

July 7, 2021

Mr. Nicholas Iannuzzi, Chair  
Belmont Zoning Board of Appeals  
455 Concord Avenue  
Belmont, MA 02478

**Re: Peer Review Response  
91 Beatrice Circle  
Belmont, MA**



Dear Mr. Chair & Board of Appeals Members:

DeCelle-Burke-Sala & Associates, Inc. (DBS) has prepared the attached information to respond to outstanding concerns raised by your peer review professional, Jesse Johnson, PE of Weston & Sampson Engineers, Inc. (W&S) during recent work sessions and as outlined in an email dated June 16, 2021 and another email dated July 6, 2021. The outstanding bulleted and numbered concerns itemized in the emails with corresponding responses underneath are as follows:

**June 16, 2021 Email**

- Provide documentation/calculations that the proposed tie-in at Frontage Road.

The current stormwater management design proposes to connect to the existing 15" drain pipe with a 10" HDPE drain pipe. The proposed 10" drain pipe allows treated and detained stormwater runoff generated from the project site to enter the existing Town of Belmont drainage infrastructure. WSE requested this office to prepare calculations that determine how this connection impacts the existing infrastructure's capacity.

DBS generated a watershed map that delineates the up-gradient watershed for the existing 15" drain pipe that runs along Frontage Road at the project locus, 91 Beatrice Circle. The watershed area is 618,294 square feet (s.f.) and we provided an existing coverage number (CN) of 61 for existing conditions and calculated a time of concentration of 9.9 minutes. The existing drain pipe is a 15" reinforced concrete pipe with a slope of 7.7%.

DBS used HydroCAD to calculate the existing stormwater flow for this 15" pipe using the data above. In addition, DBS generated a proposed condition HydroCAD model for the proposed condition. The proposed condition model includes the redeveloped project site along with the up-gradient neighborhood flow. The project site watershed contributing to the pipe is 25,100 s.f. and is routed through a subsurface recharge structure and a detention tank. DBS removed 25,100 s.f. of area from the existing watershed area and added the proposed site's HydroCAD model to form the proposed conditions HydroCAD model.

The results show a reduction of flow into the 15" pipe for each calculated storm event. The calculations also show that the pipe under current conditions is slightly surcharged for the 10-year storm event. The proposed conditions model shows that the on-site detention allows the pipe to operate under open-channel conditions for the 10-year event. The pipe is not surcharged. The

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proposed stormwater management structures not only reduces the flow off-site to the abutters but allows the existing drainage infrastructure to operate at an improved efficiency.

DBS has attached the watershed map, the HydroCAD calculations for the existing condition off-site drainage analysis, the HydroCAD calculations for the proposed condition off-site drainage analysis and comparison summary sheets showing peak flows and flow depth for the 15" pipe.

- Provide more detail on how the apparent ledge will be dealt with at the site.

DBS generated a plan showing estimated ledge contours calculated by interpolating between the ledge elevations found in each test pit. A copy of this plan is attached to this letter. In addition DBS estimated the underground excavation required for this site and created a surface using Civil 3D AutoCAD software. A ledge removal volume of 726 cubic yards was calculated with a maximum depth of 3.5 feet for the installation of the detention tank. The applicant proposes to remove the ledge by hydraulic hammer. No blasting is proposed for this site.

- The system is proposed 2' closer to foundations than DEP suggests

DBS replaced the Cultec chambers and stone with twenty-nine (29) concrete 4'x4'x4' subsurface recharge galleys backfilled with stone and native soil making the width of the recharge structure six feet. The building footprints were resized to accommodate a minimum of twenty-six (26) feet of clearance between the foundations thereby allowing this proposed recharge structure to have a 10-foot setback to the foundation as suggested by the MADEP Stormwater Guidelines.

DBS revised the plans and the HydroCAD calculations to include this revision and the plans and supporting calculations are attached to this letter. The data is in a document titled Supplemental Engineering Report revised July 7, 2021. A flow comparison summary sheet is also attached to this letter.

- The mounding analysis needs to be done with correct input parameters. We ran the correct numbers informally and they appeared to work but the Applicant should confirm.

DBS has attached a revised mounding analysis that shows the calculated groundwater mound does not have a negative impact upon the revised subsurface recharge structure and that it drains within 72 hours. The base of the recharge structure is at elevation 219.0 with an overflow pipe at elevation 221.92. Ledge shall be removed below the recharge structure to elevation 217.0 meeting the two-foot separation requirement. The mound calculates to a depth of 3.89 feet bringing the mound to elevation 220.89. This elevation is less than the overflow pipe elevation thereby allowing the required recharge volume for the site to flow into the ground and not into the detention basin. The mounding analysis can be found in the Supplemental Engineering Report.

## July 6, 2021 Email

1. 100-year storm event elevation for the chamber system is above top of chamber (223.61 vs top of chamber at 223.5).

The proposed 100-year storm event flow elevation for the chamber system is 222.90; less than the proposed interior top of the chamber elevation of 223.17.

2. Storage height in HydroCAD model for the chamber system (infiltration system 1) is referenced as 5 feet, detail/drawings only have available storage height of 4.5'. If the intent is to have 6" of stone above the top of the chambers then the detail should be updated.

The HydroCAD calculations and site plan details for the recharge structure correlate and show the height of the structure as 4.67 feet. The 6" of stone has been eliminated.

3. The storage volume calculation for the chamber system lists the inside height dimension at 43". The detail indicates the top is 6" thick which would put the height at 42". One of them needs to be corrected. Also, the detail for the chambers should specify a thickness of the walls. The calculations indicate they are 3".

The interior height of the structure is 44". This dimension correlates with both the site plan detail and the HydroCAD calculations.

4. The proposed ledge contours around the infiltration system indicate that a "bathtub" will be created. The project needs to indicate how water will be able to migrate away from the system. Also, if the intent is to have it travel easterly, as it does now, then you should indicate how the water leaving the infiltration system will not migrate to the stone around the detention system or the stone behind the retaining wall. There is a potential for water to travel along pipe/structure bedding and/or build up behind the wall.

It is not the intent to create a "bathtub" for the recharge structure. As discussed previously we have found ledge elevations below elevation 217 and the contractor will remove ledge to allow the free flow of water across the ledge to prevent ponding under the recharge structure. As for the retaining wall, the grade at the base of the wall is at 217 with an estimated ledge elevation of 213. With these elevations we do not anticipate any issue with water building up behind the wall. Further we proposed bentonite dams along the utility pipes to prevent water from flowing within the utility trench. Once the site is excavated a serviceable control plan for underground flow can be implemented with several various types of dams and controls to prevent ponding and breakout.

5. Effluent pipe of the detention system in HydroCAD = 8" pipe, drawings reference 10".

The outfall pipe for the detention basin was revised in the HydroCAD calculations to correlate with the plans as a 10" HDPE pipe.

6. Drawings reference 4x4x3 galley structure. HydroCAD uses 4x4x4.

The plans were revised to correlate with the HydroCAD calculations and reference the 4x4x4 galleys.

7. Typical trench drain / area drain detail included on Sheet 8 of the dwgs. Specific elevations should be provided to confirm the system will work as designed.

The trench drain and area drain were revised to include some minimal dimensions.

8. Proposed snow storage areas identified in parking medians. Landscape plans have plantings here. Confirm / update snow storage areas.

It is our understanding that the snow areas shall be landscaped.

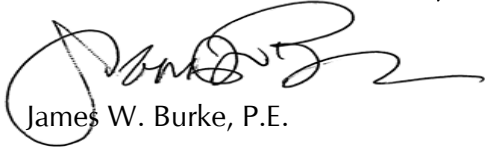
9. The limit of tree clearing and restoration needed to install the drainage pipe from the detention overflow to the roadway system should be updated.

The HydroCAD calculations were revised to include this area as lawn to allow for a more conservative design. The area is proposed to be landscaped with trees and shrubs.

We realize that WSE may have other items requiring attention with the attached design but we look forward to continuing to work with WSE and the Town of Belmont to address these concerns. We look forward to presenting these revisions to the Board at the next scheduled hearing.

Sincerely,

**DeCelle-Burke-Sala & Associates, Inc.**



James W. Burke, P.E.



**91 Beatrice Circle Apartments – List of Requested Waivers**

<b><u>Chapter/Section</u></b>	<b><u>Subject</u></b>	<b><u>Requirement</u></b>	<b><u>Waiver Requested/Applicability</u></b>
<b><u>Zoning By-Law of the Town of Belmont, Massachusetts</u></b>			
§ 1.3	Basic Requirements	Basic requirements for compliance with the Bylaw.	A waiver is sought for this section in its entirety to permit the Project pursuant to M.G.L. c. 40B and 760 CMR 56, as shown on the Project Plans, which will include multifamily residential use (12 units in 2 buildings) in the Single Residence A (SR-A) zoning district in accordance with the dimensional and use waivers requested herein.
§ 1.6	Variation	“Where this By-Law imposes a greater restriction upon the use of buildings or premises than is imposed by existing provisions of law or other By-Laws, the provisions of this By-Law shall control. Where a provision of this By-Law may be in conflict with any other provision or provisions of this By-Law, the more stringent or greater requirements shall control.”	A waiver is sought for this section in its entirety to permit the Project pursuant to M.G.L. c. 40B and 760 CMR 56, as shown on the Project Plans, which will include multifamily residential use (12 units in 2 buildings) in the Single Residence A (SR-A) zoning district in accordance with the dimensional and use waivers requested herein.
§ 3.1	General Use Requirements	General Use Requirements.	A waiver is sought for this section in its entirety to permit the Project pursuant to M.G.L. c. 40B and 760 CMR 56, as shown on the Project Plans, which will include multifamily residential use (12 units in 2 buildings) – a forbidden use in the Single Residence A (SR-A) zoning district – in accordance with the dimensional and use waivers requested herein.

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<u>Chapter/Section</u>	<u>Subject</u>	<u>Requirement</u>	<u>Waiver Requested/Applicability</u>																				
§ 3.3	Schedule of Use Regulations	Specific use requirements in all zoning districts.	A waiver is sought for this section in its entirety to permit the Project pursuant to M.G.L. c. 40B and 760 CMR 56, as shown on the Project Plans, which will include multifamily residential use (12 units in 2 buildings) – a forbidden use in the Single Residence A (SR-A) zoning district – in accordance with the dimensional and use waivers requested herein. Specifically enumerated uses to be allowed will include, without limitation, “other apartment house”, “open lot parking in excess of the above accessory to residential use”, and “shared driveway”.																				
§ 4.1	General Dimensional Requirements	General dimensional requirements	A waiver is sought for this section in its entirety to permit the Project pursuant to M.G.L. c. 40B and 760 CMR 56, as shown on the Project Plans, which will include multifamily residential use (12 units in 2 buildings) in accordance with the dimensional and use waivers requested herein.																				
§ 4.2.1	Schedule of Dimensional Regulations (Area)	<div><div>This section imposes the following dimensional requirements (area) in the SR-A zoning district:</div><table><tr><th><u>Dimension</u></th><th><u>Requirement</u></th></tr><tr><td>Lot Area</td><td>25,000 SF</td></tr><tr><td>Frontage</td><td>125’</td></tr><tr><td>Max. Lot Coverage</td><td>20%</td></tr><tr><td>Min. Open Area</td><td>50%</td></tr></table></div>	<u>Dimension</u>	<u>Requirement</u>	Lot Area	25,000 SF	Frontage	125’	Max. Lot Coverage	20%	Min. Open Area	50%	<div><div>Waivers are sought for this section to permit the Project as specified below:</div><table><tr><th><u>Dimension</u></th><th><u>Provided</u></th></tr><tr><td>Lot Area</td><td>23,496 SF (WAIVER)</td></tr><tr><td>Frontage</td><td>200.0’ (NO WAIVER)</td></tr><tr><td>Lot Coverage</td><td>29.9% (WAIVER)</td></tr><tr><td>Open Area</td><td>38.3% (WAIVER)</td></tr></table></div>	<u>Dimension</u>	<u>Provided</u>	Lot Area	23,496 SF (WAIVER)	Frontage	200.0’ (NO WAIVER)	Lot Coverage	29.9% (WAIVER)	Open Area	38.3% (WAIVER)
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**91 Beatrice Circle Apartments – List of Requested Waivers**

<u>Chapter/Section</u>	<u>Subject</u>	<u>Requirement</u>	<u>Waiver Requested/Applicability</u>																												
§ 4.2.2	Schedule of Dimensional Regulations (Linear)	<p>This section imposes the following dimensional requirements (linear) in the SR-A zoning district:</p> <table><tr><td><u>Dimension</u></td><td><u>Requirement</u></td></tr><tr><td>Front Yard Setback</td><td>30’</td></tr><tr><td>Side Yard Setback</td><td>15’</td></tr><tr><td>Rear Yard Setback</td><td>40’</td></tr><tr><td>Max. Bldg. Height</td><td>36’</td></tr><tr><td>Max. Bldg. Stories</td><td>2.5</td></tr></table>	<u>Dimension</u>	<u>Requirement</u>	Front Yard Setback	30’	Side Yard Setback	15’	Rear Yard Setback	40’	Max. Bldg. Height	36’	Max. Bldg. Stories	2.5	<p>Waivers are sought for this section to permit the Project as specified below:</p> <table><tr><td><u>Dimension</u></td><td><u>Provided</u></td></tr><tr><td>Front Yard Setback</td><td>7.7’ (WAIVER)</td></tr><tr><td>Side Yard Setbacks</td><td>23.3’ (WAIVER)</td></tr><tr><td></td><td>&gt;45’</td></tr><tr><td>Rear Yard Setback</td><td>12.1’ (WAIVER)</td></tr><tr><td>Bldg. Height</td><td>43’ (WAIVER)</td></tr><tr><td></td><td>30.5’ (Rear Bldg)</td></tr><tr><td>Bldg. Stories</td><td>4/3 (WAIVER)</td></tr></table>	<u>Dimension</u>	<u>Provided</u>	Front Yard Setback	7.7’ (WAIVER)	Side Yard Setbacks	23.3’ (WAIVER)		>45’	Rear Yard Setback	12.1’ (WAIVER)	Bldg. Height	43’ (WAIVER)		30.5’ (Rear Bldg)	Bldg. Stories	4/3 (WAIVER)
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§ 4.3.5(a)(3)	Garages	A garage shall have a vehicular access from the street.	A waiver is sought for this section to allow all garages to have vehicular access to/from the internal site driveway, as shown on the Project plans.																												
§ 4.3.9	Multiple Buildings	Regulations pertaining to multiple buildings on one lot.	Waiver sought for this section in its entirety to allow 12 residential units in 2 buildings (7 and 5 units in two row house-style townhouse buildings), as shown on the Project plans.																												
§§ 5.1, 5.1.1(a), 5.1.2(a), 5.1.2(i), 5.1.2(j), 5.1.3(b), 5.1.3(c), 5.1.3(d), 5.1.3(e), 5.1.3(f), 5.1.3(g), 5.1.3(h), 5.1.3(j)	Off-Street Parking and Loading Regulations	Regulations applicable to off-street parking and loading.	A waiver is sought for these sections in their entirety. Instead, the project, including the approval of all parking/loading design, dimensions, locations, setbacks, screening/landscaping, topography, lighting, configuration, layout, and construction as shown on the attached site plans, will be permitted under M.G.L. c. 40B. The Project will include 21 parking spaces (12 garage spaces, 9 surface).																												

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<b><u>Chapter/Section</u></b>	<b><u>Subject</u></b>	<b><u>Requirement</u></b>	<b><u>Waiver Requested/Applicability</u></b>
§ 5.2	Signs	Regulations and permitting requirements applicable to signs.	A waiver is sought for this section in its entirety. Instead, any/all Project signage, including design, dimensions, location(s), setbacks, screening/landscaping, topography, lighting, configuration, layout, maintenance, and construction as shown on the attached site plans, will be permitted under M.G.L. c. 40B.
§ 5.3	Landscaping	Regulations applicable to landscaping.	A waiver is sought for this section in its entirety. Instead, any/all Project landscaping, including types, numbers, locations, species, sizes, dimensional particulars, and maintenance of any/all landscaping, and including any/all removal of existing vegetation, all as shown on the Project plans, will be permitted under M.G.L. c. 40B and 760 CMR 56.00 as part of the Comprehensive Permit for the Project.
§§ 5.4.1, 5.4.3, 5.4.8	Light/Glare	Requiring a special permit to approve project lighting.	A waiver is sought for these sections solely to the extent that they would require a special permit to approve Project lighting. Instead, all Project lighting, as shown on the Project plans, will be permitted under M.G.L. c. 40B and 760 CMR 56.00 as part of the Comprehensive Permit for the Project in accordance with the performance standards outlined in Section 5.4.3.
§ 6.2	Earth Removal	Restrictions and permitting requirements for the removal of earth.	A waiver is sought for this section in its entirety. Instead, any/all earth removal associated with the construction of the Project will be permitted under M.G.L. c. 40B and in accordance with any applicable state or federal law.

**91 Beatrice Circle Apartments – List of Requested Waivers**

<b><u>Chapter/Section</u></b>	<b><u>Subject</u></b>	<b><u>Requirement</u></b>	<b><u>Waiver Requested/Applicability</u></b>
§ 6.10	Inclusionary Housing	Inclusionary housing bylaw.	A waiver is sought for this section in its entirety to the extent it differs from or imposes more stringent standards than found in M.G.L. c. 40B and 760 CMR 56.00, and to the extent it would impose additional permitting requirements for the Project. Instead, the Project, including the affordability component thereof, will be permitted in accordance with the requirements and standards specified in M.G.L. c. 40B and 760 CMR 56.00. More specifically, the Project will provide 9 market rate units and 3 affordable units (25%).
§ 7.1	Enforcement	Enforcement of Zoning Bylaw.	A waiver is sought for this section in its entirety to the extent necessary to permit the Project under M.G.L. c. 40B and 760 CMR 56.00, including the variations from the Zoning Bylaw for which waivers are herein requested.
§ 7.2	Compliance	Compliance with Zoning Bylaw.	A waiver is sought for this section in its entirety to the extent necessary to permit the Project under M.G.L. c. 40B and 760 CMR 56.00, including the variations from the Zoning Bylaw for which waivers are herein requested.
§ 7.3	Design and Site Plan Review	Design and Site Plan Review.	A waiver is sought for this section in its entirety, including all permitting requirements, procedures, submittal requirements, guidelines for review/approval, and design standards. Instead, the Project will be permitted under M.G.L. c. 40B and 760 CMR 56.00.

**91 Beatrice Circle Apartments – List of Requested Waivers**

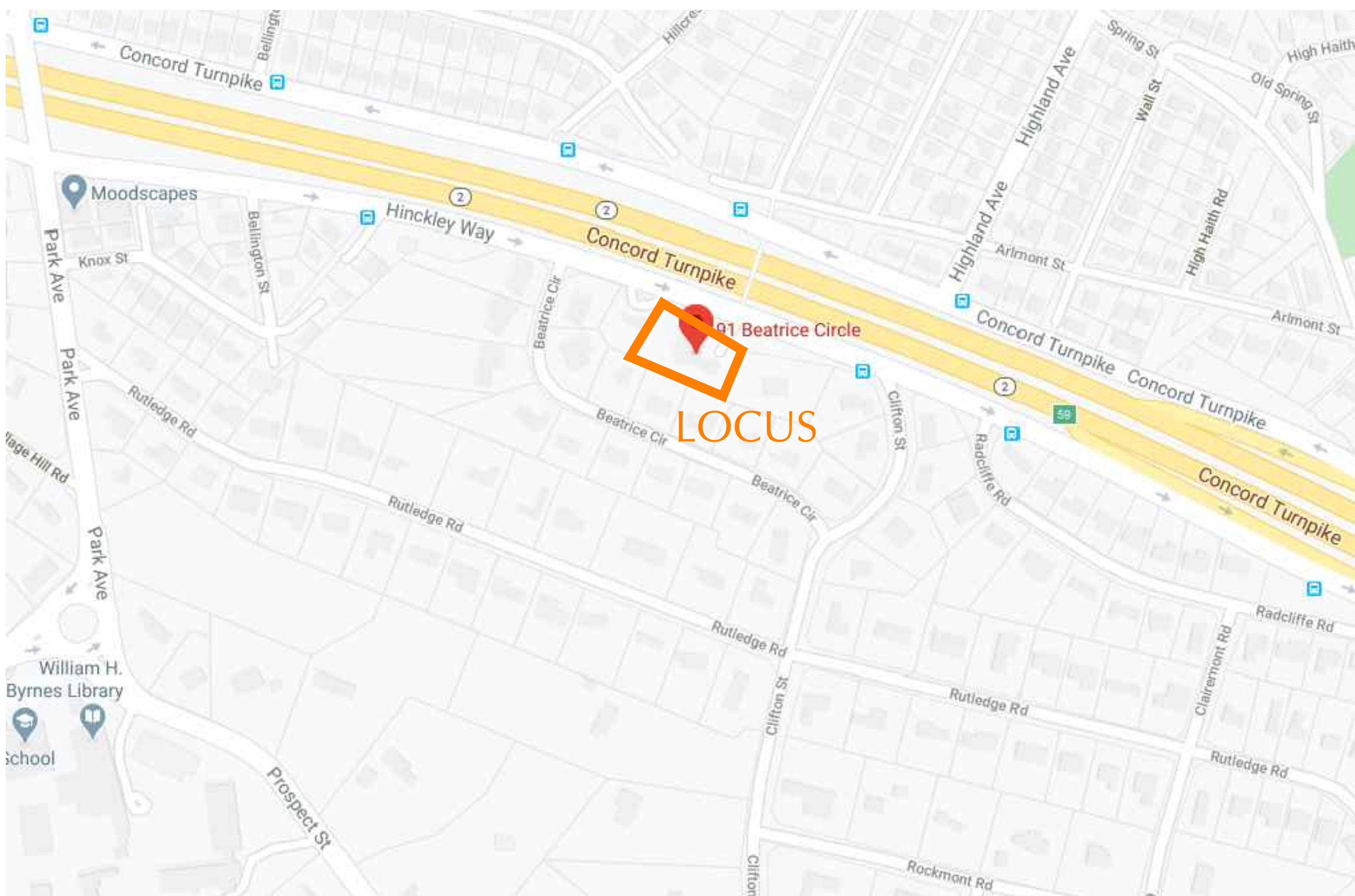
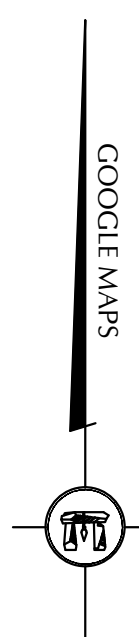
<b><u>Chapter/Section</u></b>	<b><u>Subject</u></b>	<b><u>Requirement</u></b>	<b><u>Waiver Requested/Applicability</u></b>
§ 7.5	Development Impact Report	Development Impact Report.	A waiver is sought for this section in its entirety, including all permitting requirements, procedures, submittal requirements, costs/fees allocations, peer review consultancy requirements, guidelines for review/approval, and design standards. Instead, the Project will be permitted under M.G.L. c. 40B and 760 CMR 56.00.
<b><u>Belmont Streets &amp; Sidewalks Bylaw (Bylaws of the Town of Belmont, Sections 60-800 - 60-810)</u></b>			
All Sections	Streets & Sidewalks	Regulations pertaining to activities in/on public streets and sidewalks, including construction.	A waiver is sought for this Bylaw solely to the extent required to authorize the proposed improvements within the layout of Beatrice Circle as shown on the Project plans as part of the Comprehensive Permit for this Project.
<b><u>Town of Belmont Zoning Board of Appeals – Comprehensive Permit Rules and Regulations</u></b>			
All Sections	Regulations applicable to Chapter 40B applications	Filing and other technical requirements applicable to Chapter 40B Comprehensive Permit applications	<p>A waiver is sought for these Rules and Regulations in their entirety to the extent their requirements differ from M.G.L. c. 40B and 760 CMR 56.00. Instead, the project will be permitted under M.G.L. c. 40B and 760 CMR 56.00.</p> <p>In particular, the Applicant objects to any/all filing fees and deposits required by this Bylaw and reserves the right to appeal any/all such fees and deposits. Subject to this objection and reservation of rights, the Applicant has included with this filing payment of all required fees/deposits.</p>



# PROPOSED SITE PLAN

## 91 BEATRICE CIRCLE BELMONT, MASSACHUSETTS

NOVEMBER 4, 2020

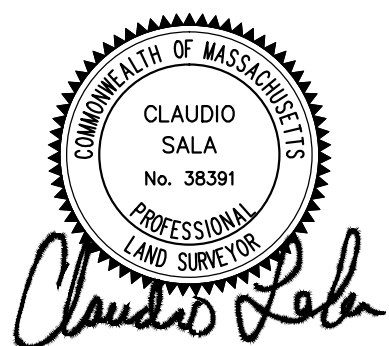


LOCUS AERIAL

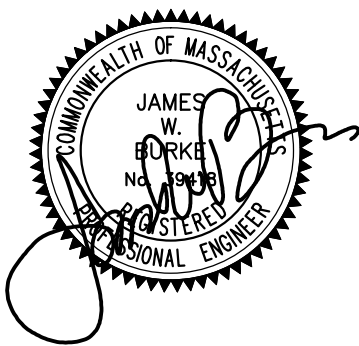
IMAGE FROM 2020 GOOGLE MAP DATA

### SHEETS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 DEMOLITION
- 4 PROPOSED LAYOUT
- 5 PROPOSED GRADING
- 6 PROPOSED UTILITIES
- 7 SEWER PROFILE
- 8 PROPOSED DRAINAGE
- 9 CONSTRUCTION DETAILS
- 10 CONSTRUCTION DETAILS
- 11 CONSTRUCTION DETAILS



