



OFFICE OF COMMUNITY DEVELOPMENT

TOWN OF BELMONT

19 Moore Street

Homer Municipal Building

Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

April 3, 2023

Peng Liu and Min Liang
47 Hawthorne Street
Belmont, MA 02478

RE: Denial to replace and reconstruct rear deck

Dear Mr. Liu and Ms. Liang,

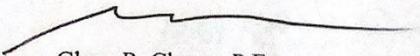
The Office of Community Development is in receipt of your building permit application for your proposal to remove your existing rear deck and replace it with a new enlarged rear deck at 47 Hawthorne Street located in a General Residence Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 1.5.4 A allows extensions and alterations of non-conforming structures in the GR zoning district by a Special Permit from the Zoning Board of Appeals.

1. The proposed changes to the structure are allowed by a Special Permit.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request one (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Gabriel S. Distler, Staff Planner, at (617) 993-2666 in order to begin the process.

Sincerely,


Glenn R. Clancy, P.E.
Inspector of Buildings



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: Apr 24 2023

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 47 Hawthorne Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for removing the existing deck and build a new deck which is larger and meet all set back requirement (see plot by landsurveyor)

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner Peng Lin
Print Name PENG LIU
Address 267 Beech St
Belmont MA 02478
Daytime Telephone Number 857-331 3244

Statement for Special Permit Application

Dear neighbors and ZBA members,

We are writing to support our application of a special permit to build a new deck on my property at 47 Hawthorne St. The new deck will be replacing the existing deck (about 120 sq. ft) and has a larger dimension (about 270 sq. ft). The deck will be built according to all local building codes, meet all the setback requirements, and will be structurally sound and safe for use.

My wife and our two kids (12 and 4) have been living in Belmont since 2015. We love Belmont and would like to keep staying at Belmont for many years to come. As a homeowner of an old house (built in 1890), we are willing to keep improving our house via various repairs/renovations and additions to increase the overall aesthetic appeal of our community. The existing old deck was built probably 30-40 years ago. As you can clearly see from the attached picture, it is aged, and a portion of the ledger board has rotten (hard to see in the picture though). It is fair to say that the old deck has reached its lifespan and it is time for a new deck. Since all of us enjoy outdoors, we prefer to have a larger deck, but we also want to make sure that the new deck is not too large so that it will be in harmony with the house and have little to no impact to our neighbors. You can review the attached plot plan and schematic drawings to see how the new deck compares with the old deck. I am confident that you will share the same feeling with us that the new deck is properly sized and located to serve as a nice new addition to our house.

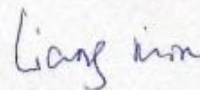
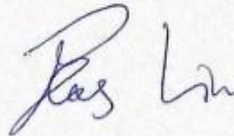
Your favorable considerations of this application will be greatly appreciated.

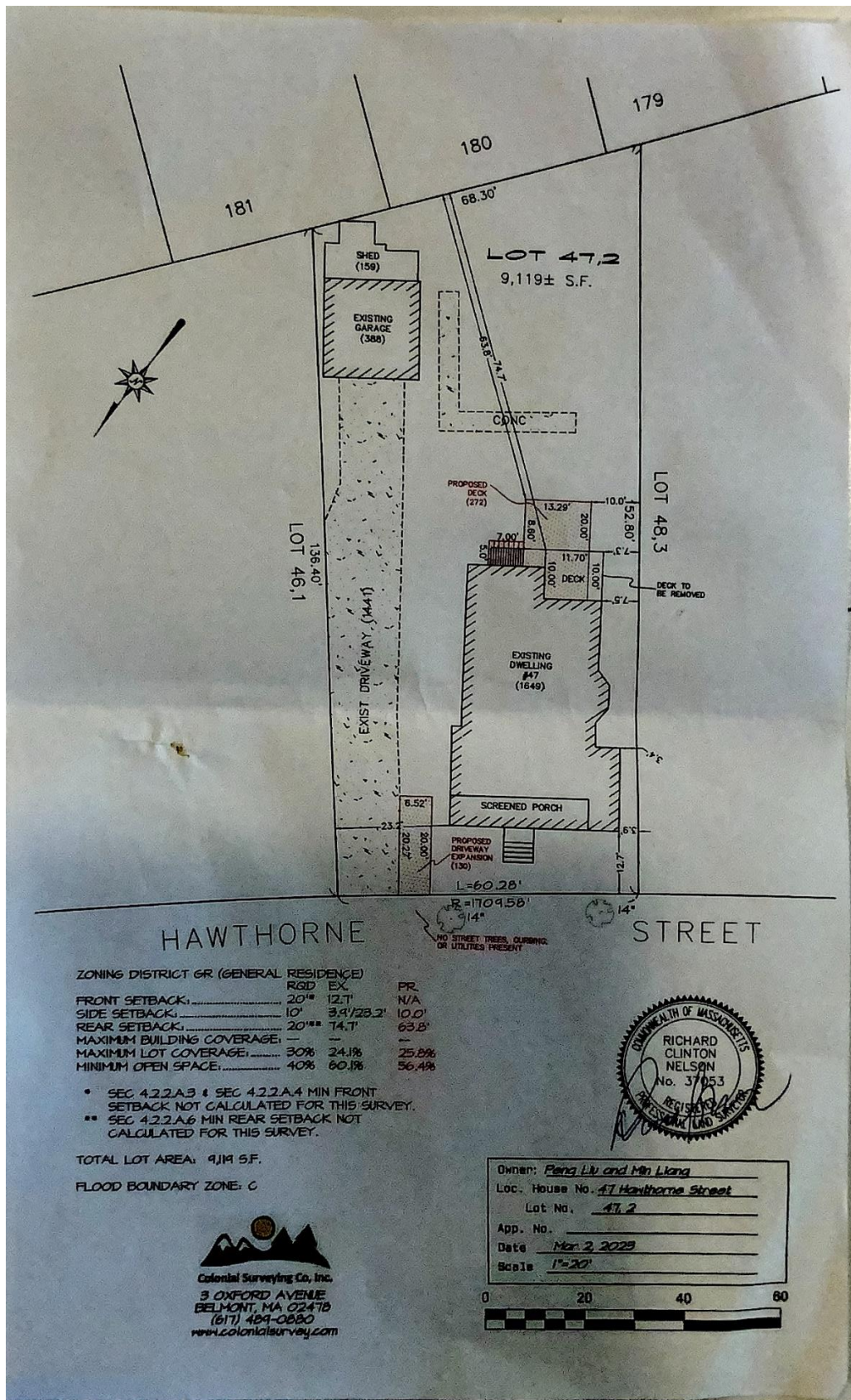
Thanks for your time.

