



OFFICE OF COMMUNITY DEVELOPMENT

TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

April 27, 2023

Jacqueline MacCallum
211 Slade Street
Belmont, MA 02478

RE: Denial to reconstruct rear deck

Dear Ms. MacCallum,

The Office of Community Development is in receipt of your building permit application to reconstruct a rear deck at 211 Slade Street located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2 of the Zoning By-Law Dimensional Regulations allows a maximum lot coverage of 25.0%. a minimum side setback of 10.0'.

1. The existing lot coverage is 26.4% and the proposed lot coverage is 27.8%.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request one (1) Special Permit from the **Zoning Board of Appeals**. If you choose this option, please contact the Office of Community Development to schedule an appointment with **Gabriel S. Distler**, Staff Planner, at (617) 993-2666 or gdistler@belmont-ma.gov in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: 5/8/23

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 211 Slade Street Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for construction of a new deck. We need ZBA approval because our lot coverage is increasing to 27.8% from the existing 26.4% (1.4% difference) and the base number is 25%.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name Jacqueline MacCallum Virginia Blake

Address 211 Slade Street
Belmont MA 02478

Daytime Telephone Number 781-820-0208

Deck Proposal
211 Slade St.
Belmont, MA
Owners: Virginia Blake and Jacqueline MacCallum

STATEMENT

We are hoping to replace our existing deck with an updated and more enjoyable space. We need ZBA approval because our lot coverage is increasing to 27.8% from the existing 26.4% (1.4% difference) and the base number is 25%. The existing deck looks onto our parked cars and our neighbors' back yard. The current deck has a 45 degree angle to it which gives it a 1980's feel.

We would like to square up the deck (lose the 45 degree angle) and wrap the deck around the house a bit to include a view of our own beautiful back yard. The new design will change the feel and focus of sitting outdoors. The increase in size will accommodate a dining area and space for some Adirondack chairs. Wrapping the deck around the back of the house will allow the focus to shift to the back yard as opposed to our neighbors and the driveway. This project will improve our property and does not hurt our community or neighbors in any way. Our neighbors are onboard and excited for us.

We are aware we could do this project in hardscape form with no need for a special permit, but the cost is prohibitive (2-3 times the cost of a wooden structure).

Thank you for your consideration of our proposed improvement.

Sincerely,

Jacqueline and Virginia

SLADE STREET



Zoning Compliance Check List

(Registered Land Surveyor)