NO.	DATE	COMMENT
1	4/19/2021	PEER REVIEW COMMENTS
2	6/1/2021	REVISED SITE DESIGN/PEER REVIEW
3	6/25/2021	REVISED SITE DESIGN/PEER REVIEW
4	7/06/2021	REVISED SITE DESIGN/PEER REVIEW



### APPLICANT

91 BEATRICE CIRCLE LLC  
c/o REGNANTE STERIO  
401 EDGEWATER PL, SUITE 630  
WAKEFIELD, MA 01880

### LEGAL

REGNANTE STERIO, LLP  
401 EDGEWATER PLACE SUITE 630  
WAKEFIELD, MA 01880

### ARCHITECT

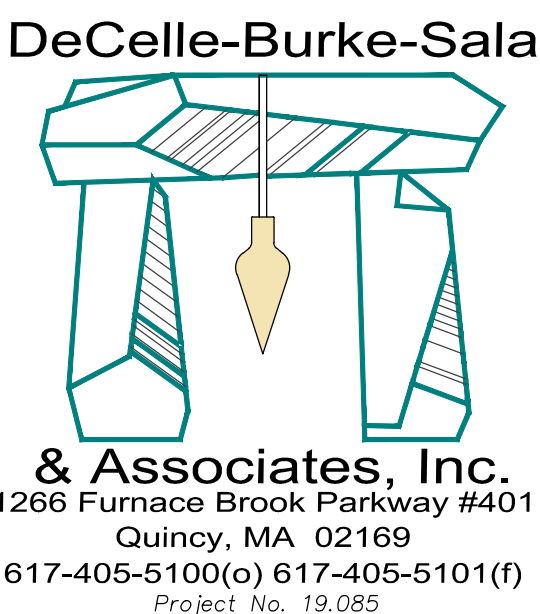
EMBARC STUDIO  
60 K STREET  
BOSTON, MA 02127

### TRAFFIC

MDM TRANSPORTATION  
CONSULTANTS, INC.  
20 LORD ROAD SUITE 280  
MARLBOROUGH, MA 01752

### CIVIL/SURVEY

DECELLE-BURKE-SALA & ASSOCIATES, INC.  
1266 FURNACE BROOK PARKWAY  
SUITE 401  
QUINCY, MA 02169

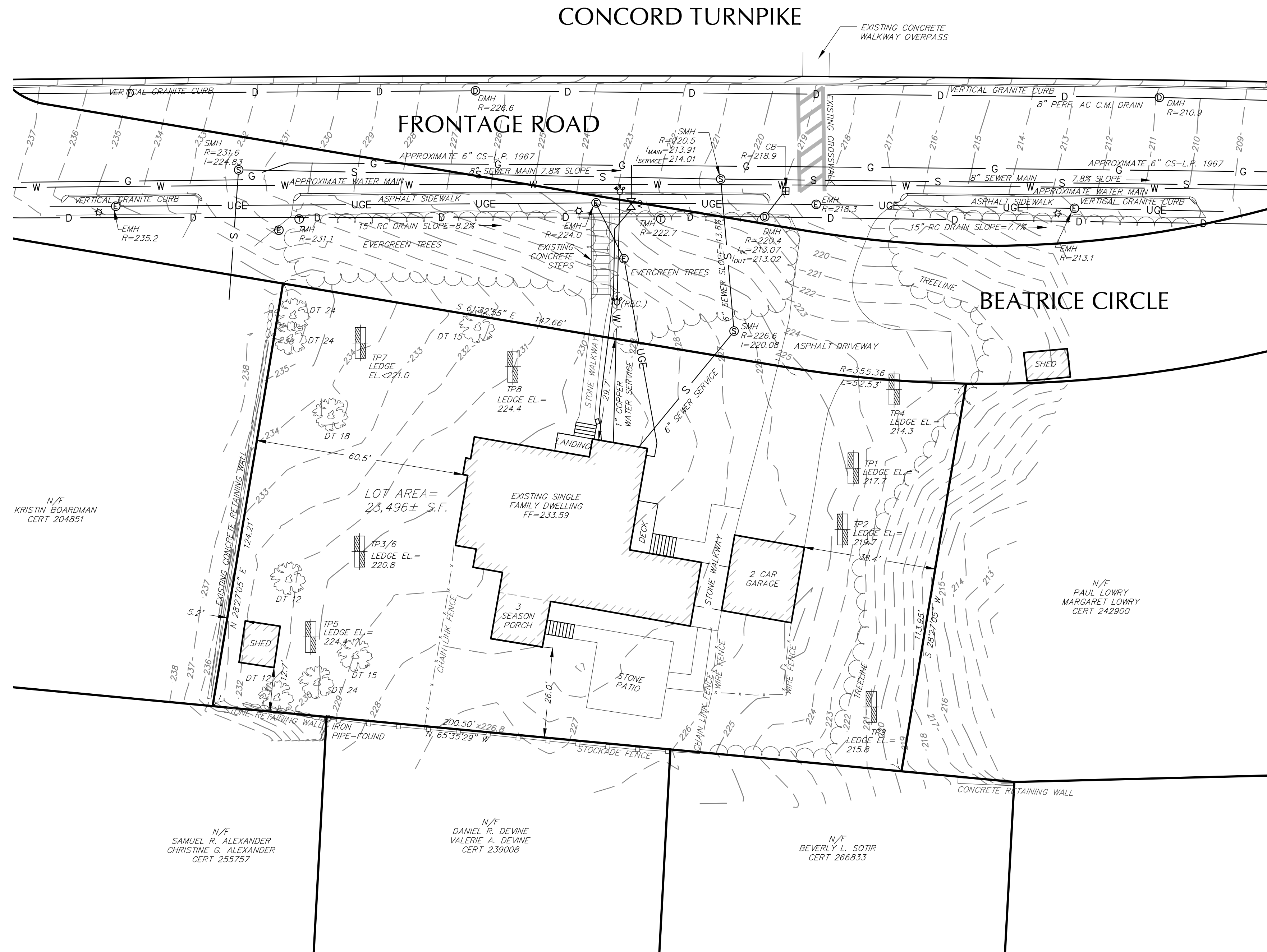




SOIL TEST PIT DATA:

	TEST PIT	<u>9</u>
	GRD. EL.	<u>220.8</u>
0"	GW. EL.	<u>NGWO</u>
	Ap, SANDY LOAM, 10YR3/2 Granular, Very Friable	
12"	Bw, SANDY LOAM, 10YR5/4 Massive, Friable	
32"	C <sub>s</sub> SANDY LOAM, 5Y5/2 Massive, Friable Gravelly(±30%) Cobbles(±10%)	
60"	R, Ledge	

\*No groundwater or any signs of groundwater observed in any of the test pits performed

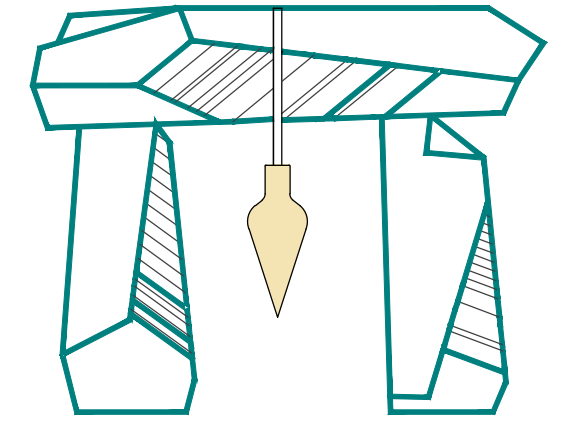


LEGEND:

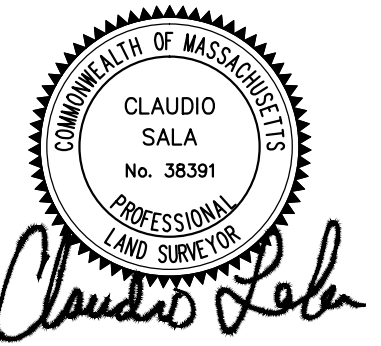
EXISTING:

- |     |                            |
|-----|----------------------------|
|     | - LOCUS PROPERTY LINE      |
|     | - TREE LINE                |
|     | - SEWER MANHOLE (SMH)      |
|     | - DRAIN MANHOLE (DMH)      |
|     | - CATCH BASIN (CB)         |
|     | - STONEWALL                |
|     | - GAS VALVE                |
|     | - WATER VALVE              |
|     | - WATER SERVICE            |
|     | - HYDRANT                  |
|     | - UTILITY POLE             |
| N/F | - NOW OR FORMERLY          |
|     | - DRAIN PIPE               |
|     | - WATER MAIN               |
|     | - GAS SERVICE              |
|     | - UNDERGROUND POWER        |
|     | - OVERHEAD WIRES           |
|     | - SEWER MAIN               |
| LSA | - LANDSCAPED AREA          |
|     | - GRADE                    |
|     | - SPOT GRADE               |
|     | - CHAIN LINK FENCE         |
|     | - STOCKADE FENCE           |
|     | - TEST PIT                 |
|     | - HAND HOLES FOR UTILITIES |
|     | - LIGHT POLE               |
| FF  | - FIRST FLOOR              |

DeCelle-Burke-Sala



**& Associates, Inc.**  
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CLAUDIO SALA, PLS

GENERAL NOTES:

1. LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
- RECORD OWNER: COMPREHENSIVE LAND HOLDINGS  
DEED REFERENCE: CERTIFICATE #271959  
PLAN REFERENCE: LC PLAN 2367-12
2. ELEVATIONS REFER TO NAVD-88.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND FROM INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
- DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS REGULATION 801 CMR 22.000, ARTICLE 22B, SECTION 22B.01(1). THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES AND STRUCTURES ARE FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRMS 25017C-00416E, DATED JUNE 4, 2010.
5. PARCEL IS ZONED SR-A.

PROJECT TITLE &amp; LOCATION:

PROPOSED SITE PLAN  
91 BEATRICE CIRCLE  
BELMONT, MASS.

PLAN TITLE:

## EXISTING CONDITIONS

PREPARED FOR:

91 BEATRICE CIRCLE LLC  
c/o REGNANTE STERIO  
401 EDGEWATER PL, SUITE 630  
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISÉ: APRIL 19, 2021

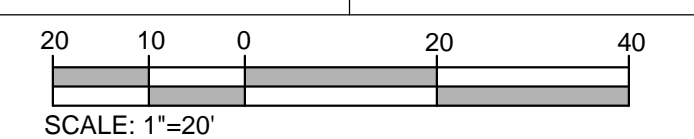
REVISÉ: JUNE 1, 2021

REVISÉ: JUNE 25, 2021

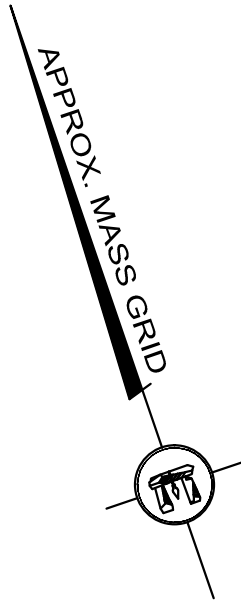
REVISÉ: JULY 6, 2021

JOB NUMBER: 19.085

SHEET 2 OF 11







**DEMOLITION & CONSTRUCTION NOTES:**

THE CONTRACTOR SHALL PLACE A 6' HIGH TEMPORARY SAFETY FENCE AND EROSION CONTROL MEASURES AS SHOWN ON THE PLAN AROUND THE SITE PRIOR TO THE DEMOLITION ON SITE.

A WATER TRUCK SHALL BE ON-SITE DURING THE DEMOLITION AND SITE WORK PROCESS TO MINIMIZE FUGITIVE DUST.

A CRUSHED STONE APRON SHALL BE CONSTRUCTED AS SHOWN TO MINIMIZE TRUCK TIRES LEAVING SEDIMENT ON THE ROADWAYS.

A COVERED DUMPSTER SHALL BE KEPT ON-SITE TO ELIMINATE ANY WIND BLOWN DEBRIS FROM BECOMING LITTER IN THE NEIGHBORHOOD.

ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

CONTRACTOR TO GRADE THE SITE AND USE TEMPORARY EROSION CONTROL BARRIERS PARALLEL WITH SITE CONTOURS TO MINIMIZE CHANNELIZING SURFACE RUNOFF. THE SITE AND THE CRUSHED STONE APRON SHALL BE GRADED TO PREVENT ANY CHANNELIZED RUNOFF FROM FLOWING OFF SITE.

CONTRACTOR IS RESPONSIBLE TO CONTROL THE ON-SITE STORMWATER USING BEST MANAGEMENT PRACTICES TO PREVENT EROSION AND FLOODING IMPACTS.

CONTRACTOR TO MANAGE ON-SITE SNOW BY STOCKPILING SNOW ALLOWING IT TO MELT IN A CONTROLLED MANNER WITHOUT IMPACTS TO THE ADJACENTS. IF THE SNOW VOLUME EXCEEDS THE STOCKPILE ALLOWANCE VOLUME THE CONTRACTOR SHALL REMOVE IT FROM THE SITE AND DISPOSE OF IT IN A LEGAL MANNER.

CONSTRUCTION HOURS SHALL BE FROM 7:00AM TO 5:00PM MONDAY THROUGH FRIDAY, 8:00AM TO 4:00PM ON SATURDAYS. ALL CONSTRUCTION AND DELIVERIES ARE PROHIBITED SUNDAYS UNLESS APPROVED BY THE BUILDING COMMISSIONER.

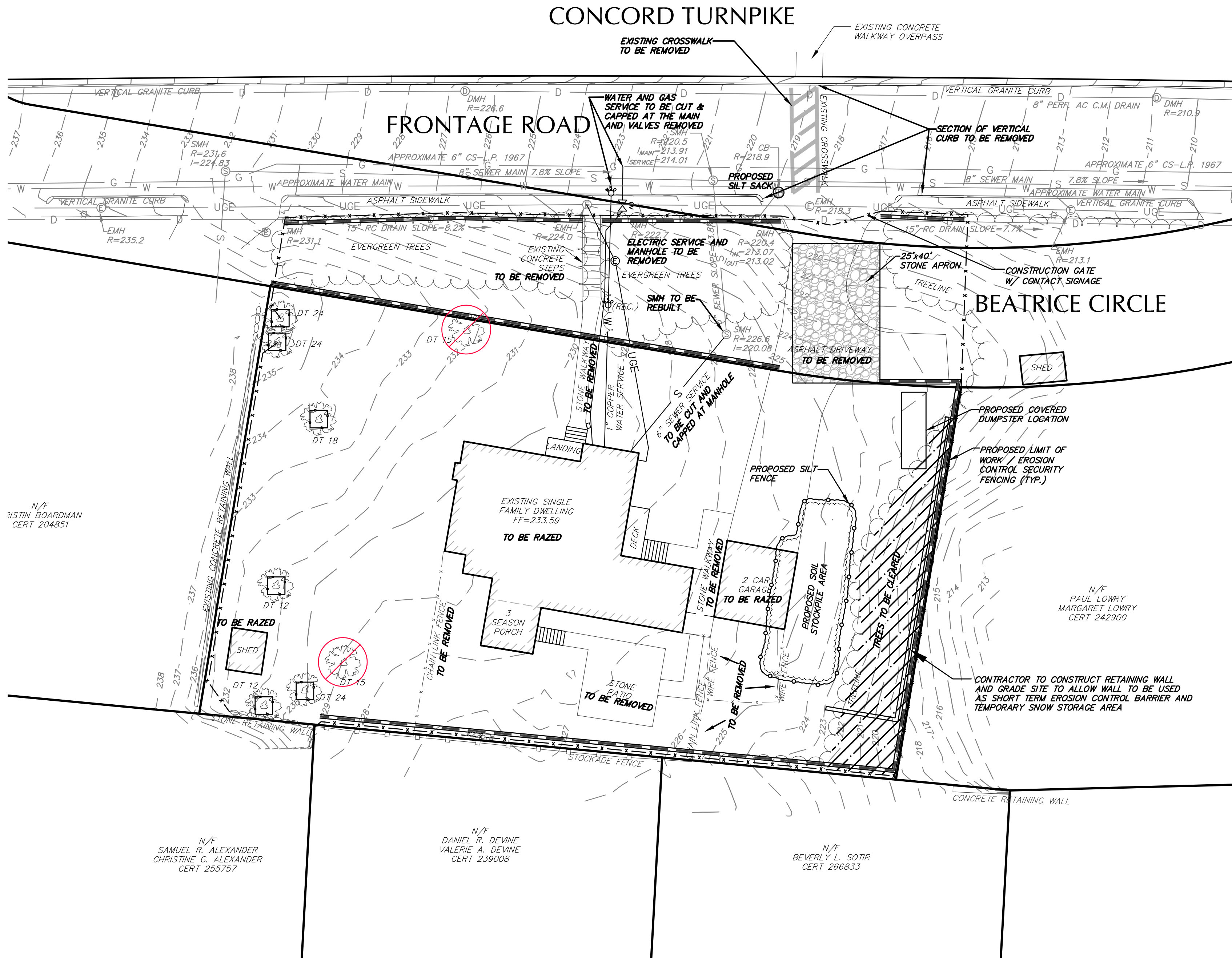
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**EXISTING:**

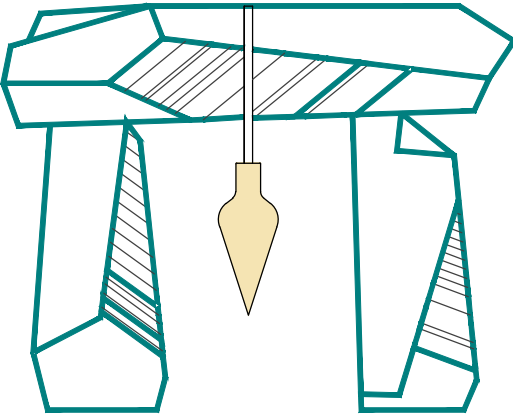
- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- N/F
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- CHAIN LINK FENCE
- TEST PIT
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR
- TEMPORARY FENCING
- MULCH WATTLE
- SILT FENCE
- TREE PROTECTION

**PROPOSED:**

- SMH
- DMH
- CB
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- N/F
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
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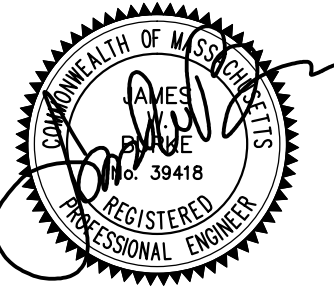


**DeCelle-Burke-Sala**



**& Associates, Inc.**

1266 Furnace Brook Parkway #401  
Quincy, MA 02169  
617-405-5100(o) 617-405-5101(f)  
www.decelle-burke-sala.com



JAMES W BURKE, P.E.

**GENERAL NOTES:**

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36  
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS  
DEED REFERENCE: CERTIFICATE #271959  
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
- DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40B AT TEL 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
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- PARCEL IS ZONED SR-A.

**PROJECT TITLE & LOCATION:**

**PROPOSED SITE PLAN  
91 BEATRICE CIRCLE  
BELMONT, MASS.**

**PLAN TITLE:**

**DEMOLITION**

**PREPARED FOR:**

**91 BEATRICE CIRCLE LLC  
c/o REGNANTE STERIO  
401 EDGEWATER PL, SUITE 630  
WAKEFIELD, MA 01880**

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

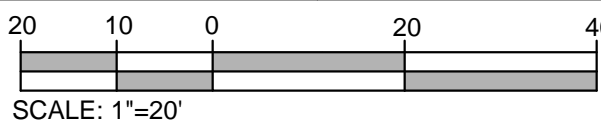
REVISED: JUNE 1, 2021

REVISED: JUNE 25, 2021

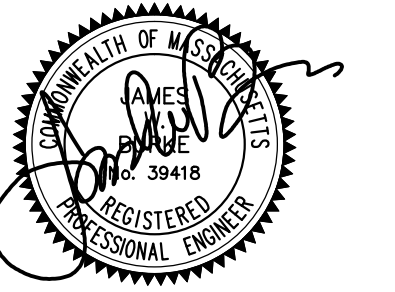
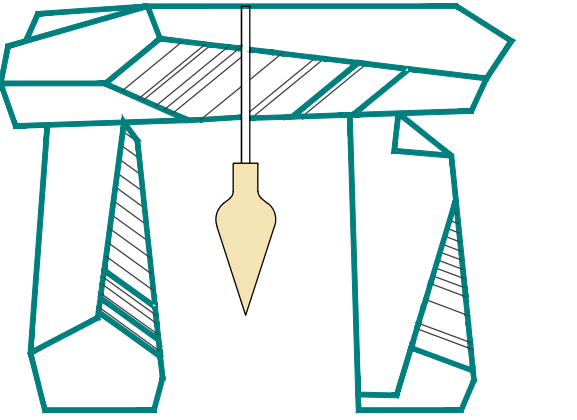
REVISED: JULY 6, 2021

JOB NUMBER: 19.085

SHEET 3 OF 11







JAMES W BURKE, P.E.

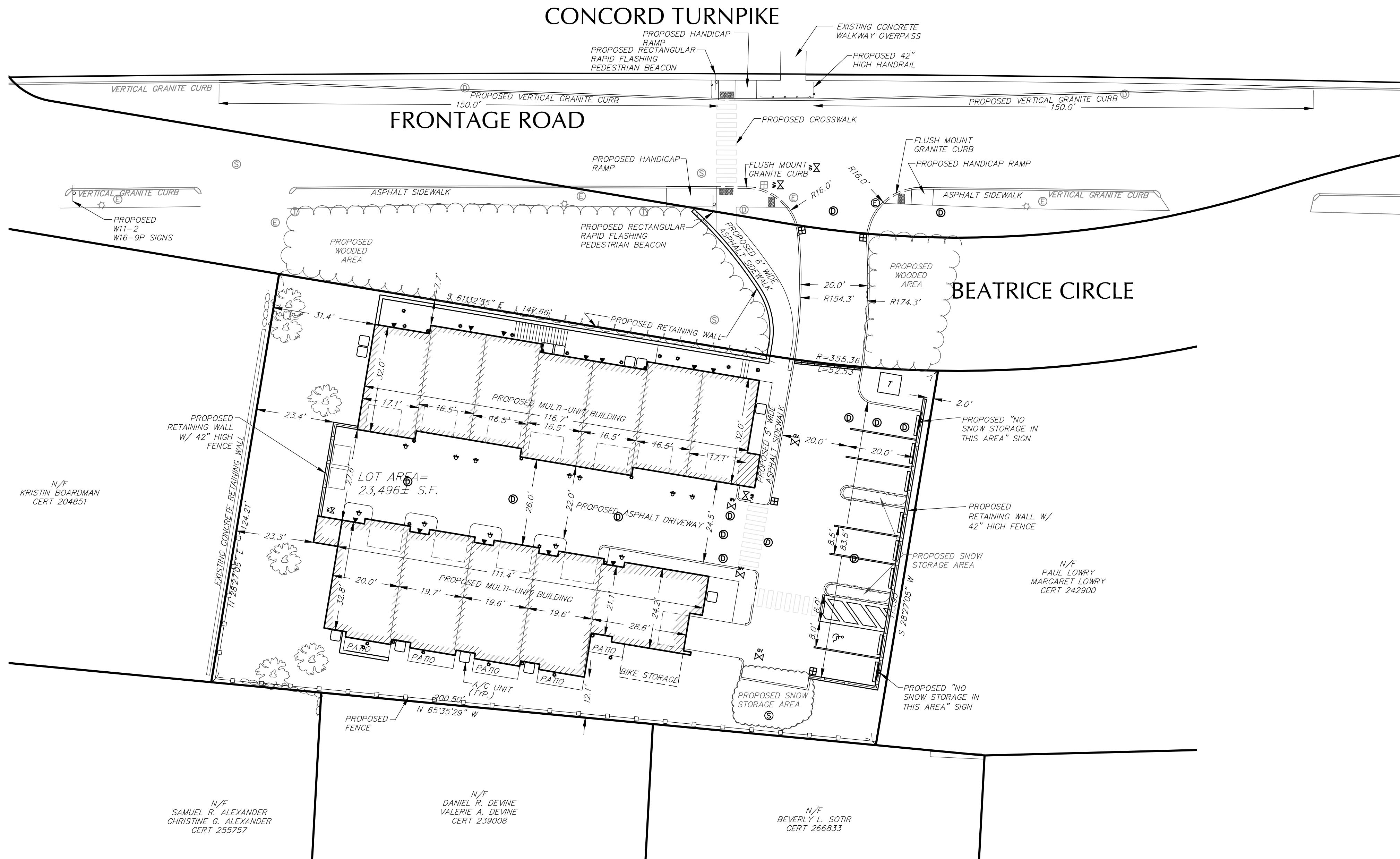
GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36  
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS  
DEED REFERENCE: CERTIFICATE #271959  
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
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- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
- PARCEL IS ZONED SR-A.
- FOR PROPOSED BUILDING DIMENSIONS SEE ARCHITECTS PLAN BY EMBARC.

