

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 23-25

2023 AUG 29 AM 9:44

NOTICE OF PUBLIC HEARING BY THE
ZONING BOARD OF APPEALS

ON APPLICATION FOR TWO SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, October 2nd, 2023 at 7:00 PM by a hybrid public hearing at the Art Gallery on the third floor of the Homer Building, 19 Moore Street, and by remote access through the Zoom app. to consider the application of Austin and Monica Kim, for TWO Special Permits under section 1.5 of the By-Law to construct dormers located at 200 Beech Street located in General Residence (GR) Zoning District. Special Permits: (1) §4.2.2 of the By-Law allows for a maximum building height of two and a half (2-1/2) stories. The existing structure is three and a half (3-1/2) stories since the lowest level of the dwelling is a basement (47.15% of the foundation walls are below grade) and is considered a story. The proposed dormers are located at the three and a half (3-1/2) story level. (2) requires a minimum side setback of 10.0', the existing side setback is 1.6' and the proposed side setback is 2.0'.

ZONING BOARD OF APPEALS



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: Aug 9, 2023

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 200 Beech Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

ROOF RECONSTRUCTION AND DOOR
REPLACEMENT.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner 

Print Name Austin Kim

Address 200 Beech St

Belmont MA 02478

Daytime Telephone Number 781-777-3995



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

August 2, 2023

Austin Kim and Monica Kim,
200 Beech Street
Belmont, MA 02478

RE: Denial to construct dormers

Dear Mr. and Mrs. Kim,

The Office of Community Development is in receipt of your building permit application to construct dormers at 200 Beech Street located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2.2 of the Zoning By-Law Dimensional Regulations allows a maximum building height of two and a half (2-1/2) stories and requires a minimum side setback of 10.0'.

1. The existing structure is three and a half (3-1/2) stories. The lowest level of the dwelling is a basement (47.15% of the foundation walls are below grade) and is considered a story. The proposed dormers are located at a three and a half (3-1/2) story level.
2. The existing right side setback is 1.6' and the proposed right side setback is 2.0'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request Two (2) Special Permit from the **Zoning Board of Appeals**. If you choose this option, please contact the Office of Community Development to schedule an appointment with **Gabriel S. Distler**, Staff Planner, at (617) 993-2666 or gdistler@belmont-ma.gov in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

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BELMONT, MA

Request for Special Permit Re: 3 ½ Story Structure

Submitted by
Austin Kim
Owners of
200 Beech Street, Belmont MA 02478

We propose to add dormer expansions to our home at 200 Goden Street in Belmont. The new space will include , three bedrooms, two bathrooms, eave closets and mechanical space. We would like to note that we have spoken with and acquired signatures of support from our neighbors and have endeavored to create a design which is harmonious with the existing house, neighborhood and adjacent houses.

We have lived in our two family 3-bedroom home for over three years with our growing family. We had a fire which destroyed the third floor with water damage to the floors below. Initially we wanted to repair things as soon as possible but with the advent of covid, a growing family and ongoing work changes we found that we need more space in the house. We felt that dormering our home would allow us the space needed. In addition, our home was built in 1906 when closets were built very small and bathroom space was limited. Our hope is to make our home comfortable for modern "work from home" living.

We have worked with Keith Miller of Miller Design, a local Belmont architect to review options for creating the space we needed. We explored other schemes but felt that the addition of side facing dormers was the best way to retain the look and massing of the homes on Beech Street. We would also like to note that we included images of other similar structures with added top story or side facing dormers in our neighborhood.

The original building permit application was declined because our basement in the GR zoning district is 47.15% exposed and thus considered a story (though from the Beech Street elevation our home appears to be only two and a half stories). This makes the existing house a non-conforming 3 ½ story structure exceeding the 2 ½ story limit set forth in the Belmont Zoning By-lay section 4.2.2. for any expansion of the top story. In addition, there is an easement on the driveway side of the property which places the house 1.6' from the property line and the new dormer 2' from the property line. Our understanding is that this easement is for the Wellington culvert which runs underground. In reality, the house sits 27.8' from the neighbors (A distance which easily complies with (2) 10' setbacks as otherwise required by zoning.) Our proposed addition does not raise the ridge above its existing height above grade of 34.1' feet, which conforms with zoning height requirements. The design of the level is in full compliance with the guidelines set forth for half stories/dormers in Belmont. We are asking the Zoning Board of Appeals to grant us a special permit allowing us to build this dormer addition to the top floor of our home. It is our belief that the proposed addition is in keeping with the character of the neighborhood and not detrimental to the community.

200 and 202 Beech



DISTANCE BETWEEN HOUSES 27.8'

219 Beech



NEIGHBORHOOD HOUSE - DORMER

237 Beech



NEIGHBORHOOD HOUSE - 3 STORY

163 Beech



NEIGHBORHOOD HOUSE – 3 STORY

182 Beech



NEIGHBORHOOD HOUSE - DORMER

172 Beech



NEIGHBORHOOD HOUSE – 3 1/2 STORY

161 Beech



NEIGHBORHOOD HOUSE - DORMER

171 Beech



NEIGHBORHOOD HOUSE – 3 1/2 STORY

Zoning Compliance Check List

Properties Located within the GR Zoning Districts
(To be Completed by a Registered Land Surveyor)

Property Address: 700 Beach Street

Surveyor Signature and Stamp: [Signature]

Date: 5/21/2023

Per §4.2 of the Zoning By-Laws

		REQUIRED		EXISTING		PROPOSED	
Lot Area (sq. ft.)		7,000		3,435		-	
Lot Frontage (feet)		70		38.59		-	
Lot Area/Unit (sq. ft./d.u.)							
Lot Coverage (% of lot)		30%		39.9%		-	
Open Space (% of lot)		40%		43.6%			
Setbacks: (feet)	> Front	9.25		13.1		21.7	
	> Side/Side	10	10	1.6	3.6	2.0	13.7
	> Rear	16.36		23.4		37.5	
Building Height:	> Feet	33		28.4		-	
	> Stories						
1/2 Story (feet) (Per §1.4)	> Perimeter						
	> Area						
	> Length						

Per §6D of the Zoning By-Laws

		REQUIRED		EXISTING		PROPOSED	
Front Doors:	> Face Street						
	> Setback						
Curb Cut							
HVAC:	> Front Yard						
	> Side/Rear Setbacks						

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated

Segment	Segment From Existing Grade	Segment From New Grade	Segment To Existing Grade	Segment To New Grade	Segment Length	Avg Existing	Avg New	Difference
AA	99.15	99.15	99.15	99.15	9.68	959.772	959.772	0.00
BB	99.15	99.15	99.15	99.15	6.8	674.22	674.22	0.00
CC	99.15	99.15	98.66	98.66	24.7	2442.954	2442.954	0.00
DD	98.66	98.66	98.73	98.73	6.8	671.126	671.126	0.00
EE	98.73	98.73	98.09	98.09	15.39	3482.73	3482.73	0.00
FF	98.09	98.09	98.09	98.09	0.23	22.5607	22.5607	0.00
GG	98.09	98.09	98.09	98.09	6.8	667.012	667.012	0.00
HH	98.09	98.09	98.44	98.44	24.57	2414.371	2414.371	0.00
II	98.44	98.44	98.93	98.93	26.11	2576.665	2576.665	0.00
JJ	98.93	98.93	98.93	98.93	10.04	993.2572	993.2572	0.00
	98.93	98.93	99.15	99.15	16.09	1593.554	1593.554	0
					167.21	16498.22	16498.22	0

Ceiling Height:	6.9
Basement Floor Elevation	95.4
Ceiling Elevation	102.3
Perimeter Total Length	167.21
Total Perimeter Square Foot	1153.75
Average Existing Grade	98.67
New Average Grade	98.67
Difference in Grade in feet	0.00

