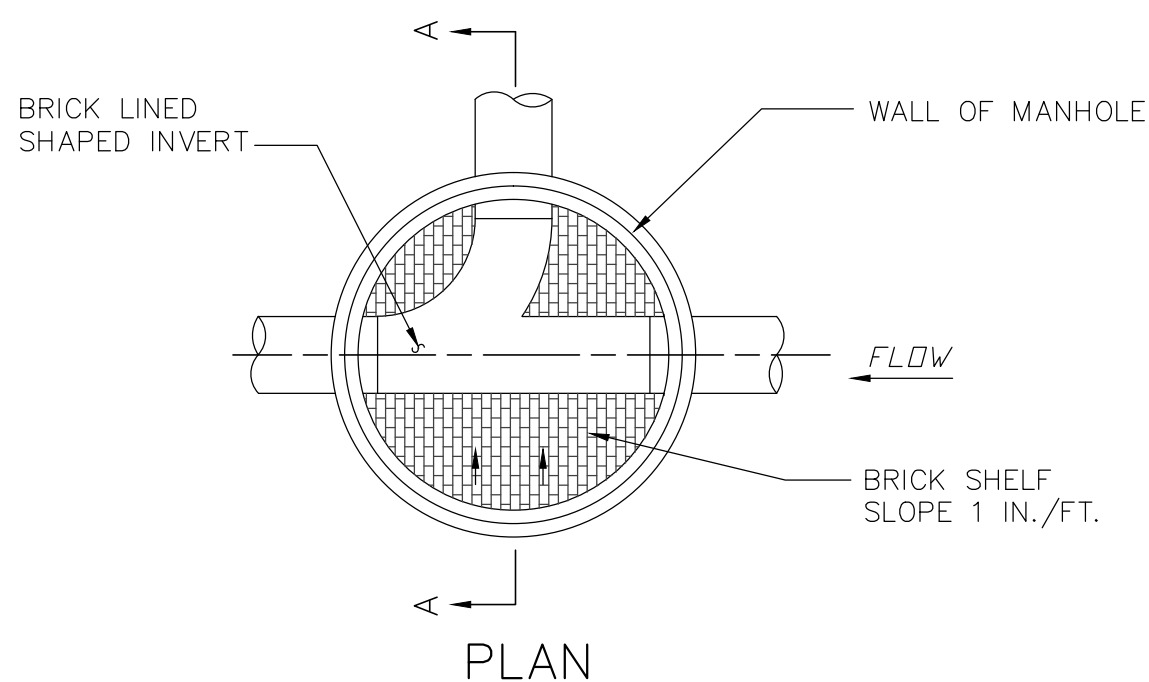
PAVEMENT SECTION
NOT TO SCALE



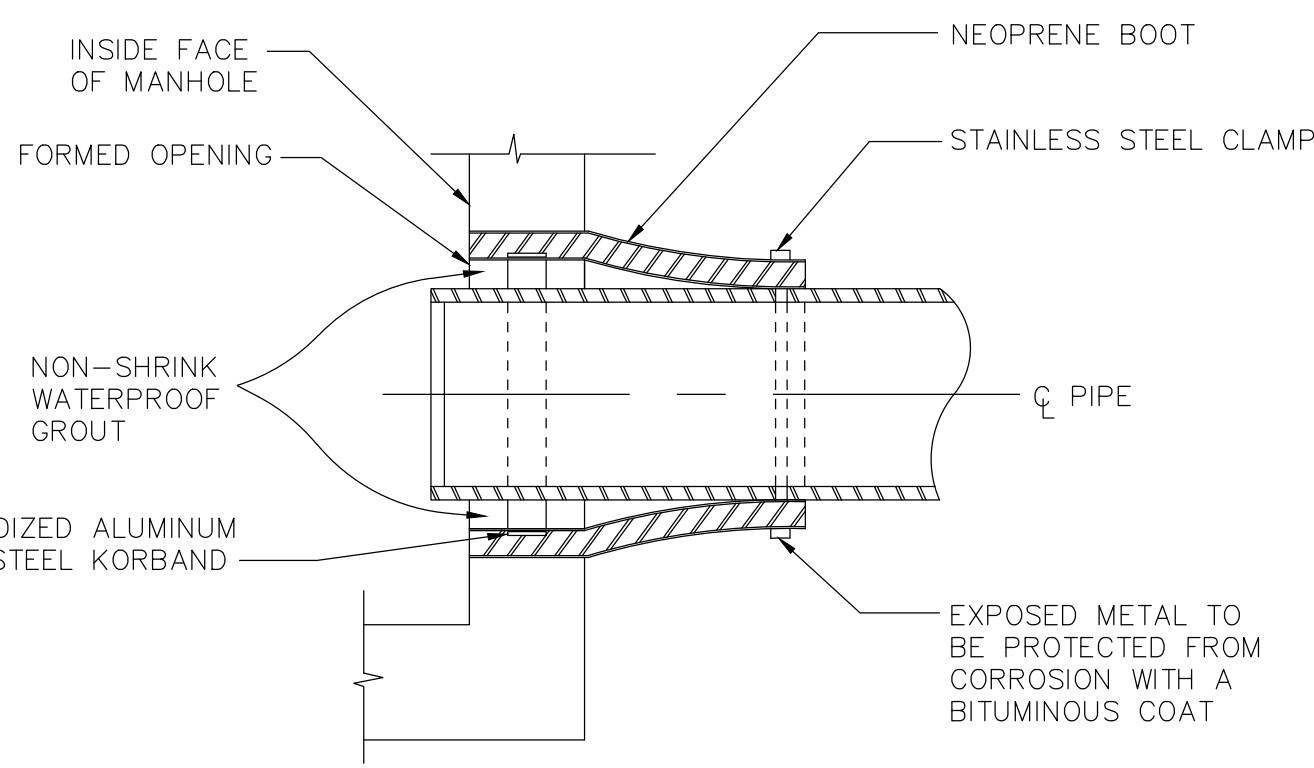
1" WATER SERVICE CONNECTION
NOT TO SCALE