ZONING DISTRICT: SR-A			
DIMENSIONAL REQUIREMENTS	EXISTING	PROPOSED	
MINIMUM LOT AREA (SQ.FT.)	25,000	23,496	23,496
MINIMUM FRONTAGE (FT.)	125	200	200
MAX. BUILDING HEIGHT (FT.)	36		
MIN. SETBACKS (FT.)			
FRONT	30	29.7'	8.2'
SIDE	15	38.4'	23.3'
REAR	40	26.0'	12.1'
MAXIMUM LOT COVERAGE	20%	14.5%	29.9%
MINIMUM OPEN SPACE	50%	81.4%	38.3%

LEGEND:

EXISTING:		PROPOSED:	
	- LOCUS PROPERTY LINE		- LOCUS PROPERTY LINE
	- TREE LINE		- TREE LINE
	- SEWER MANHOLE (SMH)		- SEWER MANHOLE (SMH)
	- DRAIN MANHOLE (DMH)		- DRAIN MANHOLE (DMH)
	- CATCH BASIN (CB)		- CATCH BASIN (CB)
	- STONEWALL		- STONEWALL
	- GAS VALVE		- GAS VALVE
	- WATER VALVE		- WATER VALVE
	- WATER SERVICE		- WATER SERVICE
	- HYDRANT		- HYDRANT
	- UTILITY POLE		- UTILITY POLE
	- NOW OR FORMERLY		- NOW OR FORMERLY
	- DRAIN PIPE		- DRAIN PIPE
	- WATER MAIN		- WATER MAIN
	- GAS SERVICE		- GAS SERVICE
	- UNDERGROUND POWER		- UNDERGROUND POWER
	- OVERHEAD WIRES		- OVERHEAD WIRES
	- SEWER MAIN		- SEWER MAIN
	- LANDSCAPED AREA		- LANDSCAPED AREA
	- GRADE		- GRADE
	- SPOT GRADE		- SPOT GRADE
	- CHAIN LINK FENCE		- CHAIN LINK FENCE
	- CHAIN LINK FENCE		- CHAIN LINK FENCE
	- TEST PIT		- TEST PIT
	- HAND HOLES FOR UTILITIES		- HAND HOLES FOR UTILITIES
	- LIGHT POLE		- LIGHT POLE
	- FIRST FLOOR		- FIRST FLOOR
	- TOP OF FOUNDATION		- TOP OF FOUNDATION
	- GARAGE FLOOR		- GARAGE FLOOR
	- SECOND FLOOR		- SECOND FLOOR



PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN  
91 BEATRICE CIRCLE  
BELMONT, MASS.

PLAN TITLE:

PROPOSED LAYOUT

PREPARED FOR:

91 BEATRICE CIRCLE LLC  
c/o REGNANTE STERIO  
401 EDGEWATER PL, SUITE 630  
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

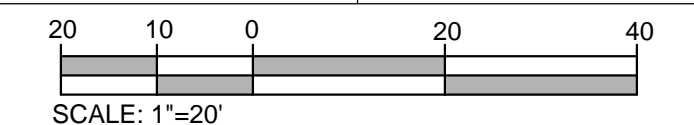
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REVISED: JUNE 25, 2021

REVISED: JULY 6, 2021

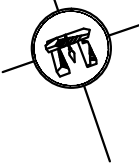
JOB NUMBER: 19.085

SHEET 4 OF 11





APPROX. MASS GRD



CONCORD TURNPIKE

FRONTAGE ROAD

BEATRICE CIRCLE

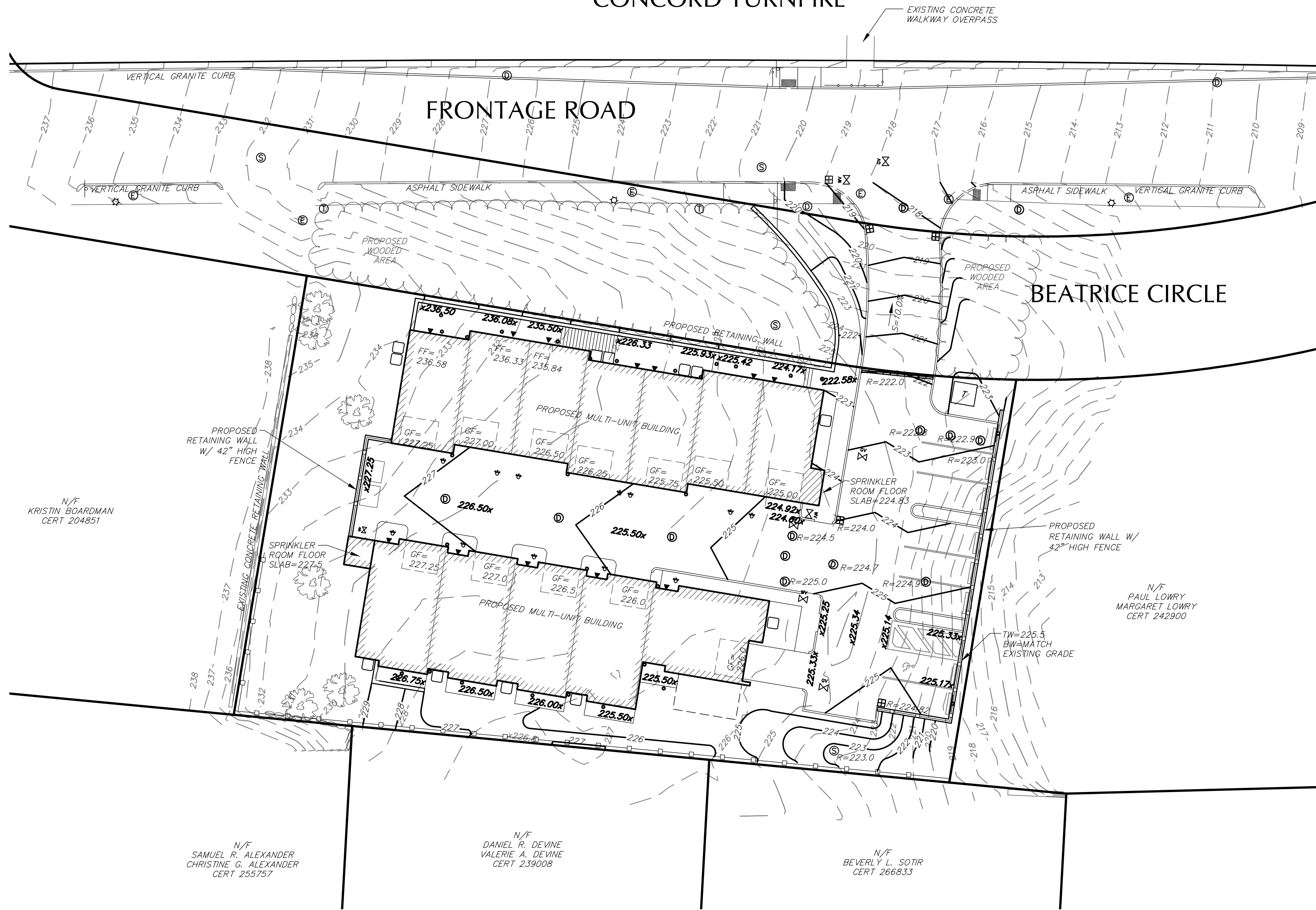
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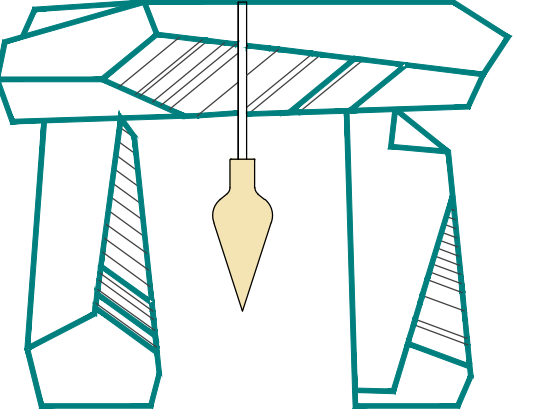
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PROPOSED:

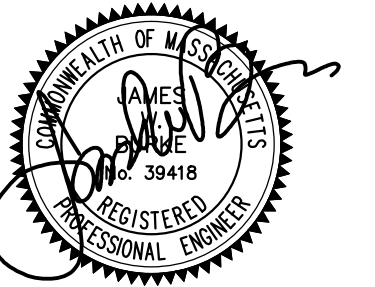
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DeCelle-Burke-Sala



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Quincy, MA 02169  
617-405-5100(o) 617-405-5101(f)  
www.decelle-burke-sala.com



JAMES W BURKE, P.E.

GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36  
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS  
DEED REFERENCE: CERTIFICATE #271959  
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.  
DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE, CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
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- PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN  
91 BEATRICE CIRCLE  
BELMONT, MASS.

PLAN TITLE:

PROPOSED GRADING

PREPARED FOR:

91 BEATRICE CIRCLE LLC  
c/o REGNANTE STERIO  
401 EDGEWATER PL, SUITE 630  
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

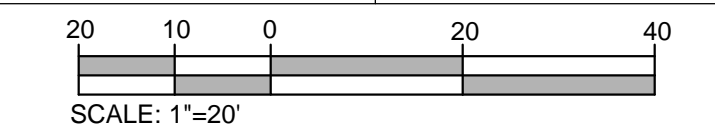
REVISED: JUNE 1, 2021

REVISED: JUNE 25, 2021

REVISED: JULY 6, 2021

JOB NUMBER: 19.085

SHEET 5 OF 11







1. ALL WATER SERVICES LESS THAN OR EQUAL TO 2" IN SIZE SHALL BE CONSTRUCTED OF TYPE K COPPER PIPING. ALL WATER SERVICES GREATER THAN 2" IN SIZE SHALL BE CONSTRUCTED OF CONCRETE LINER DUCTILE IRON PIPE.
2. ALL SEWER PIPES SHOULD BE CONSTRUCTED OF 6" SDR35 PVC AND HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 8.0%.
3. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN ALL SEWER AND WATER CROSSINGS. IF 18" OF VERTICAL SEPARATION CANNOT BE OBTAINED THEN THE SEWER LINE SHALL BE ENCASED IN 6" OF CONCRETE FOR A MINIMUM OF 10' ON EITHER SIDE OF THE CROSSING.
4. ALL WATER SERVICES SHALL HAVE A MINIMUM COVER OF 4'-6".
5. ALL SEWER PIPES SHALL HAVE A MINIMUM COVER OF 4'-0".
6. ALL DRAIN PIPES SHALL HAVE A MINIMUM DEPTH OF 2'-0"
7. ALL UTILITIES SHALL BE AS-BUILT BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR PRIOR TO BEING BACKFILLED.
8. A BENTONITE DAM SHALL BE PLACED EVERY 20' WITHIN THE EXCAVATION OF THE WATER SERVICES ALONG THE INFILTRATION SYSTEM TO PREVENT A FLOW OF GROUNDWATER THROUGH THE UTILITY TRENCH. (SEE DETAIL PROVIDED).

ANTICIPATED SEWER FLOW:

- (4) 4-BEDROOM UNITS  
(8) 3-BEDROOM UNITS  
TOTAL= 40 BEDROOMS  
 $110 \text{ GPD/BEDROOM} \times 40 \text{ BEDROOMS} = 4,400 \text{ GPD}$

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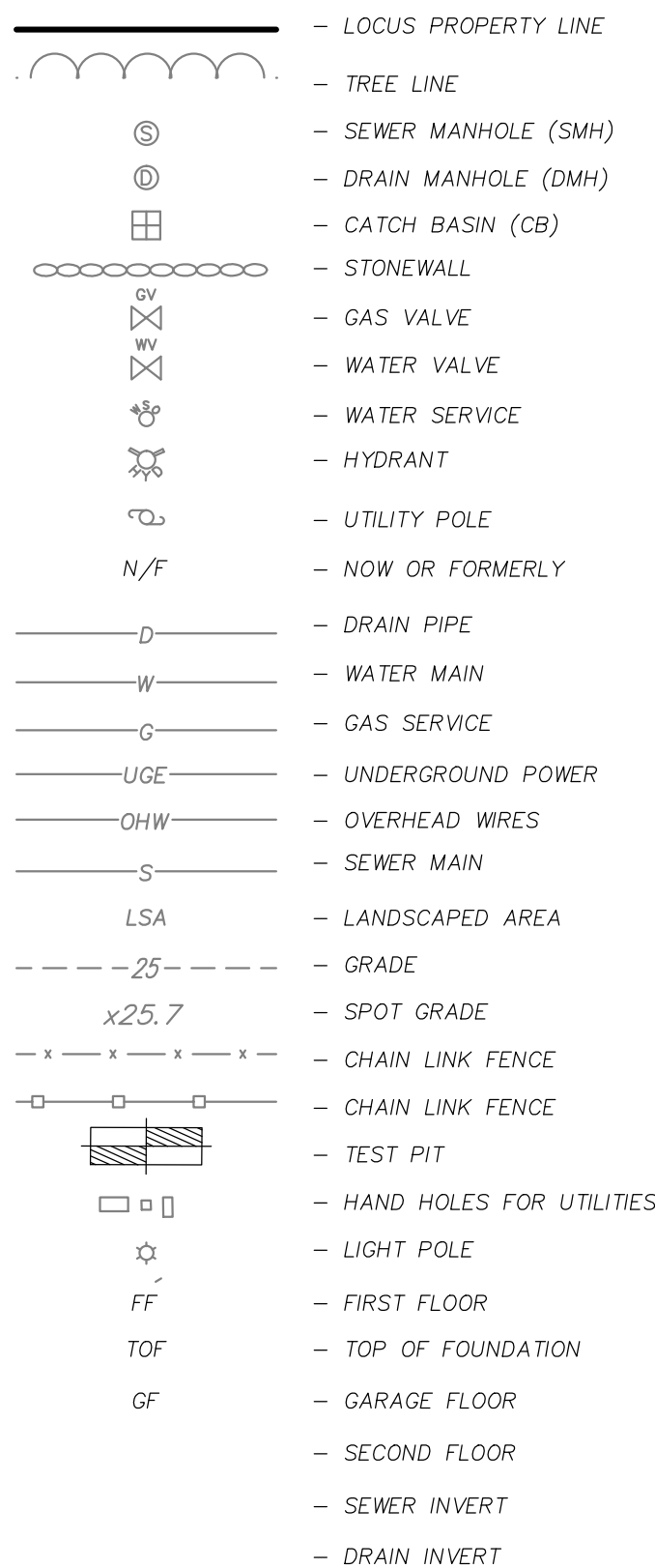


GENERAL NOTES:

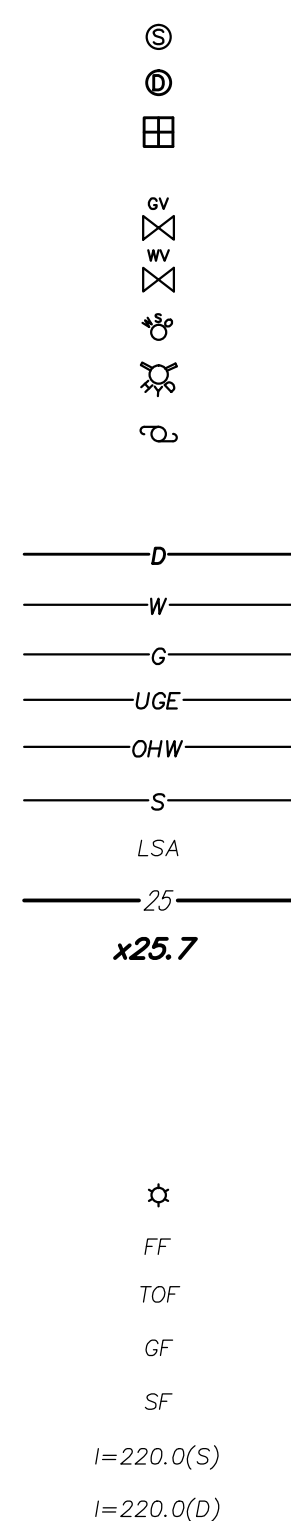
1. LOCUS: ASSESSORS MAP 51 BLOCK LOT 36  
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS  
DEED REFERENCE: CERTIFICATA #201689  
PLAN NUMBER: LC PLAN 2367-12
2. ELEVATIONS REFER TO NAVD-88.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
4. DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS REGULATION 800 CMR 12.00, § 12.04(1)(b) - 888-344-7213. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON PLAN 250170-00416E, DATED JUNE 4, 2010.
5. PARCEL IS ZONED SR-A.

LEGEND:

EXISTING:



PROPOSED:



PROPOSED SITE PLAN  
91 BEATRICE CIRCLE  
BELMONT, MASS.

## PLAN TITLE:

## PROPOSED UTILITIES

## PREPARED FOR:

91 BEATRICE CIRCLE LLC  
c/o REGNANTE STERIO  
401 EDGEWATER PL, SUITE 630  
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

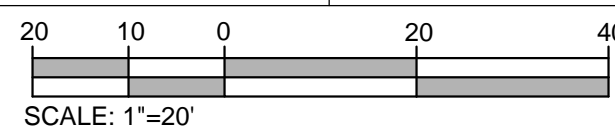
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REVISÉ: JUNE 1, 2021

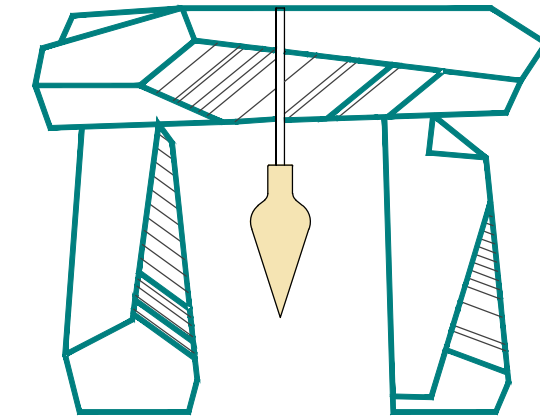
REVISÉ: JUNE 25, 2021

REVISÉ: JULY 6, 2021

JOB NUMBER: 19.085	SHEET 6 OF 11
--------------------	---------------







JAMES W BURKE, P.E.

GENERAL NOTES:

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RECORD OWNER: COMPREHENSIVE LAND HOLDINGS  
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PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN  
91 BEATRICE CIRCLE  
BELMONT, MASS.

PLAN TITLE:

PROPOSED SEWER PROFILE

PREPARED FOR:

91 BEATRICE CIRCLE LLC  
c/o REGNANTE STERIO  
401 EDGEWATER PL, SUITE 630  
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

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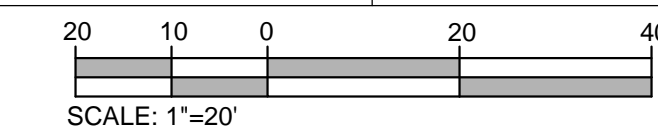
REVISED: JUNE 1, 2021

REVISED: JUNE 25, 2021

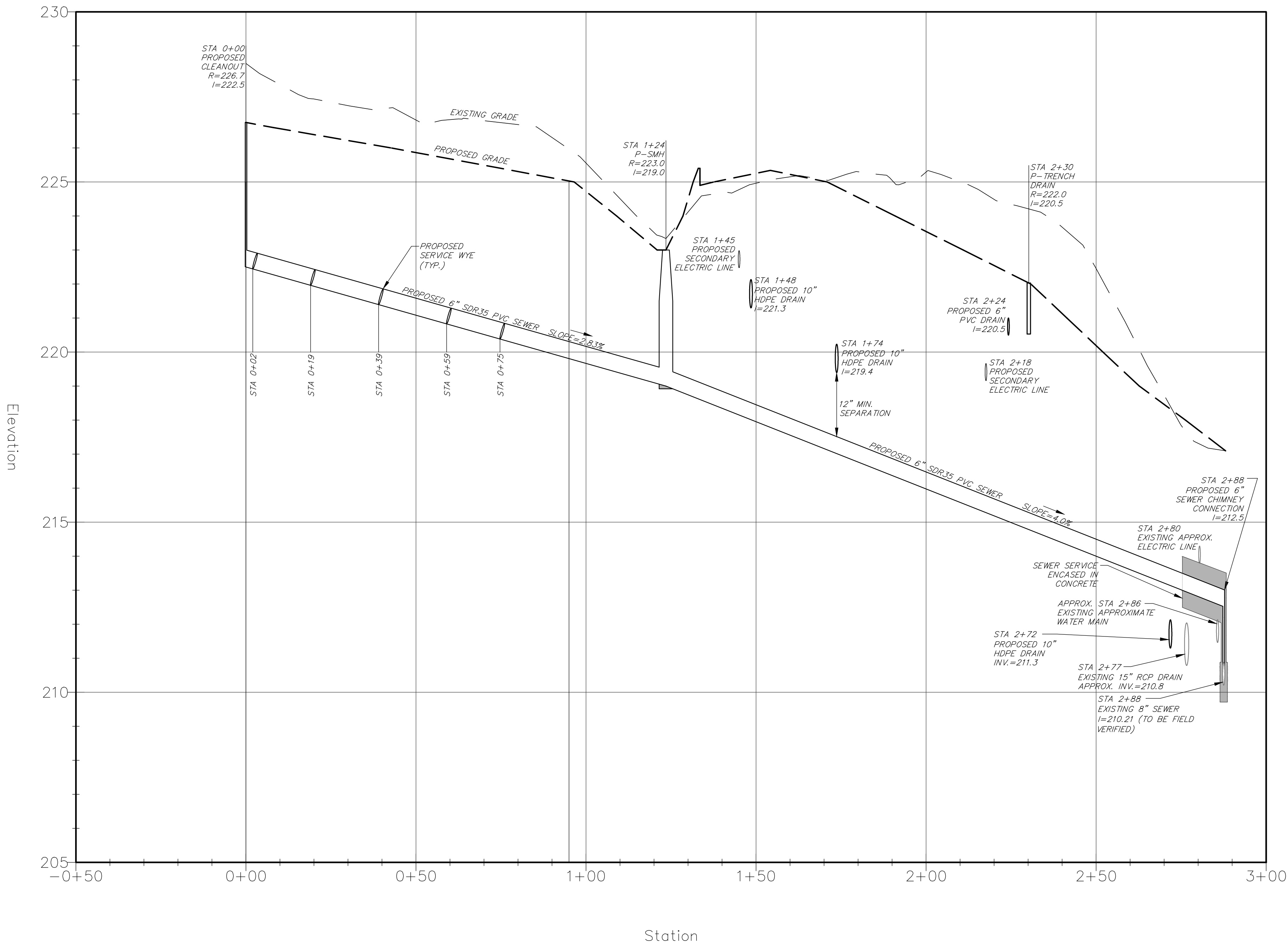
REVISED: JULY 6, 2021

JOB NUMBER: 19.085

SHEET 7 OF 11



Proposed Sewer Alignment Profile



HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'

LEGEND:

EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- N/F - NOW OR FORMERLY
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- CHAIN LINK FENCE
- TEST PIT
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR
- SEWER INVERT
- DRAIN INVERT