% Covered using Avg Grade 47.36%

SEA
5/25/2023

Segment	Ceiling Elevation	Elevation From	Elevation To	Length	Ceiling Height	Square Footage	Exposed Square Footage	% Covered
A	102.3	99.15	99.15	11.93	6.9	82.32	37.58	54.35%
B	102.3	99.15	99.15	2.88	6.9	19.87	9.07	54.35%
C	102.3	99.15	99.15	6.25	6.9	43.13	19.69	54.35%
D	102.3	99.15	98.73	2.88	6.9	19.87	9.68	51.30%
E	102.3	98.73	98.73	12.49	6.9	86.18	44.59	48.26%
F	102.3	98.73	98.09	35.39	6.9	244.191	137.6671	41.62%
G	102.3	98.09	98.09	0.23	6.9	1.59	0.97	38.99%
H	102.3	98.09	98.09	6.8	6.9	46.92	28.628	38.99%
H	102.3	98.09	98.44	74.57	6.9	169.53	99.14	41.52%
H	102.3	98.44	98.93	75.11	6.9	180.159	94.38765	47.61%
H	102.3	98.93	98.93	10.04	6.9	69.276	33.8348	51.16%
H	102.3	98.93	99.15	16.09	6.9	111.021	52.4534	52.75%
	102.3			155.66	6.9	1074.05	567.68	47.15%

Ceiling Height:	6.9	<- enter
Basement Floor Elevation	95.4	<- enter
Ceiling Elevation	102.3	
Perimeter Total Length	155.66	
Total Perimeter Square Foot	1074.05	
Exposed Square Footage	567.68	
% Covered	47.15%	<- result

North	South	East	West
#REF!	#REF!	#REF!	#REF!
#REF!	#REF!	#REF!	#REF!
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00
#REF!	#REF!	#REF!	#REF!
#REF!	#REF!	#REF!	#REF!
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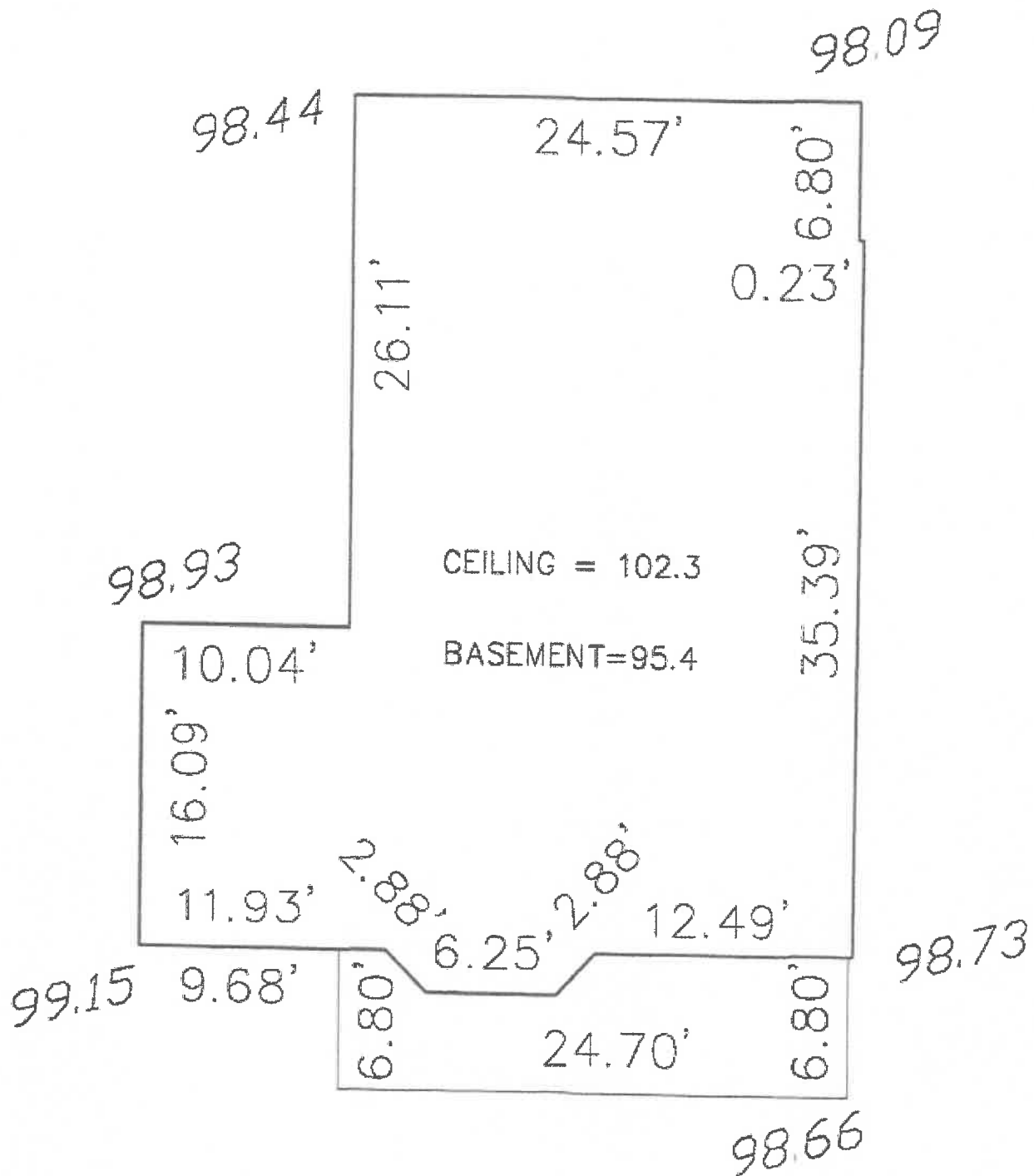


 5/25/2023

R80802PP2

05/25/2023

#200 BEECH STREET





GROSS AREA CALCUATIONS	
BASEMENT FLOOR AREA	1324 SQFT
FIRST FLOOR AREA	1185 SQFT
SECOND FLOOR AREA	1093 SQFT
THIRD FLOOR AREA (ABOVE 6'-0")	290 SQFT
ADDITIONAL GROSS AREA () =	285 SQFT
EXISTING GROSS AREA (MEASURED) 3,892 SQFT	
285 SQFT / 3,892 SQFT = 7% INCREASE (COMPLIES)	
SPECIAL PERMIT REQUIRED UNDER 3000SQFT = ZONING BOARD APPROVAL	
HALF STORY/DORMER CALCULATION	
SECOND FLOOR	1093 SQFT
EXISTING HALF STORY OVER 5'-0"	358SQFT
NEW HALF STORY OVER 5'-0"	581 SQFT
1093 SQFT X 80% = 772SQFT ALLOWED > 581SQFT PROPOSED THEREFOR COMPLIES.	
PERIMETER DORMER CALCULATION	
SECOND FLOOR	138'-7"
DISTANCE WITH RAFTERS AT 3' OF GREATER	59'-9 3/4" SQFT
ALLOWABLE LENGTH OF WALLS WITH RAFTER BOTTOMS AT 3'-0" OR GREATER = 138'-7" X 50% = 69'-4" ALLOWED > 59'- 9 3/4" PROPOSED	
DORMER LENGTH CALCULATION	
EXISTING ROOF LINE	33'-0"
WEST DORMER	21'-9 1/2"
EAST DORMER	21'-8"
ALLOWABLE LENGTH OF DORMER = 33'-0" X 75% = 24'-8" MAXIMUM	

ZONING REVIEW
AUGUST 11, 2023

REPAIR FIRE DAMAED PROPOERTY WITH
MINOR ADJUSTMENTS AND NEW 1/2 STORY
DORMER ADDITION

DRAWING LIST

- A1 COVER SHEET
- A2 EXISTING BASEMENT / FIRST FLOOR PLANS
- A3 BASEMENT AND PROPOSED FIRST FLOOR
- A4 EXISTING SECOND FLOOR & ATTIC PLANS
- A5 PROPOSED SECOND FLOOR & ATTIC PLANS
- A6 EXISTING ROOF PLANS AND ZONING
- A7 PROPOSED ROOF PLAN & WALL DETAIL
- A8 EXISTING ELEVATIONS
- A9 PROPOSED ELEVATIONS
- A10 EXISTING ELEVATIONS
- A11 PROPOSED ELEVATIONS