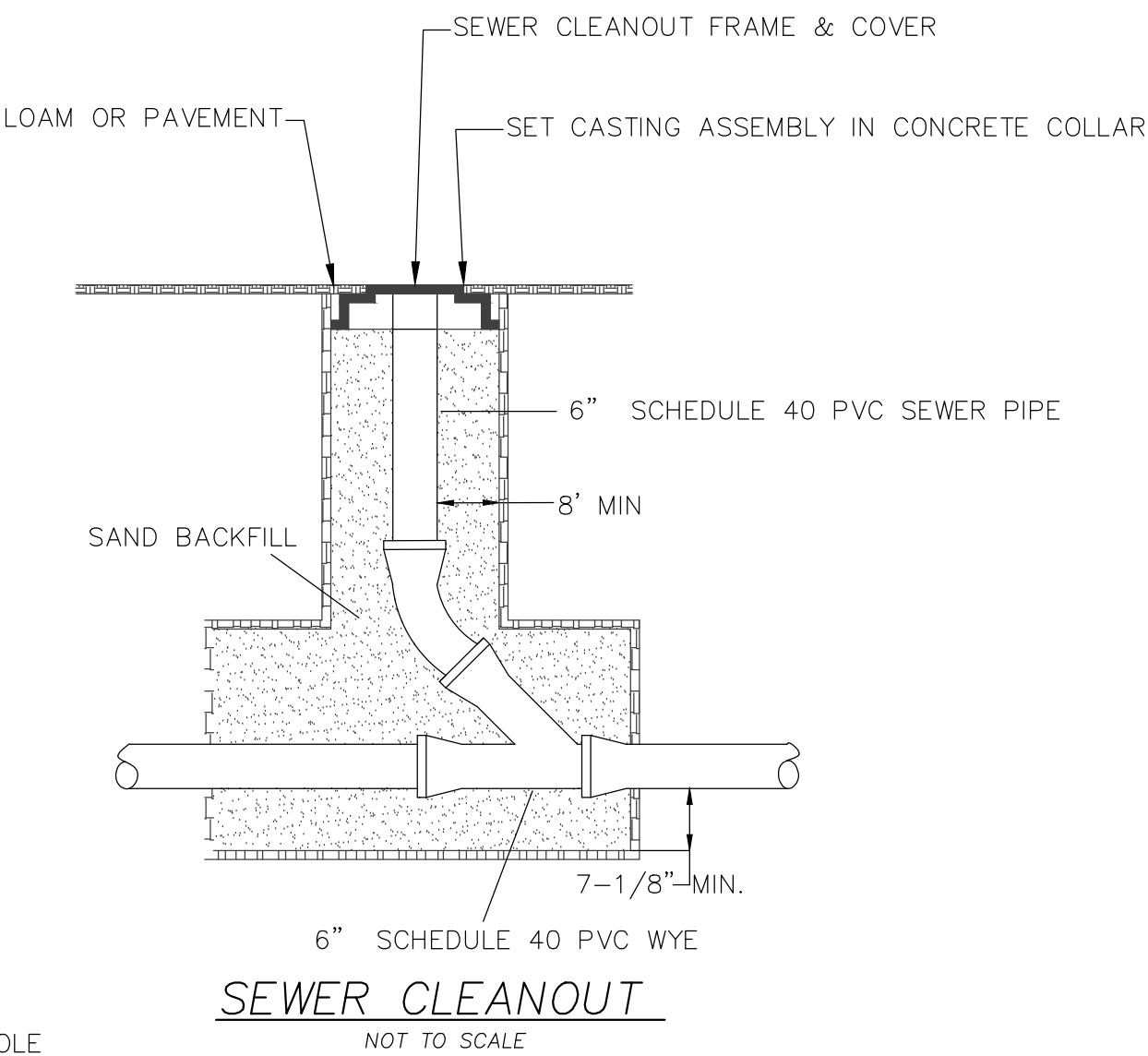
PRECAST CONCRETE CURB
NOT TO SCALE



TYPICAL PRECAST SEWER MANHOLE
NOT TO SCALE

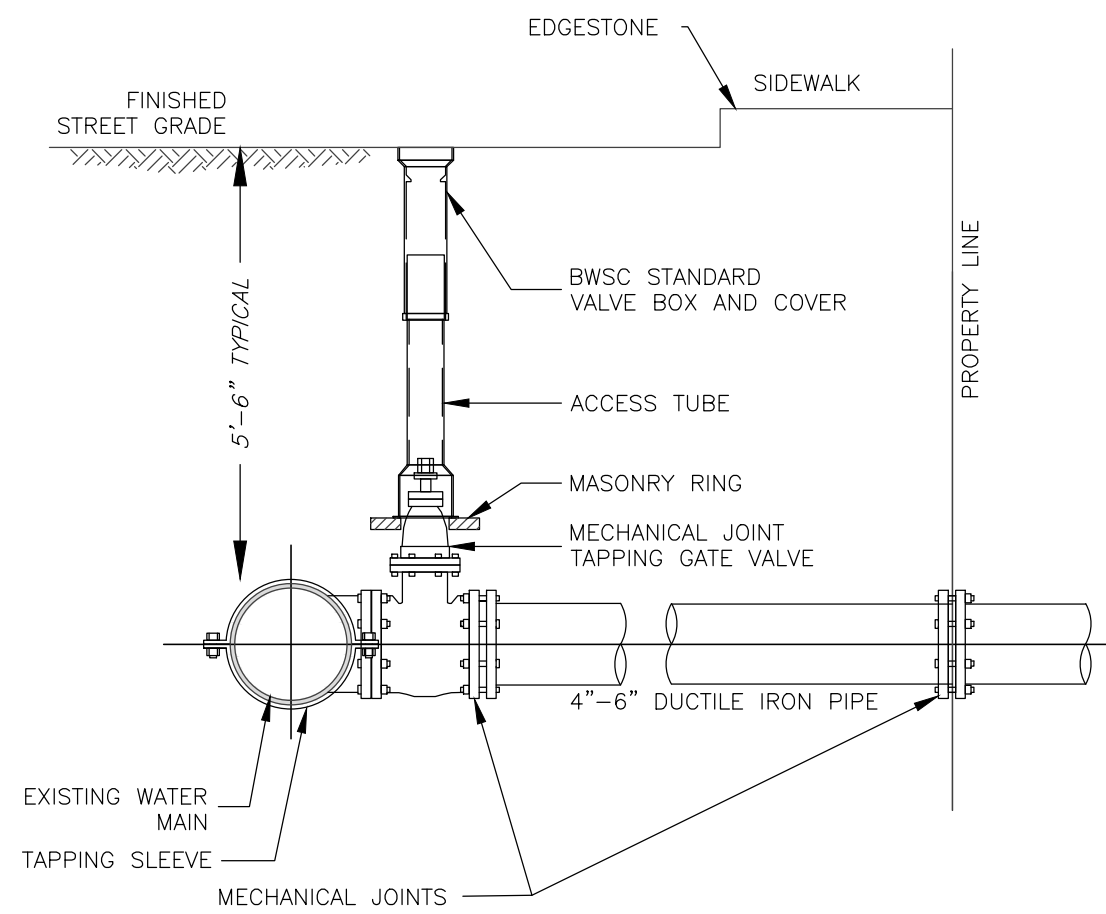


NEOPRENE BOOT CONNECTION
NOT TO SCALE

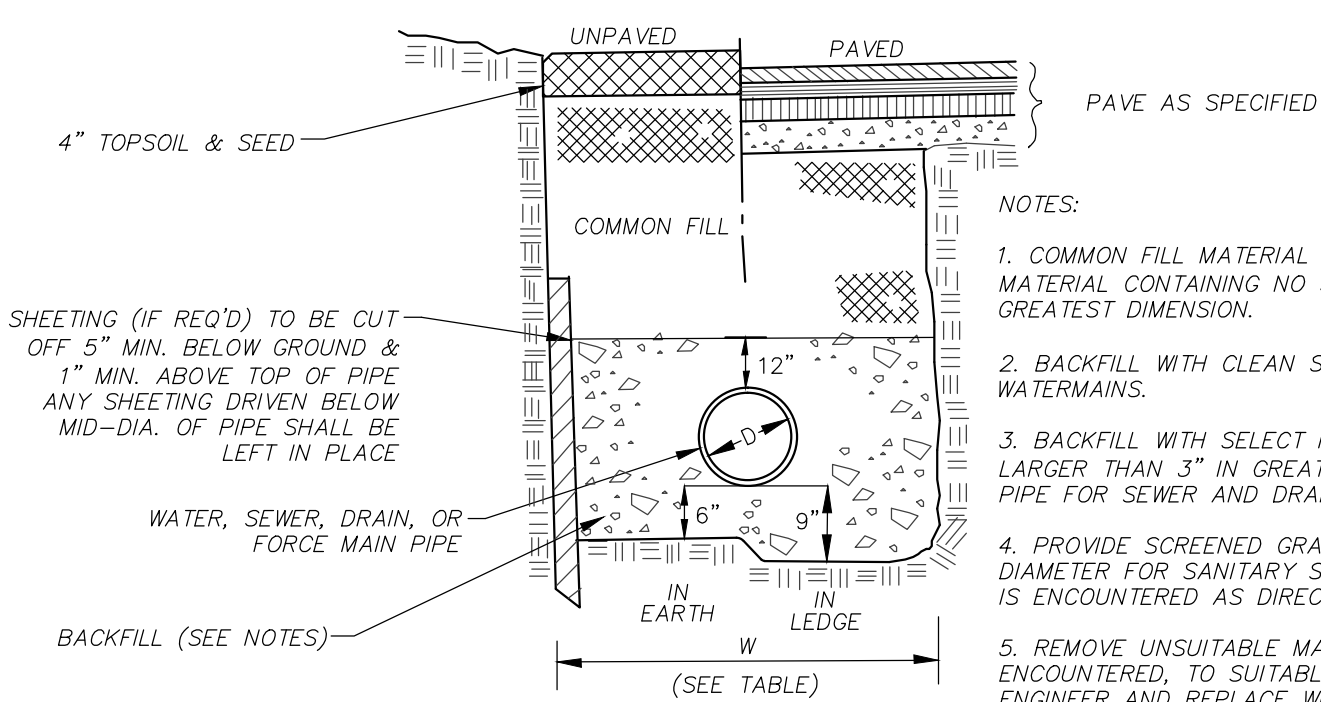


SEWER CLEANOUT
NOT TO SCALE

NOTES:
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
- USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
- SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.



4"-6" WATER SERVICE CONNECTION
NOT TO SCALE

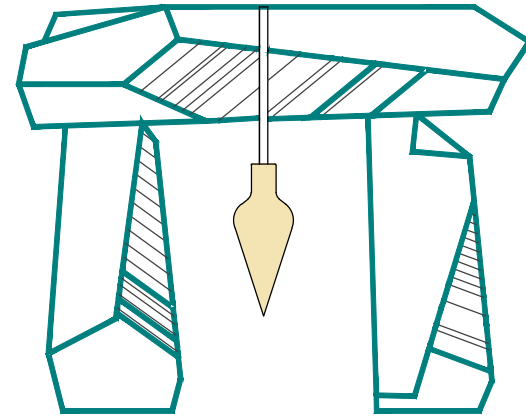


TRENCH WIDTH		
D DIAMETER OF PIPE	W UNSHEETED	W SHEETED
1" TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'

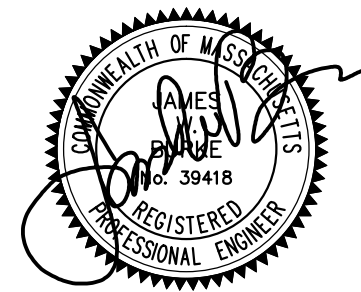
NOTES:
1. ALL TRENCH CONSTRUCTION TO CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
2. COMPACT FILL AND TAMP PIPE TO 93% MAX. DENSITY UNLESS OTHERWISE SPECIFIED.

TYPICAL TRENCH SECTIONS
NOT TO SCALE

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JAMES W BURKE, P.E.

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BELMONT, MASS.

PLAN TITLE:

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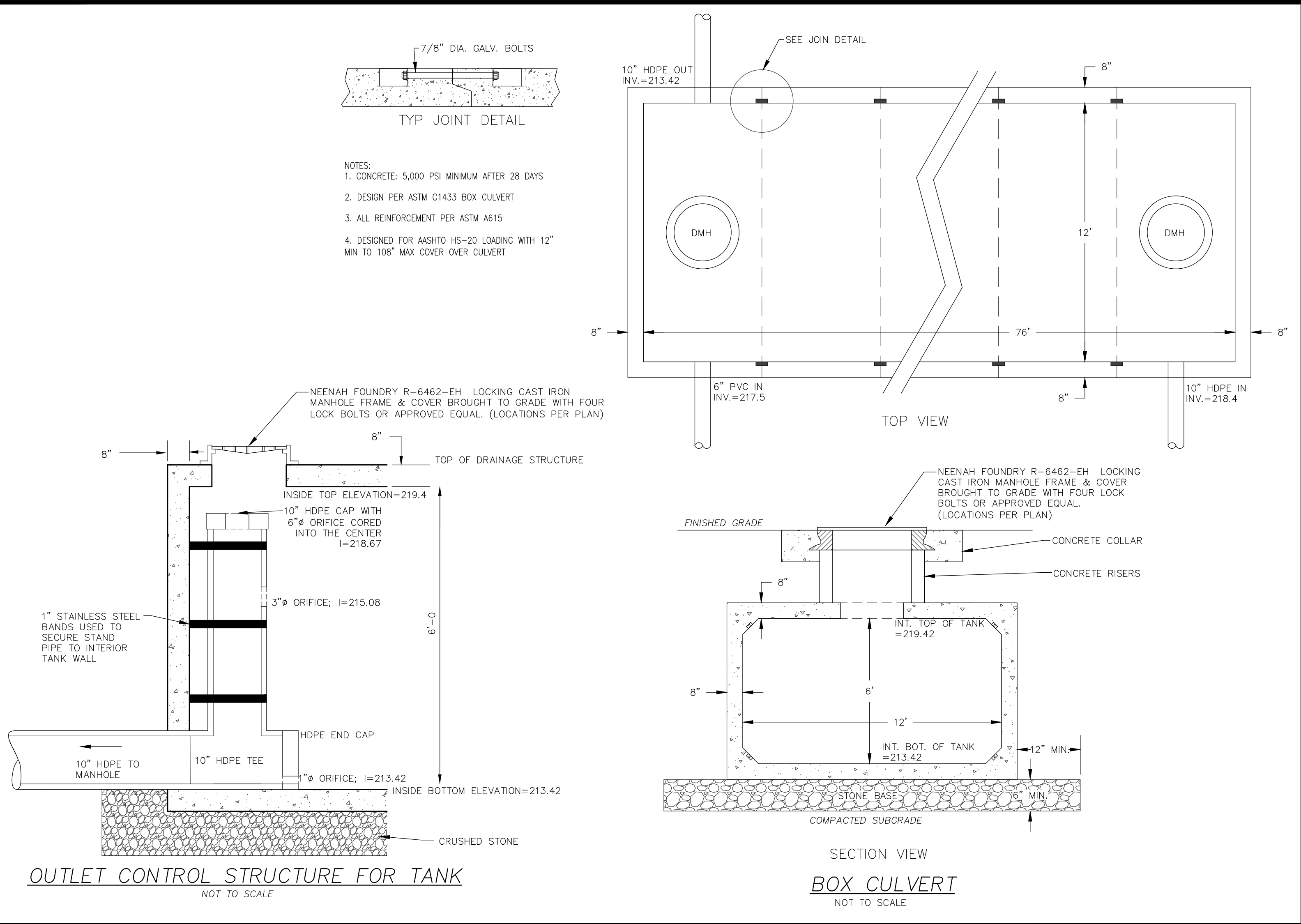
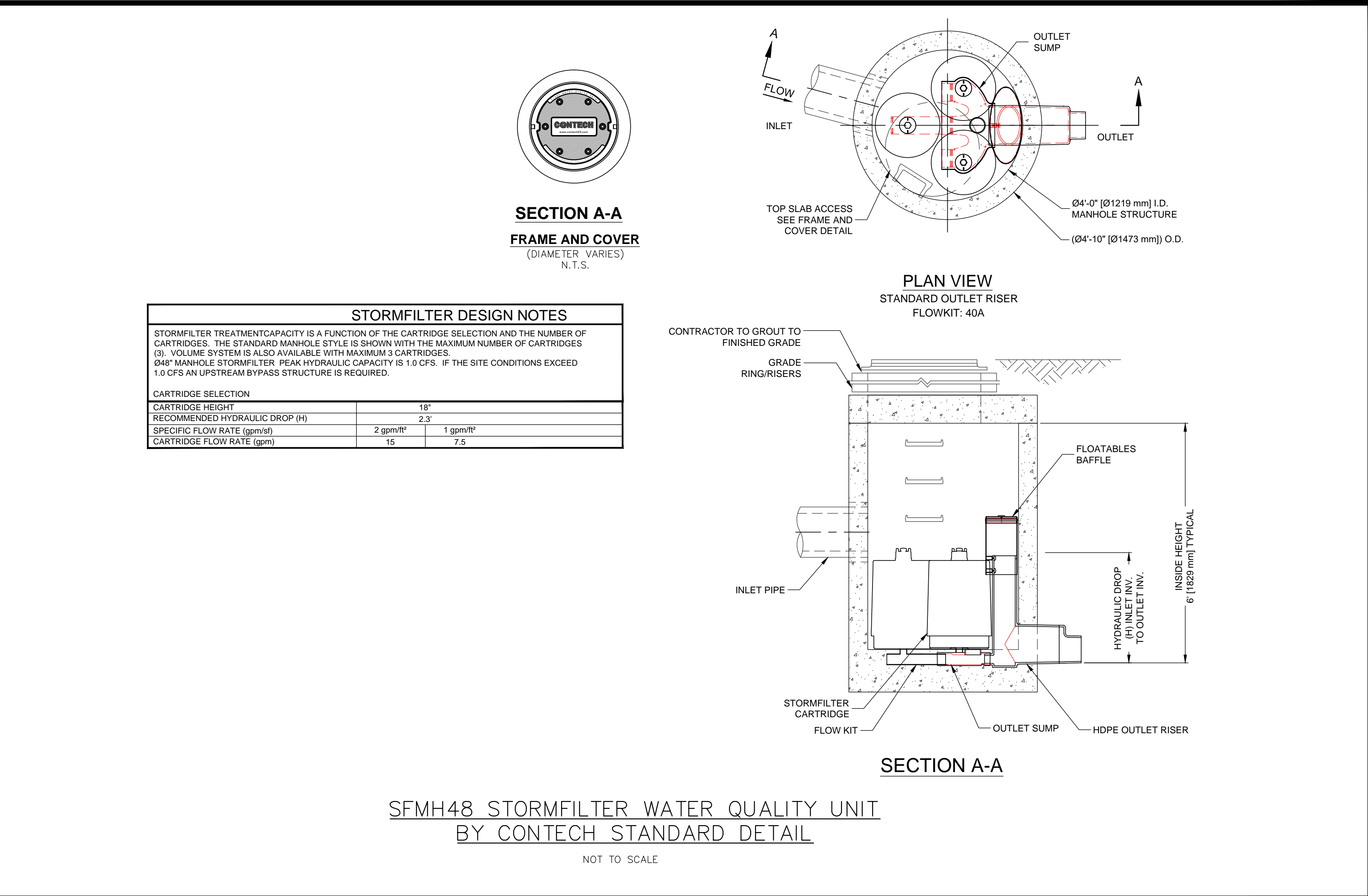