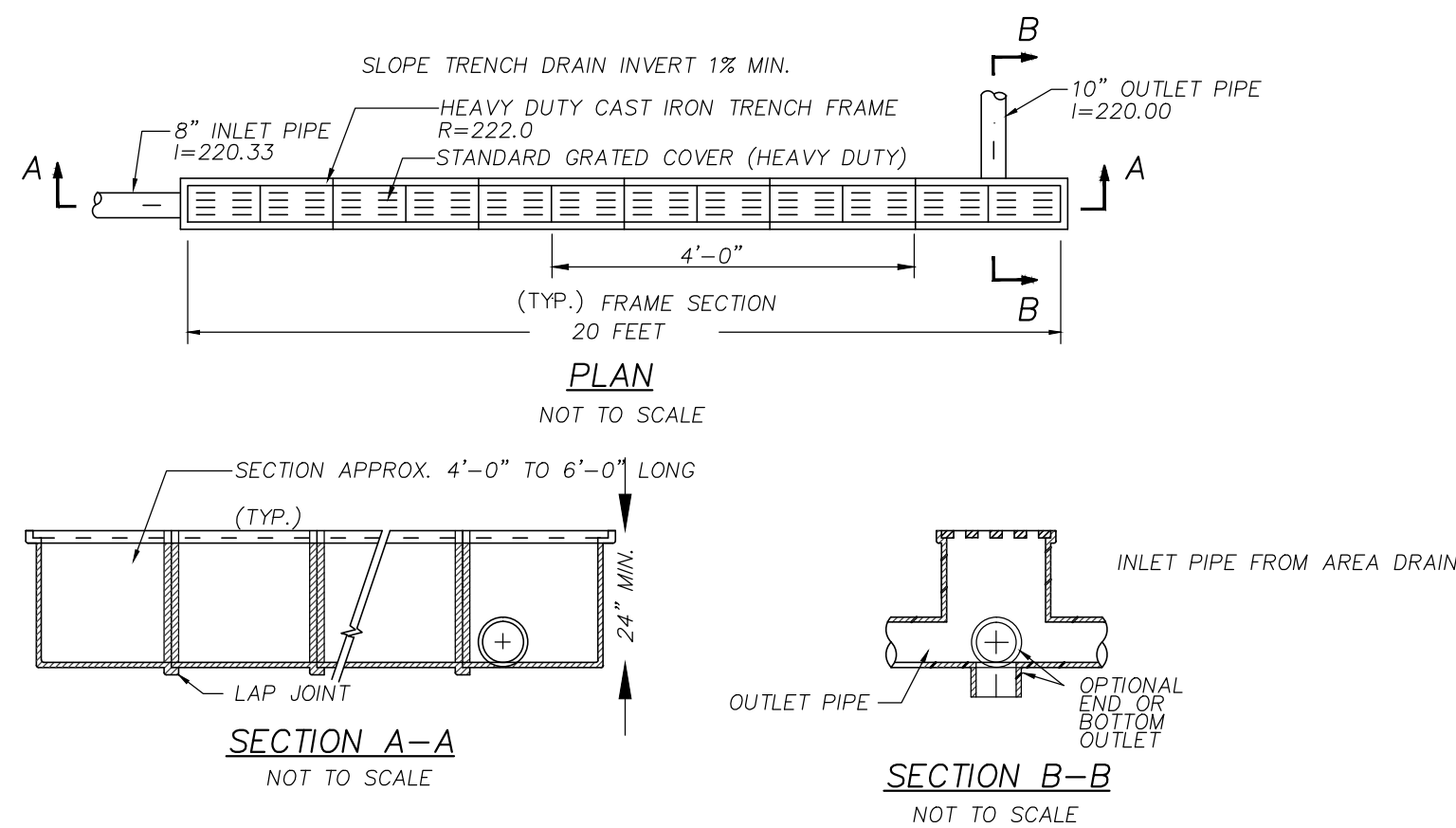
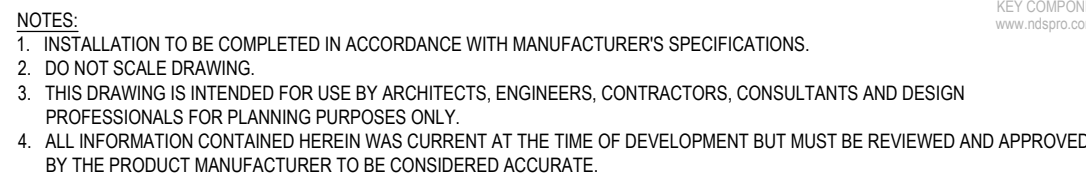
PROPOSED:

- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- N/F - NOW OR FORMERLY
- DRAIN PIPE
- WATER MAIN
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- SPOT GRADE
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- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR
- SEWER INVERT
- DRAIN INVERT

I=220.0(S)

I=220.0(D)





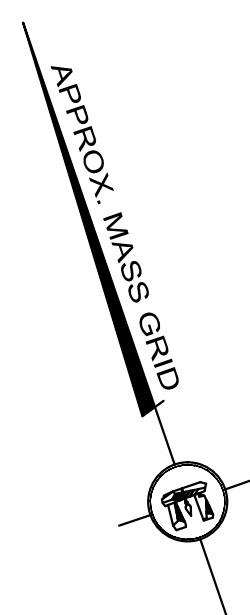
### TRENCH DRAIN DETAIL

(W/ HEAVY DUTY FRAME AND GRATED COVER)  
MANUFACTURER: NEENAH FOUNDRY CO.  
OR APPROVED EQUAL



























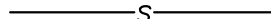








NOTE: PROVIDE BOTTOM OUTLET, LENGTH L = 20'-0"

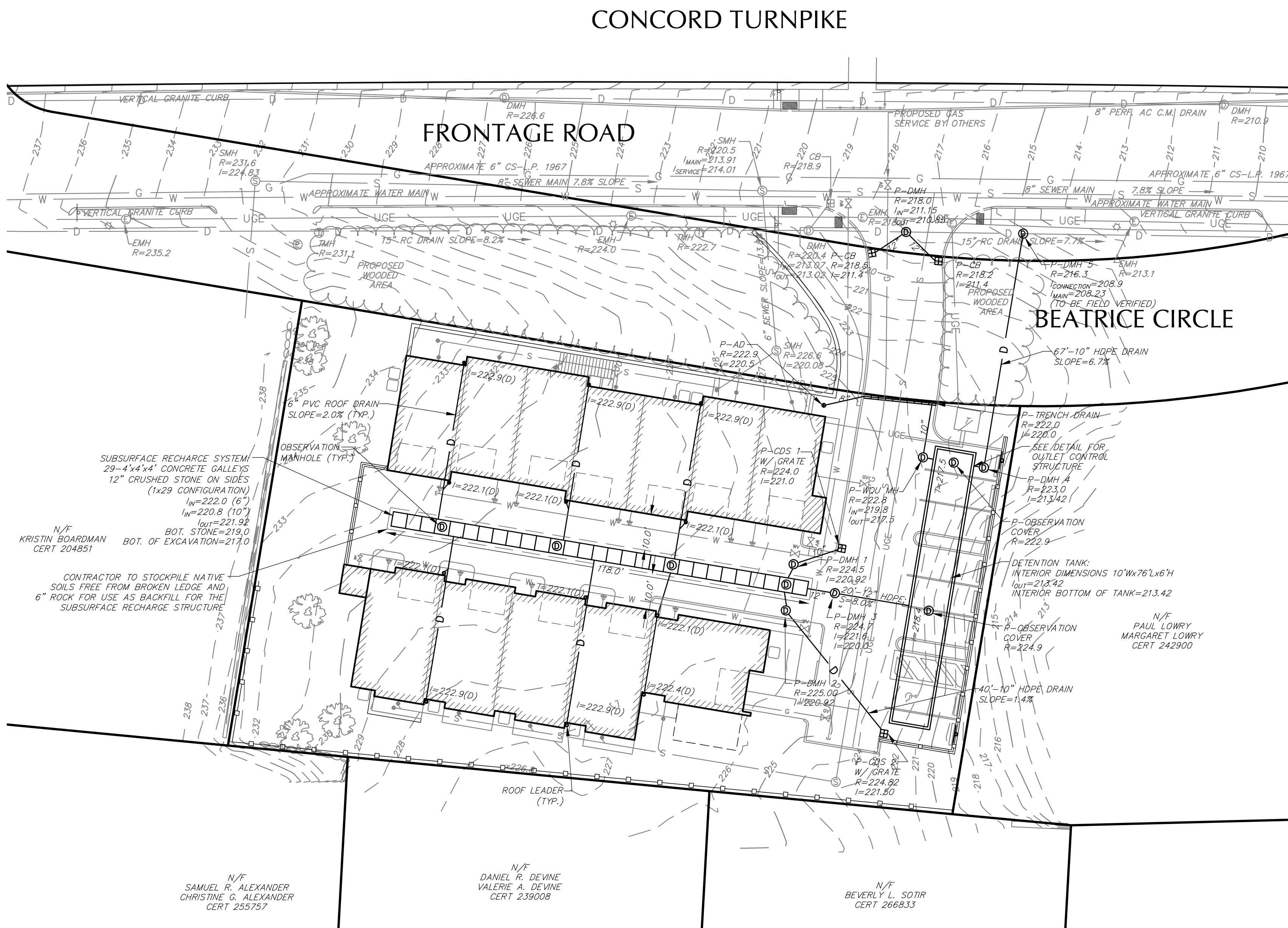
## PROPOSED AREA DRAIN ROUND SPEED BASINS

SQUARE GRATE WITH SPEE-D BASIN (NTS)



LEGEND:

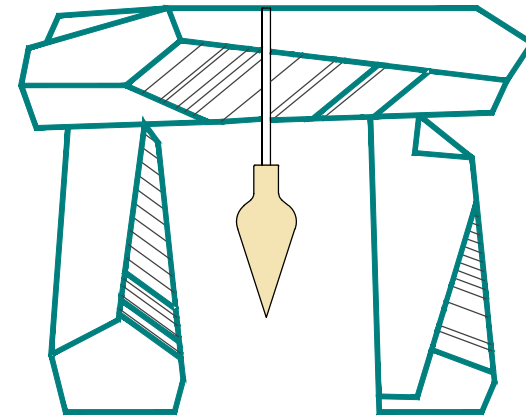
EXISTING:		PROPOSED:
	- LOCUS PROPERTY LINE	
	- TREE LINE	
	- SEWER MANHOLE (SMH)	
	- DRAIN MANHOLE (DMH)	
	- CATCH BASIN (CB)	
	- STONEWALL	
	- GAS VALVE	
	- WATER VALVE	
	- WATER SERVICE	
	- HYDRANT	
	- UTILITY POLE	
N/F	- NOW OR FORMERLY	
	- DRAIN PIPE	
	- WATER MAIN	
	- GAS SERVICE	
UGE	- UNDERGROUND POWER	UGE
OHW	- OVERHEAD WIRES	OHW
	- SEWER MAIN	
LSA	- LANDSCAPED AREA	LSA
	- GRADE	
x25.7	- SPOT GRADE	<b>x25.7</b>
	- CHAIN LINK FENCE	
	- CHAIN LINK FENCE	
	- TEST PIT	
	- HAND HOLES FOR UTILITIES	
	- LIGHT POLE	
FF	- FIRST FLOOR	FF
TOF	- TOP OF FOUNDATION	TOF
GF	- GARAGE FLOOR	GF
	- SECOND FLOOR	SF
	- SEWER INVERT	I=220.0(S)
	- DRAIN INVERT	I=220.0(D)



DRAINAGE NOTES:

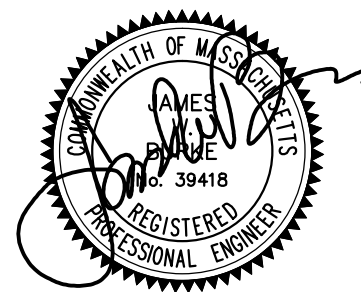
1. ALL DRAIN PIPES GREATER THAN OR EQUAL TO 10" IN SIZE SHALL BE CONSTRUCTED OF HDPE. ALL DRAIN PIPES LESS THAN 10" IN SIZE SHALL BE CONSTRUCTED OF SCHEDULE 40 PVC.
2. ALL DRAIN PIPES SHOULD HAVE A MINIMUM SLOPE OF 1.0% AND A MAXIMUM SLOPE OF 8.0%.
3. A MINIMUM OF 12 INCHES OF VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN ALL UTILITY CROSSINGS.
4. THE EXCAVATION FOR THE PROPOSED INFILTRATION SYSTEM SHALL BE INSPECTED AND SIGNED OFF BY THE DESIGN ENGINEER PRIOR TO THE INSTALLATION OF THE STRUCTURES.
5. THE BACKFILL MATERIAL FOR THE PROPOSED SUBSURFACE RECHARGE STRUCTURE SHALL BE INSPECTED AND SIGNED OFF BY THE DESIGN ENGINEER PRIOR TO BACKFILL.
6. SILT SACKS SHALL BE INSTALLED IN THE CATCH BASINS AND TRENCH DRAIN AFTER THEY HAVE BEEN CONSTRUCTED TO PREVENT ANY CONSTRUCTION RELATED DEBRIS FROM ENTERING THE DRAINAGE SYSTEM.
7. ALL DRAINAGE STRUCTURES AND PIPES SHALL BE FLUSHED AND CLEANED PRIOR TO CONNECTING THEM TO THE PROPOSED INFILTRATION AND DETENTION SYSTEMS.
8. THE DRAINAGE STRUCTURES AND PIPING SHALL BE AS-BUILT BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR PRIOR TO BEING BACKFILLED.

DeCelle-Burke-Sala



& Associates, Inc.

1266 Furnace Brook Parkway #401  
Quincy, MA 02169  
617-405-5100(o) 617-405-5101(f)  
www.decelle-burke-sala.com



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JAMES W BURKE, P.E.

GENERAL NOTES:

1. RECORDS: ASSESSORS MAP 511 BLOCK LOT 36  
LOCALITY: OREGON, COMPREHENSIVE LAND HOLDINGS  
DEED REFERENCE: CERTIFICATE #271959  
PLAN REFERENCE: LC PLAN 2367-12
2. ELEVATIONS REFER TO NAVD-83.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED AS INDICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEMS IN SERVICE.  
DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS REGULATORY BOARD OF CONSTRUCTION TEL. 1-888-544-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 50-0170-00416E, DATED JUNE 4, 2010.
5. PARCEL IS ZONED SR-A.

PROJECT TITLE &amp; LOCATION:

PROPOSED SITE PLAN  
91 BEATRICE CIRCLE  
BELMONT, MASS.

PLAN TITLE:

## PROPOSED UTILITIES

PREPARED FOR:

91 BEATRICE CIRCLE LLC  
c/o REGNANTE STERIO  
401 EDGEWATER PL, SUITE 630  
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

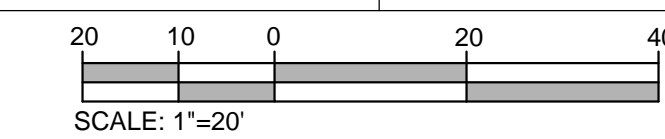
REVISÉ: APRIL 19, 2021

REVISÉ: JUNE 1, 2021

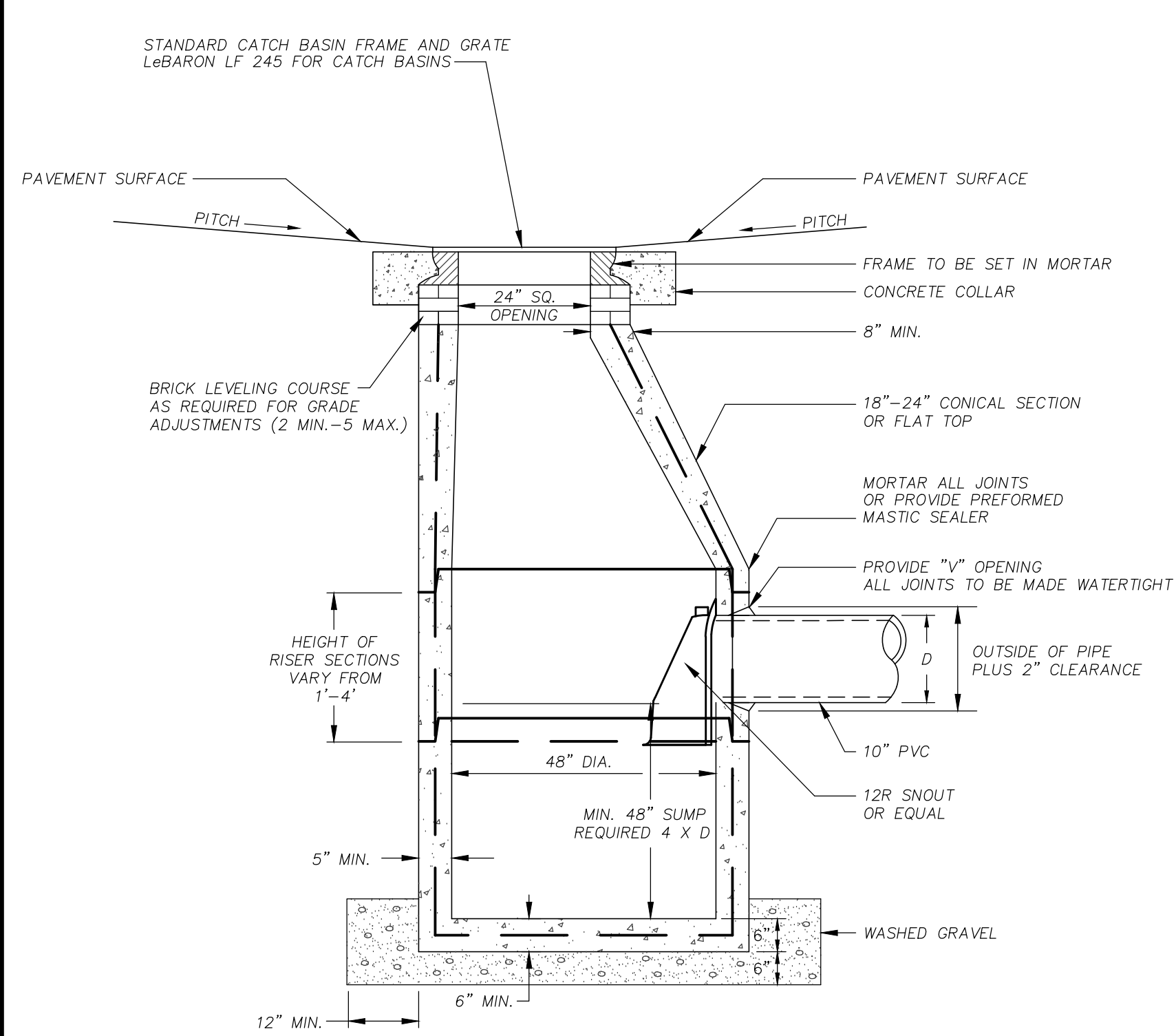
REVISÉ: JUNE 25, 2021

REVISÉ: JULY 6, 2021

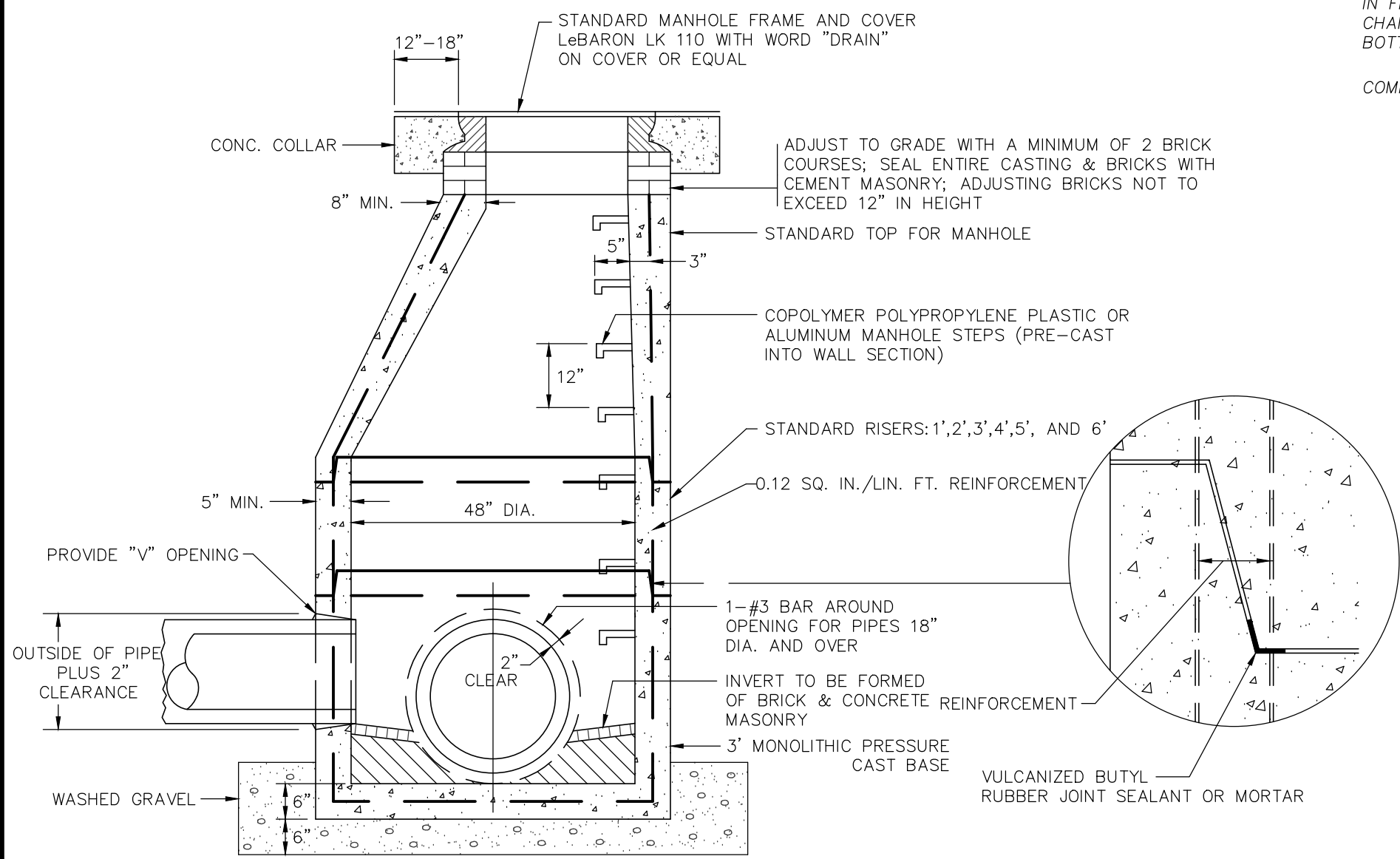
JOB NUMBER: 19.085	SHEET 8 OF 11
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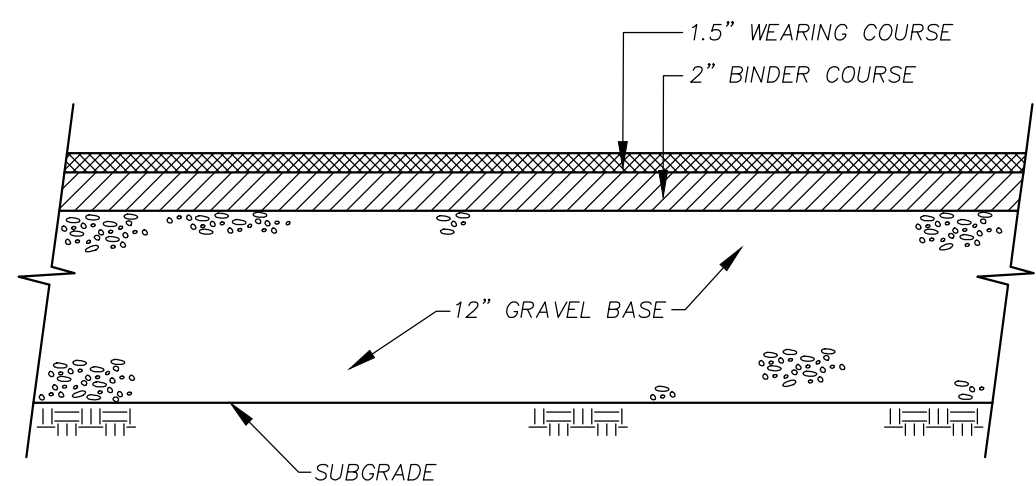




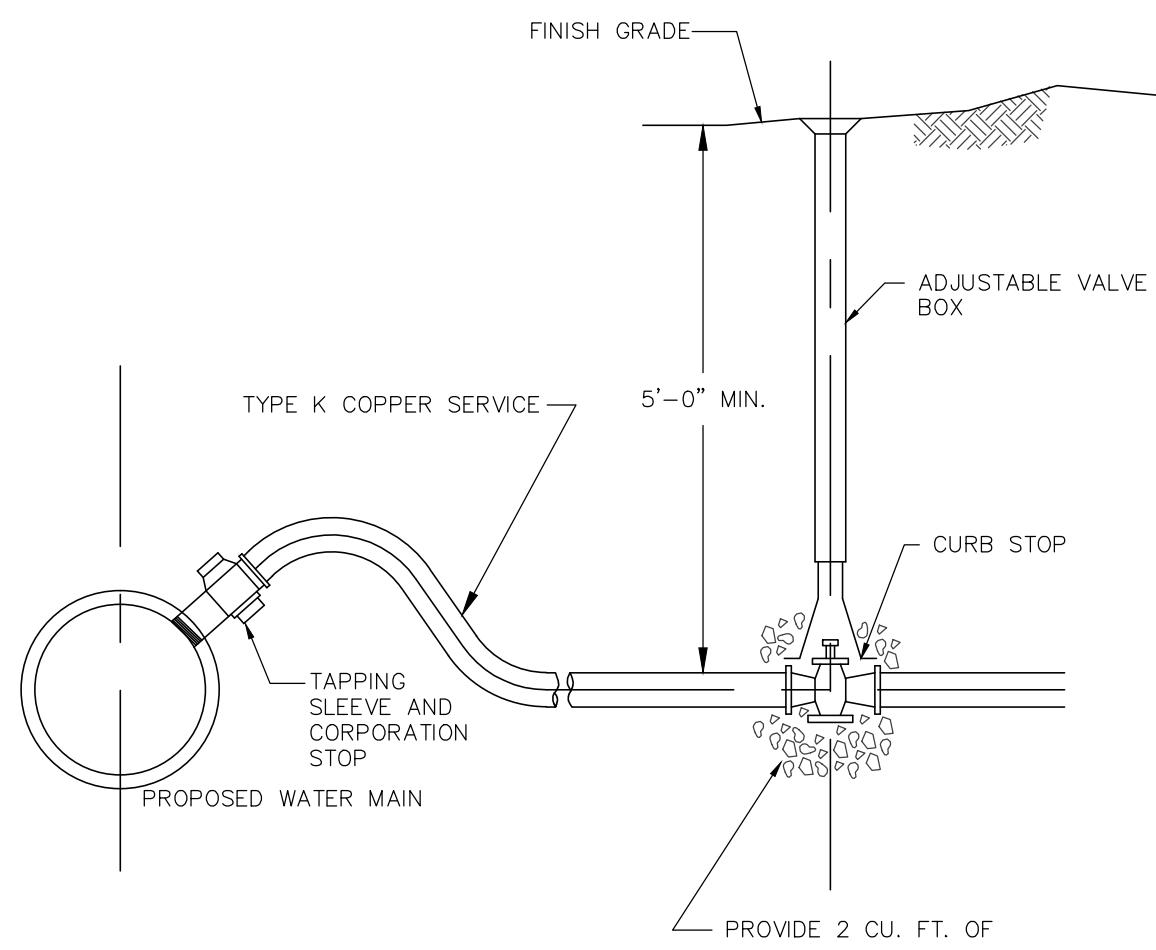
**PRECAST CONCRETE CATCH BASIN**  
NOT TO SCALE