SYMBOL LEGEND

- WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL
- SECTION
- DOOR TAG
- WINDOW TAG
- RECESSED CAN LIGHT AS SELECTED BY OWNER
- WALL MOUNTED SCONCES AS SELECTED BY OWNER
- CEILING MOUNTED LIGHT AS SELECTED BY OWNER

PROJECT INFORMATION: PER ZONING AMENDMENTS DATED 01/07/2021
BELMONT ZONING DISTRICT GR:

FRONT YARD SETBACK: 9.25' (BEECH UNCHANGED) - 13.1' CONFORMING
REAR YARD SETBACK: 16.36' (UNCHANGED) - 23.4' CONFORMING
SIDE YARD SETBACK: 10' (UNCHANGED) - 1.6' NON-CONFORMING
FRONTAGE: 50'-0" (EXISTING 38.5' NON-CONFORMING)
LOT AREA: 5000SQFT (UNCHANGED) 3435SQFT EXISTING NON CONFORMING
MAX HEIGHT: 33'2.5 STORIES (28.4'3.5STORIES CHANGED NONCONFORMING)
NEW GROSS AREA ON ONCONFORMING PROPERTY <3000SQFT

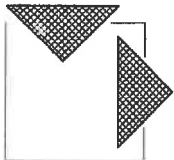
SEE A4 FOR GROSS AREA CALCS
SEE A8 FOR DORMER CALCS

ENERGY AUDIT:

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE (IRC 2021 W/ MASSACHUSETTS AMENDMENTS SECTION N1101). PROPERTY FALLS UNDER CLIMATE ZONE 5A.

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):
1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS: R60 ROOF R-VALUE, R20+5 WALL R-VALUE, R30 FLOOR R-VALUE, R10 CRAWL SPACE WALL R-VALUE.
2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING W/ .30 U FACTOR. SKYLINGTS .55
3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3.

MILLER
DESIGN LLC



80 CLARK STREET
BELMONT, MA 02478
TEL: 617.993.3157

Architect:
Miller Design LLC
80 Clark Street
Belmont MA 02478
617-993-3157

Date: Issued for:

07/06/23 SCHEMATIC DESIGN
07/20/23 DESIGN DEVELOPMENT
08/11/23 ZONING REVIEW



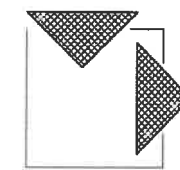
KIM RESIDENCE
200 BEECH STREET
BELMONT, MA

COVER SHEET

Sheet
Number:

A1

MILLER
DESIGN LLC

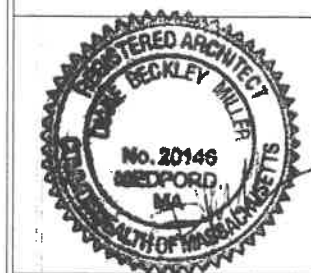


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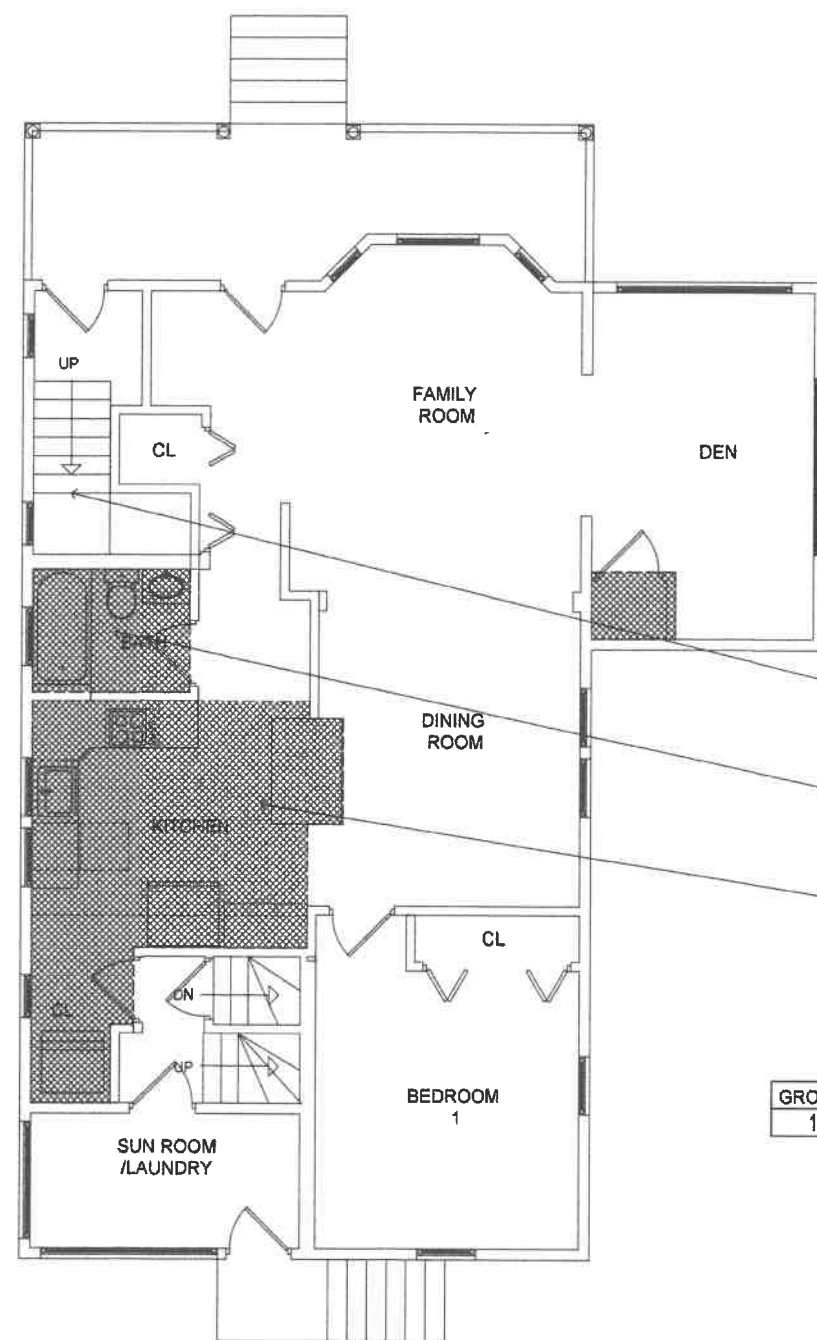


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200 BEECH STREET
BELMONT, MA

EXISTING
PLANS

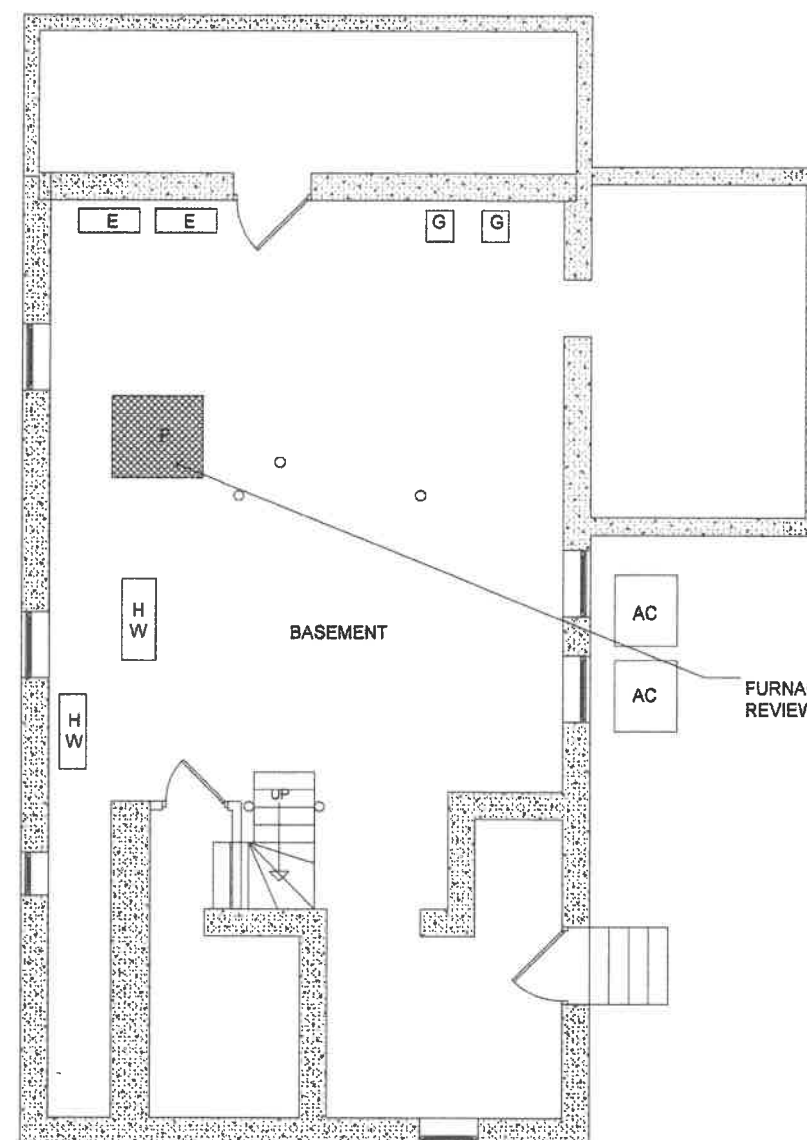
Sheet
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A2