Property Address: 211 SLADE ST BELMONT, MA

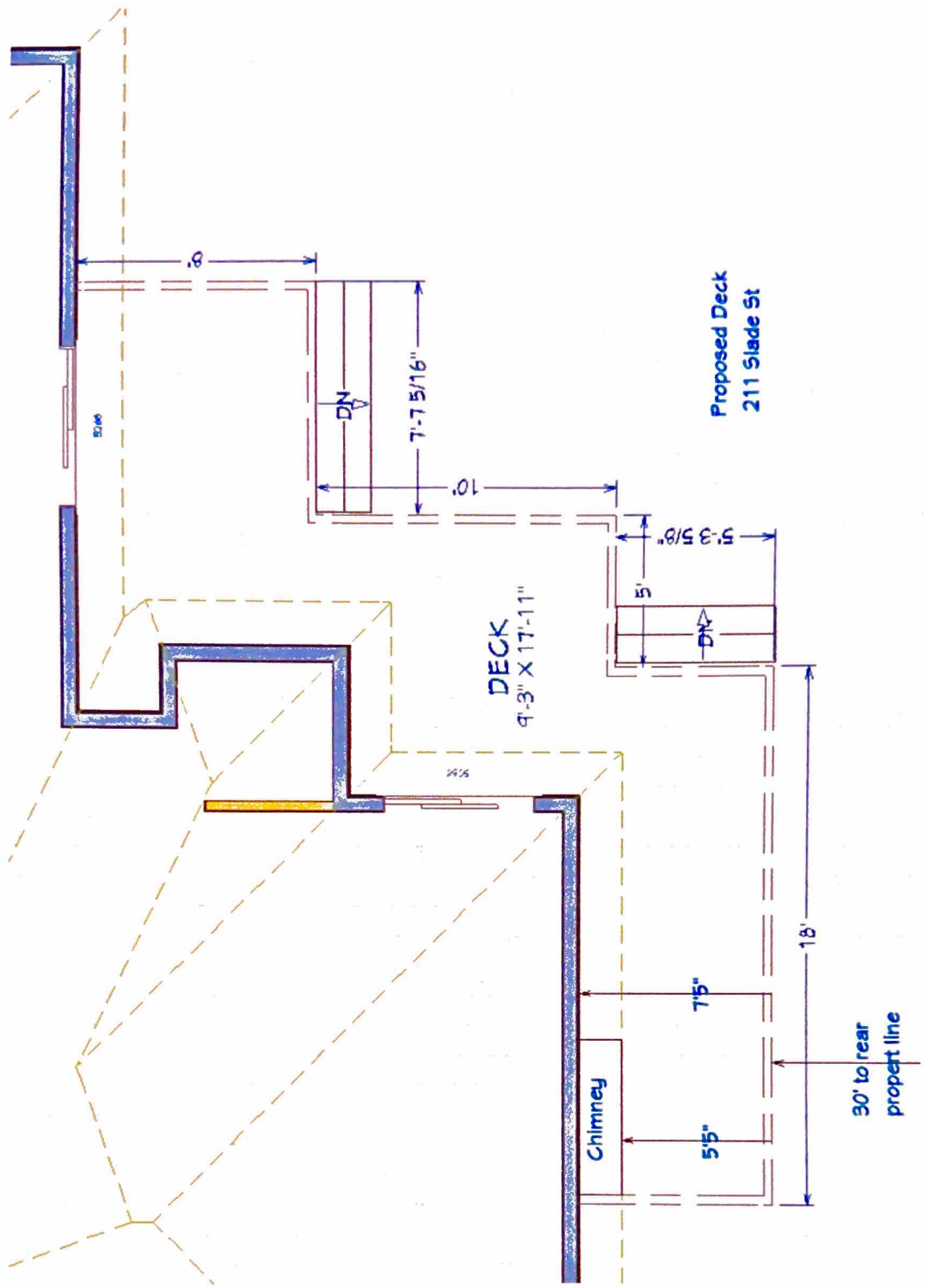
Zone: SC

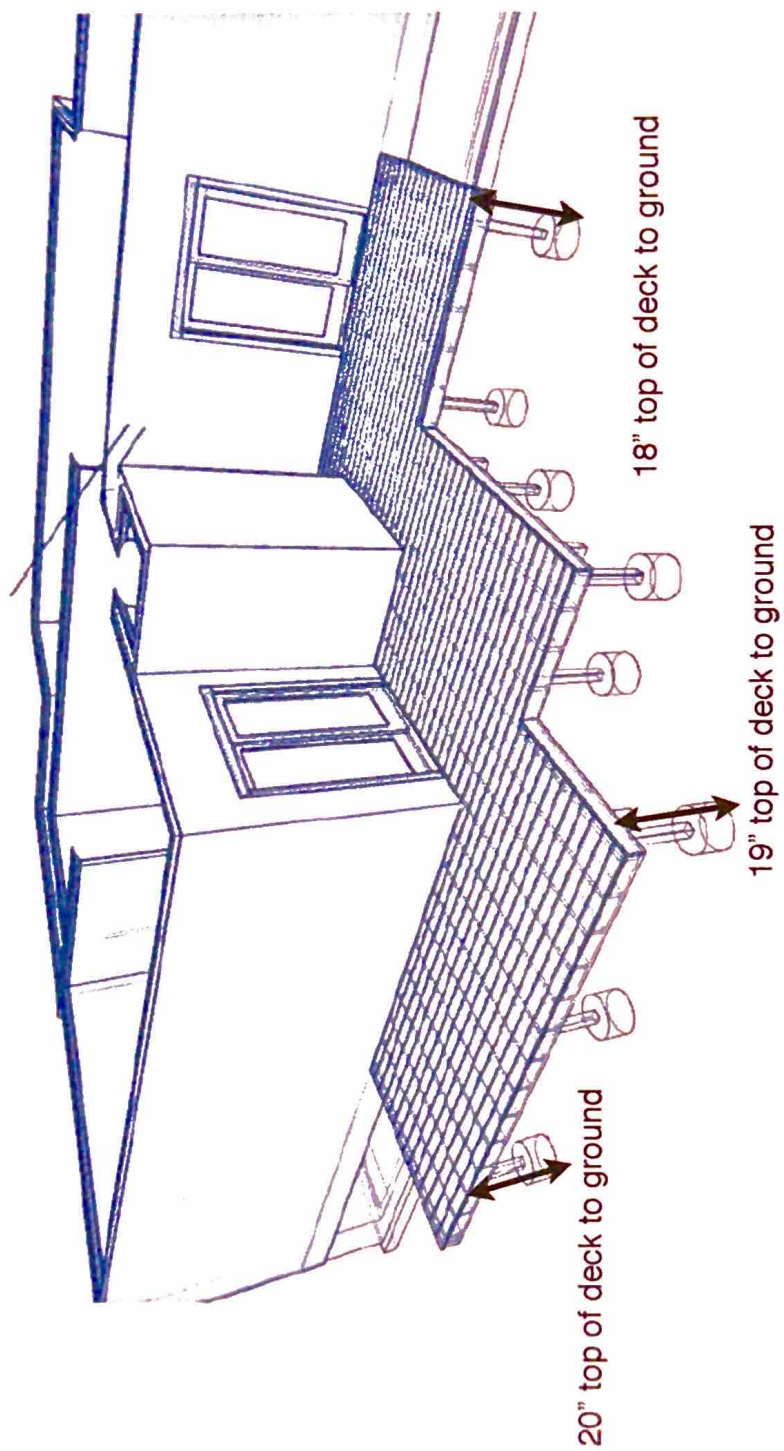
Surveyor Signature and Stamp: Scott Lynch

Date: 7/18/2022

| | REQUIRED | EXISTING | PROPOSED |
|-----------------------|----------|----------|----------|
| Lot Area | 9,000 | 8720 | - |
| Lot Frontage | 75 | 80.00 | - |
| Floor Area Ratio | | | |
| Lot Coverage | 25% | 26.4% | 27.8% |
| Open Space | 50% | 60.2% | 58.8% |
| Front Setback | 25' | 29.8' | - |
| Side Setback | 10 | 10.5' | - |
| Side Setback | 10 | 13.9' | - |
| Rear Setback | 30 | 35.5 | 30.0' |
| Building Height | 30 | | |
| Stories | 2 1/2 | | |
| 1/2 Story Calculation | | | |
| | | | |
| | | | |

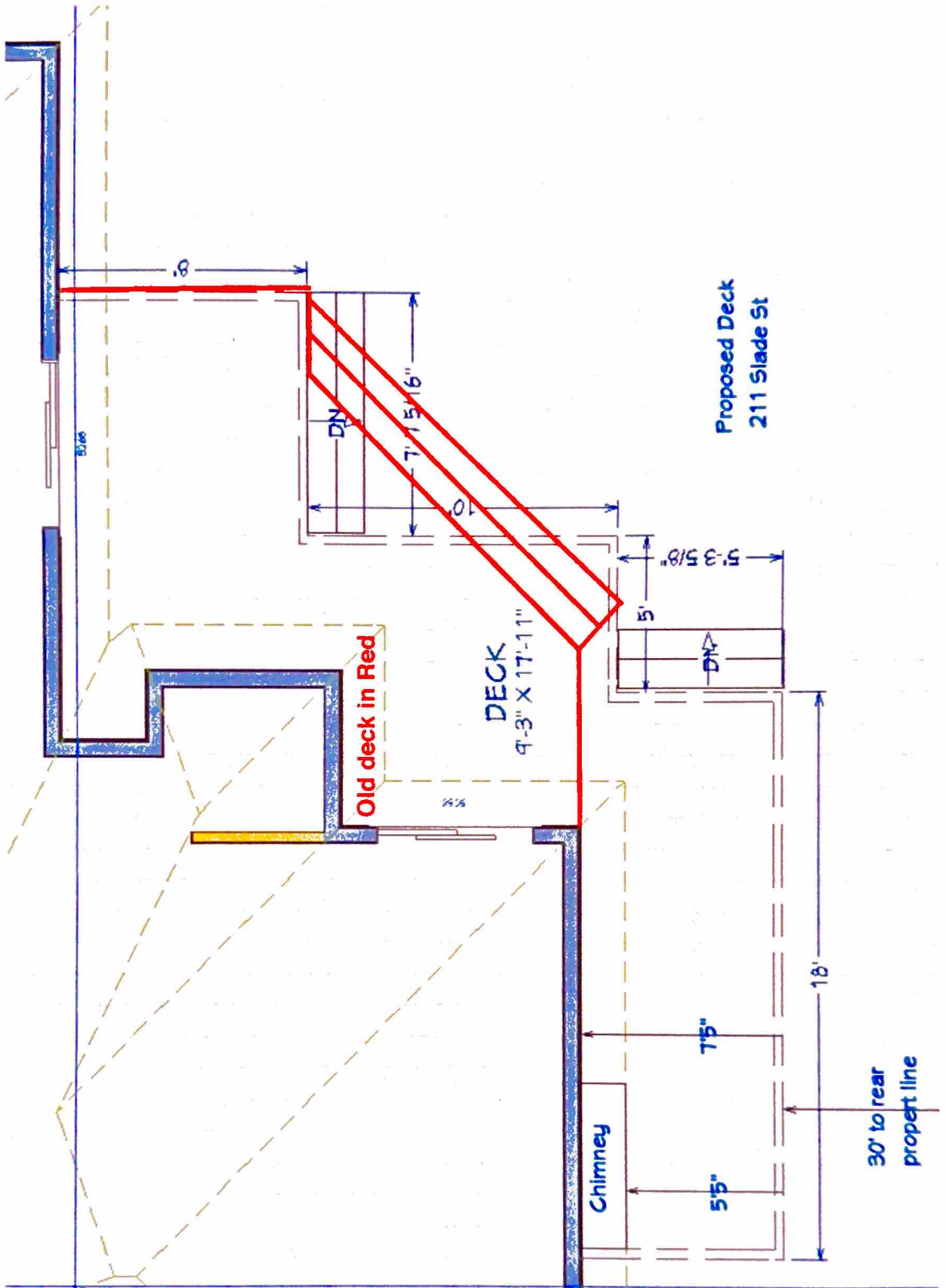
NOTES:





Proposed Elevation

211 Slade St.





Existing Deck 211 Slade St.



211 Slade St.