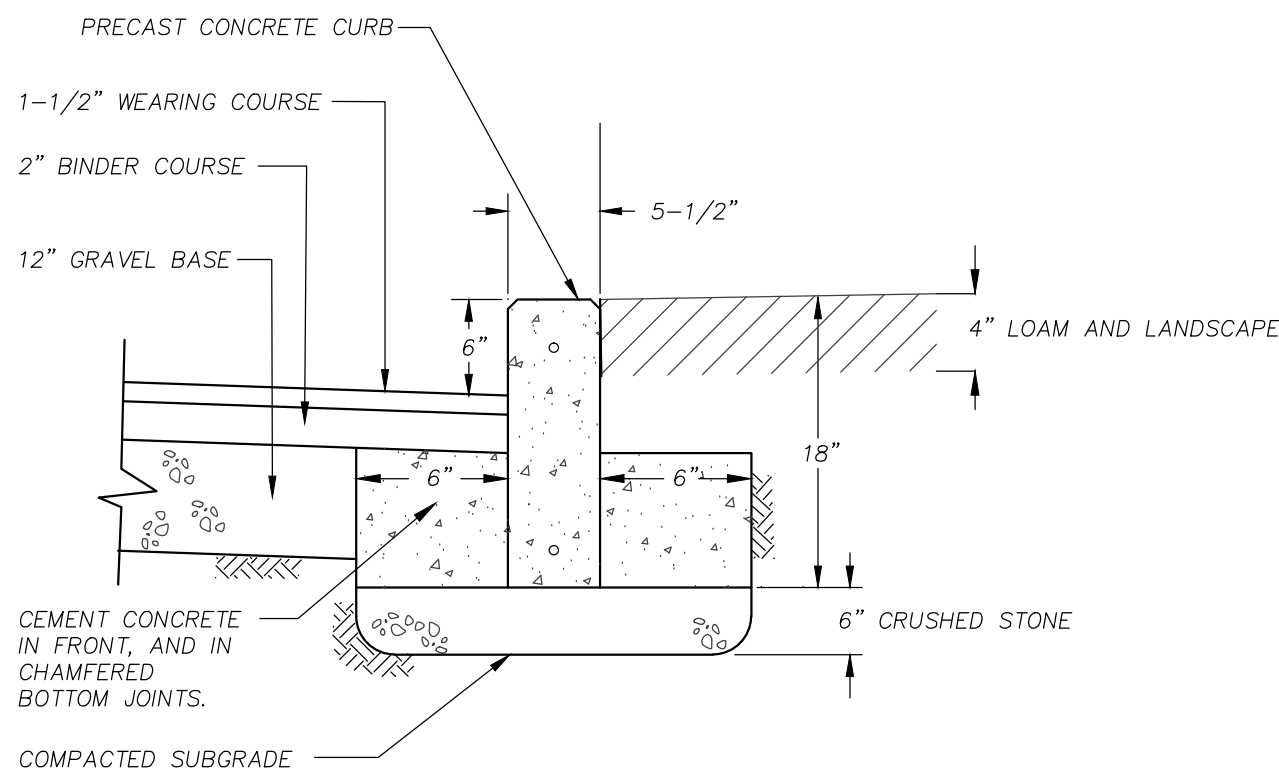
**STANDARD PRE-CAST DRAIN MANHOLE**  
NOT TO SCALE



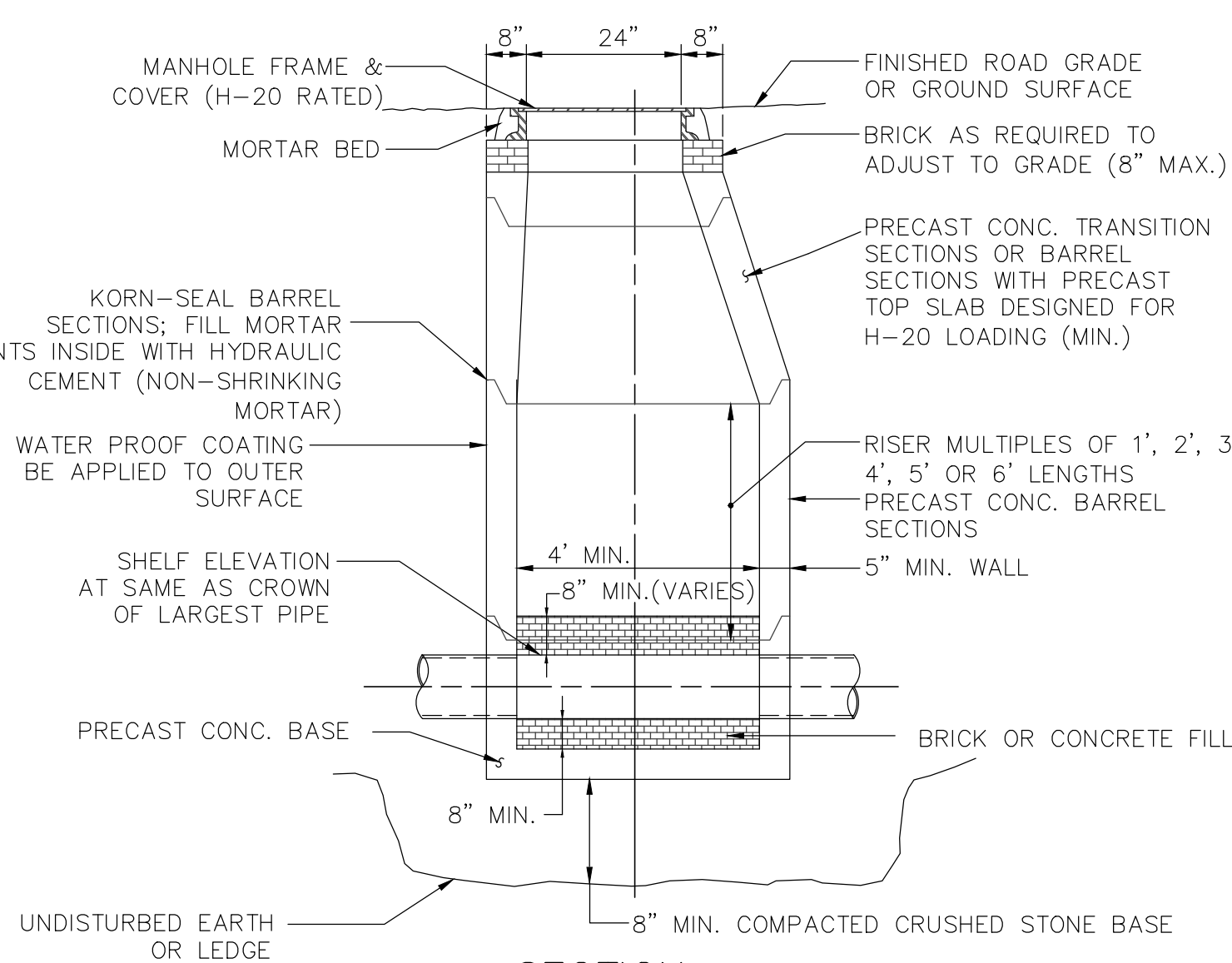
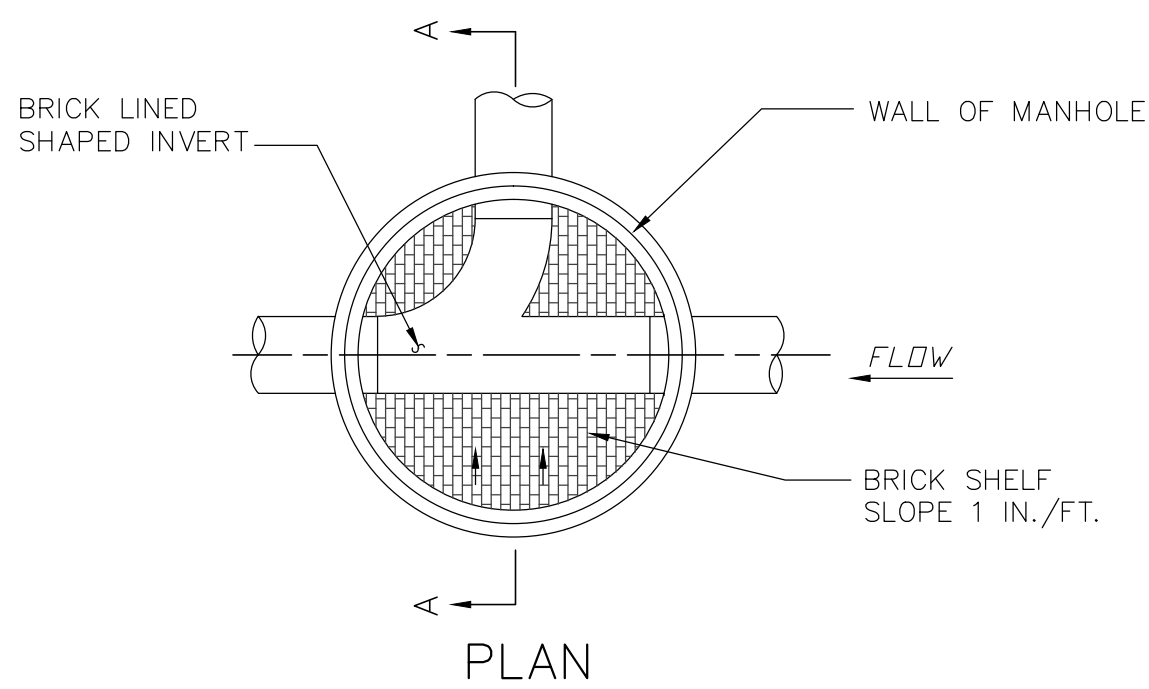
**PAVEMENT SECTION**  
NOT TO SCALE



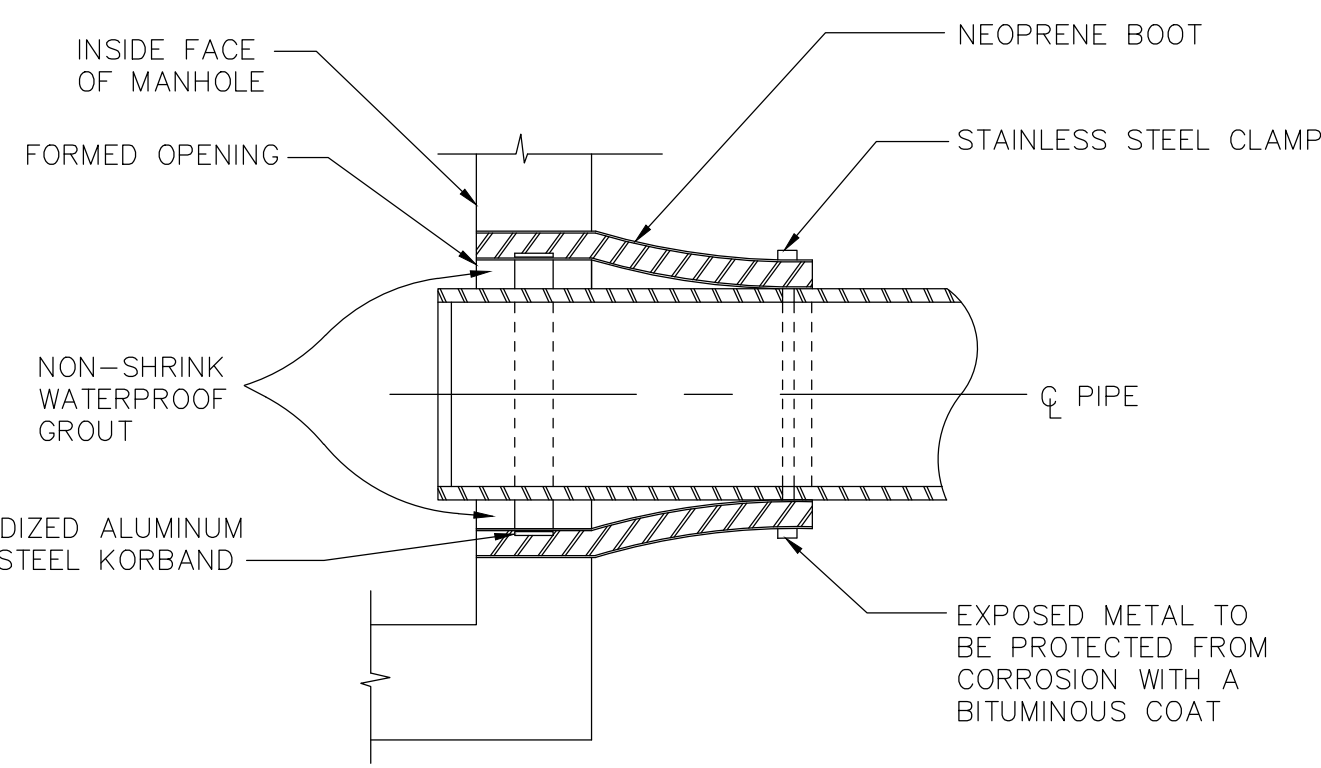
**1" WATER SERVICE CONNECTION**  
NOT TO SCALE



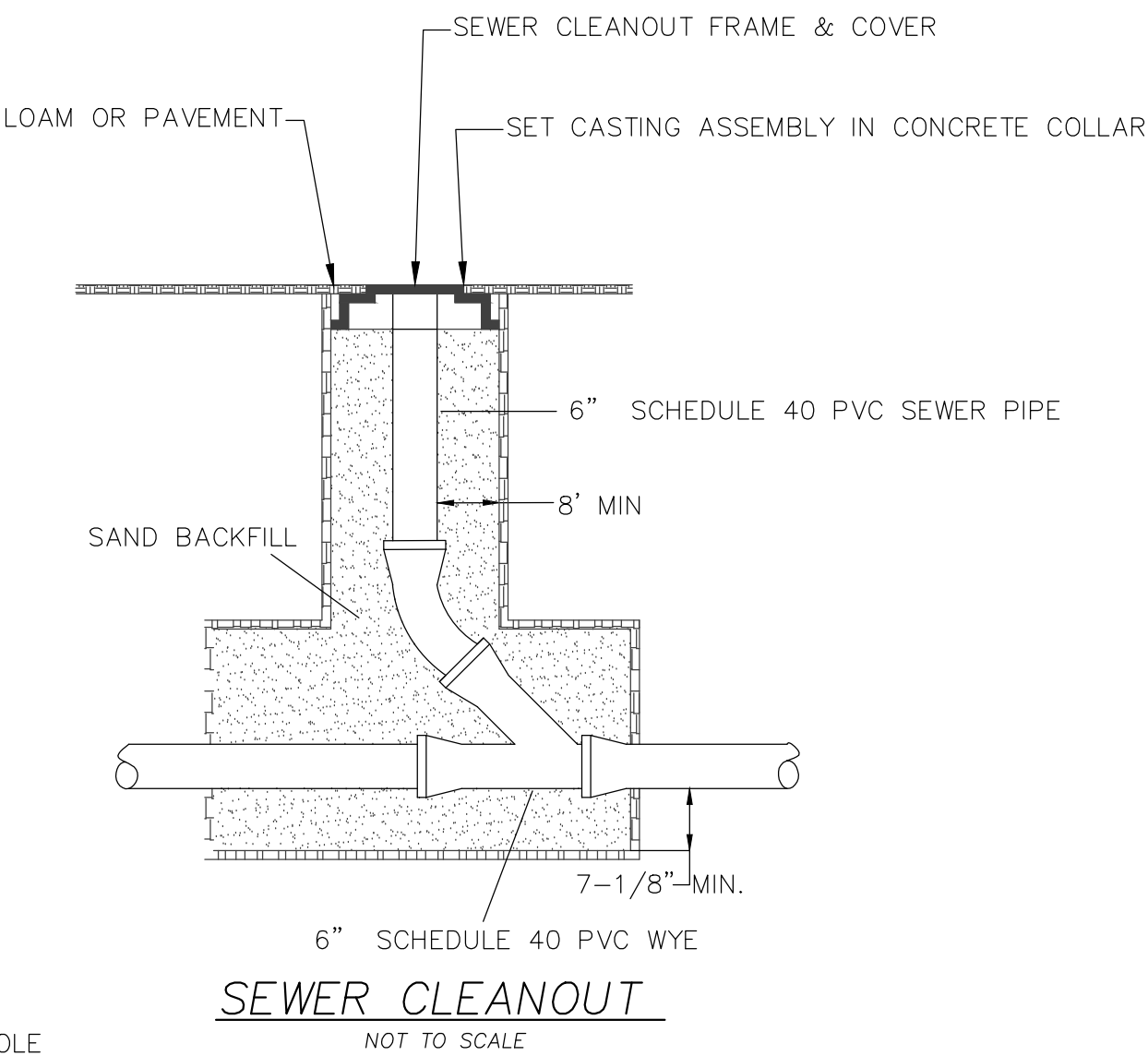
**PRECAST CONCRETE CURB**  
NOT TO SCALE



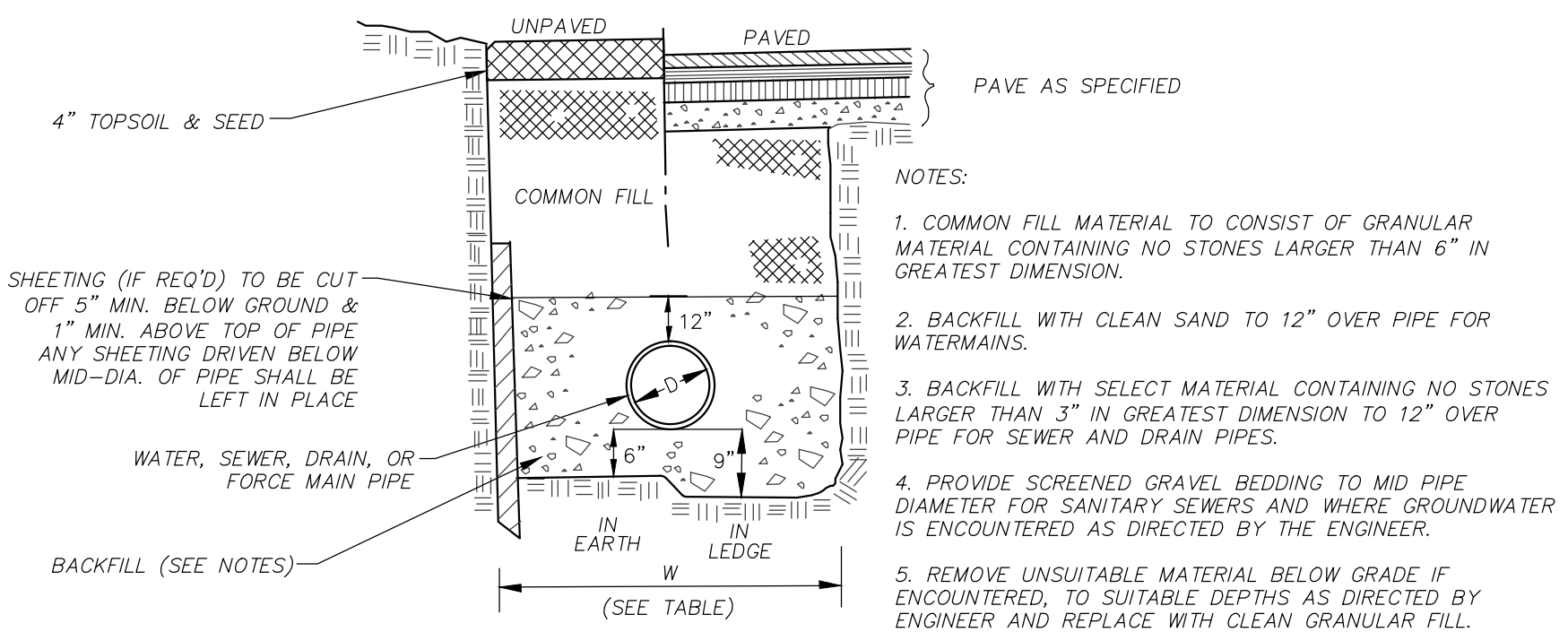
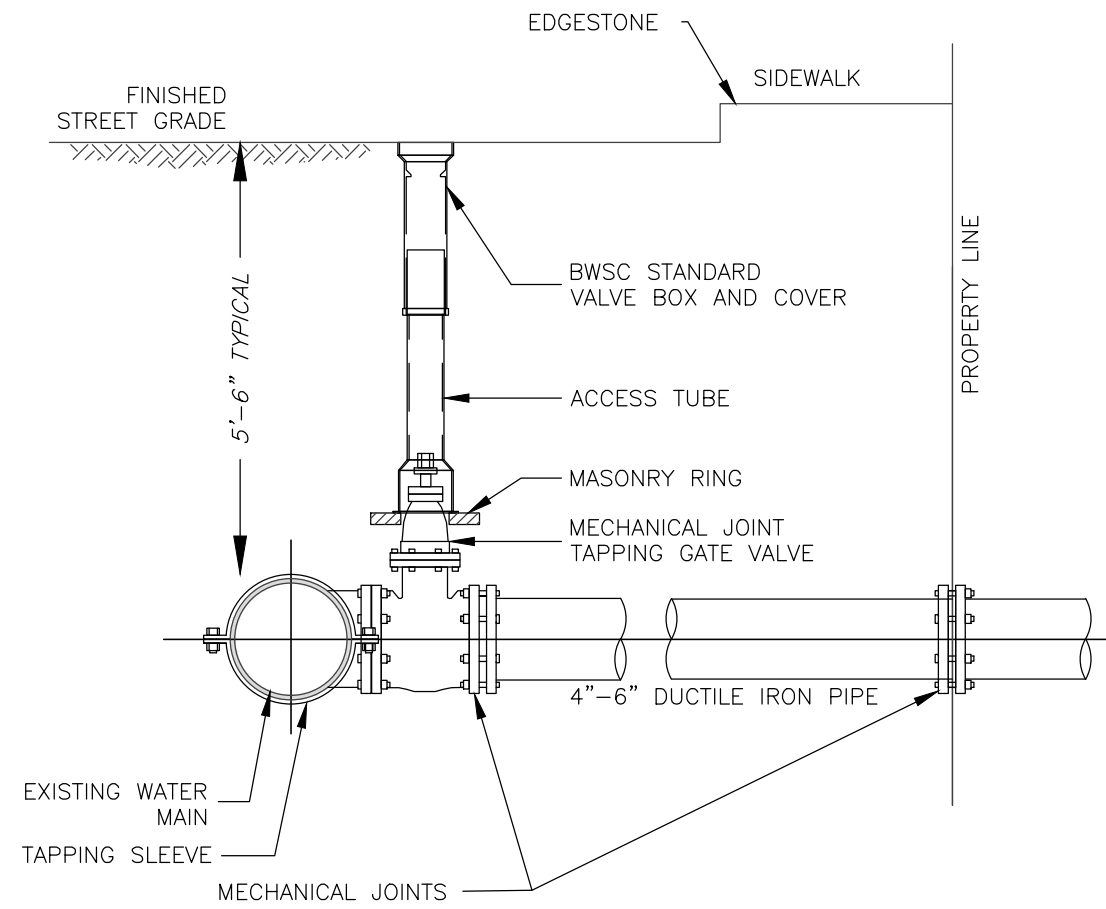
**TYPICAL PRECAST SEWER MANHOLE**  
NOT TO SCALE



**NEOPRENE BOOT CONNECTION**  
NOT TO SCALE



NOTES:  
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL  
BEAR ON UNDISTURBED EARTH.  
- USE RESTRAINED JOINT FITTINGS OR TIE RODS  
WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.  
- SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC  
CONDITIONS.