GROSS AREA
1,185 sq ft

2 FIRST FLOOR
SCALE: 1/8" = 1'



GROSS AREA
1,324 sq ft

1 BASEMENT FLOOR
SCALE: 1/8" = 1'



EXISTING FIRE/WATER DAMAGED STAIRS TO
BE REBUILT TO MATCH EXISTING AS NEEDED

EXISTING BATHROOM FINISHES
TO BE DEMOLISHED. INFILL ANY EXPOSED
WALL CAVITIES AS REQUIRED.
STACK TO BE REPLACED

EXISTING KITCHEN FINISHES
TO BE DEMOLISHED. INFILL ANY EXPOSED
WALL CAVITIES AS REQUIRED.
STACK TO BE REPLACED

FURNACE TO BE REPLACED
REVIEW OPTIONS W/OWNER

BATHROOM 1 & 2:
BATH TUB, VANITY, TOILET, LIGHTING AS SHOWN,
PANASONIC (OAE) MECHANICAL VENT PER CODE
EXTEND NEW MACHANICAL SYSTEMS AS REREQUIRED
ALL FIXTURES TO BE LOCATED
AT ORIGINAL FIXTURE LOCATIONS
ALL FINISHES TO BE NEW SELECTED BY OWNER
BLOCKING FOR TOWEL BARS AND
TOILET PAPER HOLDERS (COORDINATE W/ OWNER)
INFILL ALL EXTERIOR EXPOSED WALL CAVATIES
WITH INSULATION AS REQUIRED

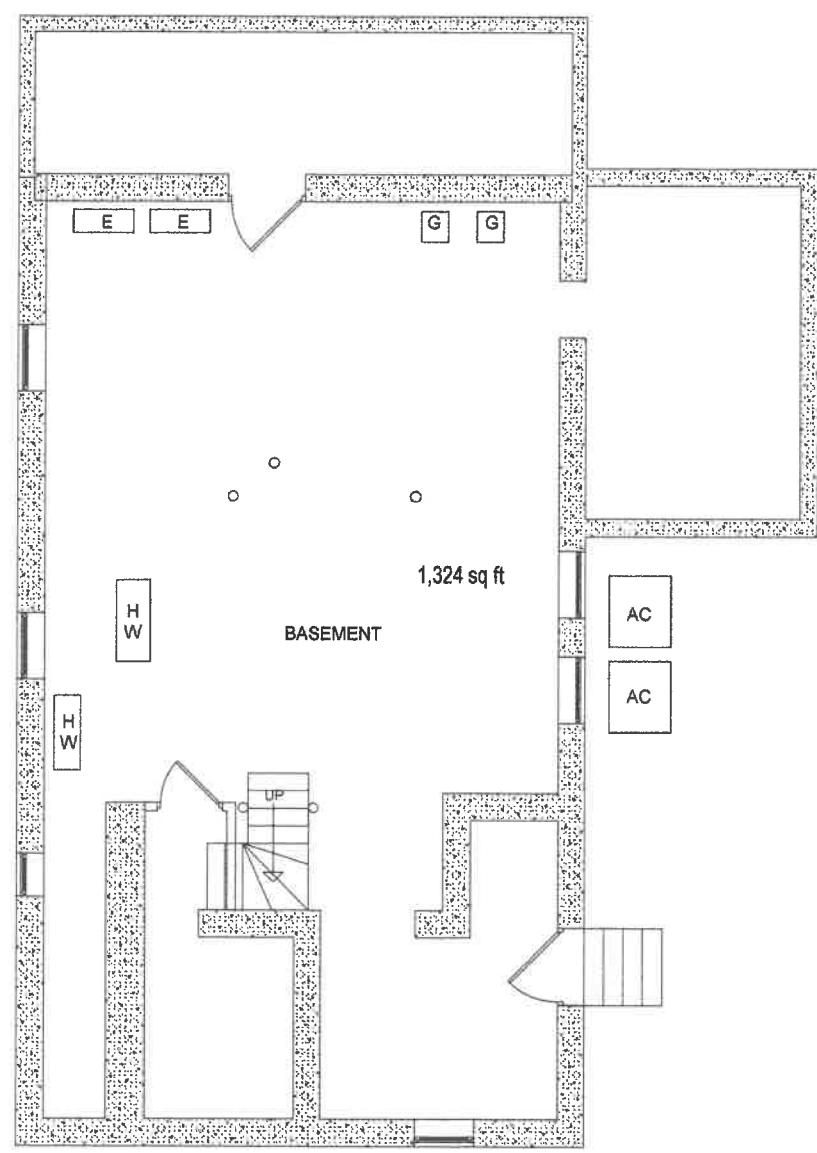
BATHROOM 3:
SHOWER KIT, VANITY, TOILET, LIGHTING AS SHOWN,
PANASONIC (OAE) MECHANICAL VENT
PER CODE WITH INTEGRAL HEAT OPTION,
EXTEND NEW MACHANICAL SYSTEMS AS REREQUIRED
BLOCKING FOR TOWEL BARS AND
TOILET PAPER HOLDERS (COORDINATE W/ OWNER)

BATHROOM 3: CONT.
TILE FLOOR (TO BE SELECTED BY OWNER)
2'-0" WIDE VANITY WITH MIRROR/RECESSED CAB.
1 BASIN (TO BE SELECTED BY OWNER)
3'-6"X2'-6" FULL TILE SHOWER KIT
PLATE GLASS DOOR AND WALL
W/STANDARD DRAIN AND COPPER PAN
TOILET (LOW PROFILE)
TO BE SELECTED BY OWNER
FULL TILE IN SHOWER W/1 RECESSES
MRGWB OR PLASTER CEILING;
LIGHTING AS SHOWN.

INFILL EXISTING WALL - MATCH ALL INTERIOR
AND EXTERIOR FINISHES
(INSULATE AS REQUIRED AT ALL EXPOSED
WALL CAVATIES)

REFER TO FINAL KITCHEN DESIGN DRAWINGS
FROM KITCHEN DESIGNER
FOR LAYOUTS AND LOCATIONS OF ALL FIXTURES
ANF FINISHES

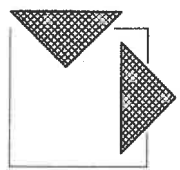
1 FIRST FLOOR
SCALE: 1/8" = 1'



BASEMENT FLOOR
SCALE: 1/8" = 1'



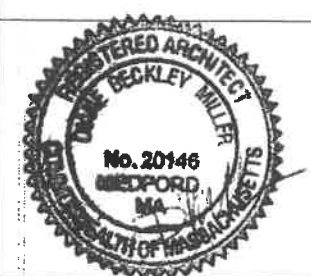
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07/08/23	REVISION 1
07/20/23	DESIGN DEVELOPMENT
08/11/23	ZONING REVIEW