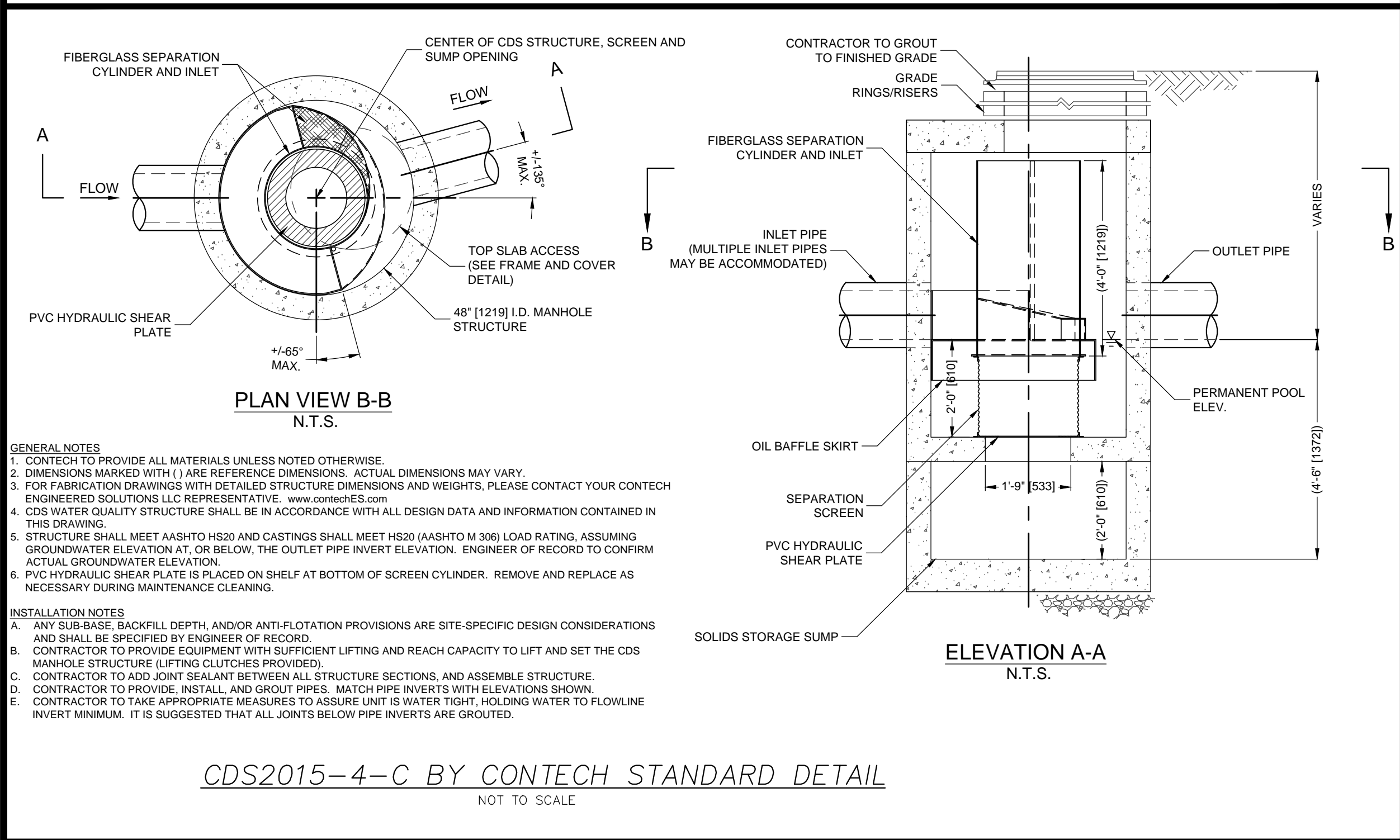
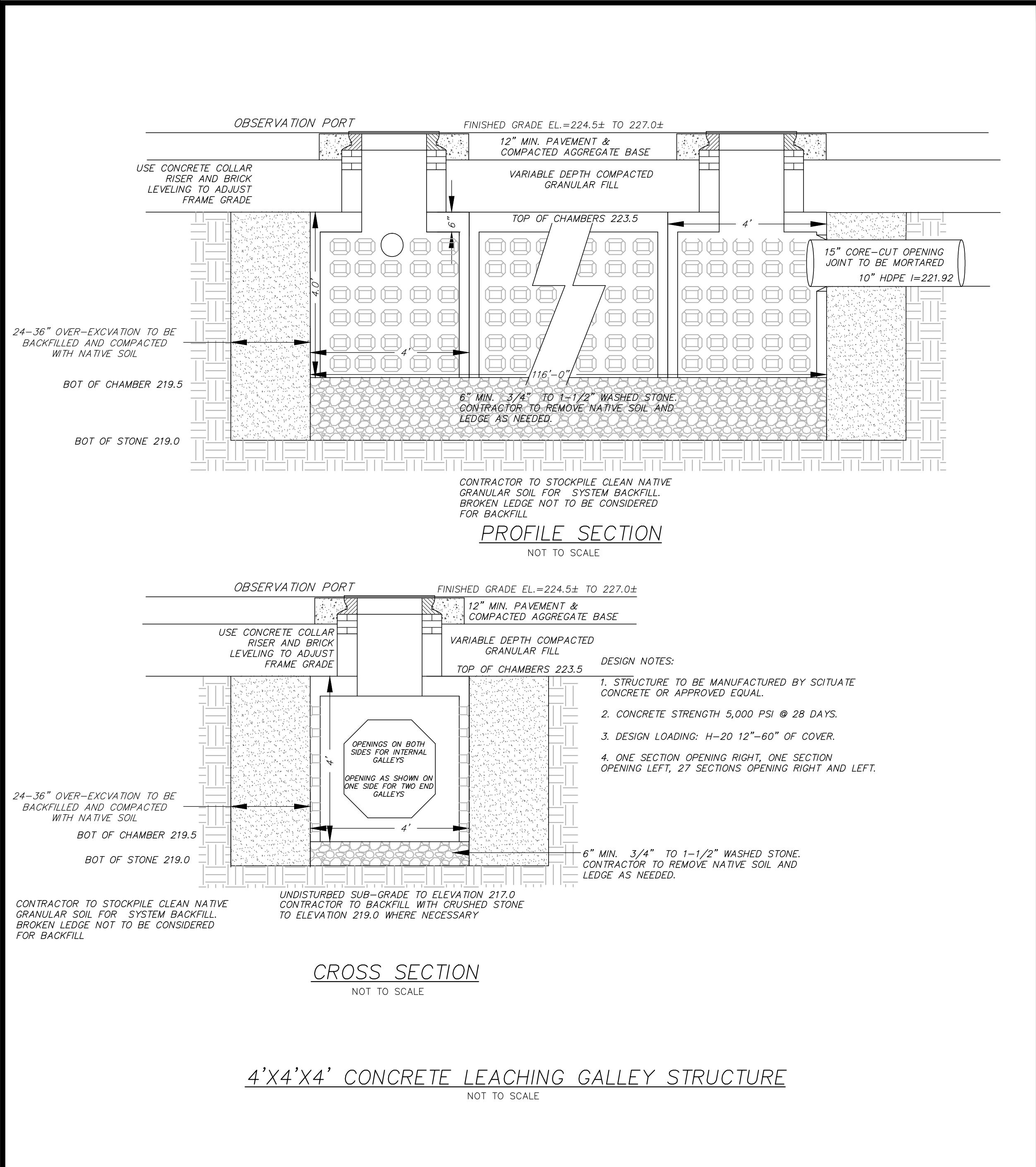
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REVISED: JUNE 25, 2021