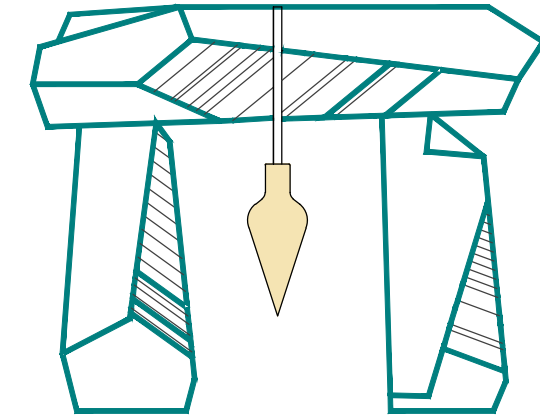


TRENCH WIDTH		
D DIAMETER OF PIPE	W UNSHEETED	W SHEETED
1" TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'

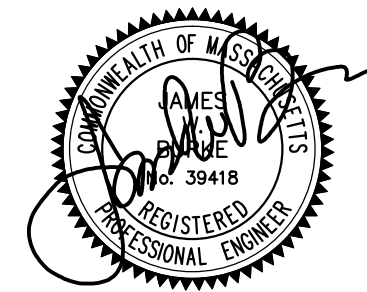
NOTES:  
1. ALL TRENCH CONSTRUCTION TO CONFORM TO APPLICABLE  
FEDERAL, STATE AND LOCAL REGULATIONS.  
2. COMPACT FILL AND TAMP PIPE TO 93% MAX. DENSITY UNLESS  
OTHERWISE SPECIFIED.

**TYPICAL TRENCH SECTIONS**  
NOT TO SCALE

**DeCelle-Burke-Sala**



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JAMES W BURKE, P.E.

**GENERAL NOTES:**

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36  
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS  
DEED REFERENCE: CERTIFICATE #271959  
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM  
SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE  
CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE  
FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED  
CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY  
COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.  
DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS  
STATUTE CHAPTER 82, SECTION 40B AT TEL: 1-888-344-7233. THE  
ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES  
AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND  
ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD  
PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS  
OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF  
CONSTRUCTION.
- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD  
ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
- PARCEL IS ZONED SR-A.

**PROJECT TITLE & LOCATION:**

**PROPOSED SITE PLAN**  
**91 BEATRICE CIRCLE**  
**BELMONT, MASS.**

**PLAN TITLE:**

**CONSTRUCTION DETAILS**

**PREPARED FOR:**

**91 BEATRICE CIRCLE LLC**  
**c/o REGNANTE STERIO**  
**401 EDGEWATER PL, SUITE 630**  
**WAKEFIELD, MA 01880**

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

REVISED: JUNE 1, 2021

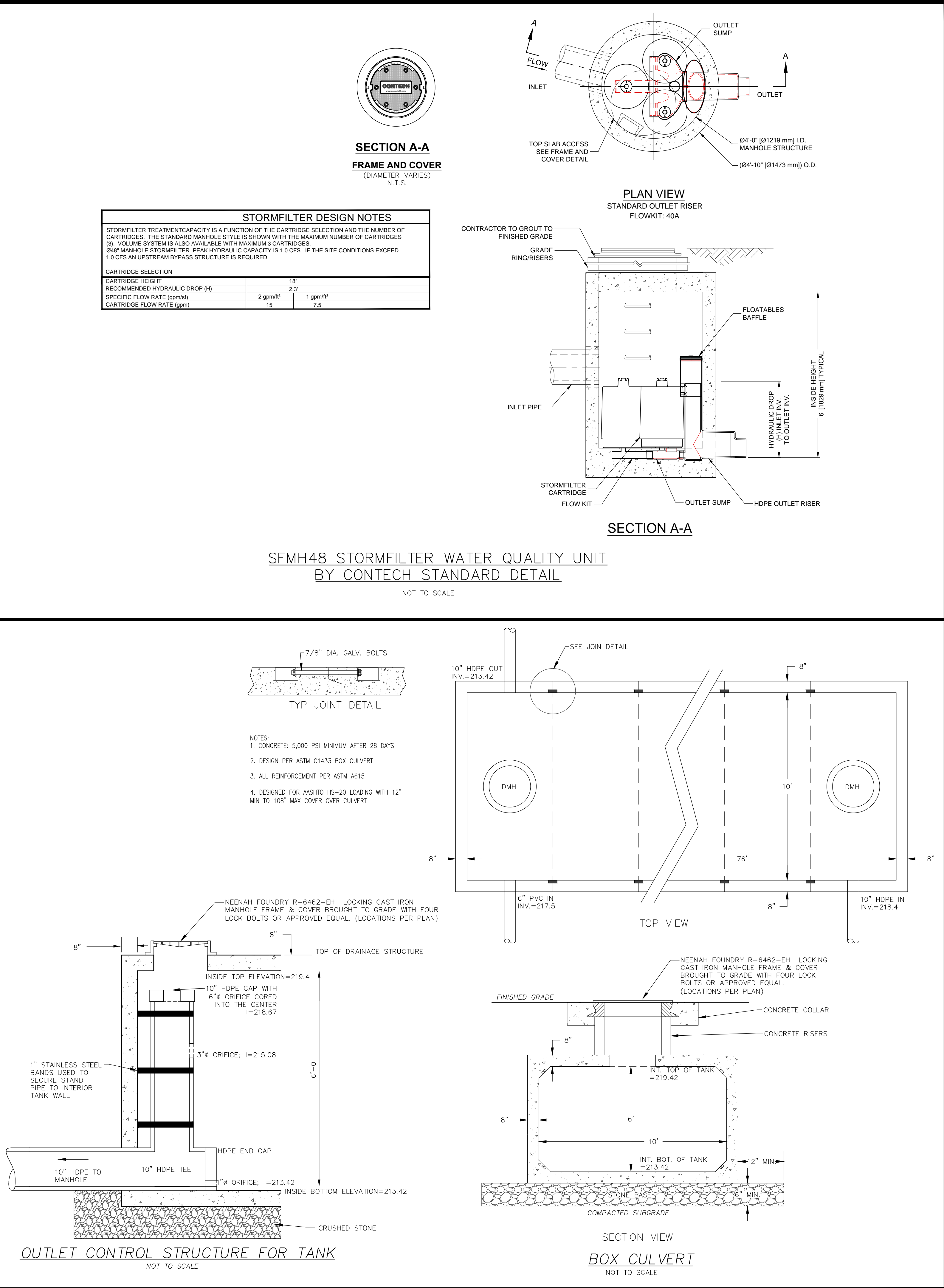
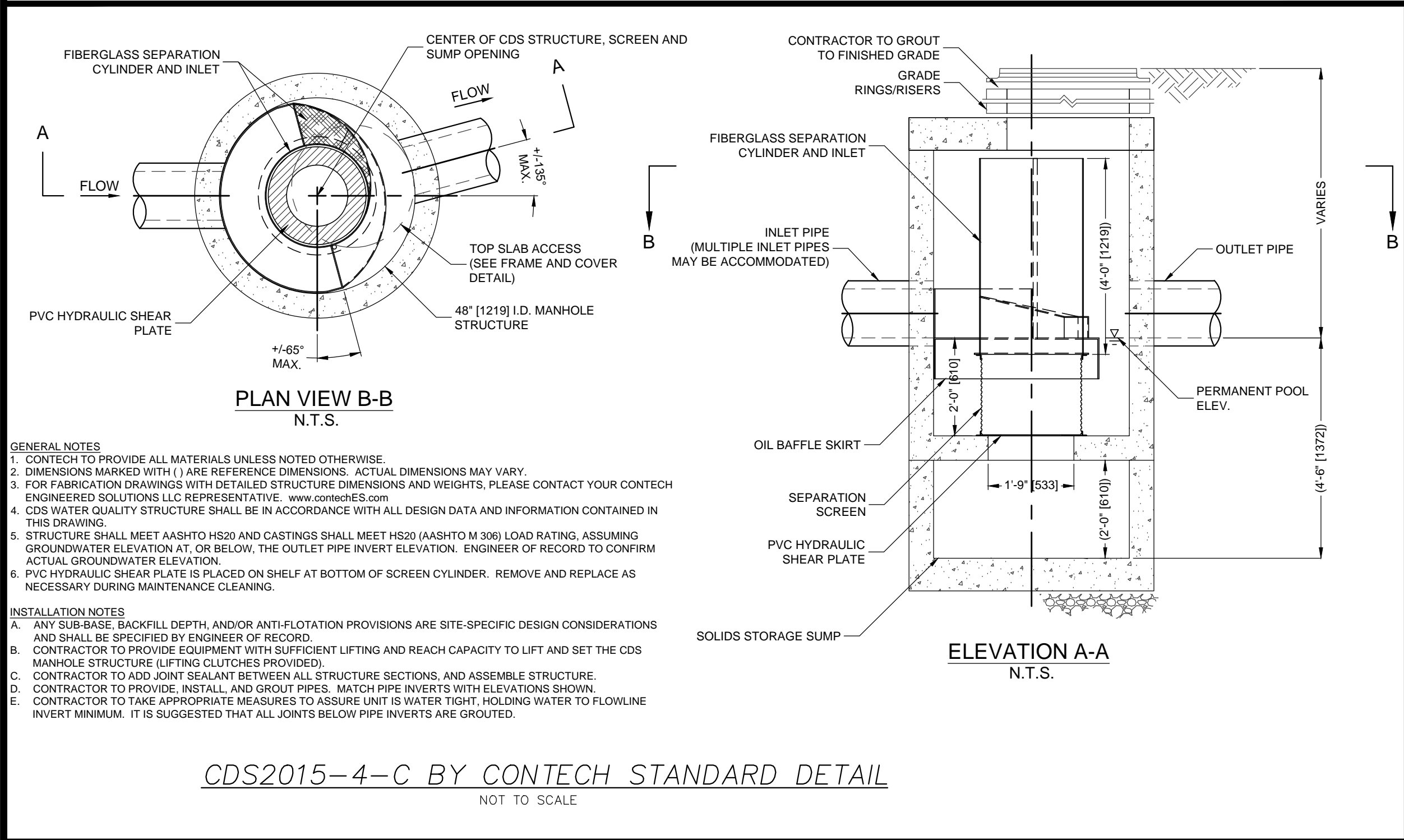
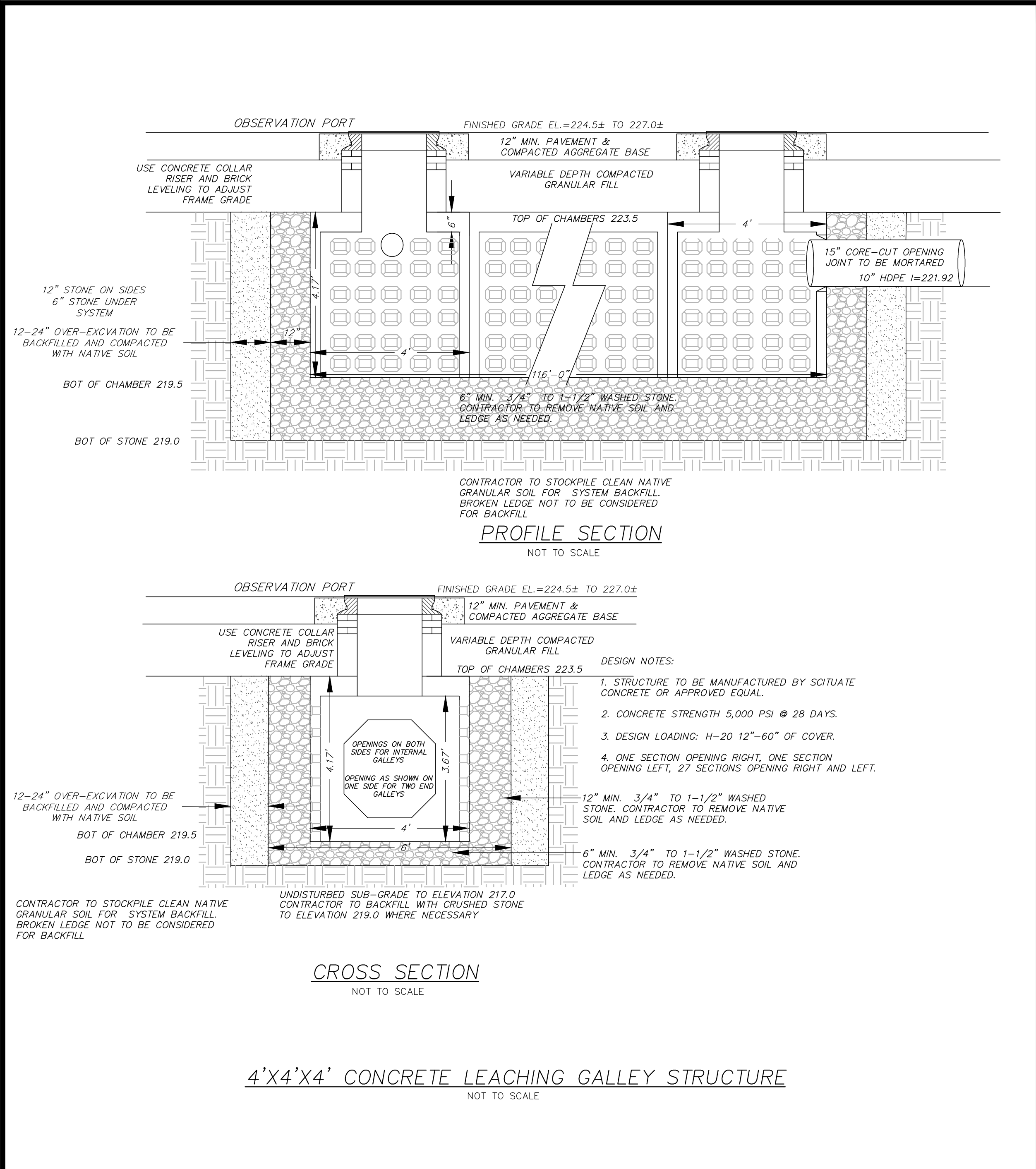
REVISED: JUNE 25, 2021

REVISED: JULY 6, 2021

JOB NUMBER: 19.085

SHEET 9 OF 11





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JAMES W BURKE, P.E.

GENERAL NOTES:

1. LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
2. ELEVATIONS REFER TO NAVD-88.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
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5. PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN  
91 BEATRICE CIRCLE  
BELMONT, MASS.

PLAN TITLE:

CONSTRUCTION DETAILS

PREPARED FOR:

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WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

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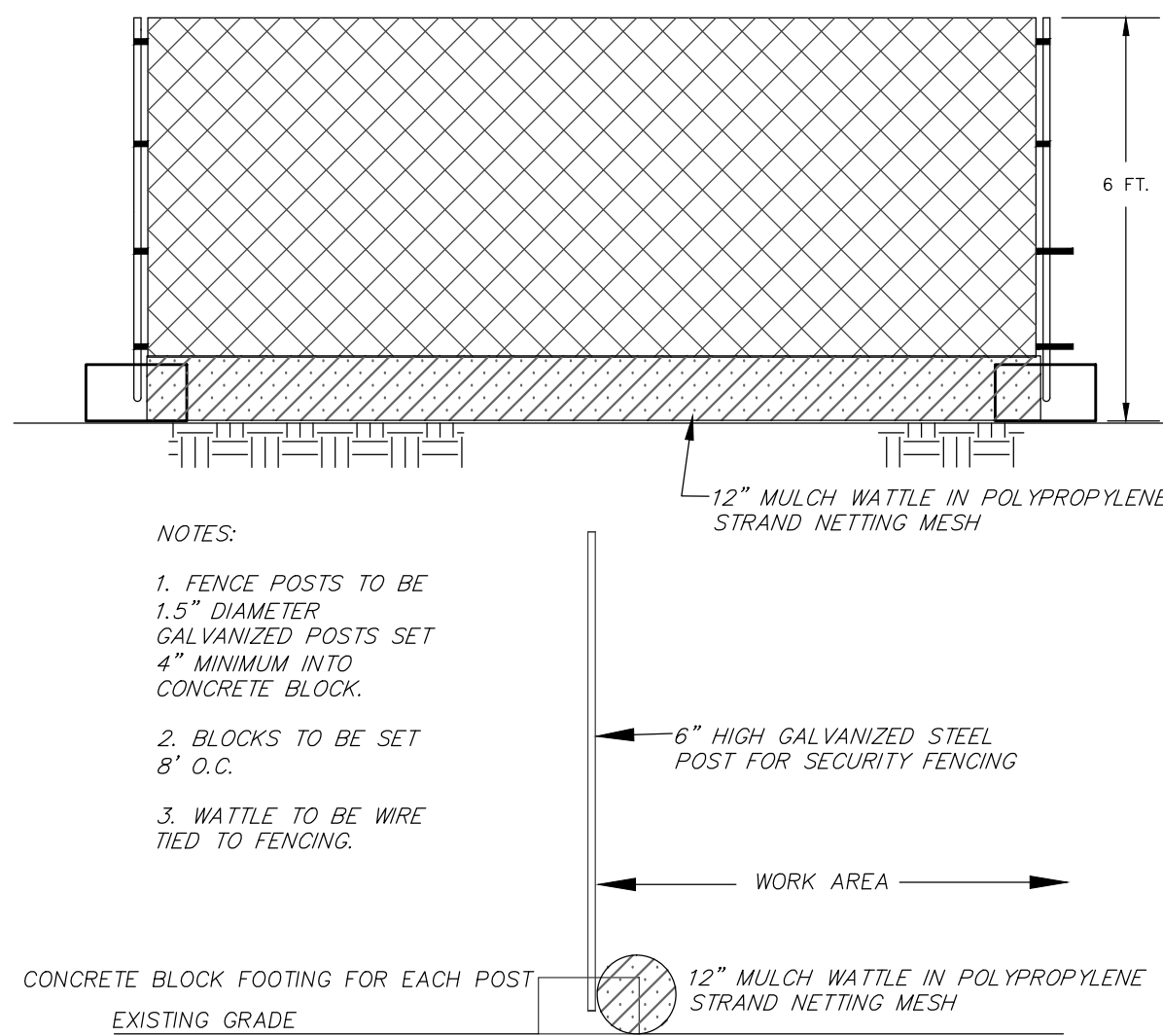
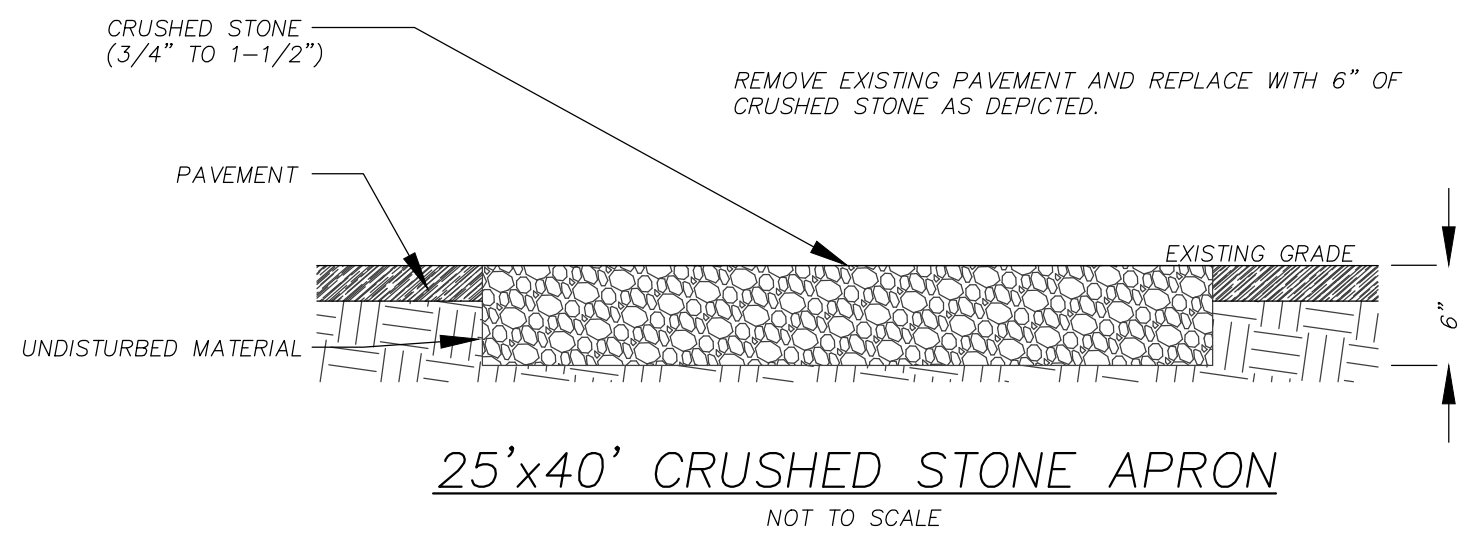
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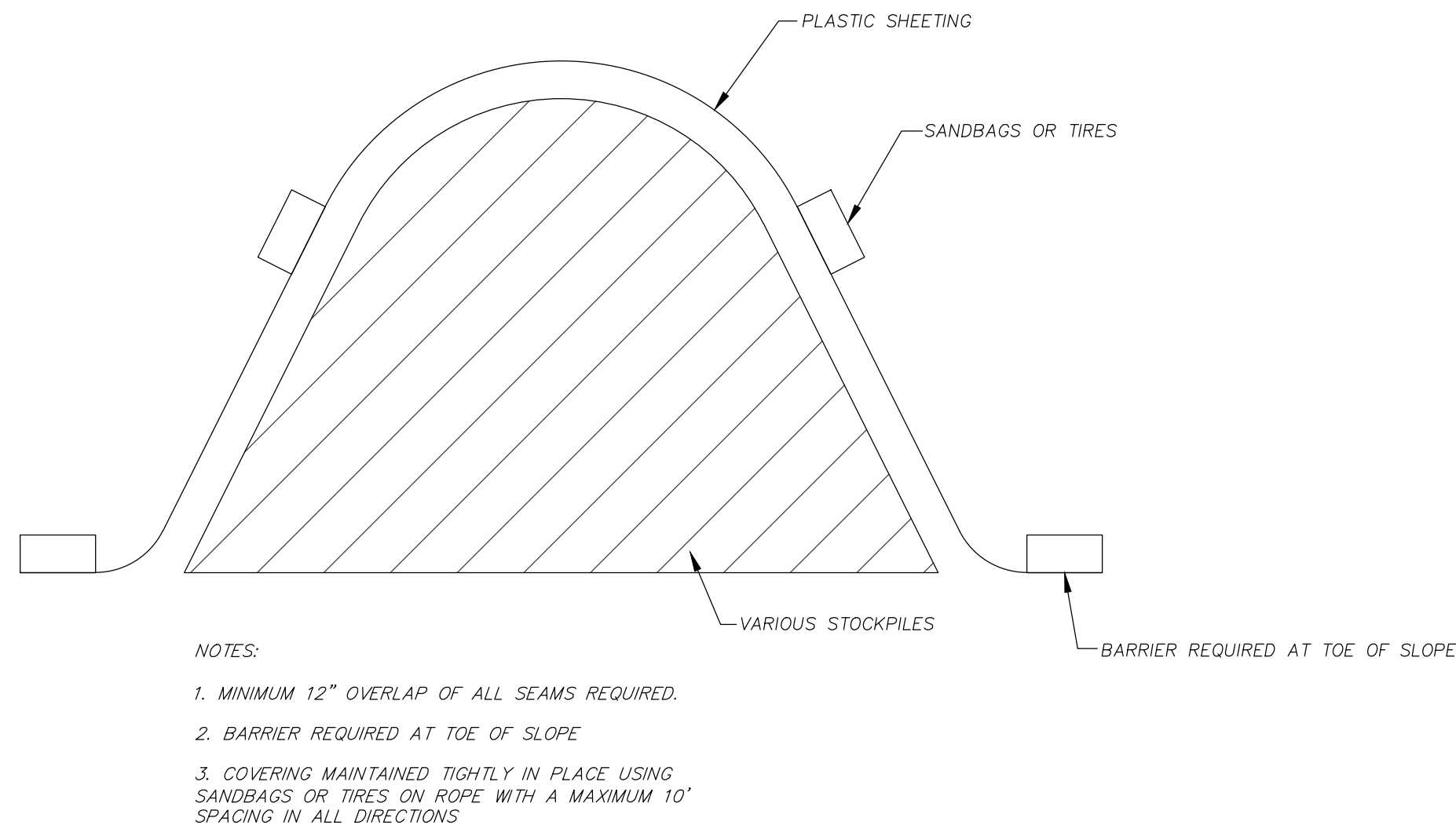
REVISED: JULY 6, 2021