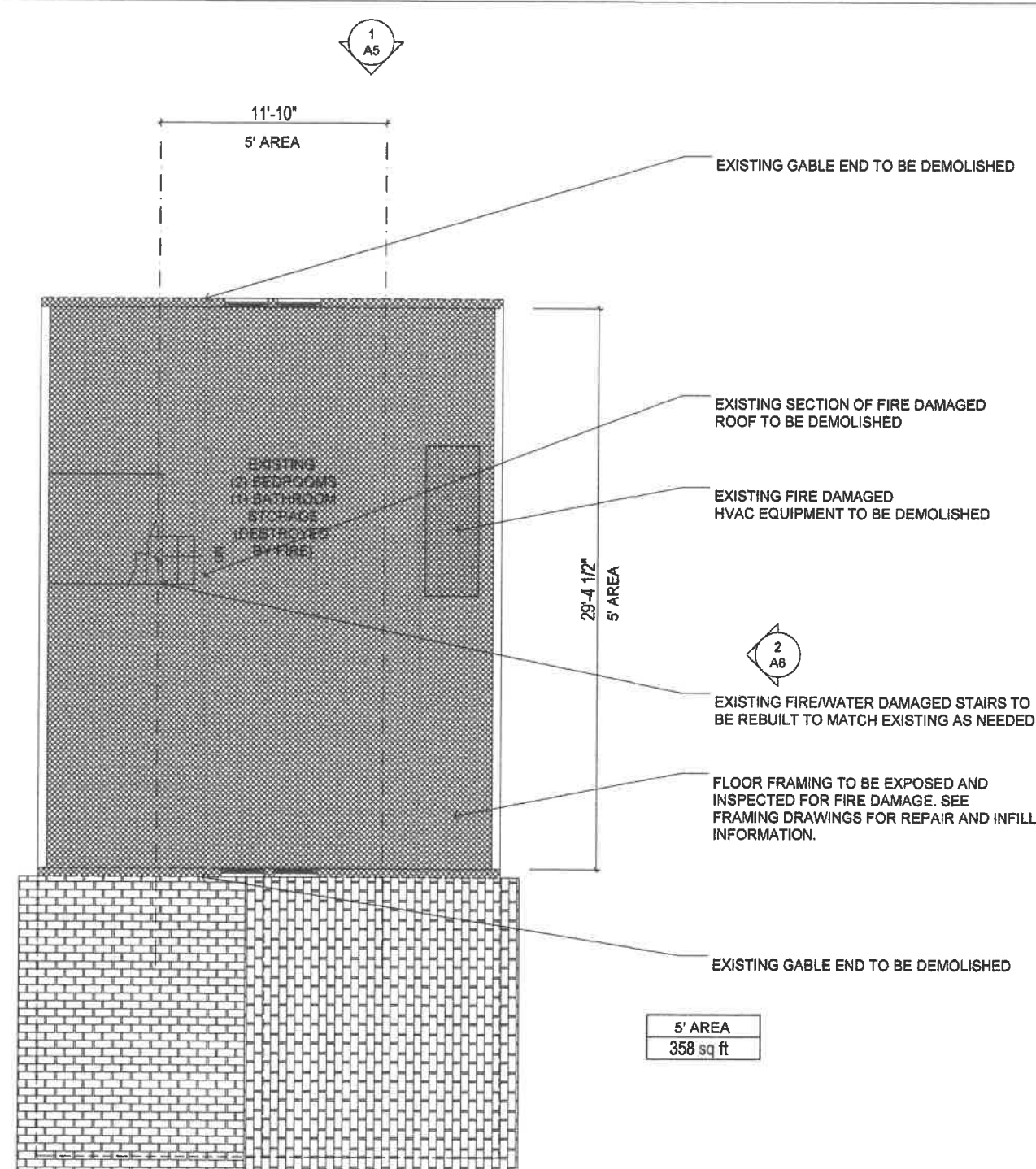


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BELMONT, MA

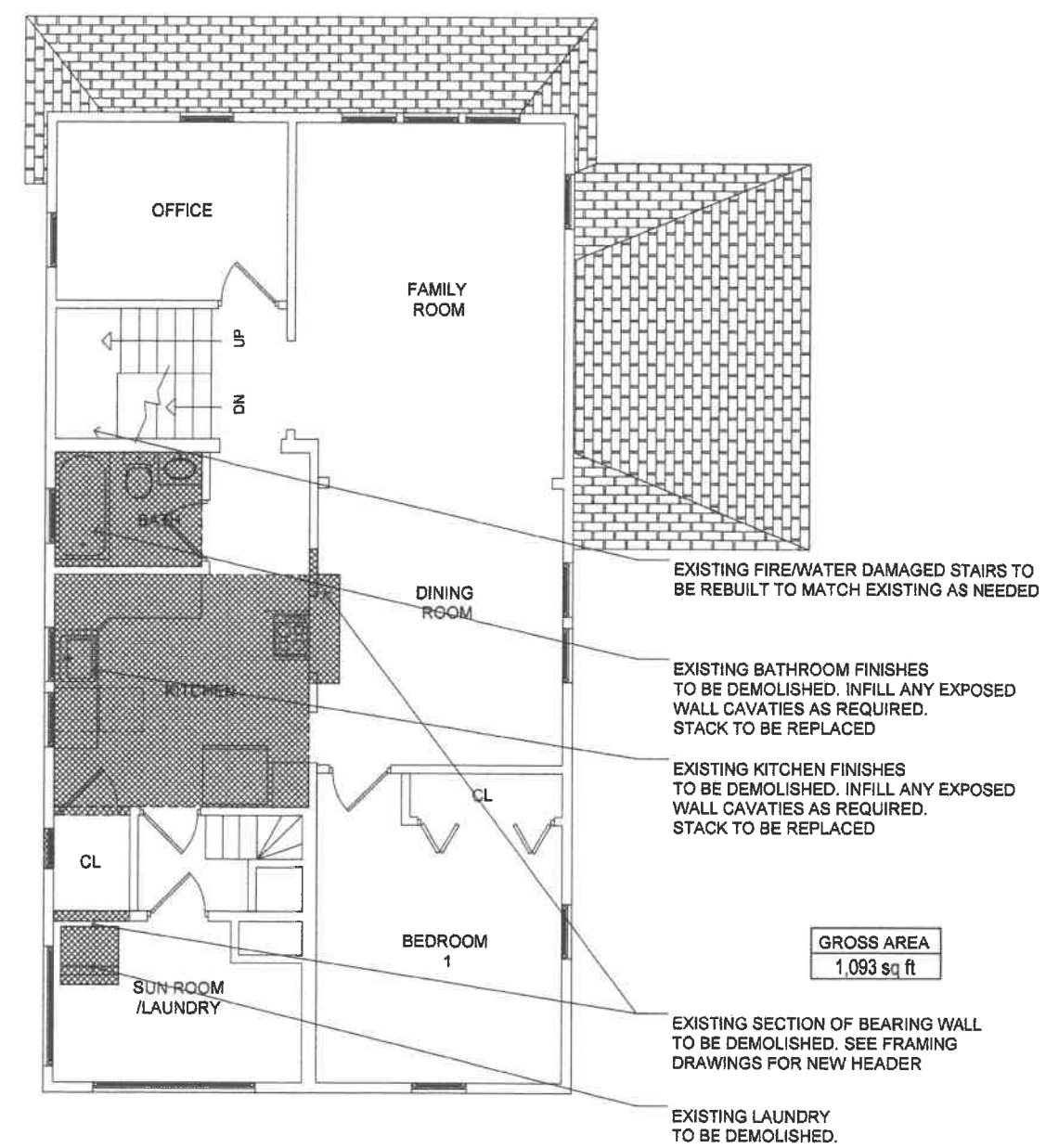
PROPOSED PLANS

Sheet
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A3



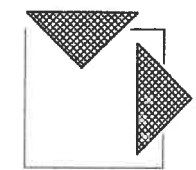
3 HALF STORY - EXISTING PLAN
SCALE: 1/8" = 1'