REVISED: JULY 6, 2021

JOB NUMBER: 19.085

SHEET 9 OF 11



DeCelle-Burke-Sala
& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100(o) 617-405-5101(f)
www.decelle-burke-sala.com

JAMES W BURKE, P.E.

GENERAL NOTES:

1. LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
2. ELEVATIONS REFER TO NAVD-88.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
5. PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

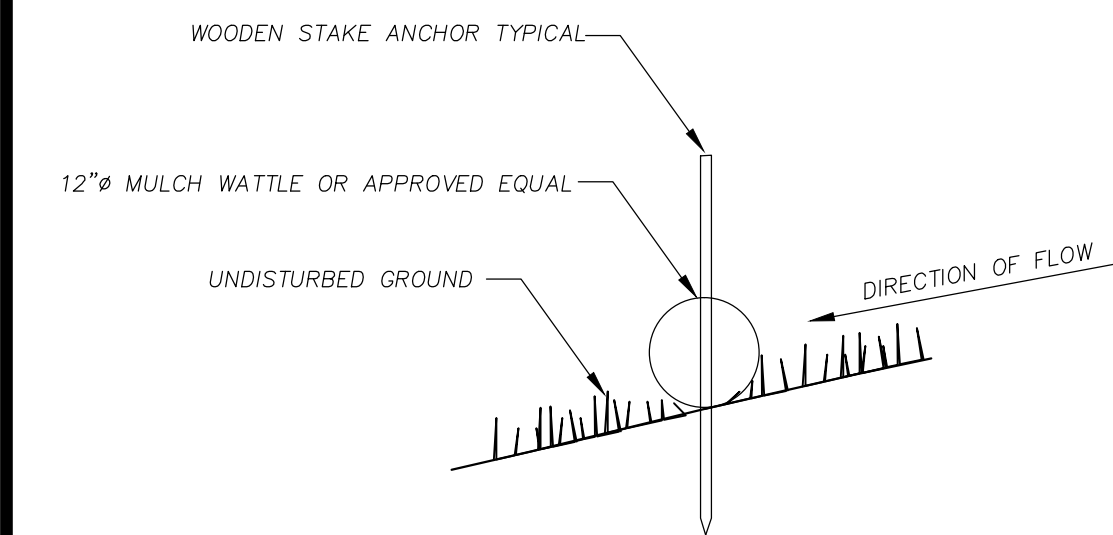
CONSTRUCTION DETAILS

PREPARED FOR:

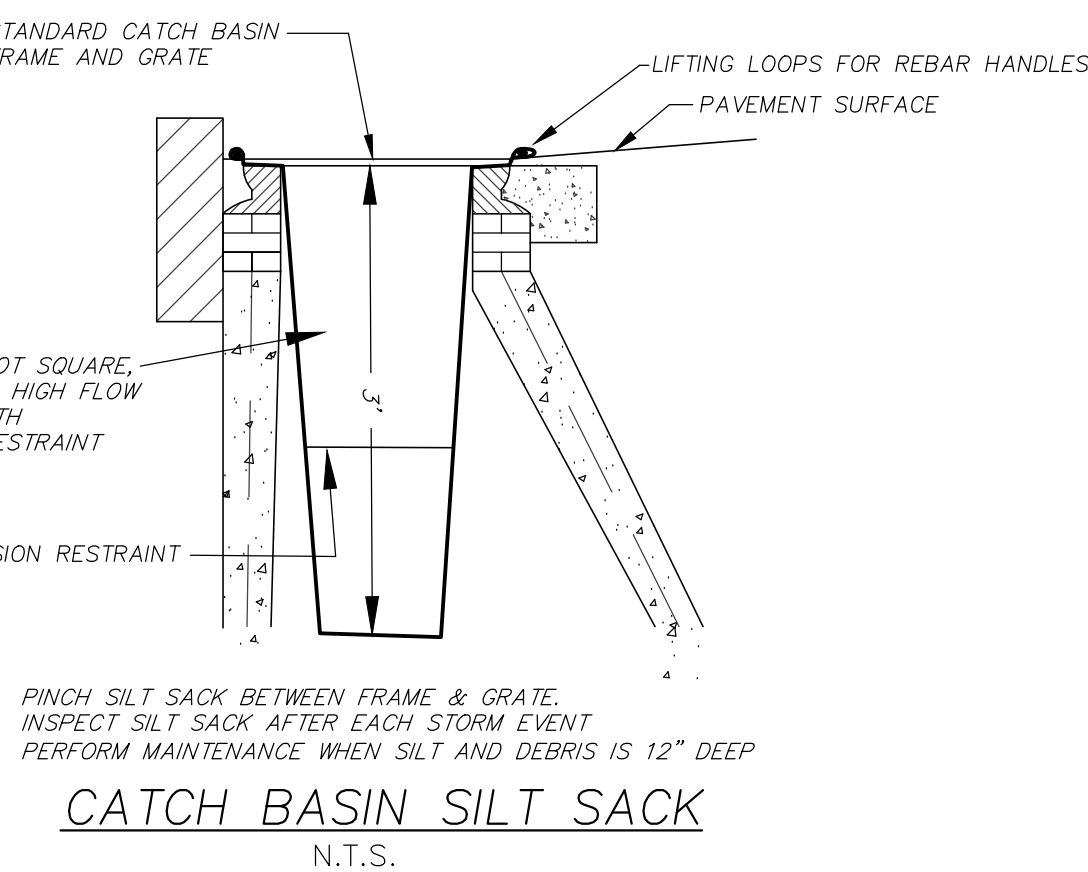
91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020
REVISED: APRIL 19, 2021
REVISED: JUNE 1, 2021
REVISED: JUNE 25, 2021
REVISED: JULY 6, 2021

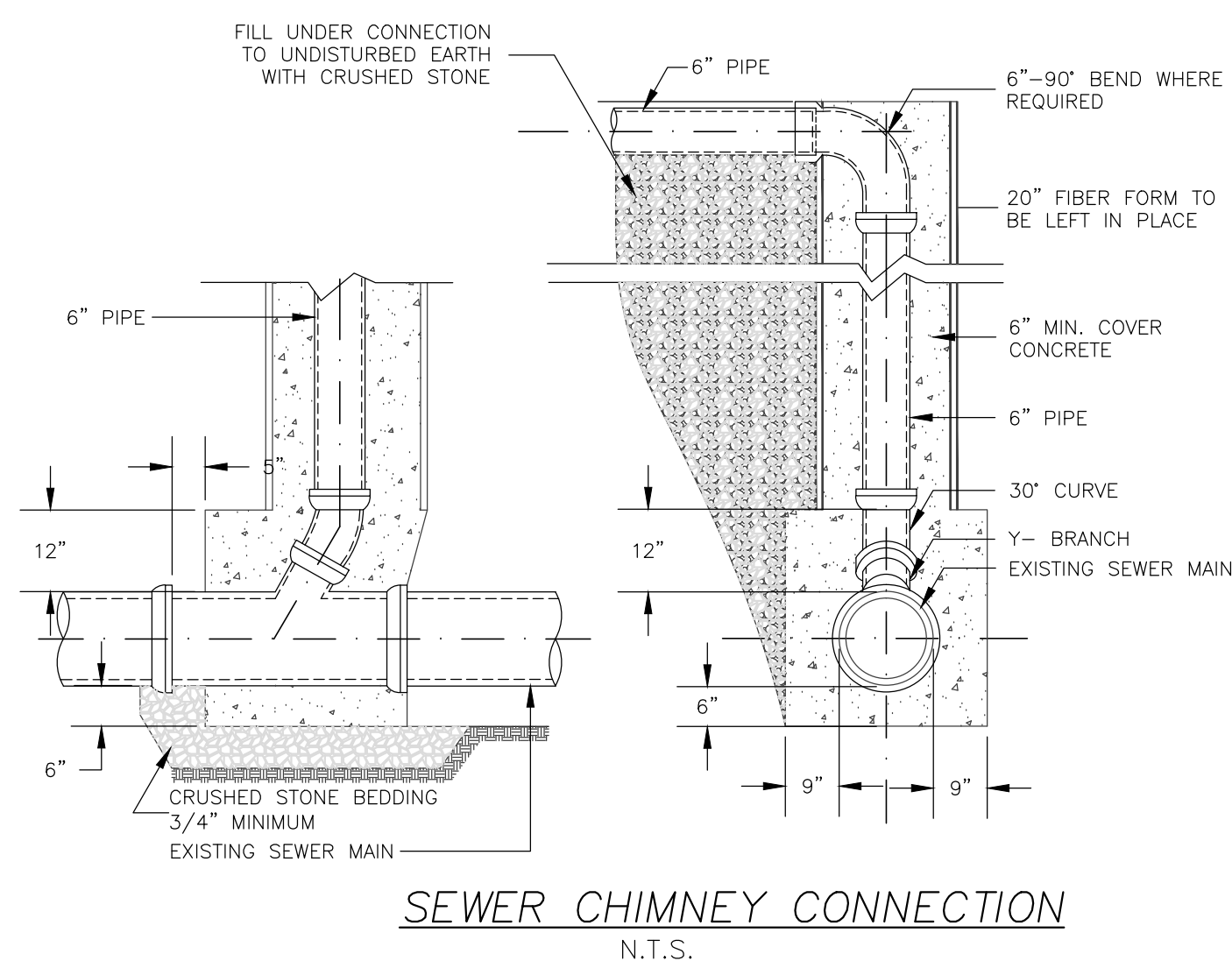
JOB NUMBER: 19.085 SHEET 10 OF 11



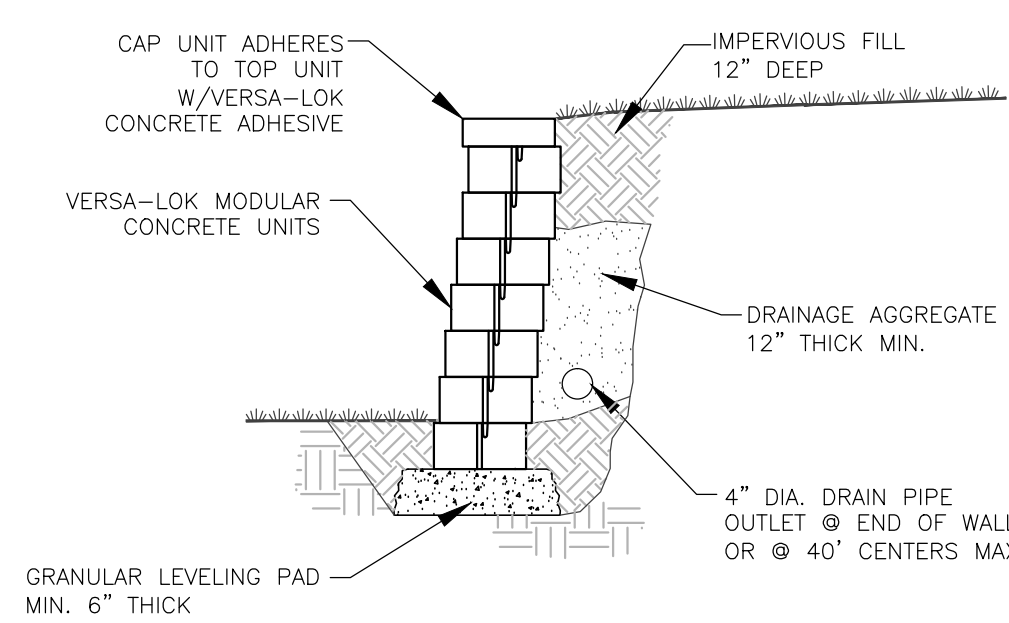
SILT FENCE DETAIL FOR
TEMPORARY SOIL STOCKPILE AREA



NOT TO SCALE

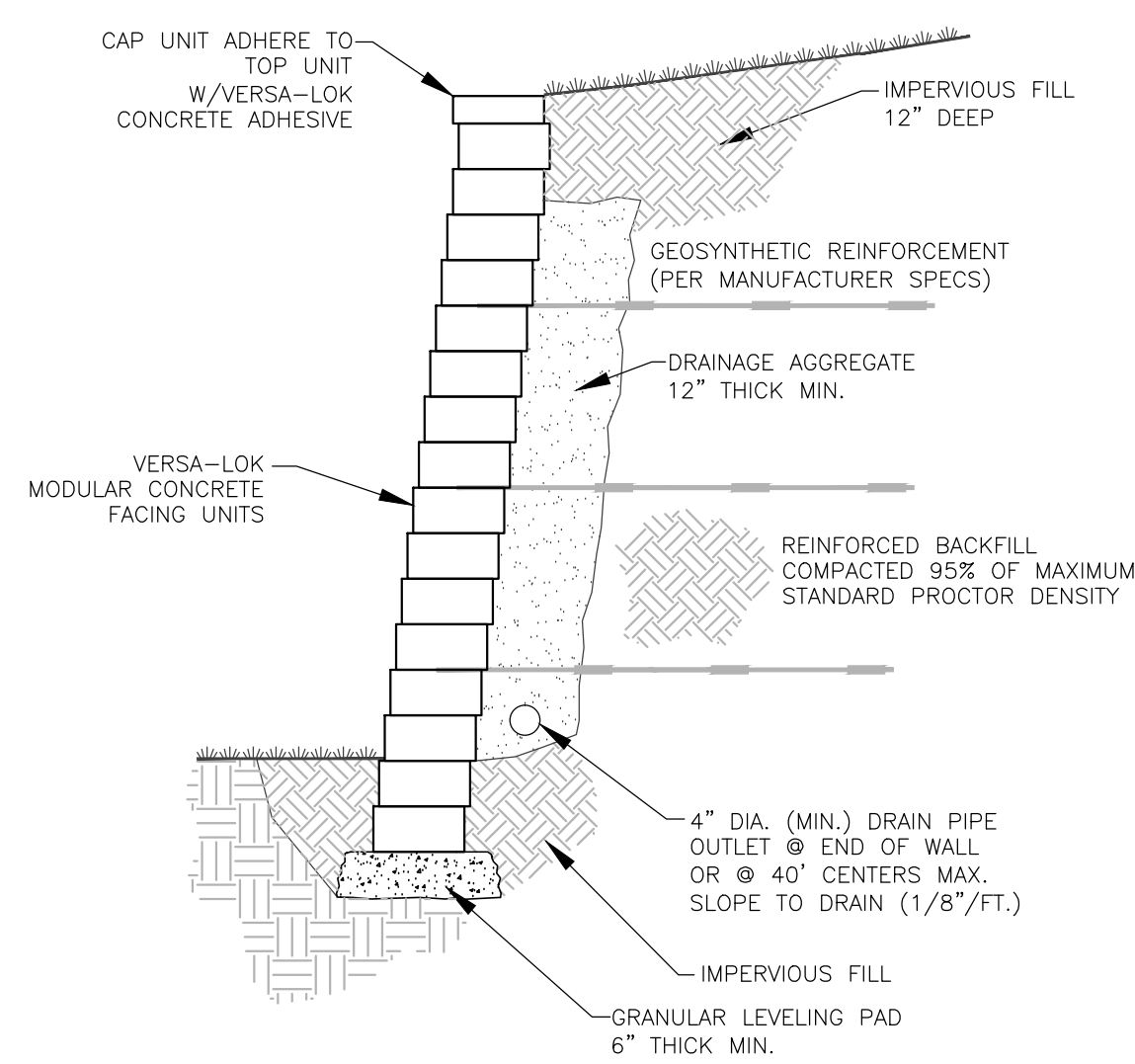


N.T.S.



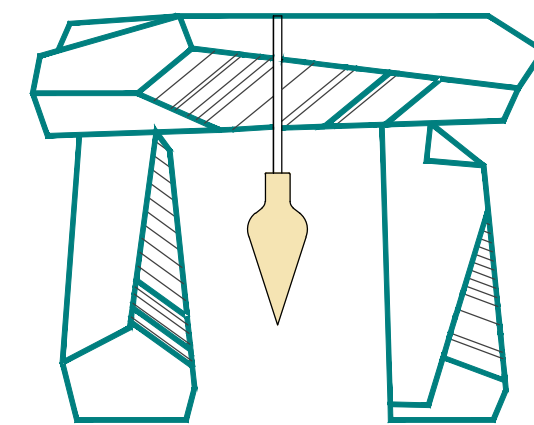
NOT TO SCALE

NOT TO SCALE



N.T.S.

NOT TO SCALE



GENERAL NOTES:

1. LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
- RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
2. ELEVATIONS REFER TO NAVD-88.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-S&F AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEMS IN SERVICE.
- DIG-S&F SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS REGULATORY BOARD ORDER NO. 1-88B-544-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FR-50A-070-00416, DATED JUNE 4, 2010.
5. PARCEL IS ZONED SR-A

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

CONSTRUCTION DETAILS

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISÉ: APRIL 19, 2021

REVISÉ: JUNE 1, 2021

REVISÉ: JUNE 25, 2021

REVISÉ: JULY 6, 2021

JOB NUMBER: 19.085	SHEET 11 OF 11
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