JOB NUMBER: 19.085 SHEET 10 OF 11

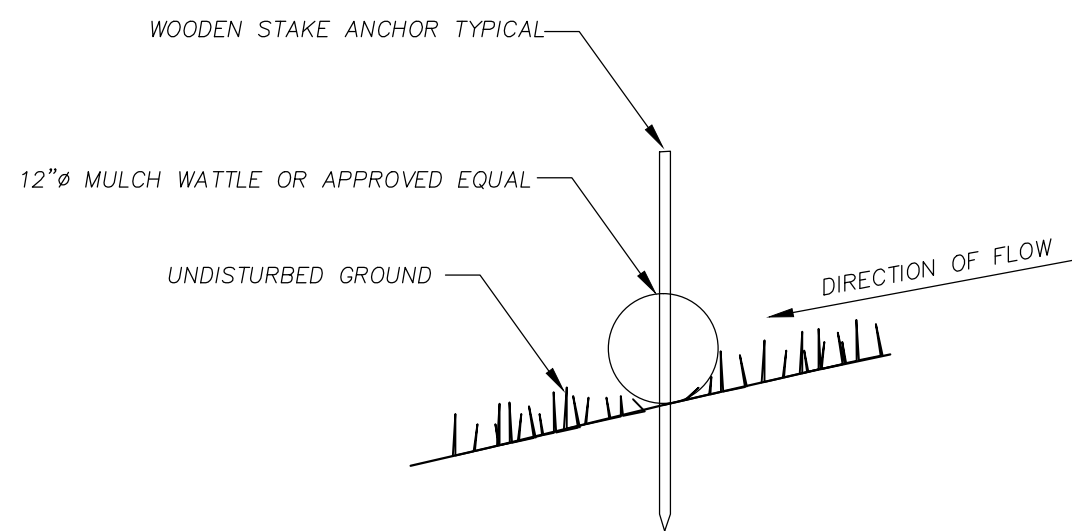




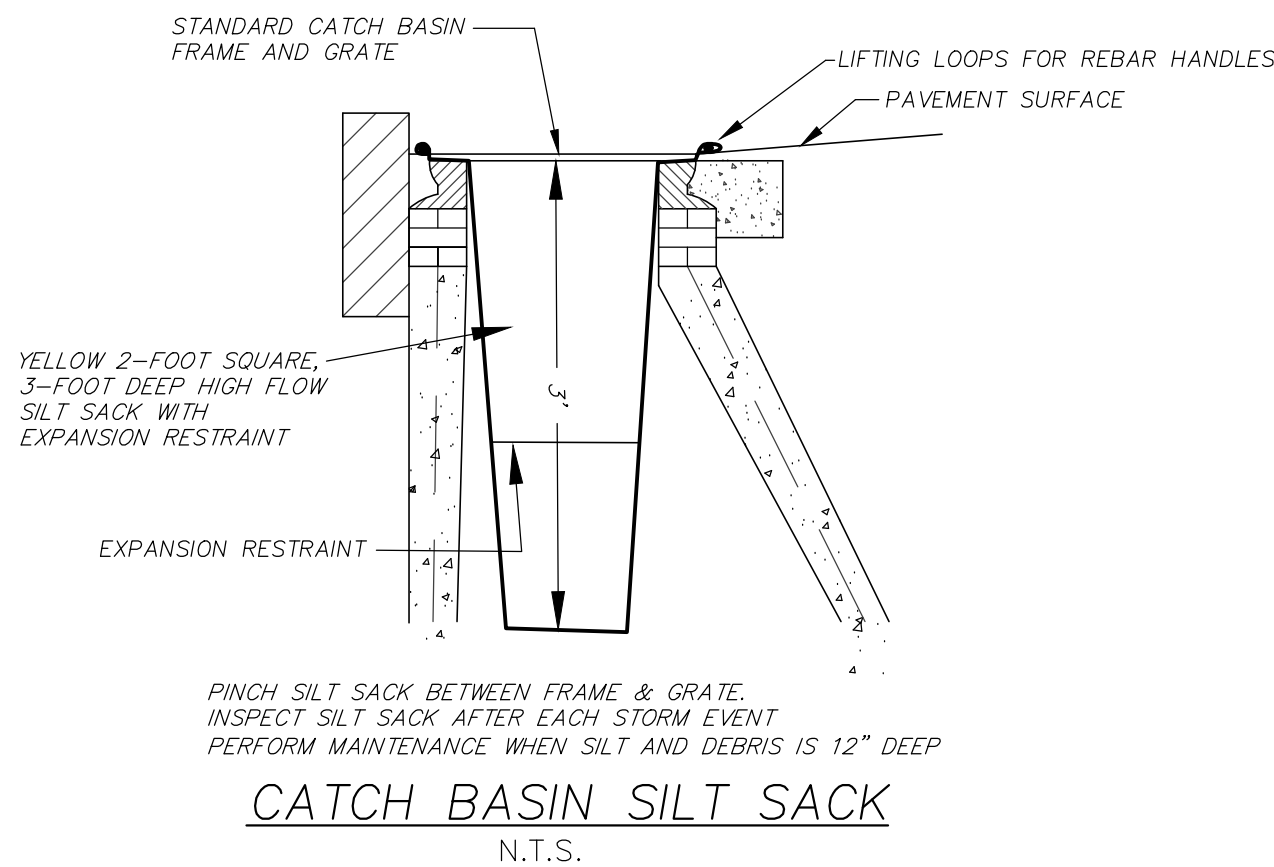
SECURITY FENCING W/ EROSION CONTROL  
N.T.S.



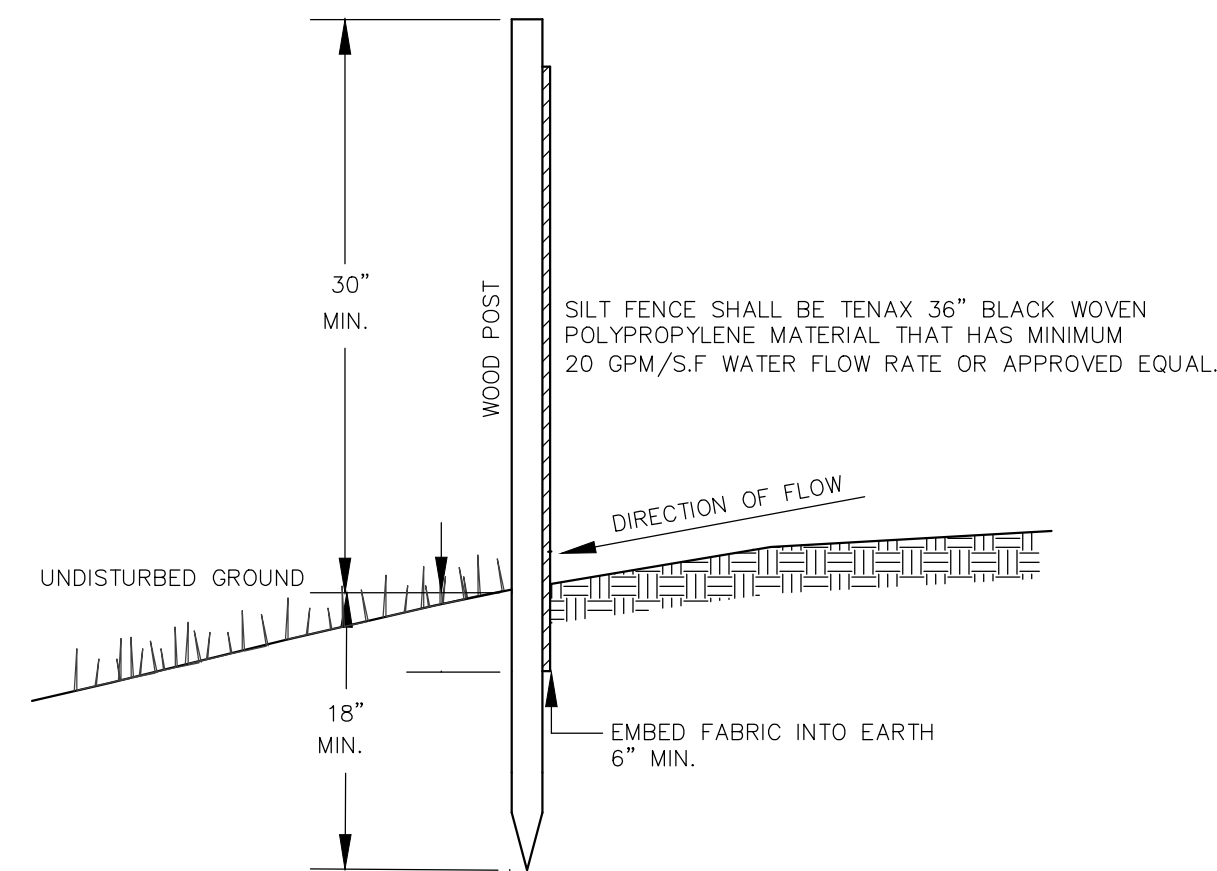
PLASTIC SHEETING OVER STOCKPILED MATERIALS  
N.T.S.



MULCH WATTLE OR EQUIVALENT  
NOT TO SCALE



CATCH BASIN SILT SACK  
N.T.S.



#### SPECIFICATIONS & INSTALLATION

FABRIC SHALL CONSIST OF WOVEN POLYPROPYLENE, 36" IN WIDTH AND FASTENED TO HARDWOOD POSTS WITH THREE (3), ONE INCH (1") WIDE CROWN STAPLES.

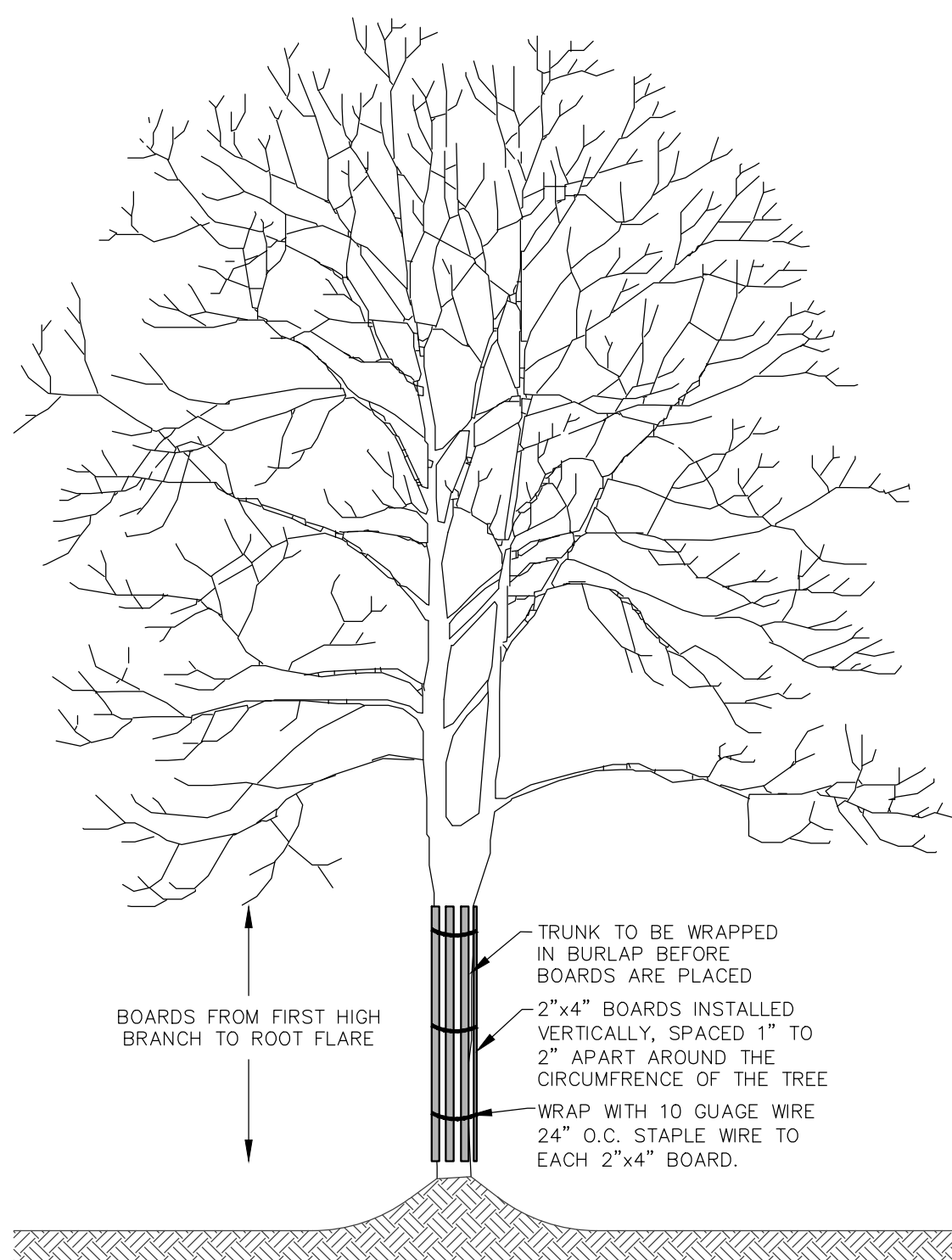
WOOD POSTS SHALL BE OF SOUND HARDWOOD, FORTY EIGHT INCHES (48") IN LENGTH WITH A MINIMUM CROSS SECTION OF 1.125 SQUARE INCHES. SOFTWOOD POSTS SHALL NOT BE USED.

POSTS SHALL BE POSITIONED VERTICALLY AT A DISTANCE NOT TO EXCEED TEN FEET (10') ON CENTER FOR THE ENTIRE LENGTH OF THE SILT FENCE.

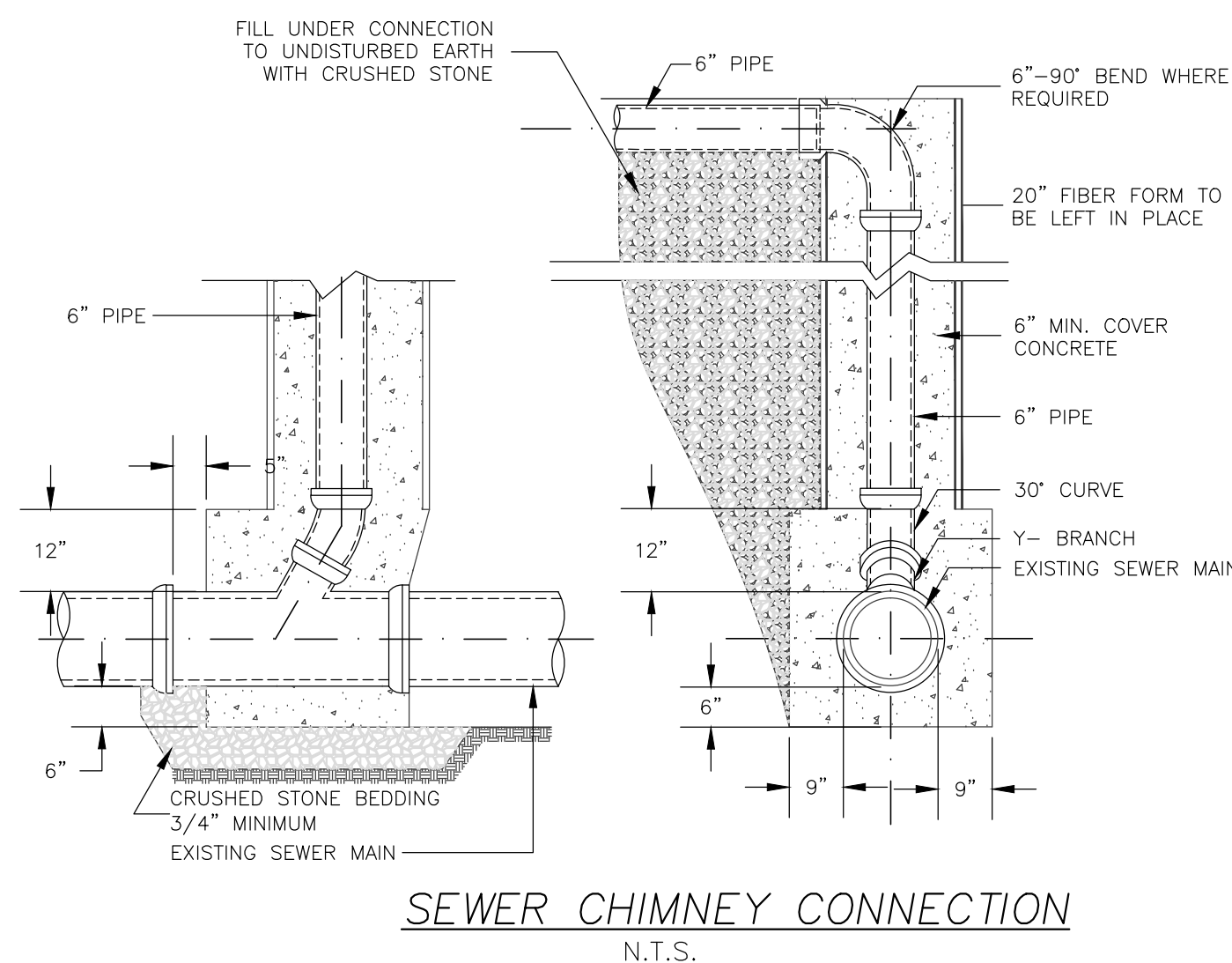
SOIL SHALL BE TRENCHED TO ALLOW SIX INCHES (6") OF THE SILT FENCE FABRIC TO FALL BELOW GRADE. POSTS SHALL BE DRIVEN A MINIMUM OF EIGHTEEN INCHES (18") BELOW NATURAL GRADE TO ALLOW SIX INCHES (6") OF MATERIAL TO EXTEND INTO THE TRENCH. TRENCH SHALL BE BACKFILLED TO ORIGINAL GRADE, LEAVING A MINIMUM OF SIX INCHES (6") OF FABRIC BELOW FINISH GRADE. IF THE SILT FENCE IS INSTALLED ON A SLOPE, THE POSTS SHALL BE POSITIONED ON THE DOWNWARD SIDE. IF THE SILT FENCE IS INSTALLED ON A LEVEL SITE, THE POSTS SHALL BE INSTALLED TO THE OUTSIDE OF THE WORK SITE.

CONNECTION/JOINING OF SILT FENCES SHALL BE COMPLETED BY TIGHTLY OVERLAPPING THE ENDS OF THE ROLLS A MINIMUM OF TWELVE INCHES (12") OR BY OVERLAPPING THE END POSTS AND SECURING THE TWO POSTS TOGETHER TIGHTLY WITH PLASTIC WIRE TIES AND/OR STEEL BAILING WIRE.

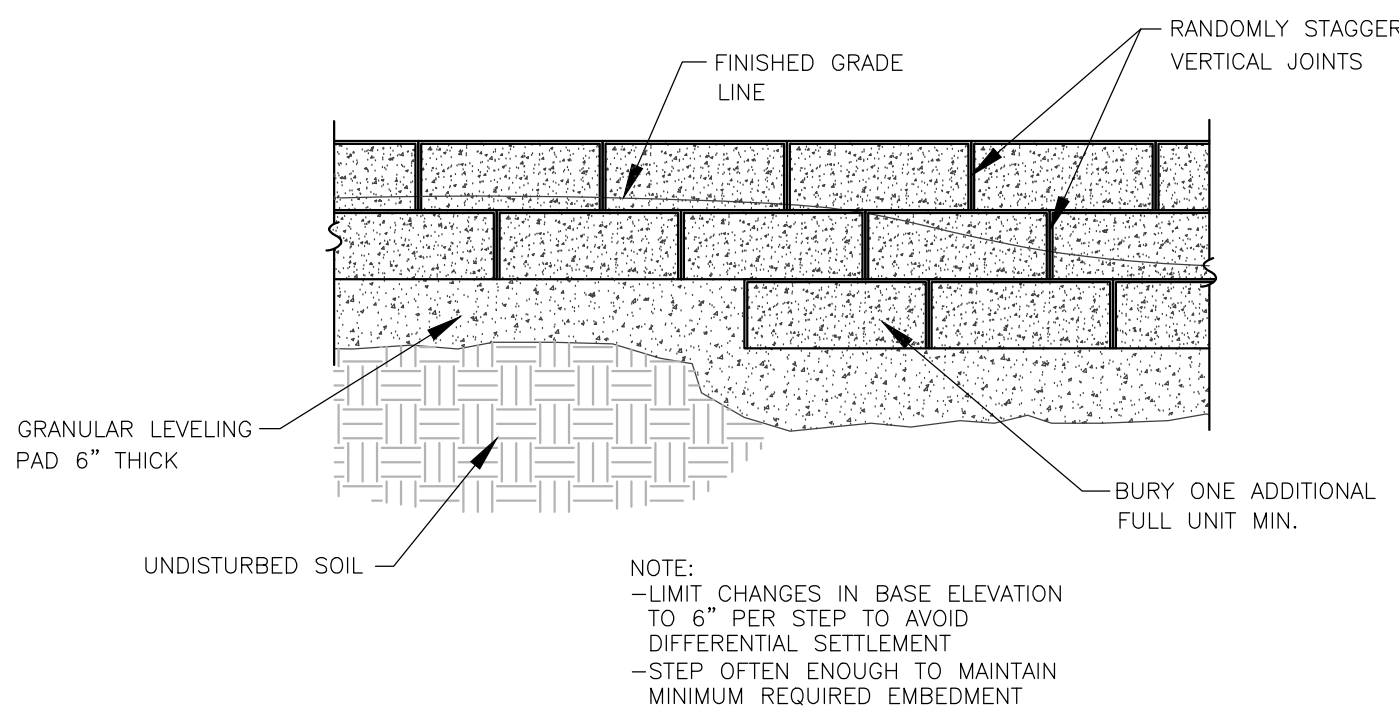
SILT FENCE DETAIL FOR  
TEMPORARY SOIL STOCKPILE AREA  
N.T.S.



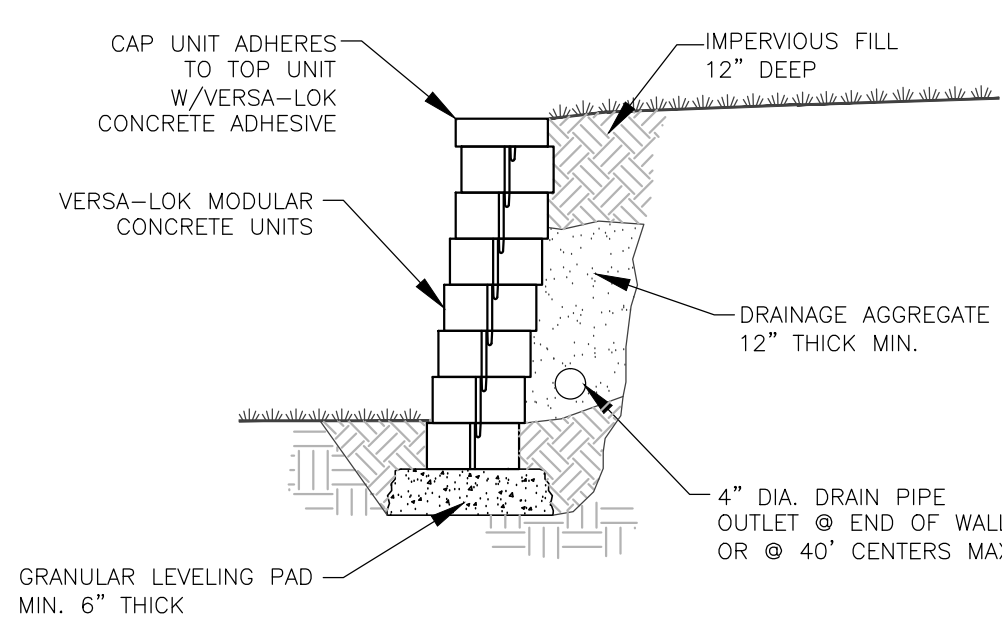
TREE PROTECTION DETAIL  
NOT TO SCALE



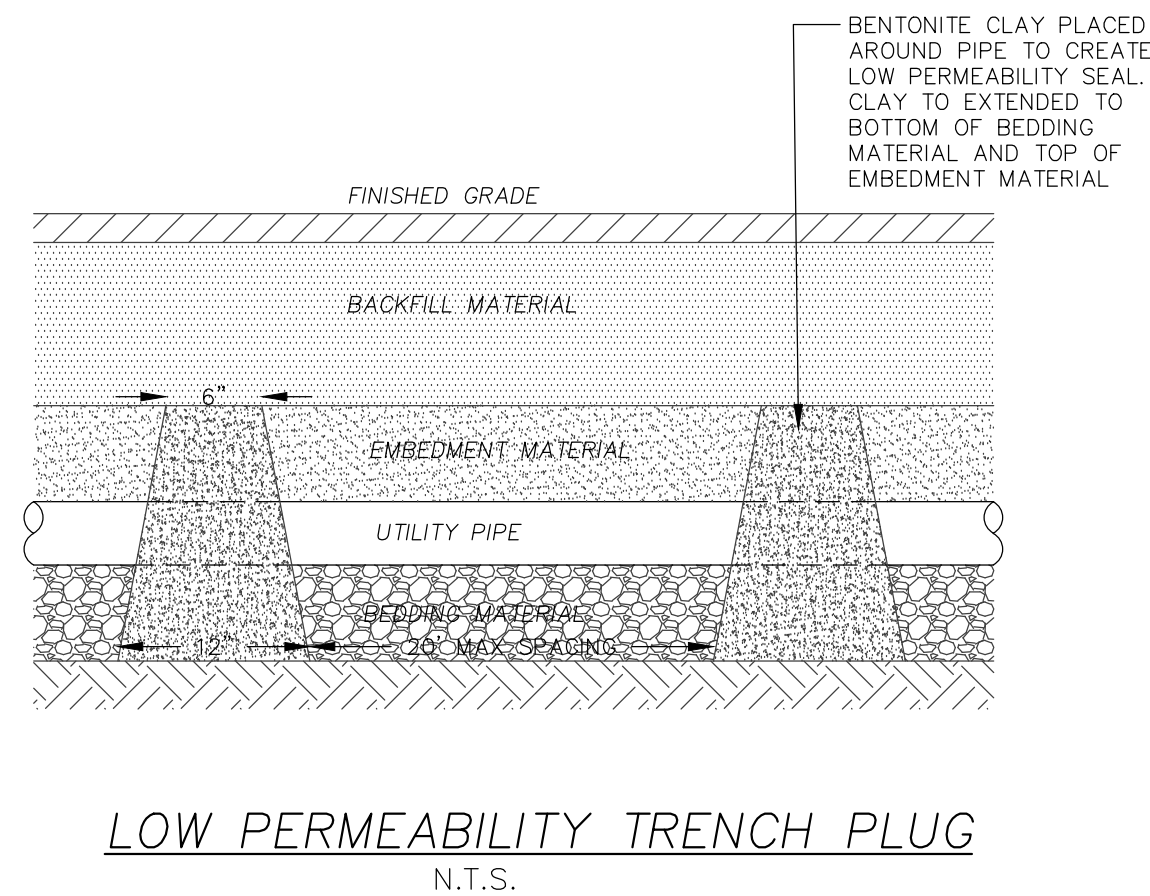
SEWER CHIMNEY CONNECTION  
N.T.S.



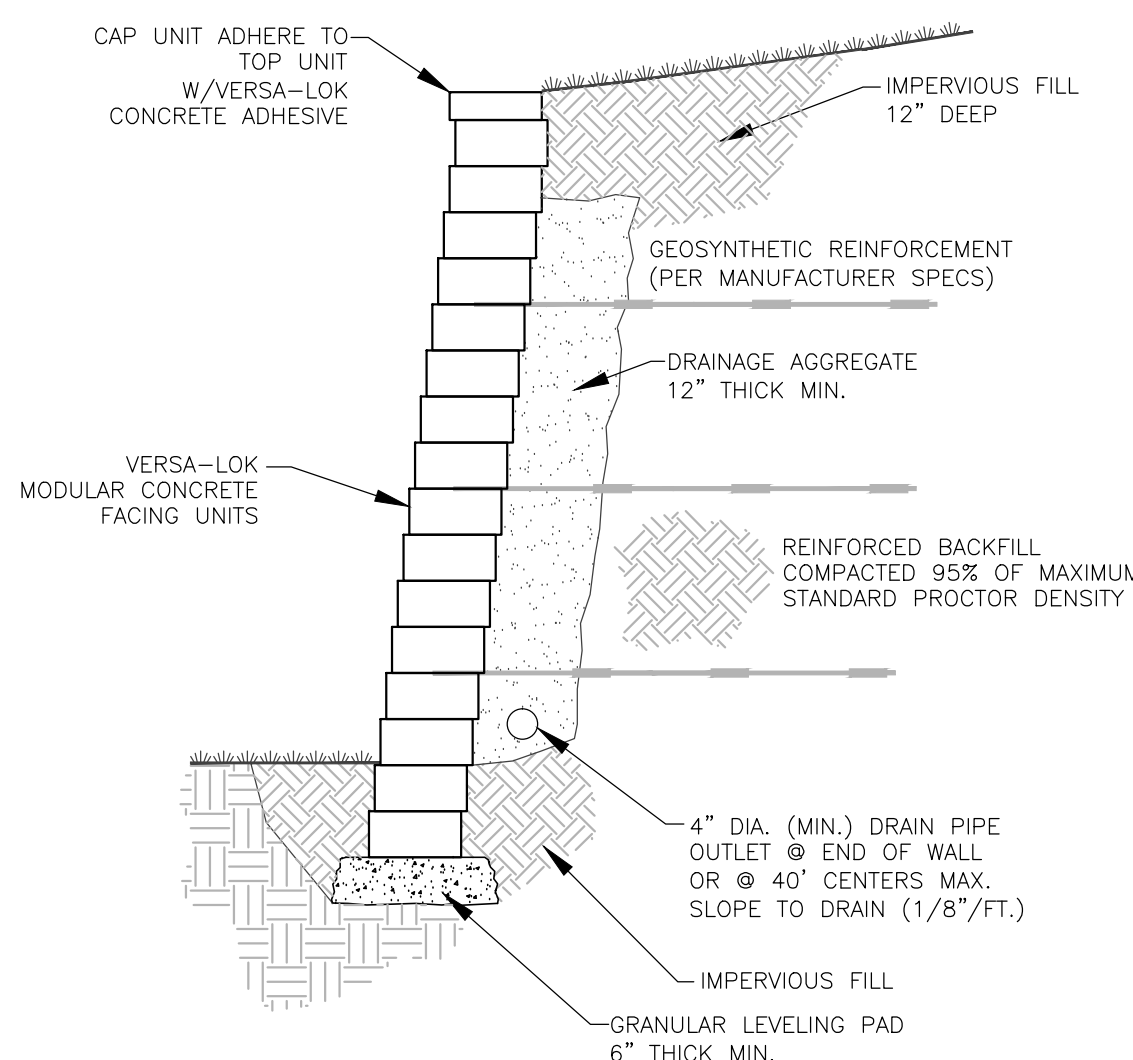
STEPPING BASE DETAIL  
NOT TO SCALE



TYPICAL SECTION-UNREINFORCED RETAINING WALL  
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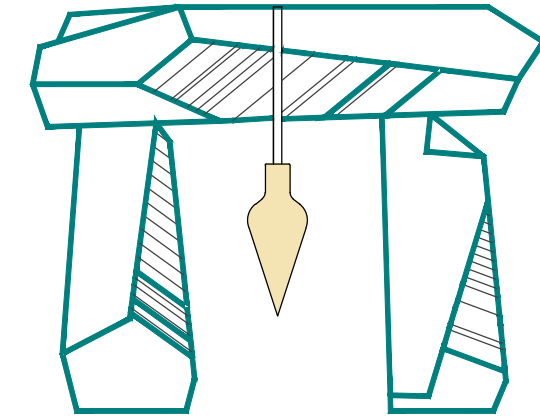


LOW PERMEABILITY TRENCH PLUG  
N.T.S.

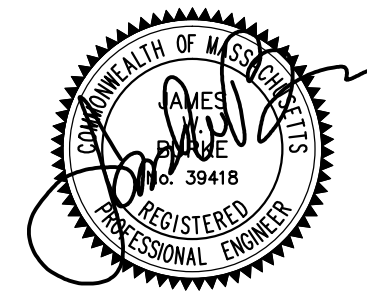


TYPICAL SECTION-REINFORCED RETAINING WALL  
NOT TO SCALE

DeCelle-Burke-Sala



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JAMES W BURKE, P.E.

#### GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
- RECORD OWNER: COMPREHENSIVE LAND HOLDINGS  
DEED REFERENCE: CERTIFICATE #271959  
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
- DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40B AT TEL: 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
- PARCEL IS ZONED SR-A.

#### PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN  
91 BEATRICE CIRCLE  
BELMONT, MASS.

#### PLAN TITLE:

CONSTRUCTION DETAILS

#### PREPARED FOR:

91 BEATRICE CIRCLE LLC  
c/o REGNANTE STERIO  
401 EDGEWATER PL, SUITE 630  
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

REVISED: JUNE 1, 2021

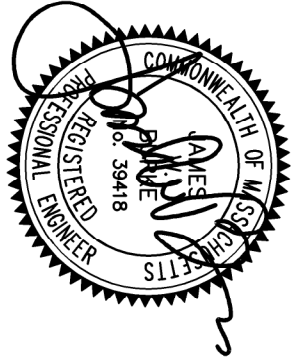
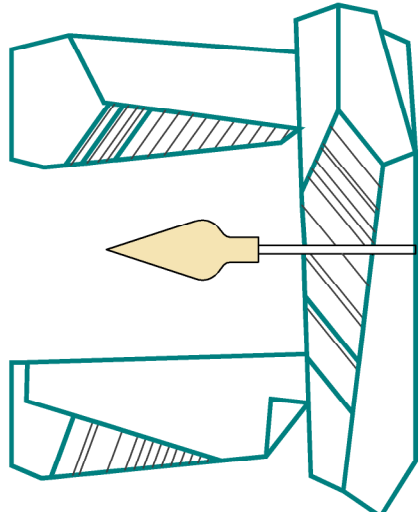
REVISED: JUNE 25, 2021

REVISED: JULY 6, 2021

JOB NUMBER: 19.085

SHEET 11 OF 11





JAMES W. BURKE, P.E.

GENERAL NOTES:

1. LOOKS: ASSESSORS MAP 91 BLOCK LOT 36  
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS  
DEED REFERENCE: CERTIFICATE #271989  
PLAN REFERENCE: LC PLAN 2867-12
2. ELEVATIONS REFER TO WMO-98.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM 3" DEPTH TO 48" DEPTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE DIGGING UTILITY SYMBOL IN SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS REQUIREMENTS TO THE DIG-SAFE PROGRAM. LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD DRAWINGS AND SURFACE STRUCTURES ARE SHOWN. LOCATIONS AND DEPTHS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL 1000 HAZARDOUS ZONE AS Delineated ON FIRM 25017C-00418E, DATED JUNE 4, 2010.
5. PARCELS IS ZONED SR-A.
6. FOR PROPOSED BUILDING DIMENSIONS SEE ARCHITECT'S PLAN BY DMB&C.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN  
91 BEATRICE CIRCLE  
BELMONT, MASS.

PLAN TITLE:

PROPOSED OPEN SPACE

PREPARED FOR:

91 BEATRICE CIRCLE LLC  
c/o REGNANTE STERIO  
401 EDGEWATER PL, SUITE 630  
WAKEFIELD, MA 01880

DATE: NOVEMBER 4, 2020

REVISED: APRIL 19, 2021

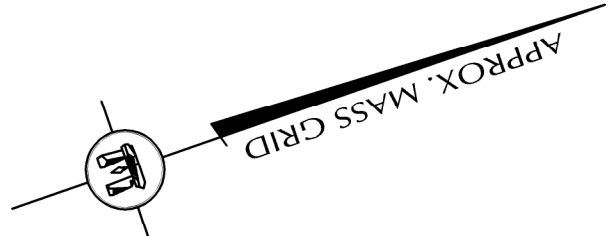
REVISED: JUNE 1, 2021

REVISED: JUNE 25, 2021

REVISED: JULY 6, 2021

JOB NUMBER: 19.085 SHEET 1 OF 1

SCALE: 1" = 20'



ZONING DISTRICT: SR-A			
DIMENSIONAL REQUIREMENTS		EXISTING	PROPOSED
MINIMUM LOT AREA (SQ. FT.)	25,000	23,466	23,466
MINIMUM FRONTING (FT.)	125	200	200
MAX. BUILDING HEIGHT (FT.)	36		
MIN. SETBACKS (FT.)			
FRONT	30	29.7'	8.2'
SIDE	15	38.4'	23.3'
REAR	40	26.0'	12.1'
MAXIMUM LOT COVERAGE	20%	14.5%	29.9%
MINIMUM OPEN SPACE	50%	81.4%	38.3%

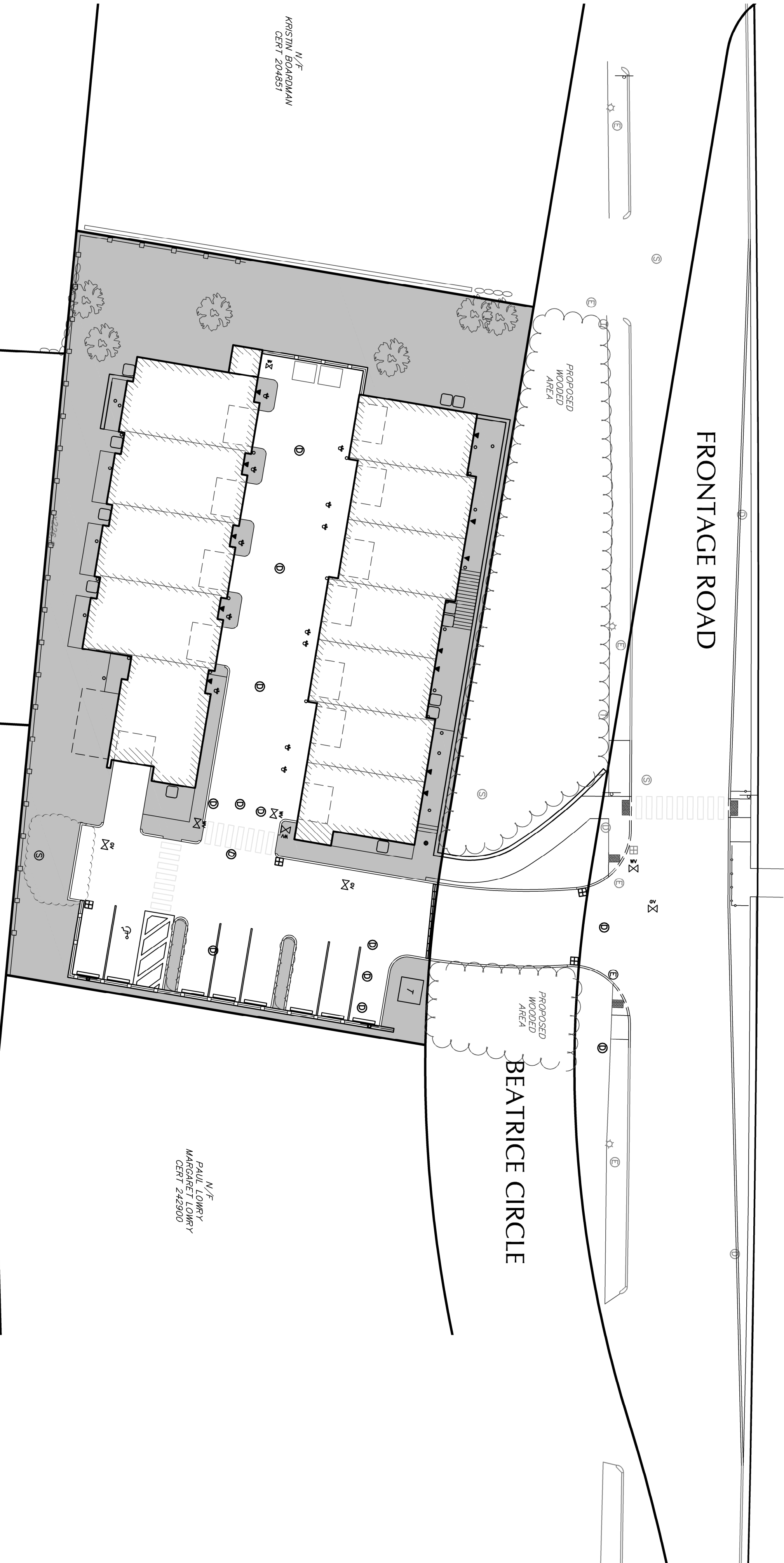
LEGEND:

EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- MOW OR TOWERLIFT
- N/F
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- CHAIN LINK FENCE
- TEST PIT
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR

PROPOSED:

- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
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- UTILITY POLE
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- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR







# VERDANT

JULY 7, 2021





Columnar Sweet Gum



Pillar Pin Oak



Green Giant Red Cedar



Red Oak



Pennsylvania Carex



Vinca

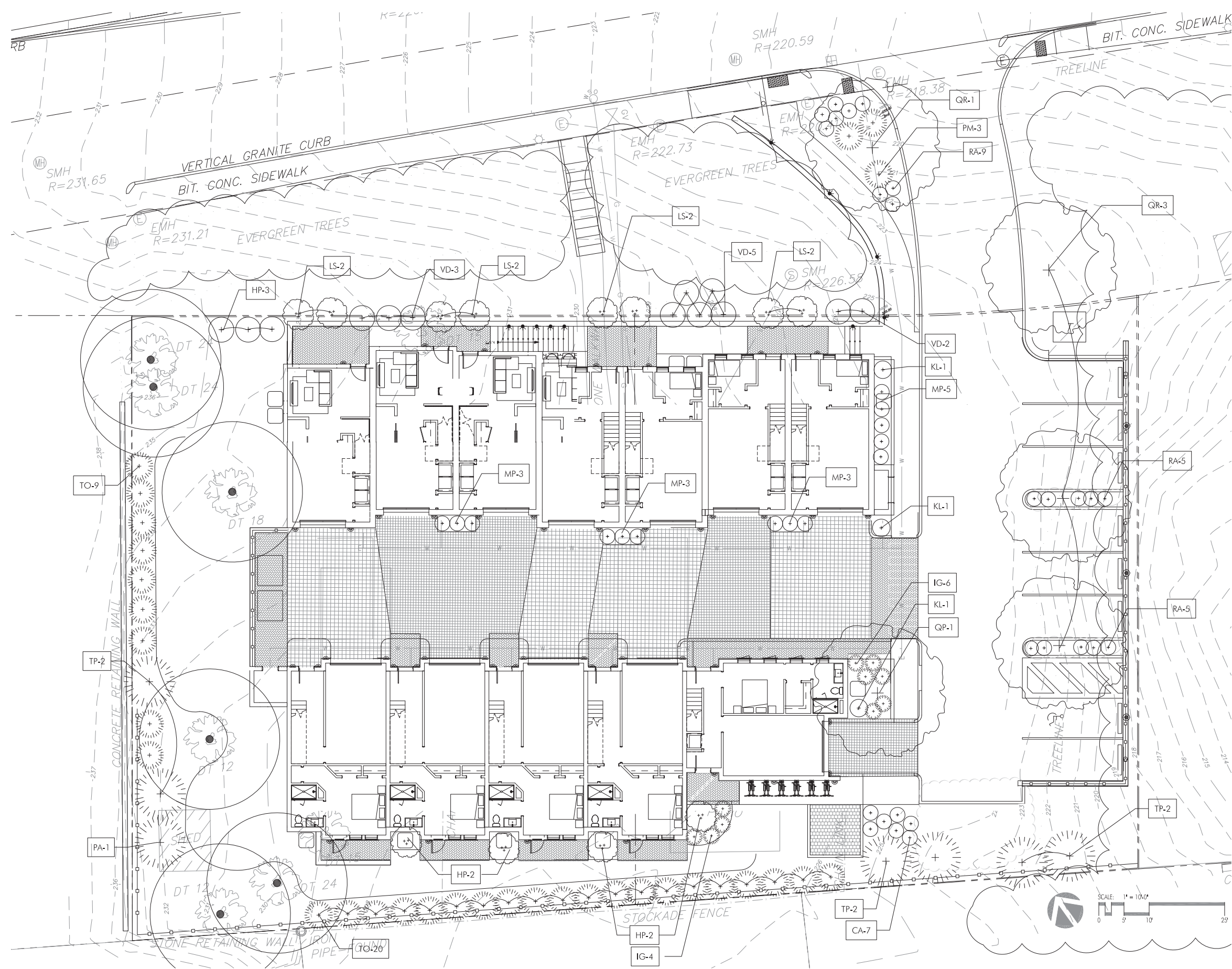


Rhododendron

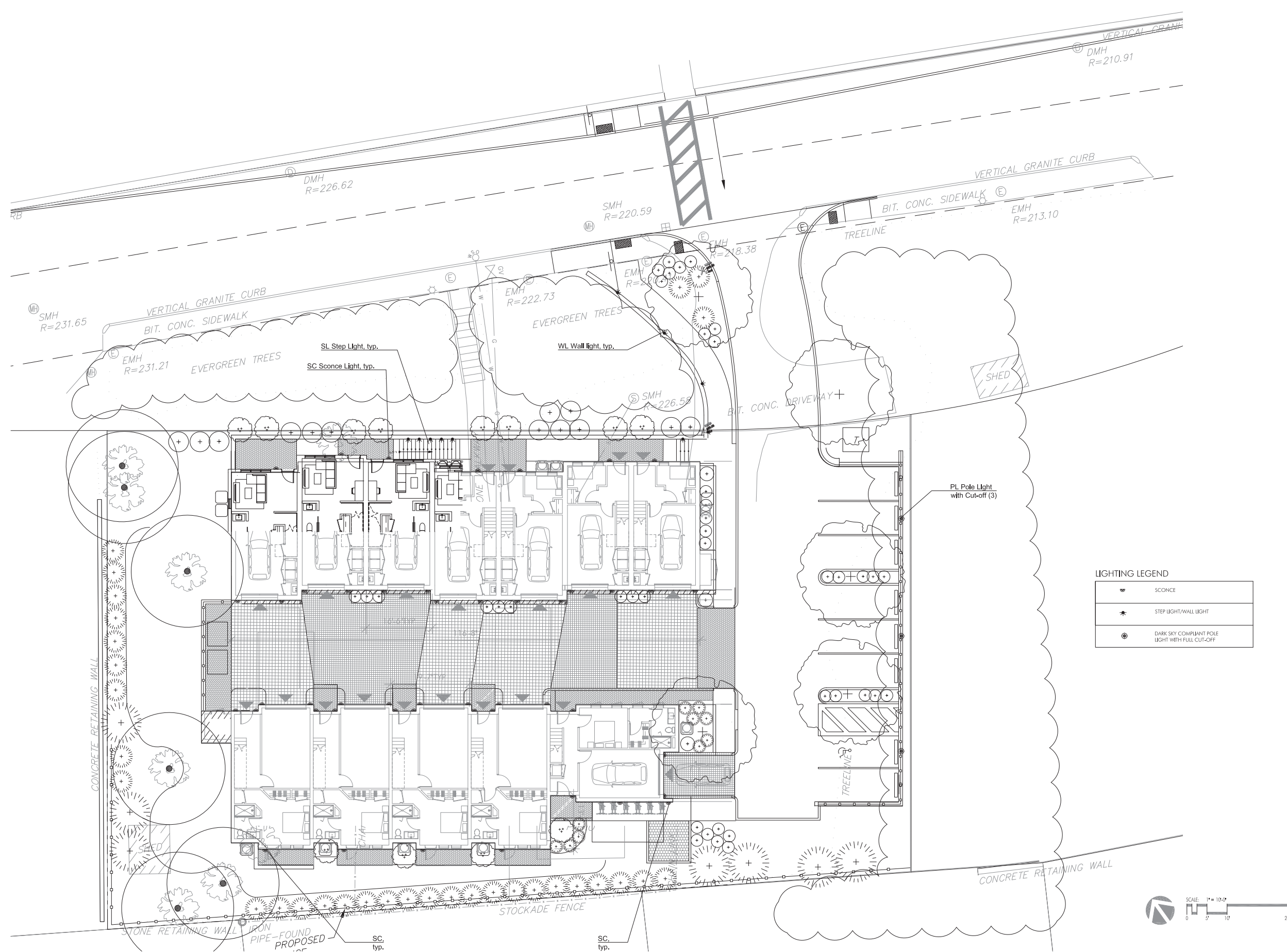


Mountain Laurel





PROPOSED PLANT LIST		COMMON NAME	SIZE	NOTES
SYMB	LATIN NAME			
TREES				
PA	1	Picea abies	Norway Spruce	7-8' ht. b&b
TP	5	Thuja plicata 'Green Giant'	Green Giant Western Red Cedar	7-8' ht. b&b
TO	27	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	7-8' ht. b&b
LS	7	Liquidambar styraciflua 'Slend. Silhouette'	Slender Silhouette Sweetgum	2-2.5" cal. b&b
QP	1	Quercus palustris 'Green Pillar'	Green Pillar Pin Oak	3-3.5" cal. b&b
QR	4	Quercus rubra	Red Oak	2-2.5" cal. b&b
SHRUBS				
CA	7	Clethra alnifolia	Summersweet	3 gal.
HP	7	Hydrangea paniculata 'Grandiflora'	Pee Gee Hydrangea	7 gal.
IG	10	Ilex glabra 'Densa'	Inkberry	5 gal.
KL	3	Kalmia latifolia	Mountain Laurel	24" ht.
MP	14	Myrica pennsylvanica	Northern Bayberry	24-36" ht.
PM	3	Pinus mugo 'Pumila'	Dwarf Mugo Pine	5 gal.
RA	19	Rhus aromatica 'Lo Gro'	Lo Gro Sumac	5 gal.
VVD	10	Virburnum dentatum	Arrowwood Viburnum	3'-4' ht.
PERENNIALS & GRASSES				
cp	110	Carex pennsylvanica	Pennsylvania Carex	2" plug 12" o.c.
ls	46	Liriope spicata	Lilyturf	2 gal
vm	209	Vinca minor	Myrtle	2 gal



Sconce by Bega



Step Light/Wall Light by Bega



Pole Light by Sternberg  
With shield and dialer

LIGHTING PLAN  
91 BEATRICE CIRCLE  
BELMONT, MA

JULY 7, 2021

L4