1 SECOND FLOOR
SCALE: 1/8" = 1'



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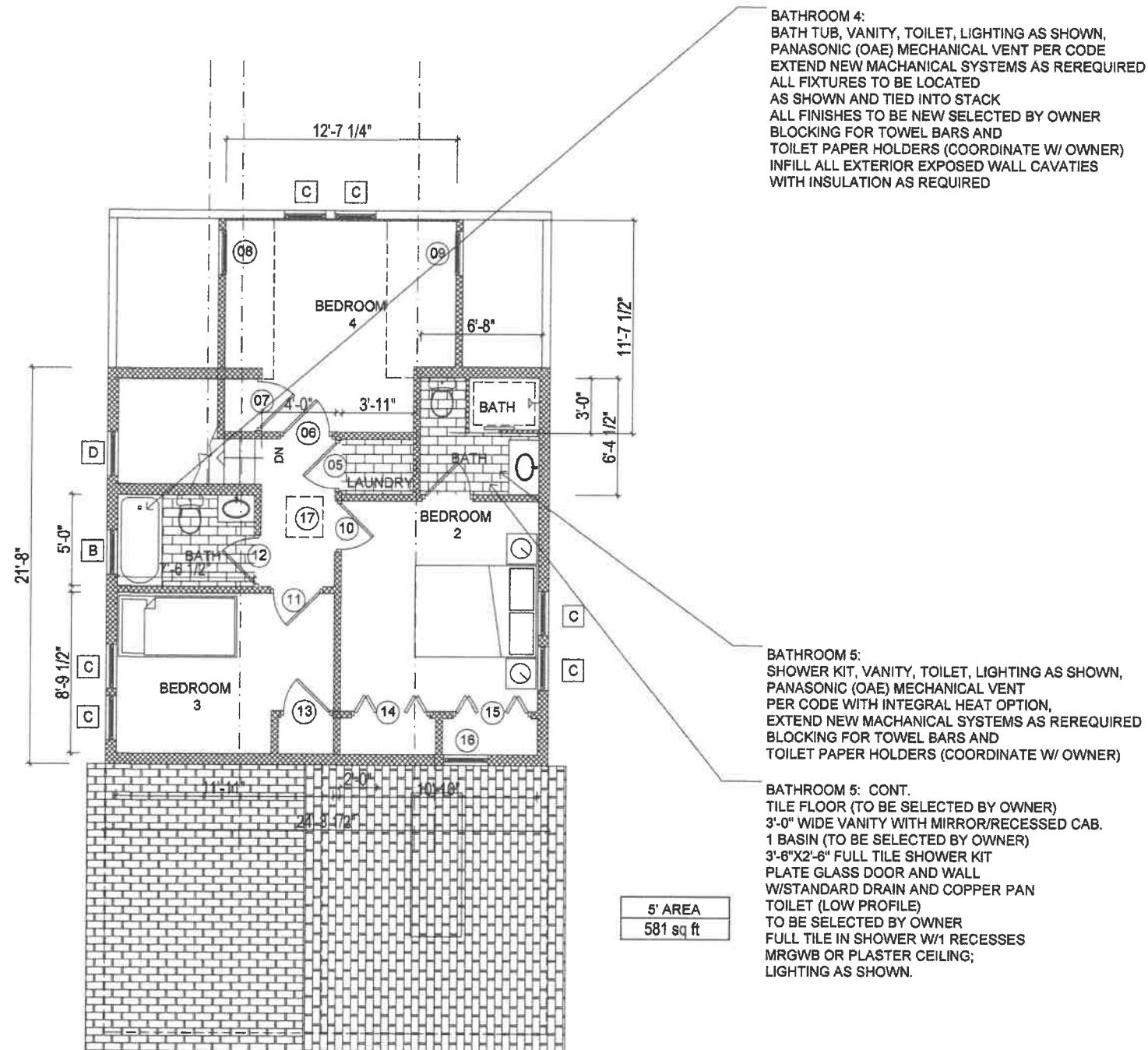


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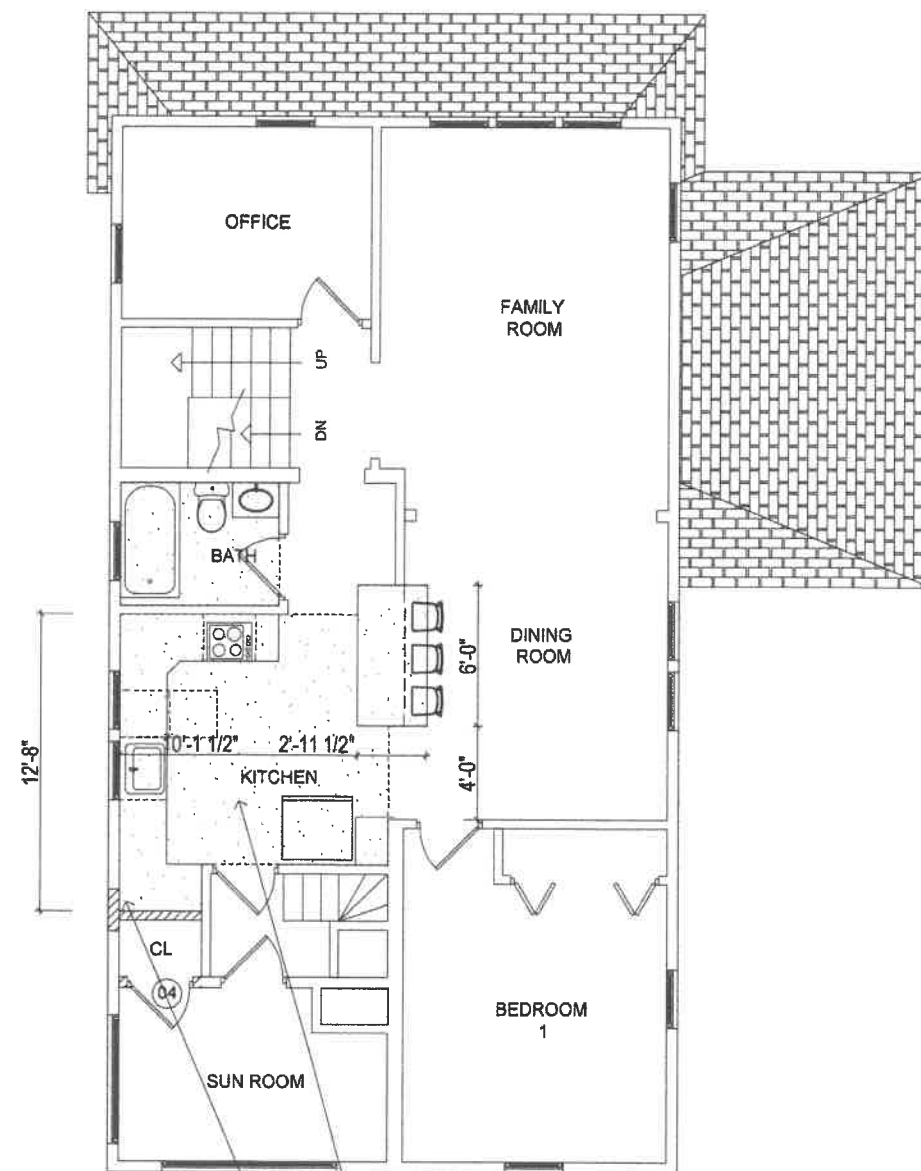
EXISTING
PLANS

Sheet
Number:

A4

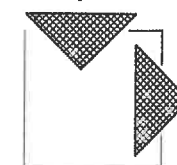


3 PROPOSED HALF STORY PLAN
SCALE: 1/8" = 1'



1 PROPOSED SECOND FLOOR
SCALE: 1/8" = 1'

MILLER
DESIGN LLC

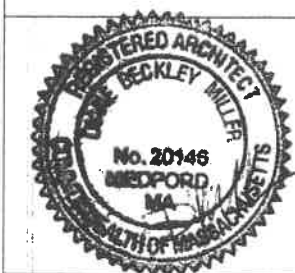


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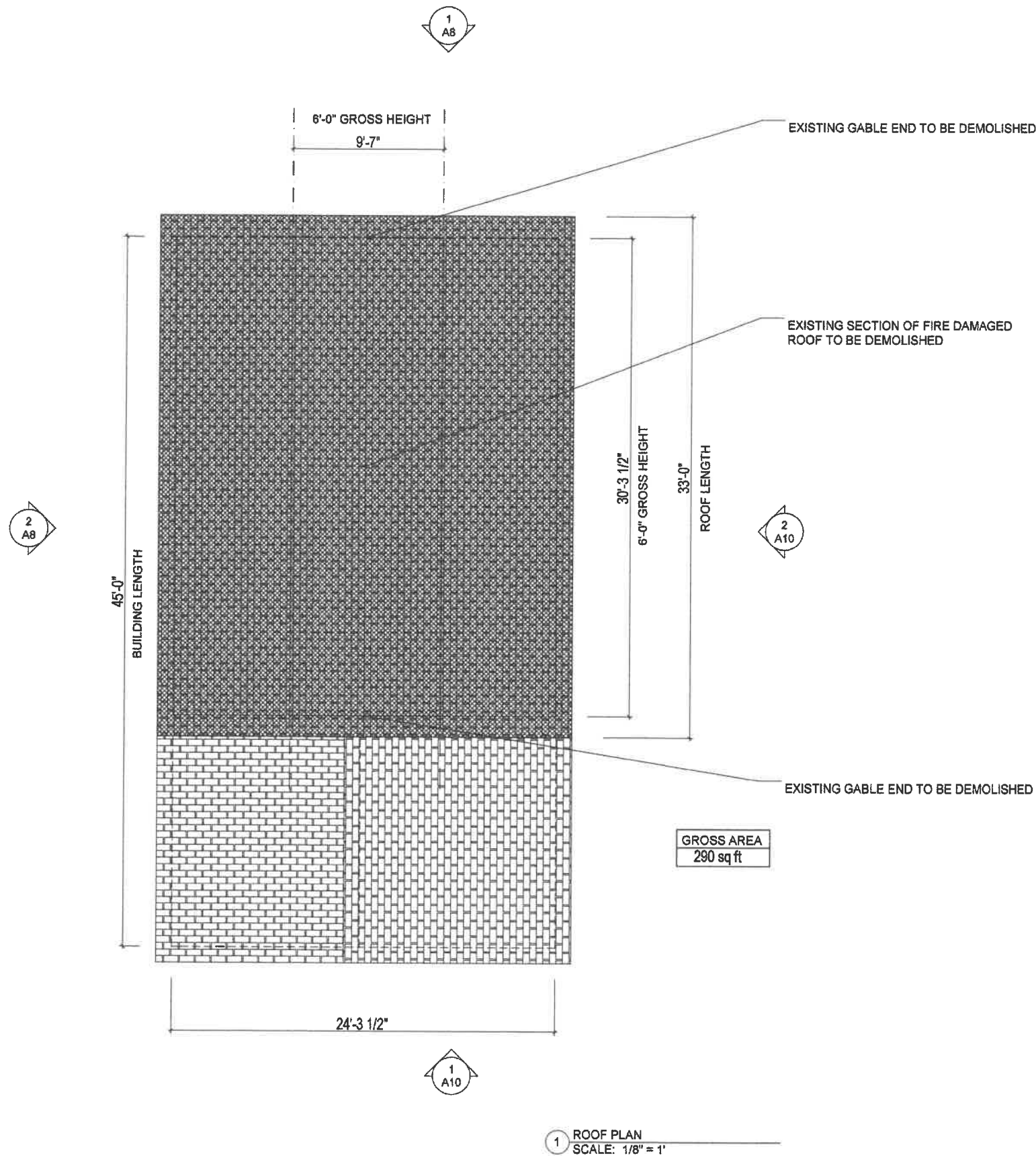


KIM RESIDENCE
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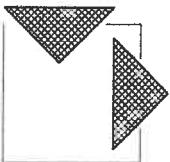
PROPOSED PLANS

Sheet
Number:

A5



MILLER
DESIGN LLC

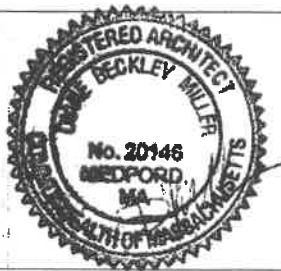


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Date: Issued for:

07/06/23	SCHEMATIC DESIGN
07/20/23	DESIGN DEVELOPMENT
08/11/23	ZONING REVIEW



KIM RESIDENCE
200 BEECH STREET
BELMONT, MA

EXISTING
PLANS

Sheet
Number:

A6



ROOF ASSEMBLY:
30 YEAR ASPHALT ROOF SHINGLES
CERTAINTED LANDMARK OR
APPROVED EQUAL
NO. 15 BUILDING PAPER
BITUTHENE ICE AND WATER BARRIER
PLYWOOD SHEATHING
SEE FRAMING PLAN FOR STRUCTURE
R60 CLOSED CELL ICYNENE INSULATION

PVC FASCIA, SOFFIT AND TRIM BOARDS
TO MATCH EXISTING

GUTTERS WITH LEAF GUARD AND
DOWNSPOUTS TME

RIDGE HEIGHT
TO MATCH EXISTING

ROOF LENGTH
33'-0"

DORMER LENGTH
21'-9 1/2"

GROSS AREA
575 sq ft

DARK DASHED LINE
SHOWS EXTENT OF
GROSS AREA

3 ROOF PLAN
SCALE: 1/8" = 1'

ROOF ASSEMBLY:
30 YEAR ASPHALT ROOF SHINGLES
CERTAINTED LANDMARK OR APPROVED EQUAL
NO. 15 BUILDING PAPER
BITUTHENE ICE AND WATER BARRIER
PLYWOOD SHEATHING
SEE FRAMING PLAN FOR STRUCTURE
R80 ICYNENE INSULATION
NEW 2X8 CEILING JOISTS @ 16" O.C.
W FURRING STRIPS AND 3/8 TAPED GWB
DRYWALL CEILING, PLASTERED AND PAINTED

GUTTERS AND DOWNSPOUTS TME
RING JOIST, EPDM MEMBRANE WRAPS CORNER,
METAL DRIP EDGE TERMINATION BAR-
CAULKED AND SCREWED TO BLOCKING,
GUTTERS AND SOFFIT DETAILS TO MATCH EXISTING
SOFFIT, FASCIA BOARD AND TRIM TO MATCH EXISTING

ANDERSON 200 SERIES WINDOWS

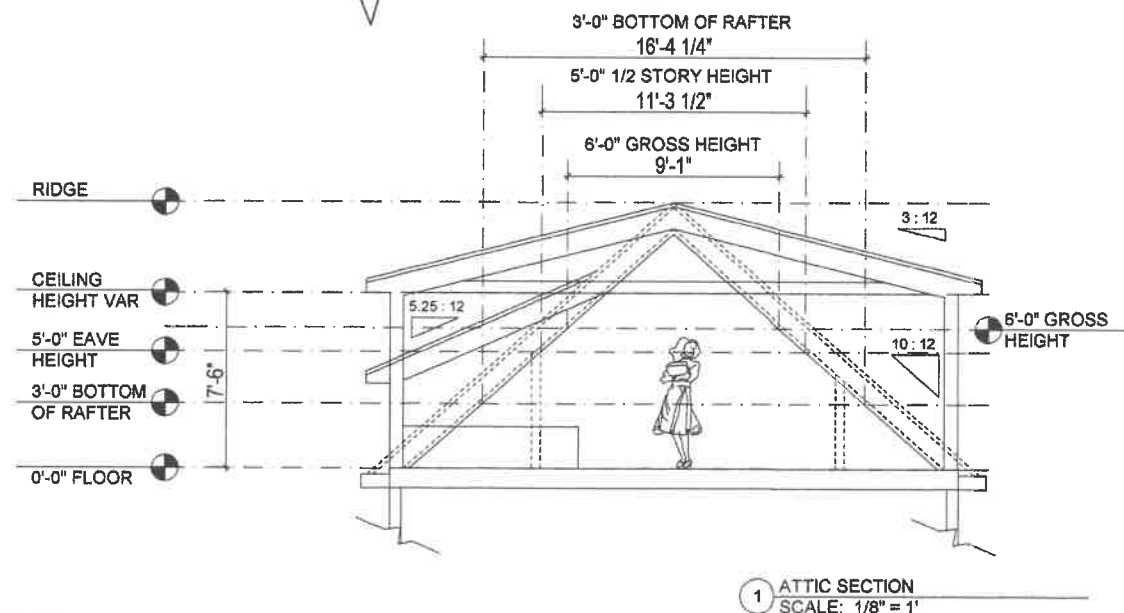
SECOND FLOOR / CEILING ASSEMBLY:
(EXISTING FLOOR LEVEL TO REMAIN)
(ASSUMES EXISTING 2X10 JOISTS)
STC 20 SOUND BLANKET
HARDWOOD FLOOR TME
3/4" TONGUE & GROOVE SUBFLOOR
SEE FRAMING DRAWINGS FOR
FLOOR JOISTS AND BRIDGING

FAUX EAVE

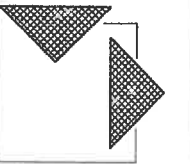
EXTERIOR WALL ASSEMBLY:
SIDING TO MATCH EXISTING
1 1/2" ZIP SYSTEM SHEATHING PANELS (R6)
W/ TAPE AT ALL SEAMS PER MFGR SPEC
2X4 WOOD STUDS @ 16" O.C.
R20 ICYNENE INSULATION
(CLOSED CELL ICYNENE AT R7/INCH)
1/2" GWB ON INTERIOR
W/PLASTER AND BM PAINT

EXISTING EXTERIOR WALL ASSEMBLY:
ASSUMES 2X4 WOOD STUDS @ 16" O.C.
(OWNER OPTION) BLOW IN NEW
MIN R-20 ICYNENE INSULATION
1/2" GWB ON INTERIOR

2 ENLARGED WALL SECTION
SCALE: 1/4" = 1'



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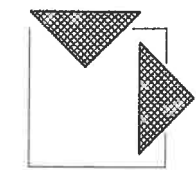
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BELMONT, MA

PROPOSED PLANS

Sheet
Number:

A7

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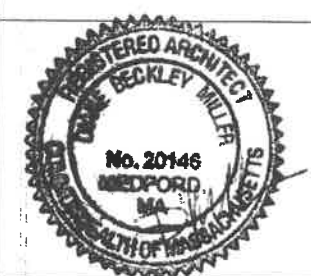


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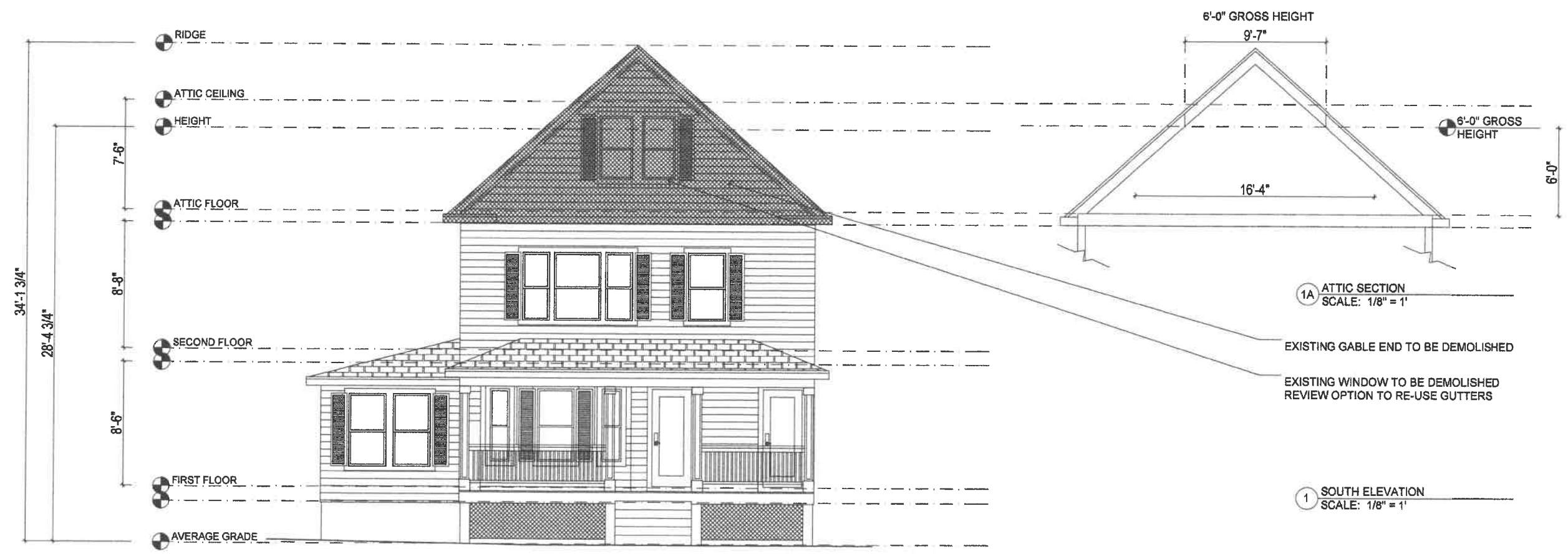
EXISTING
ELEVATIONS

Sheet
Number:

A8



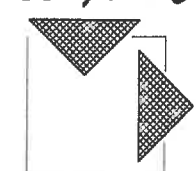
2 EAST ELEVATION
SCALE: 1/8" = 1'



1A ATTIC SECTION
SCALE: 1/8" = 1'

1 SOUTH ELEVATION
SCALE: 1/8" = 1'

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PROPOSED
ELEVATIONS

Sheet
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A9

ROOF ASSEMBLY:
30 YEAR ASPHALT ROOF SHINGLES
CERTAINTED LANDMARK OR APPROVED EQUAL
NO. 15 BUILDING PAPER
BITUTHENE ICE AND WATER BARRIER
PLYWOOD SHEATHING
SEE FRAMING PLAN FOR STRUCTURE
R60 ICYNENE INSULATION

WINDOW TRIM TO MATCH EXISTING

EXTERIOR WALL ASSEMBLY:
SIDING TO MATCH EXISTING
1 1/2" ZIP SYSTEM SHEATHING PANELS (R6)
W/ TAPE AT ALL SEAMS PER MFGR SPEC
2X4 WOOD STUDS @ 16" O.C.
R20 ICYNENE INSULATION
(CLOSED CELL ICYNENE AT R7/INCH)
1/2" GWB ON INTERIOR
W/PLASTER AND BM PAINT

NEW FAUX EAVE ROOF TRIMMED TO
MATCH EXISTING ROOF FINISHES AND PITCH

INFILL EXISTING WINDOW OPENING WITH
FINISHES TO MATCH EXISTING
(INSULATE TO CODE)

2 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'

PVC FASCIA, SOFFIT AND TRIM BOARDS
TO MATCH EXISTING

ROOF ASSEMBLY:
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NO. 15 BUILDING PAPER
BITUTHENE ICE AND WATER BARRIER
PLYWOOD SHEATHING
SEE FRAMING PLAN FOR STRUCTURE
R60 ICYNENE INSULATION

WINDOW TRIM AND SHUTTERS
TO MATCH EXISTING

GUTTERS WITH LEAF GUARD AND
DOWNSPOUTS TME

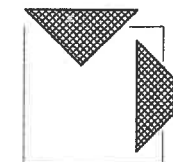
EXTERIOR WALL ASSEMBLY:
SIDING TO MATCH EXISTING
1 1/2" ZIP SYSTEM SHEATHING PANELS (R6)
W/ TAPE AT ALL SEAMS PER MFGR SPEC
2X4 WOOD STUDS @ 16" O.C.
R20 ICYNENE INSULATION
(CLOSED CELL ICYNENE AT R7/INCH)
1/2" GWB ON INTERIOR
W/PLASTER AND BM PAINT

1 SOUTH ELEVATION
SCALE: 1/8" = 1'





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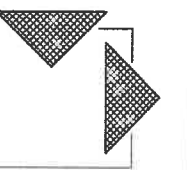
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A10



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**PROPOSED
ELEVATIONS**

Sheet
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A11