Sincerely,

Peng Liu and Min Liang

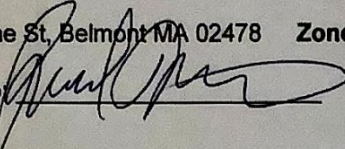
Apr 24, 2023

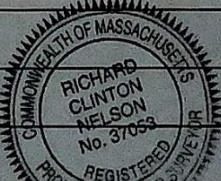




Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 47 Hawthorne St, Belmont MA 02478 Zone: GR

Surveyor Signature and Stamp:  Date: 4/11/2023

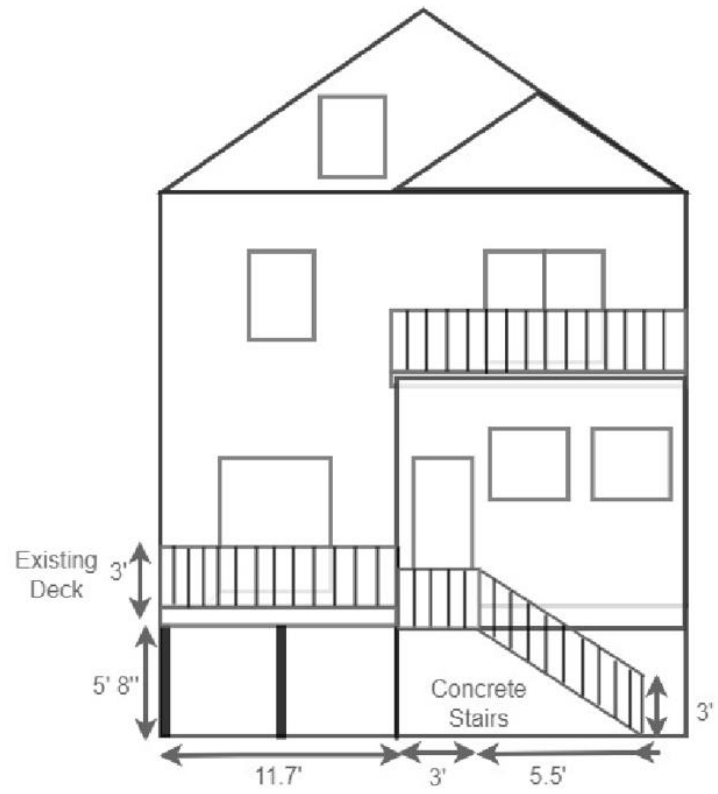
	REQUIRED	EXISTING	PROPOSED
Lot Area	5,000 S.F.	9,119 S.F.	9,119 S.F.
Lot Frontage	50'	60.28'	60.28'
Floor Area Ratio	--	--	--
Lot Coverage	30%	24.1%	25.8%
Open Space	40%	60.1%	56.4%
Front Setback	20'	12.7'	12.7'
Side Setback	10'	7.3'	10.0'
Side Setback	10'	23.2'	23.2'
Rear Setback	20'	74.7'	63.8'
Building Height	33'	N/A	P. Deck 5' AGL
Stories	2.5	N/A	N/A
½ Story Calculation			

NOTES:

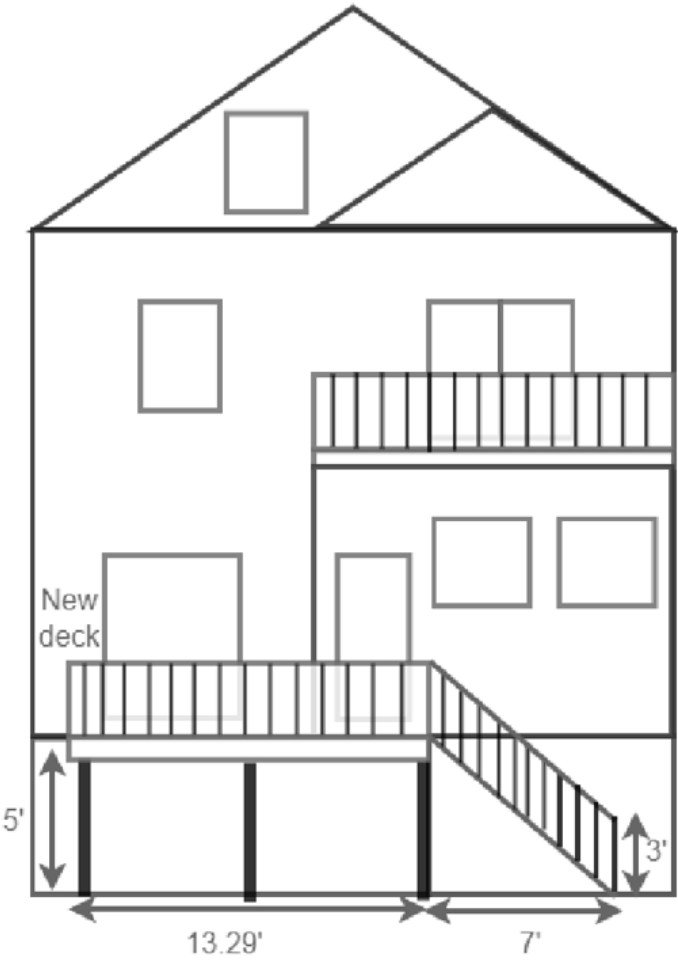
PROJECT IS AN OPEN DECK AT THE REAR OF THE DWELLING AND IS

PROPOSED AT 5FT ABOVE GROUND.

Back view of existing deck:



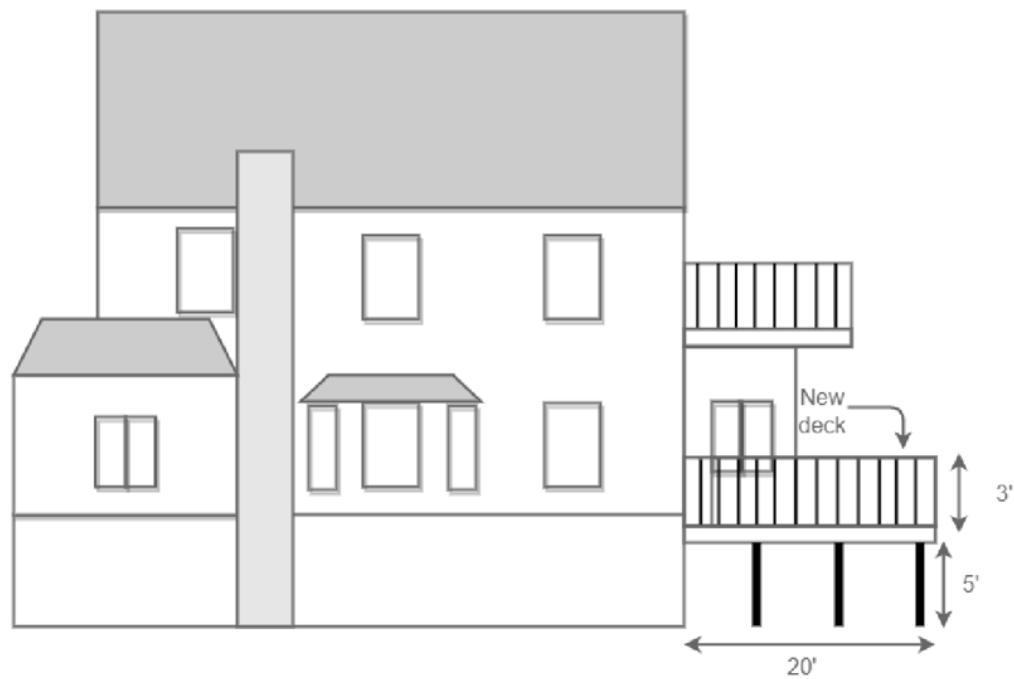
Back view of new deck:



Southern side view of existing deck:



Southern side view of new deck:



Northern side view of existing deck:



Northern side view of new deck:

