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BELMONT, MA

CASE NO. 22-25

2022 SEP 14 PM 3:10

NOTICE OF PUBLIC HEARING BY THE
ZONING BOARD OF APPEALS

ON APPLICATION FOR ONE SPECIAL PERMIT

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, October 3, 2022 at 7:00 PM by a hybrid public hearing at the Art Gallery on the third floor of the Homer Building, 19 Moore Street, and by remote access through the Zoom app. to consider the application of David and Christine Pomer, for One Special Permit under section 1.5 of the By-Law to construct dormers at 60 Rockmont Road located in Single Residence B (SRB) zoning district. Special Permit: (1) §4.2 of the By-Law allows two and a half (2.5) story structure, the lowest level of the structure is a basement (47.5% of the foundation walls are exposed and is considered a story). The existing attic and proposed dormers are at a 3.5 story level.

ZONING BOARD OF APPEALS



Town of Belmont
Zoning Board of Appeals

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BELMONT, MA
2022 SEP 14 PM 3:14

APPLICATION FOR A SPECIAL PERMIT

Date: 8/3/2022

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A,
Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the
undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon)
situated on 60 Rockmont Street/Road, hereby apply to your Board
for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use
thereof under the applicable Section of the Zoning By-Law of said Town for _____
Constructing Dormers

on the ground that the same will be in harmony with the general purpose and intent of
said Zoning By-Law.

DocuSigned by:
David Pomer
AA02CFBEDF0C402...
DocuSigned by:
Christine Pomer
68F5CC128DE7442
Signature of Petitioner David Pomer Christine Pomer
Print Name _____
Address 60 Rockmont
Road Belmont,
MA 02478
Daytime Telephone Number 617-484-5839



OFFICE OF COMMUNITY DEVELOPMENT

TOWN OF BELMONT

19 Moore Street

Homer Municipal Building

Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

July 6, 2022

David and Christine Pomer
60 Rockmont Road
Belmont, MA 02478

RE: Denial to Construct Dormers.

Dear Mr. and Mrs. Pomer,

The Office of Community Development is in receipt of your building permit application for your proposal to construct dormers at 60 Rockmont Road located in a Single Residence ~~A~~ B Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2 of the Zoning By-Law Dimensional Regulations allow a maximum of 2-1/2 story structures.

1. The existing structure is three and a half (3-1/2) stories. The lowest level of the dwelling is a basement (47.5% of the foundation walls are exposed) and is considered a story. The proposed dormers are at a three and a half (3-1/2) story level.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request One (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Gabriel Distler, Staff Planner at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

Owners Statement:

We are David and Christine Pomer and the new owners of 60 Rockmont Rd. Belmont. We are excited to be restoring this charming 1940's brick colonial back to its original wonder. David, a lifelong Belmont Resident and Christine a resident for 25 years and local Realtor we have always loved the neighborhood of Rockmont Rd taking many walks up and down the streets. When the opportunity to purchase the property arose last year we were up for the opportunity. We come before you with a request to add window dormers on the front of the home. As our family home we plan to utilize the space for our children and guest space. The addition of the 3 window dormers will bring additional architectural integrity to this period home as we continue to restore this beautiful 1940 brick colonial. The dormer windows will allow for more natural light and ventilation making the interior space more inviting. In the neighborhood there are examples of these types of dormer windows, specifically the properties on Fieldmont Road which is adjacent to our home on 60 Rockmont Road. Photos are attached below:

Neighborhood Examples of Front Dormers:

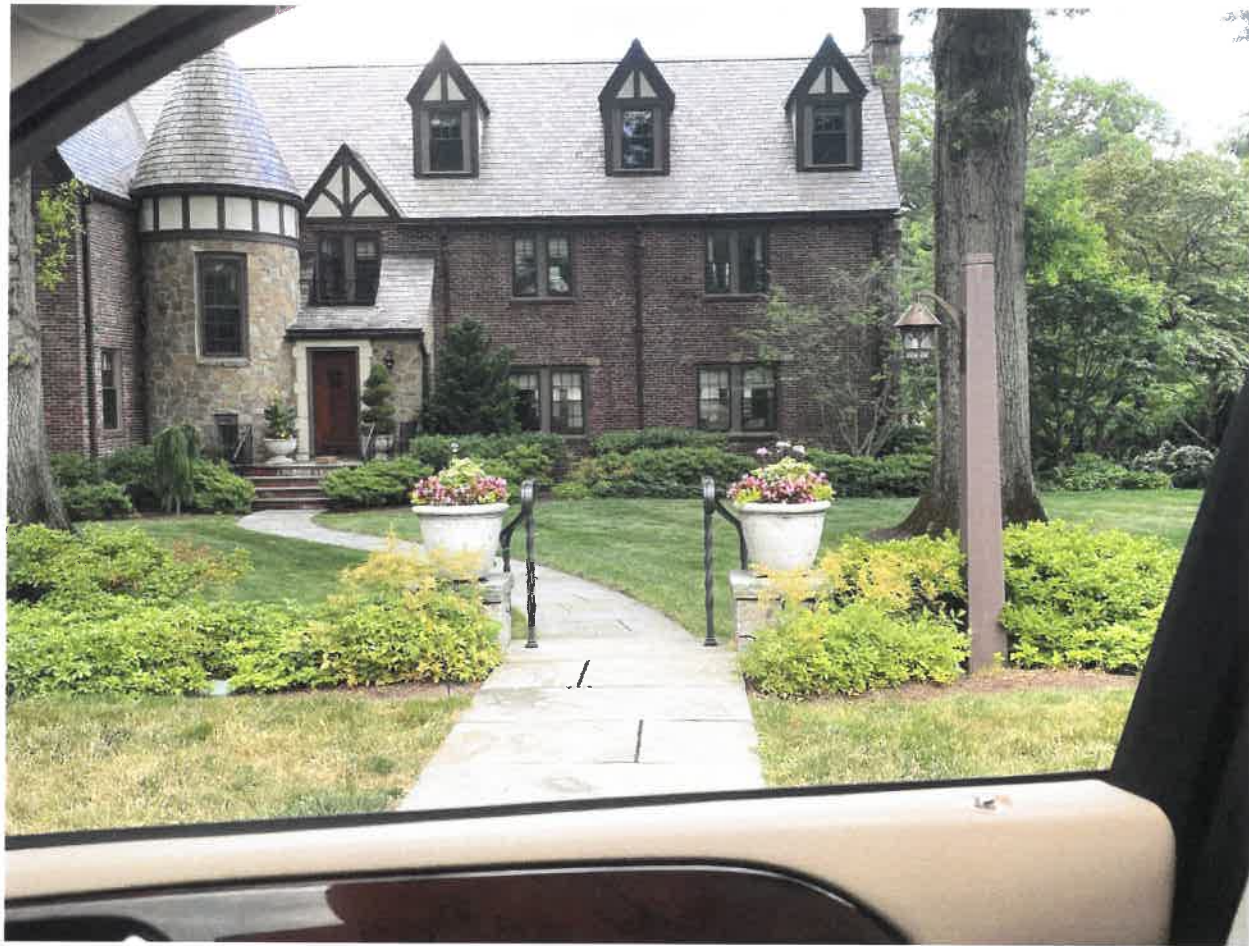
30 Fieldmont Road



8 Fieldmont Road



5 Fieldmont Road





Dear Neighbors:

We are David and Christine Pomer and the new owners of 60 Rockmont Rd. We are excited to be restoring this charming 1940's brick colonial back to its original wonder. David, a lifelong Belmont Resident and Christine, a resident for 25 years and local Realtor, we have always loved the neighborhood of Rockmont Rd. We spent much time taking walks up and down the streets. When the opportunity to purchase the property arose last year we were up for the opportunity. **We are asking for you to sign this letter to show your support of our special permit request with the Belmont Building Department to add 3 window dormers on the front of the home.** As our family home we plan to utilize the space for our children and guest space. The addition of the 3 window dormers will bring additional architectural integrity to this period home as we continue to restore this beautiful 1940 brick colonial. The dormer windows will allow for more natural light and ventilation making the interior space more inviting. In the neighborhood there are examples of these types of dormer windows, specifically the properties on Fieldmont Road which is adjacent to our home on 60 Rockmont Road. Photos are attached below:

[illegible]

Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 60 Rockmount Road (Parcel ID: 20-41)

Zone: SRB

Surveyor Signature and Stamp:  

Date: 7/26/22

	REQUIRED	EXISTING	PROPOSED
Lot Area	12,000 SF	30,684 SF	30,684 SF
Lot Frontage	90 FT	159.1 FT (Rockmount)	159.1 FT (Rockmount)
Floor Area Ratio	N/A	6,864 SF	6,973 SF
Lot Coverage	25% Max	7.5%	7.5%
Open Space	50% Min	80.9%	80.9%
Front Setback	25 Ft	63.3 Ft (Clairemont) 67.8 Ft (Rockmount)	63.3 Ft (Clairemont) 67.8 Ft (Rockmount)
Side Setback	10 Ft	19.6 Ft	19.6 Ft
Side Setback	N/A	N/A	N/A
Rear Setback	30 Ft	74.8 Ft	74.8 Ft
Building Height	30 Ft	27.7 Ft	27.7 Ft
Stories	2.5	3.5	3.5

½ Story Calculation	1.4a)	50% OF SECOND FLOOR PERIMETER = 89.0', LF BETWEEN RAFTER BOTTOMS AT 3' OR MORE ABOVE FLOOR LEVEL: GABLE ENDS: 19.33' x 2 = 38.66', PROP. FRONT DORMERS: 4'6" x 3 = 13.5', EXIST. REAR DORMERS: 3.66 x 2 = 7.32' TOTAL: 59.5 LF - OK (LESS THAN 89')
	1.4b)	POTENTIAL SPACE HAVING 5' OR MORE HEADROOM: EXISTING SECOND FLOOR = 1,797 SF, 60% OF EXISTING UPPER FLOOR = 1,078 SF PROPOSED ATTIC >5' HEADROOM = 925 SF - OK 925 SF < 1,078 SF
	1.4c)	DORMER CALCULATION: ROOFLINE LENGTH = 52', MAX DORMERS ALLOWED 52' x 0.75 = 39' PROPOSED DORMERS (3) AT 4.5' EACH = 13.5' - OK 13.5' < 39'

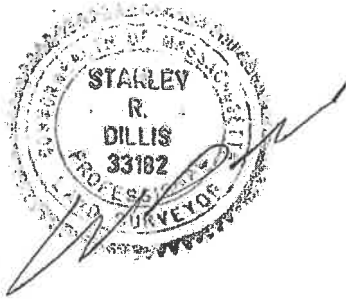
NOTES:

EXISTING GRADES60 Rockmount Road, Belmont

		ELEVATIONS				
SEGMENT	SEG. LENGTH	START	END	AVG	L * AVG	NOTES
A	20	163.2	163.2	163.2	3264	(4 sides - 5.3+2+2+6.5)
B	5.5	163.2	163.2	163.2	897.6	
C	11	163.2	163.2	163.2	1795.2	
D	5.4	163.2	163.2	163.2	881.28	
E	19.8	163.2	163.2	163.2	3231.36	
F	1.2	163.2	163.2	163.2	195.84	
G	15.6	163.2	160.5	161.85	2524.86	
H	16.9	160.5	158.3	159.4	2693.86	
I	15.8	158.3	158.1	158.2	2499.56	
J	9.7	158.1	157.9	158	1532.6	
K	15.5	157.9	158.2	158.05	2449.775	
L	9	158.2	155.9	157.05	1413.45	
M	18.6	155.9	155.9	155.9	2899.74	
N	14.7	155.9	157.8	156.85	2305.695	
O	0.8	157.8	157.8	157.8	126.24	
P	19.4	157.8	159.1	158.45	3073.93	
Q	13.6	159.1	161.5	160.3	2180.08	
R	17.5	161.5	162.5	162	2835	
S	15.8	162.5	163.7	163.1	2576.98	
T	10.6	163.7	163.2	163.45	1732.57	

TOTAL256.441109.62

AVG GRADE =160.33
BSMNT EL =156.66
BSMNT CEILING EL =163.66
DEPTH BELOW GRADE =3.67'
% BELOW GRADE =52.5% MEETS DEFINITION OF BASEMENT



BUILDING PERMIT PLAN

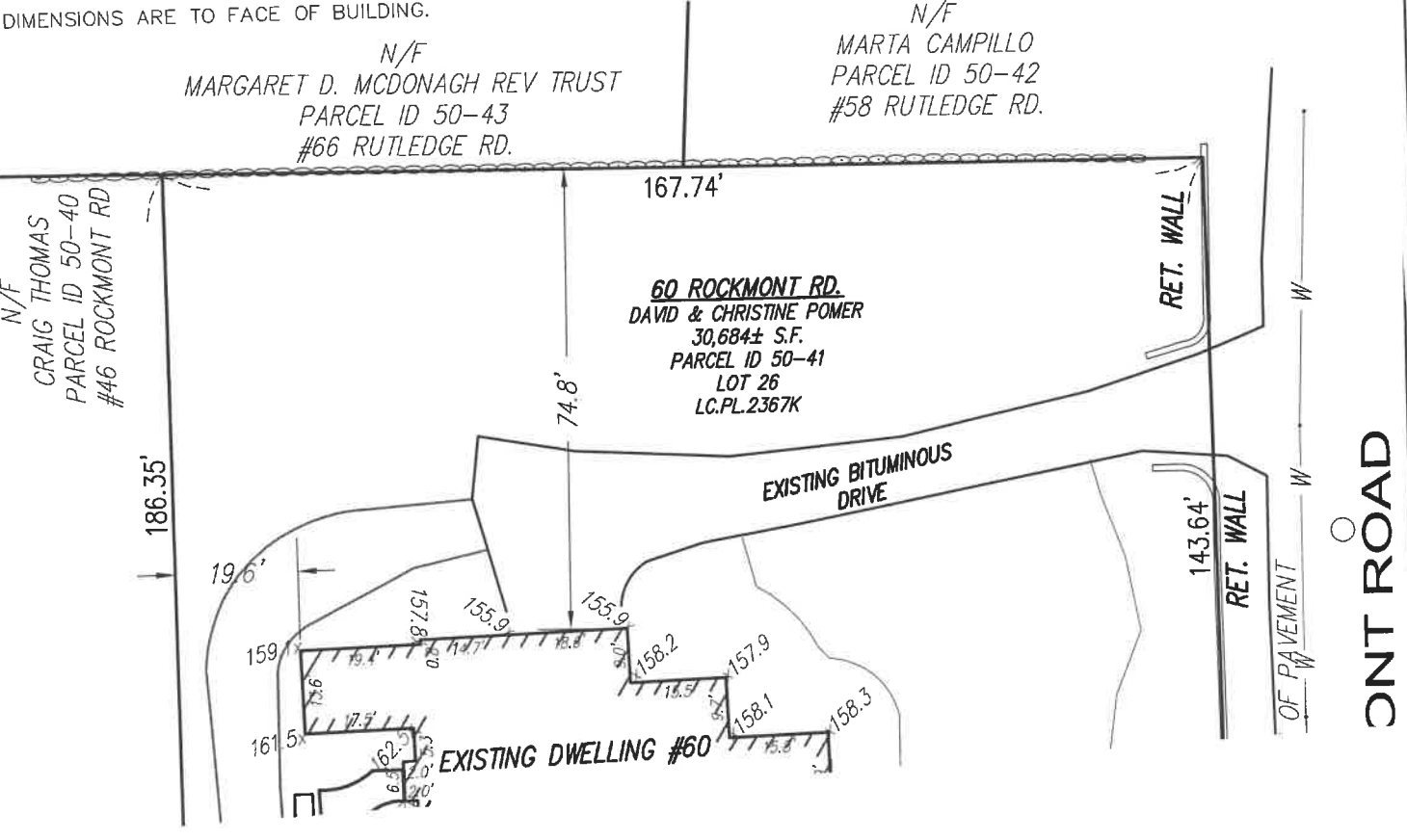
BELMONT, MASSACHUSETTS
PREPARED FOR: SCOTT HILLS



CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS
1 MAIN STREET, SUITE 1
LUNENBURG, MA 01462
PHONE: (978) 779-6091
www.dillisanandroy.com

FOR PROPERTY LINE INFORMATION THIS PLAN
RELIES ON DEEDS AND PLANS OF RECORD.
THIS PLAN IS NOT REPRESENTED TO BE A TITLE
EXAMINATION OR A RETRACEMENT SURVEY.

DIMENSIONS ARE TO FACE OF BUILDING.



BUILDING PERMIT PLAN

BELMONT, MASSACHUSETTS
PREPARED FOR: SCOTT HILLS



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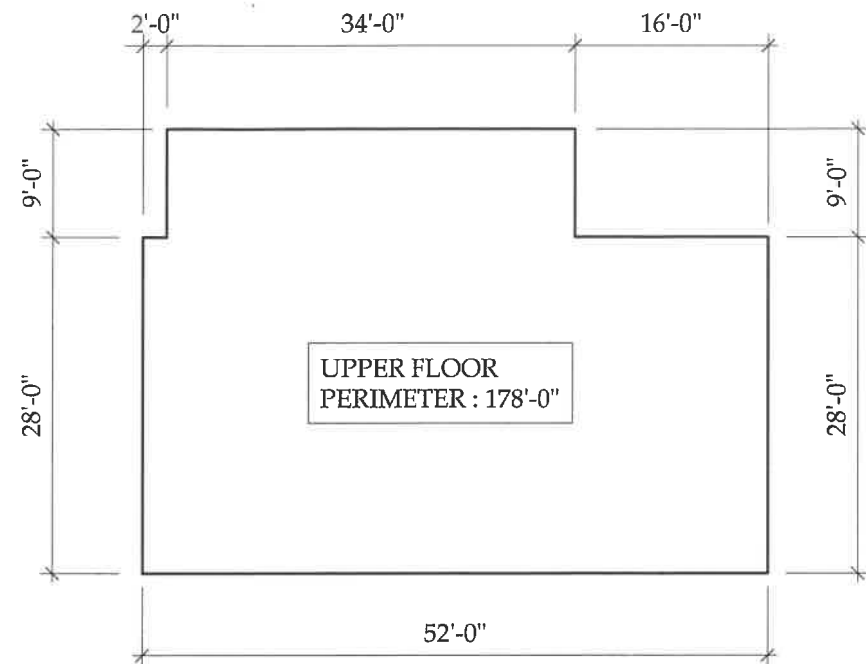
<u>ZONING INFORMATION:</u>	<u>SINGLE RESIDENCE B</u>
	<u>REQ.D.</u>
MIN LOT AREA	12,000 SF
MIN LOT FRONTAGE	90 FT
MIN FRONT SETBACK	25 FT
MIN SIDE YARD	10 FT
MIN REAR YARD	30 FT
MAX LOT COVERAGE	25%
MIN OPEN SPACE	50%
MAX BLDG HEIGHT	30 FT (2.5 STORY)
* DIMENSIONS ARE TO FACE OF BUILDING	

<u>EXIST.*</u>	<u>PROP.*</u>
30,684 SF	30,684 SF
159.1 FT (ROCKMOUNT)	159.1 FT (ROCKMOUNT)
63.3 FT (CLAIREMONT)	63.3 FT (CLAIREMONT)
67.8 FT (ROCKMOUNT)	67.8 FT (ROCKMOUNT)
19.6 FT	19.6 FT
74.8 FT	74.8 FT
7.5%	7.5%
80.9%	80.9%
27.7 FT (3.5 STORY)	27.7 FT (3.5 STORY)

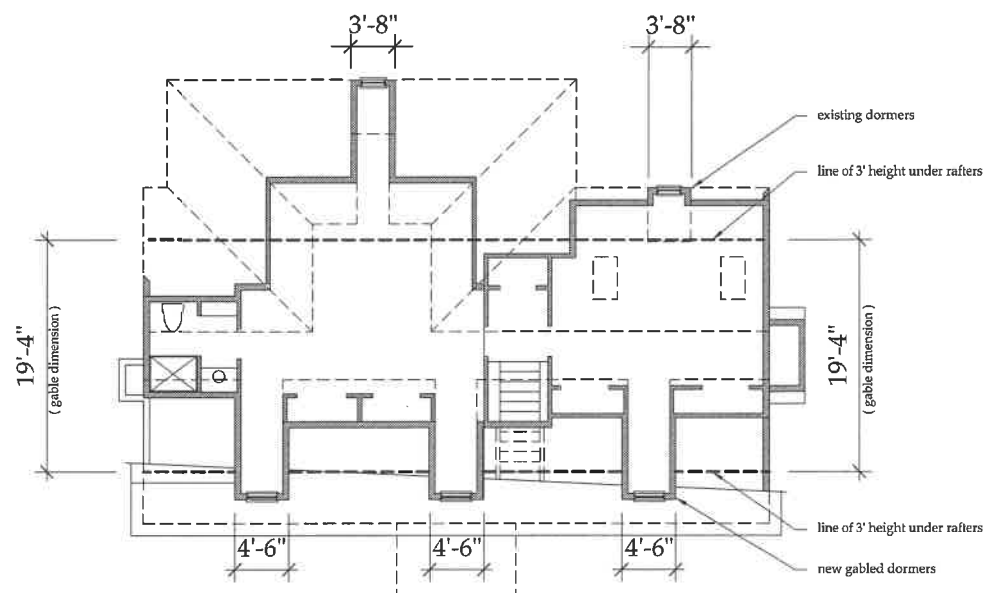
AVG. GRADE AT DWELLING: 160.33
FIRST FLOOR THRESHOLD: 164.77
EXISTING RIDGE: 193.24
MIDPOINT ROOF: 187.99
EXIST. BUILDING HEIGHT: 187.99-160.33=27.66
ELEVATIONS REFER TO NAVD 88

BASEMENT CALCULATION
BASEMENT FLOOR = 156.66 (SURVEYED)
BASEMENT CEILING =

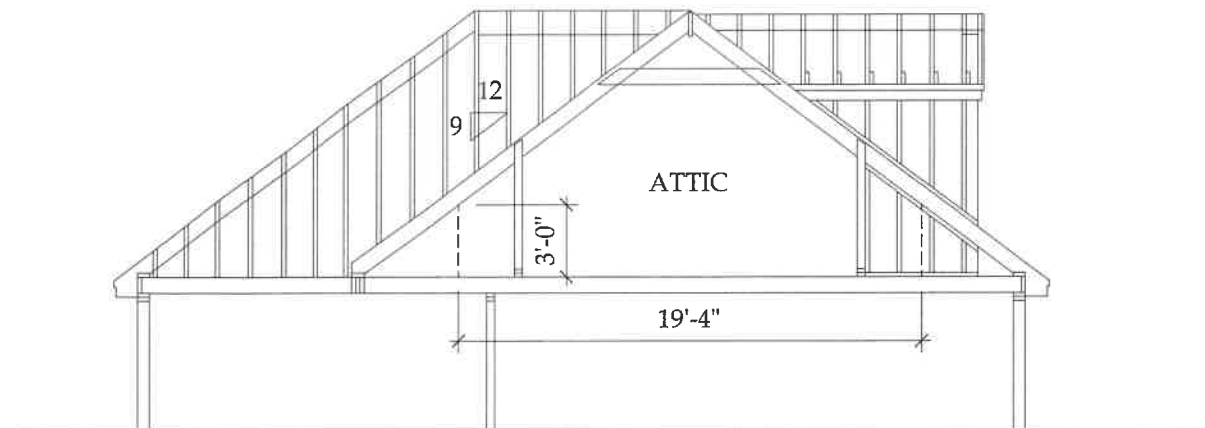
HALF STORY (ZONING BYLAW 1.4) CALCULATION
1.4a) 50% OF SECOND FLOOR PERIMETER = 89.0'
LF BETWEEN RAFTER BOTTOMS AT 3' OR MORE
ABOVE FLOOR LEVEL:
GABLE ENDS: 19.33' x 2 = 38.66'
PROP. FRONT DORMERS: 4'6" x 3 = 13.5'
EXIST. REAR DORMERS: 3.66 x 2 = 7.32'
TOTAL: 59.5 LF OK (LESS THAN 89')
1.4b) POTENTIAL SPACE HAVING 5' OR MORE HEADROOM:
EXISTING SECOND FLOOR = 1,797 SF
60% OF EXISTING UPPER FLOOR = 1,078 SF



Upper Floor Plan - Perimeter
178' linear feet



Attic Floor Plan
dormer + gable dimension



Attic Section
partial

ATTIC/DORMER DATA

Upper Floor Plan Perimeter: 178'0"
Maximum Dormer/Gable Linear: $178'0" \times .5 = 89'0"$

Gable end (3' height/3' height) = $19'4" \times 2$ gable ends = 38'6"
Front Dormers = $4'6" \times 3$ dormers = 13'6"
Rear Dormers = $3'8" \times 2$ dormers = 7'6"

Gable Ends + Dormers = $38'6" + 13'6" + 7'6" = 59'6"$

Summary: $59'6" < 89'0"$

SQUARE FOOTAGE (above 5'0")

Existing Attic: 988 SF
Proposed Attic: 1056 SF
Allowable Attic: Upper Floor (1797 sf) $\times (.60) = 1078$ SF
Proposed Attic: 1056 SF < 1078 SF

GROSS FLOOR AREA

Existing Basement: 2121
Existing Main Floor: 2129
Existing Upper Floor: 1797
Existing Attic: 831
Total Existing: 6878 SF

Proposed Basement: 2121
Proposed Main Floor: 2121
Proposed Upper Floor: 1797
Proposed Attic: 917
Total Proposed: 6956 SF

Summary:
Proposed SF (6956) - Existing SF (6878) = 78 SF
30% of Existing: $6878 \text{ SF} \times .30 = 2063 \text{ SF (max.)}$
Proposed increase in SF: 78 SF < 2063 SF

CONTRACTOR TO VERIFY
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CONSTRUCTION, BUILDING
IS TO MEET OR EXCEED
ALL STATE AND LOCAL
BUILDING CODES.

JAD DESIGN GROUP, INC.
jaddesigngroup.com phone 603.554.1199

HILLS BROTHERS CONSTRUCTION
CUSTOM BUILDERS

Job No: 2729
Reference File:
Date: 8/18/22
REV :

60 ROCKMONT ROAD
BELMONT, MA

POMER RESIDENCE
60 ROCKMONT ROAD

DETAILS + DATA SHEET
scale: varies

SHEET
D-1.1
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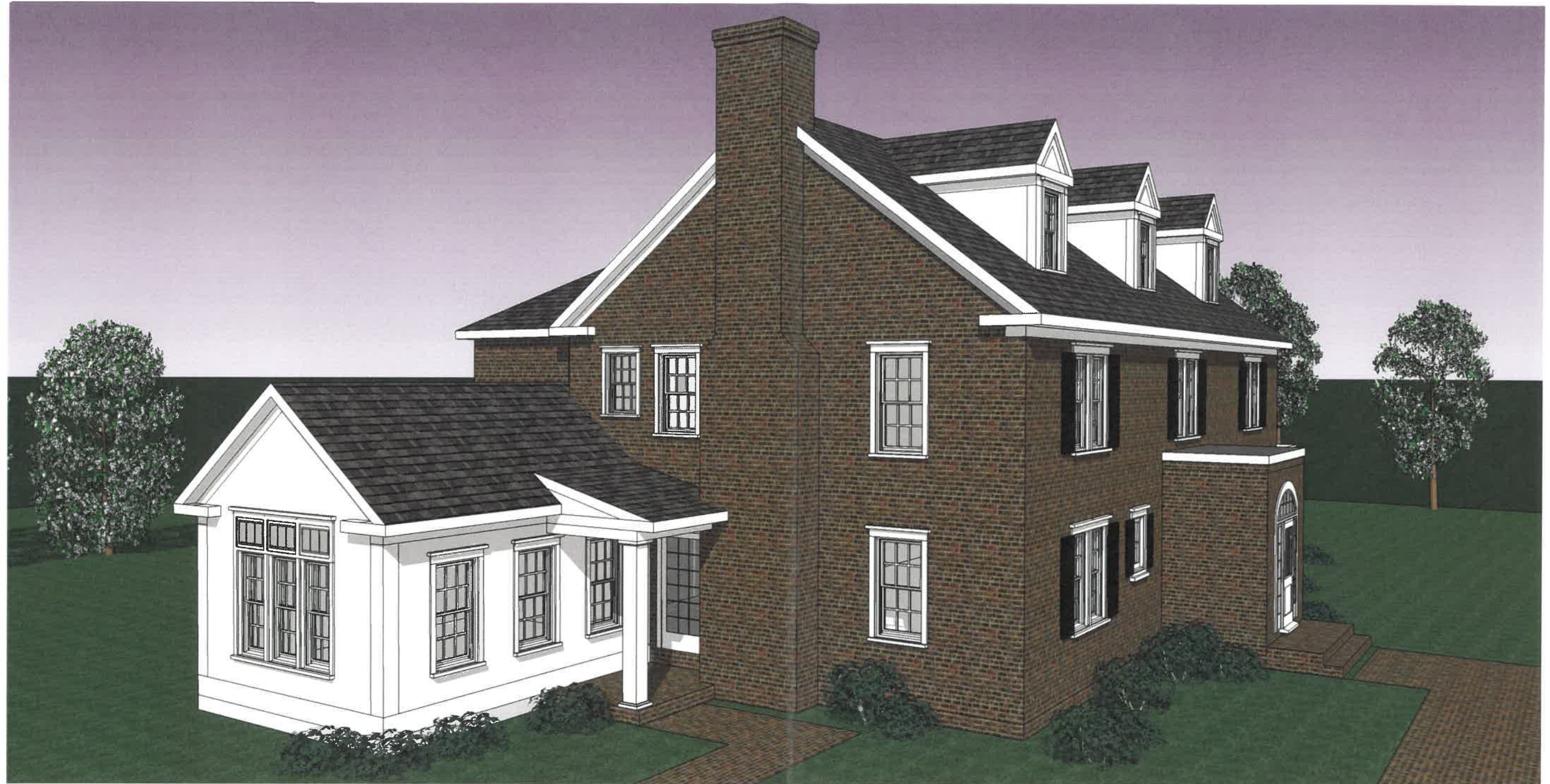
60 ROCKPORT ROAD
Belmont, MA



PROPOSED IMPROVEMENTS

CONSTRUCTION DOCUMENTS

8/16/22



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Belmont, MA



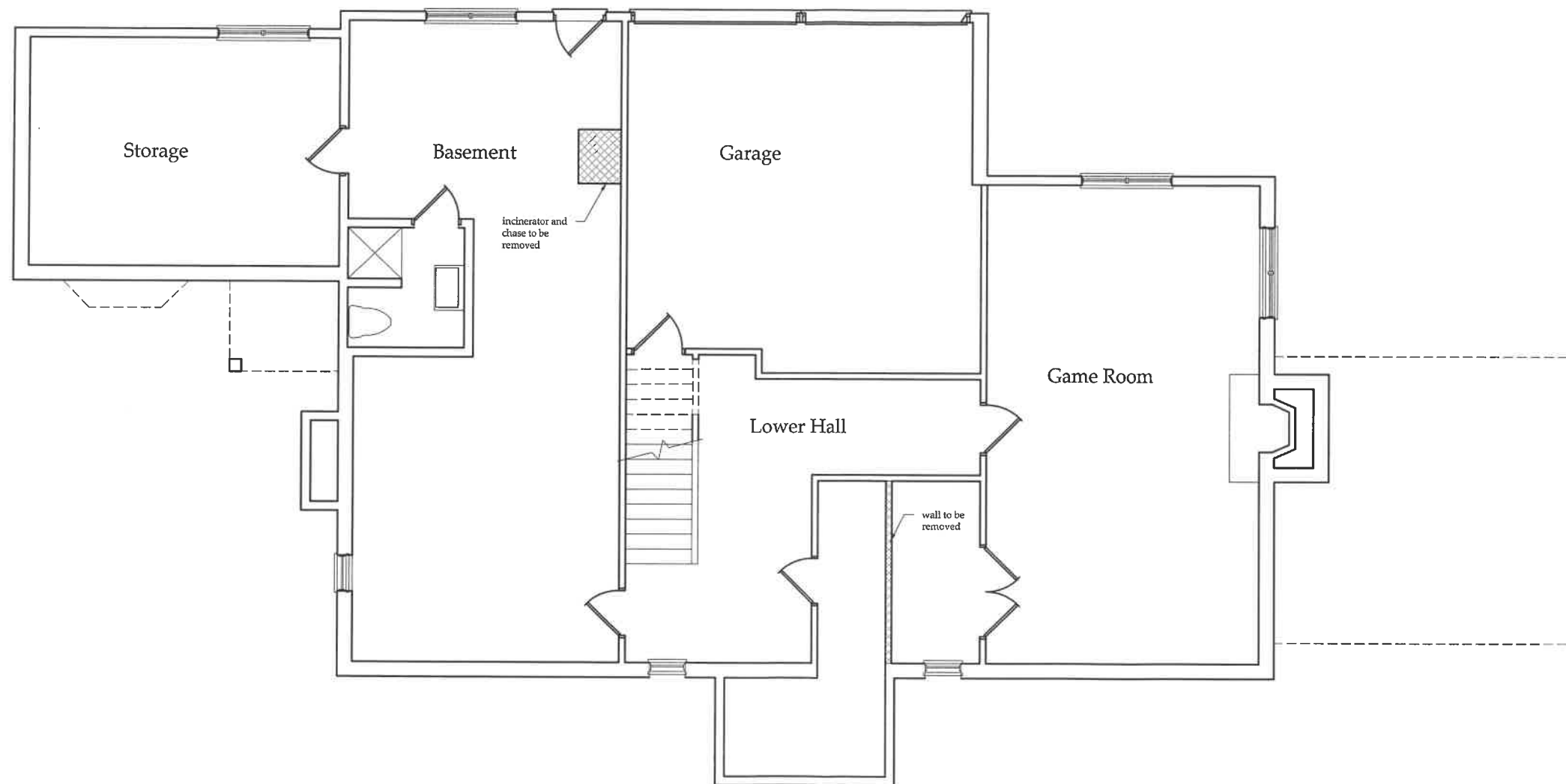
PROPOSED IMPROVEMENTS

CONSTRUCTION DOCUMENTS

8/16/22

2

A




Basement Level Plan
 existing conditions - demolition
 Existing Basement Finished: 797 SF

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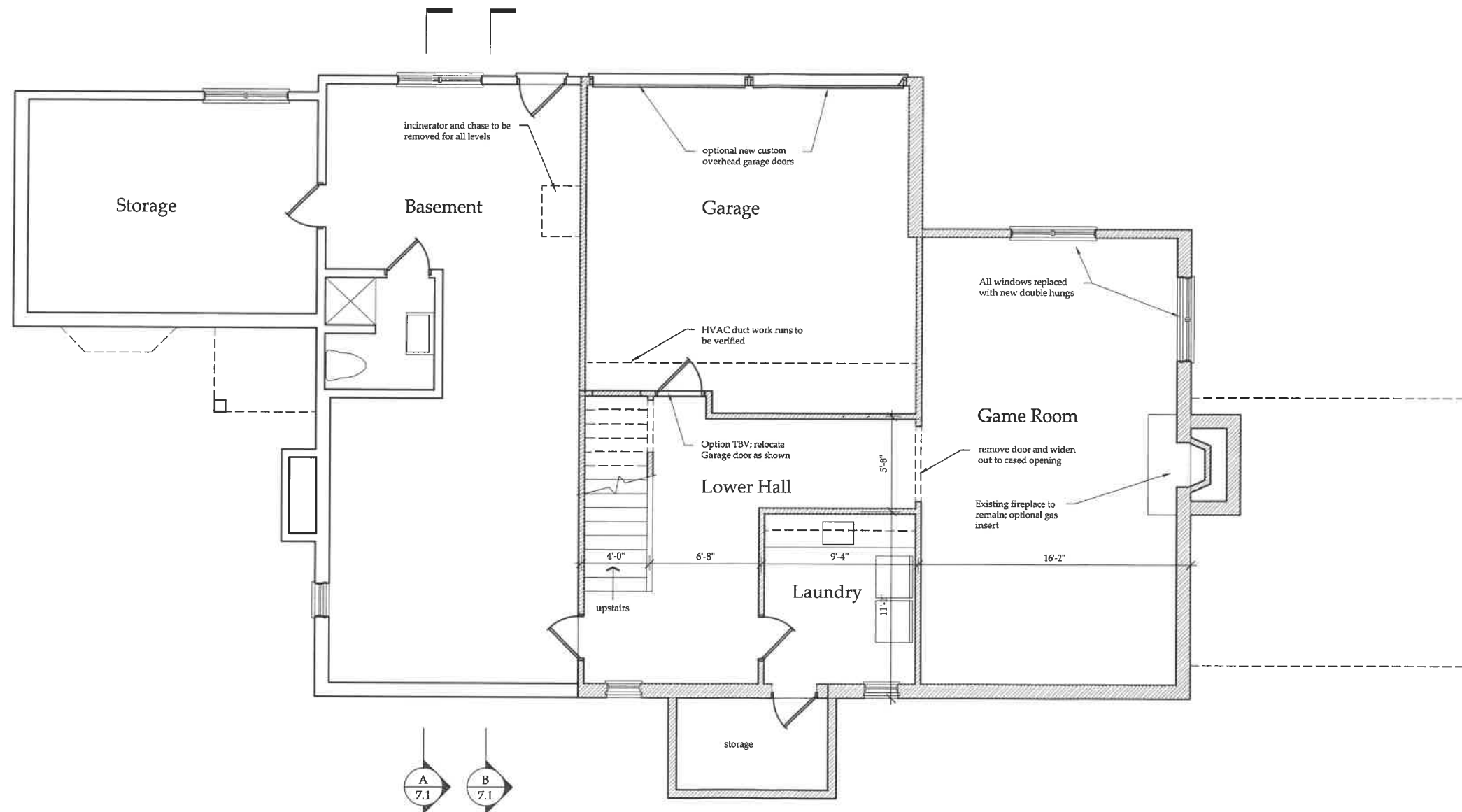
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FOUNDATION PLAN - EXISTING
 1/8" = 1'-0"

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Basement Level Plan
Proposed Basement Finished: 797 SF

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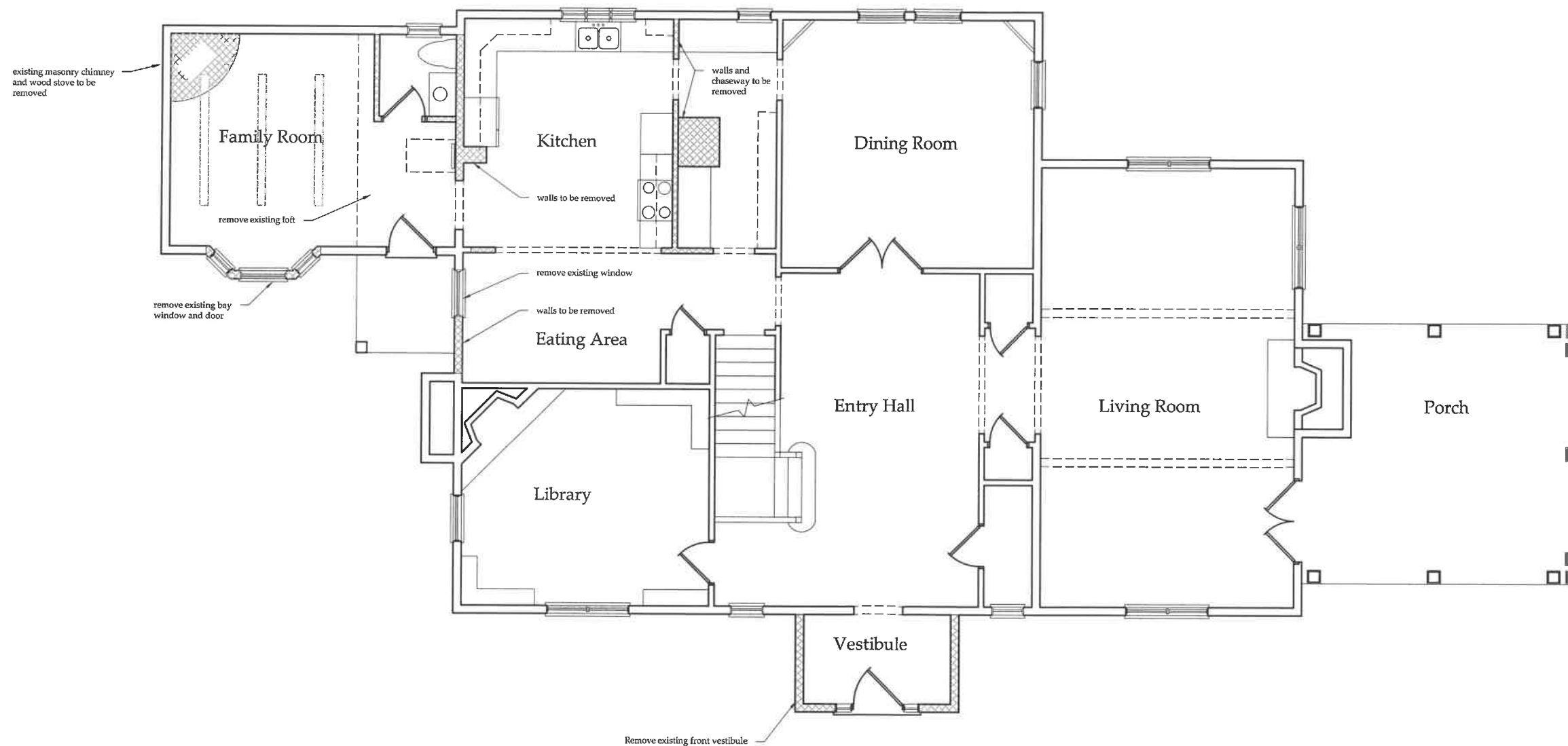
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FOUNDATION PLAN - PROPOSED
1/8" = 1'-0"

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Main Floor Plan
 existing conditions / demolition
 Existing Main Floor: 2121 SF

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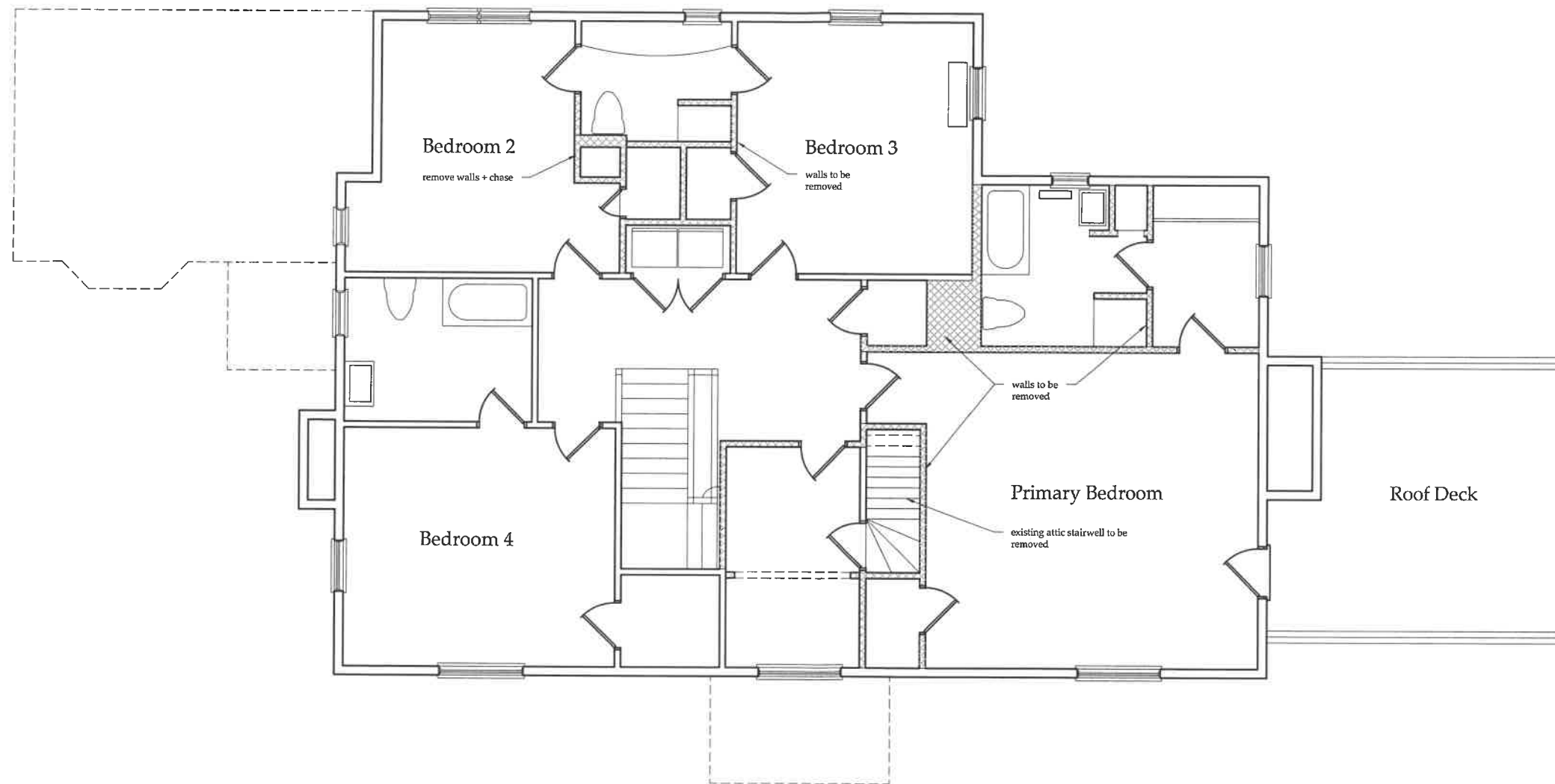
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MAIN FLOOR PLAN - EXISTING
 1/8" = 1'-0"

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Upper Floor Plan

existing conditions - demolition
Existing Upper Floor: 1797 SF

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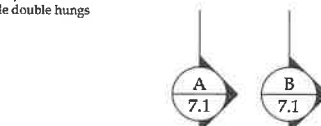
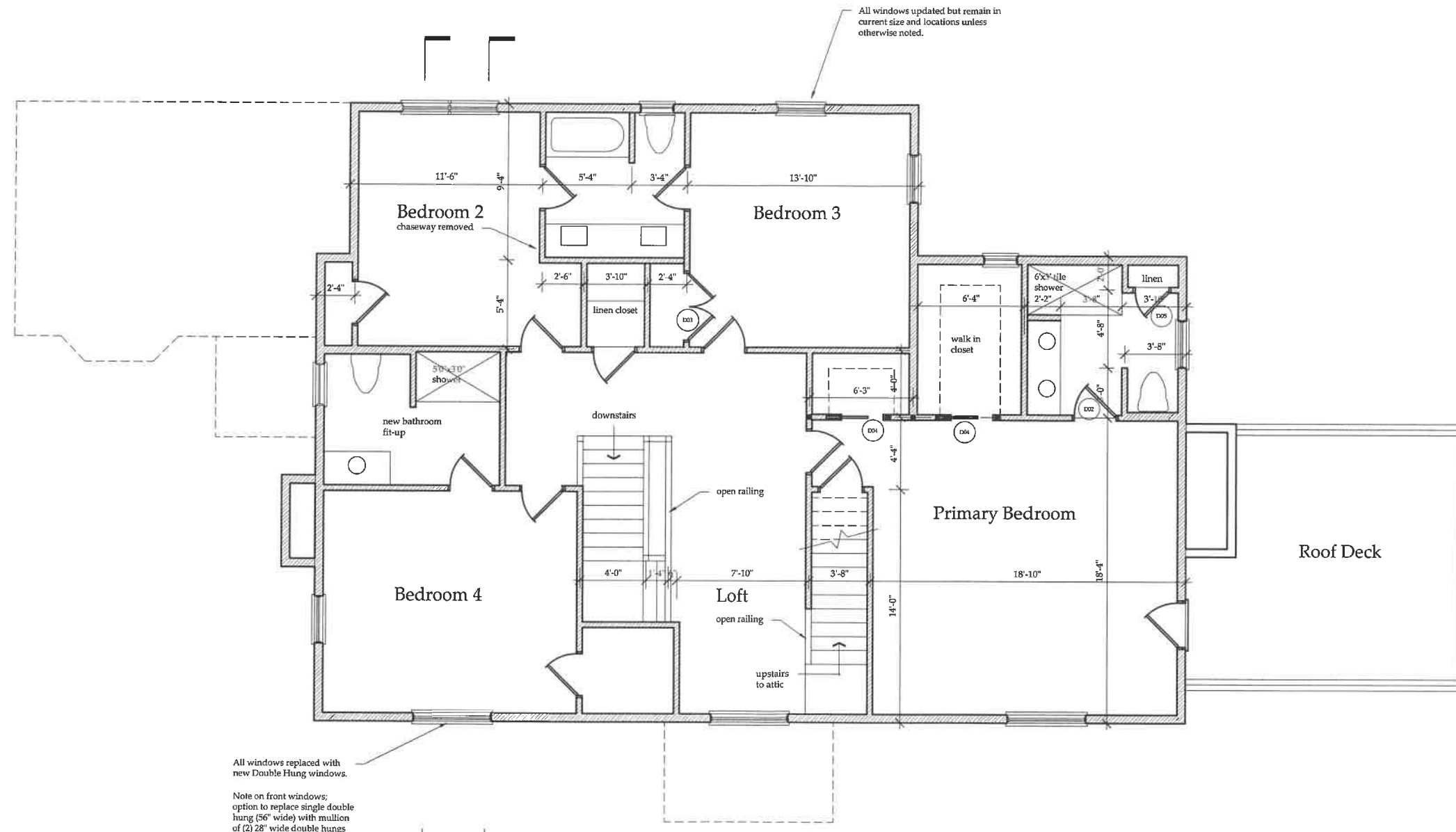
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UPPER FLOOR PLAN - EXISTING
1/8" = 1'-0"

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Upper Floor Plan

Proposed Upper Floor: 1797 SF

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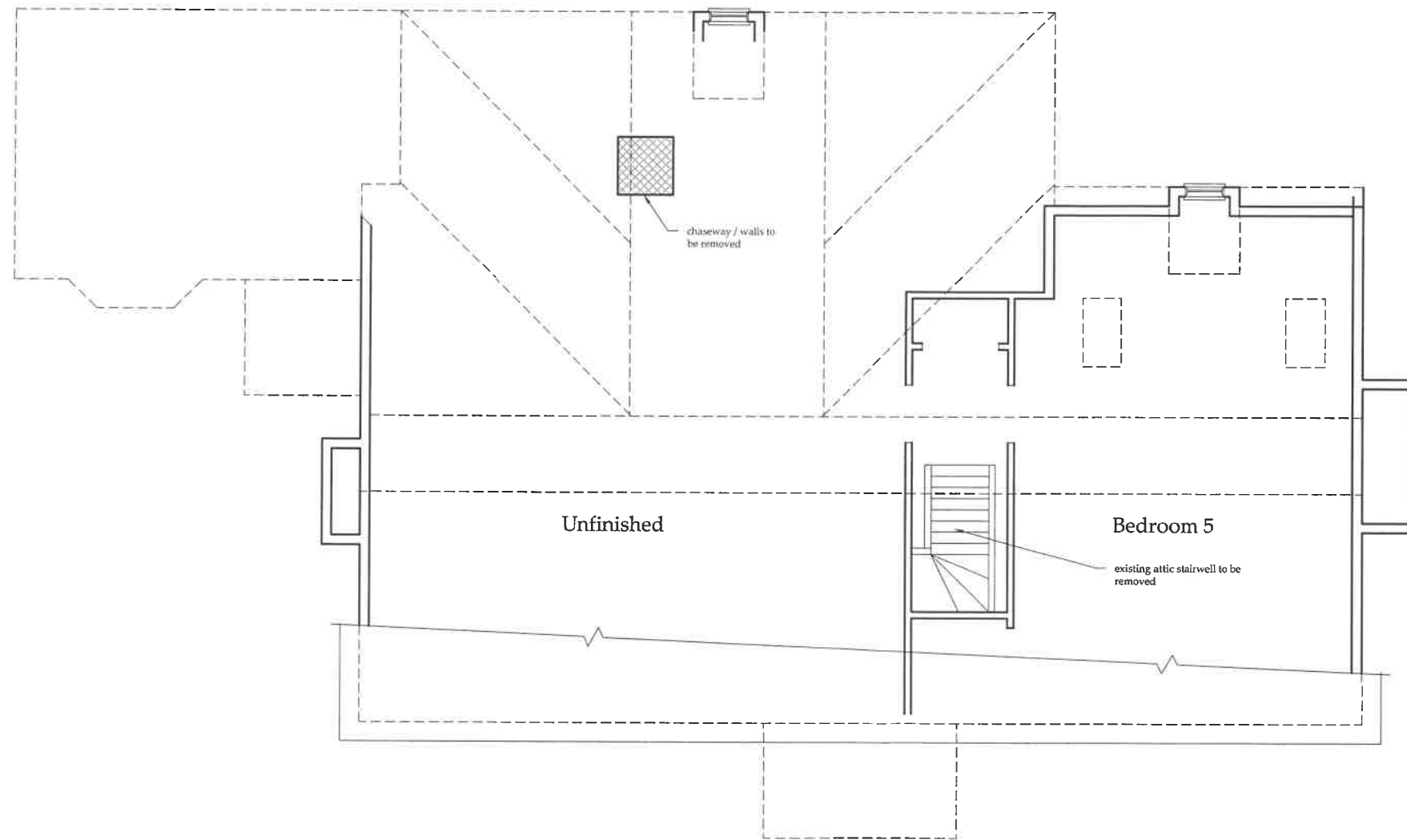
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60 ROCKMONT ROAD

UPPER FLOOR PLAN - PROPOSED
1/8" = 1'-0"

SHEET
A-8

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Attic Floor Plan
 existing conditions - demolition
 Existing Attic Floor (5'0" +/-) : 988 SF

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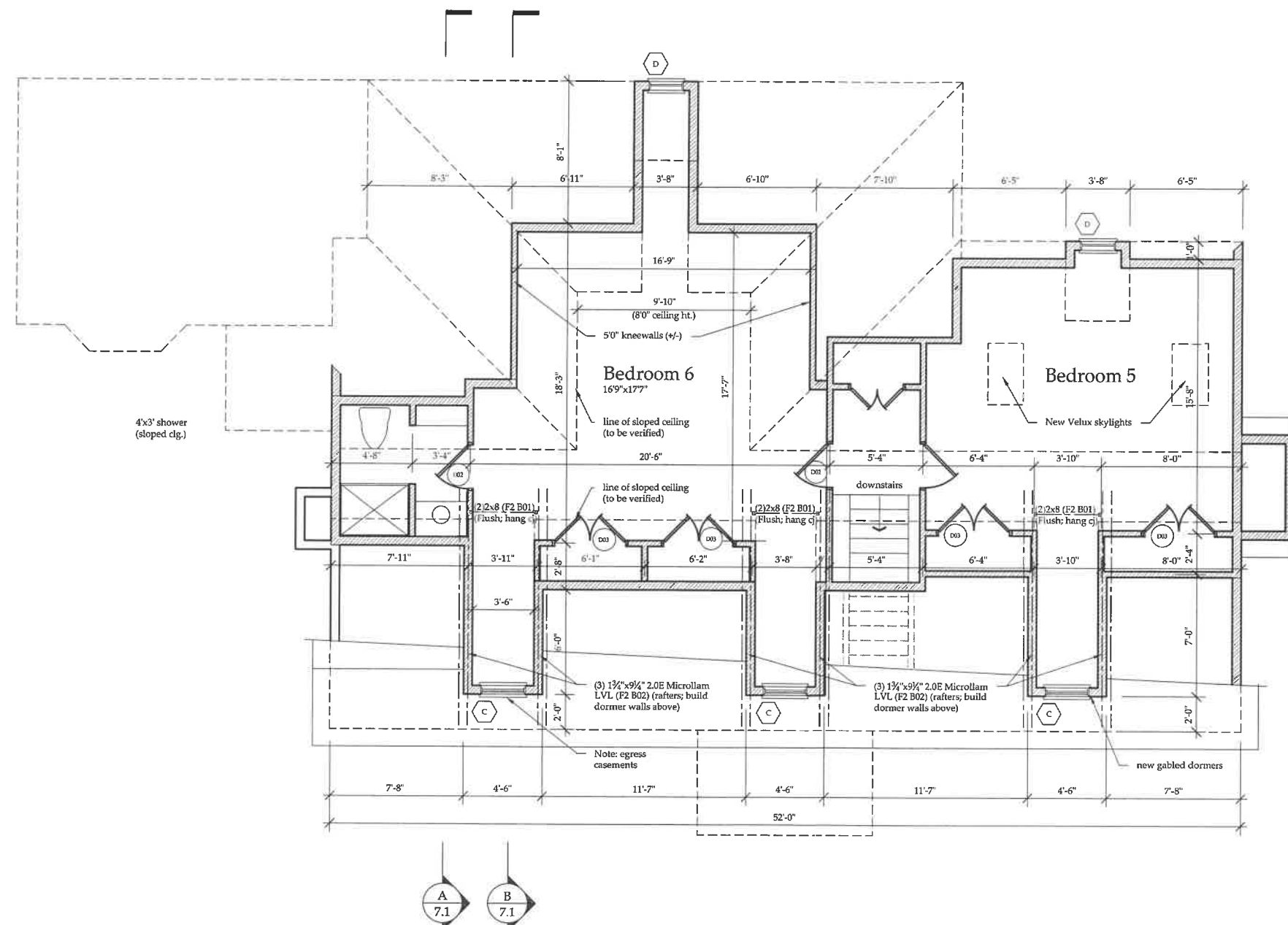
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ATTIC FLOOR PLAN - EXISTING
 1/8" = 1'-0"

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A - 9

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Attic Floor Plan
Proposed Attic Floor (5'0" +/-) : 1056 SF

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ATTIC FLOOR PLAN - PROPOSED
1/8" = 1'-0"

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Front Elevation

Existing

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CUSTOM BUILDERS

Job No: 2729
Reference File:
Date: 8/9/22
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60 ROCKMONT ROAD
BELMONT, MA

POMER RESIDENCE
60 ROCKMONT ROAD

EXTERIOR ELEVATIONS - EXISTING
1/8" = 1'-0"

SHEET
A - 11

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Front Elevation
 PROPOSED

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HILLS BROTHERS CONSTRUCTION
 CUSTOM BUILDERS

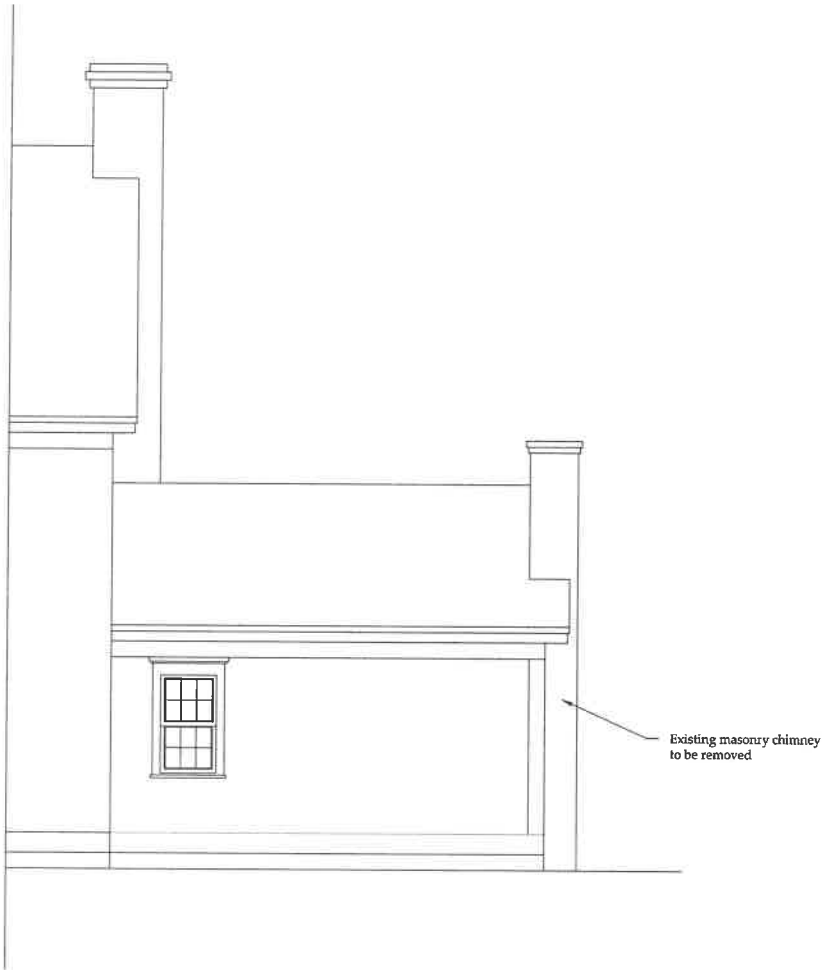
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 BELMONT, MA

POMER RESIDENCE
 60 ROCKMONT ROAD

EXTERIOR ELEVATIONS
 1/8" = 1'-0"

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Rear Elevation
Existing



Left Side Elevation
Existing

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ALL DIMENSIONS AND
STRUCTURAL MEMBERS
PRIOR TO STARTING
CONSTRUCTION, BUILDING
IS TO MEET OR EXCEED
ALL STATE AND LOCAL
BUILDING CODES.

JAD DESIGN GROUP, INC.
jaddesigngroup.com phone 603.554.1199

HILLS BROTHERS CONSTRUCTION
CUSTOM BUILDERS

Job No: 2729
Reference File:
Date: 8/9/22
REV :

60 ROCKMONT ROAD
BELMONT, MA

POMER RESIDENCE
60 ROCKMONT ROAD

EXTERIOR ELEVATIONS
1/8" = 1'-0"

SHEET
A - 13
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 Rear Elevation
PROPOSED



 Left Side Elevation
PROPOSED

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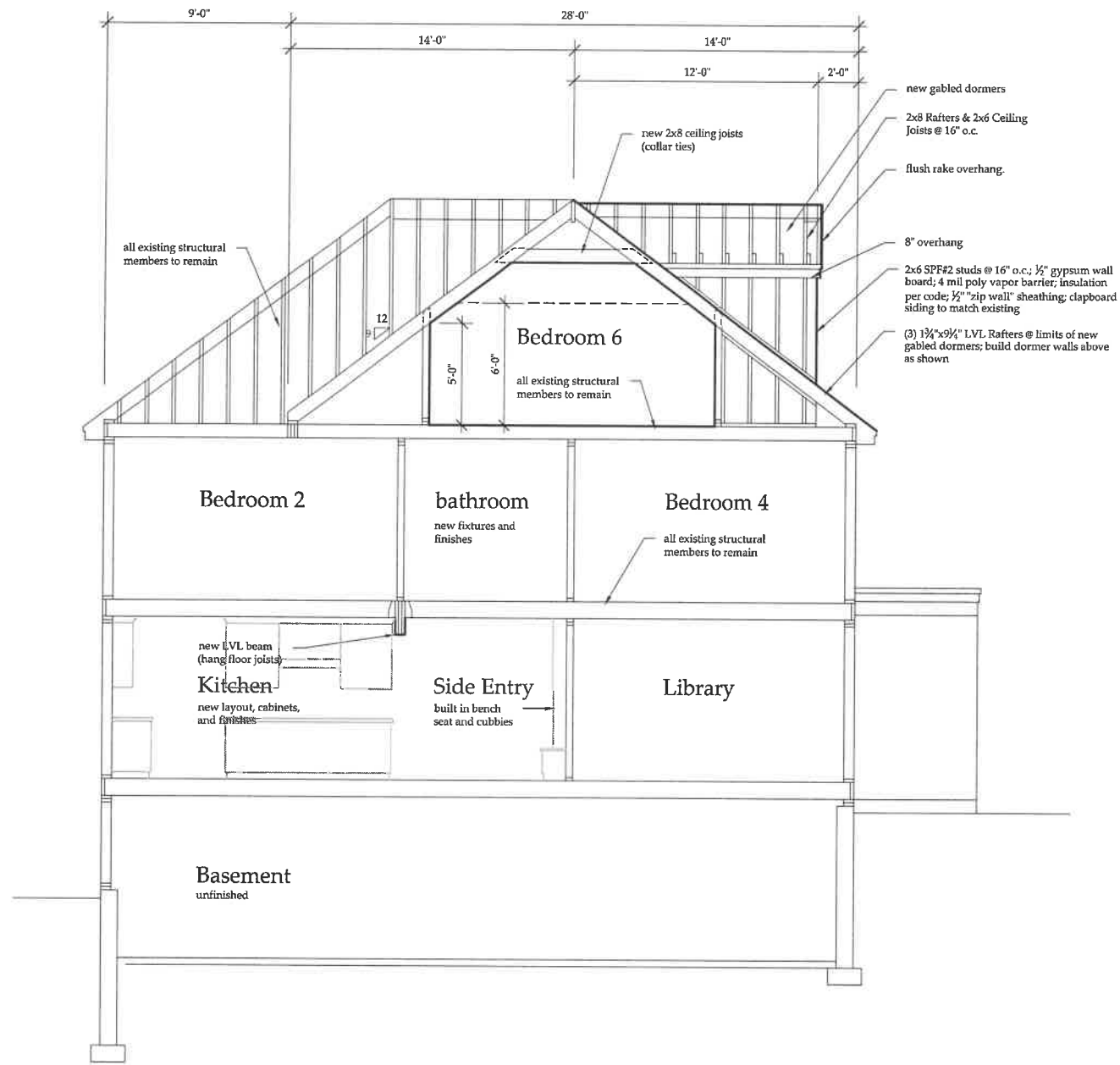
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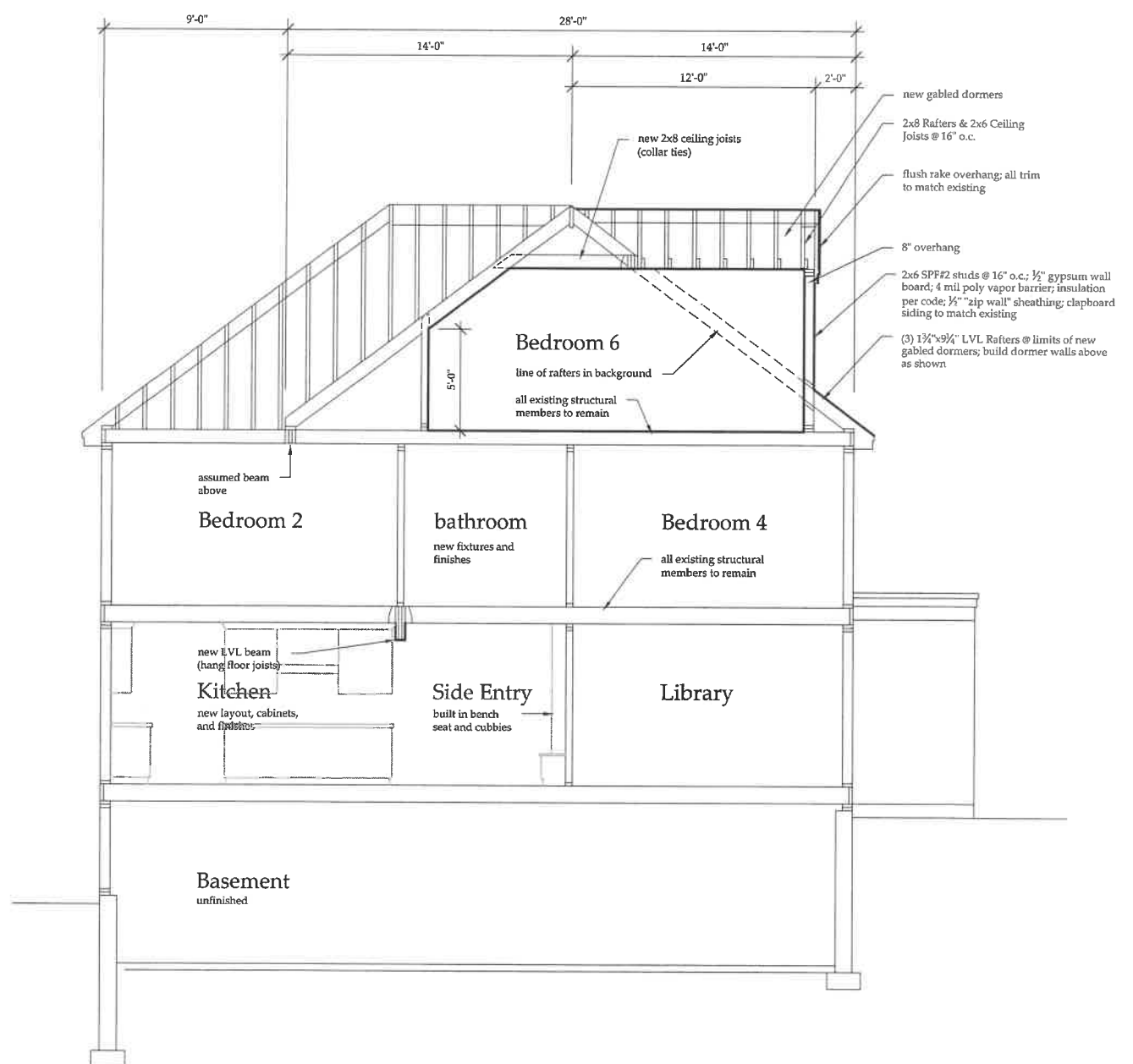
EXTERIOR ELEVATIONS
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A - 14

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Section - A



Section - B (thru new attic dormers)

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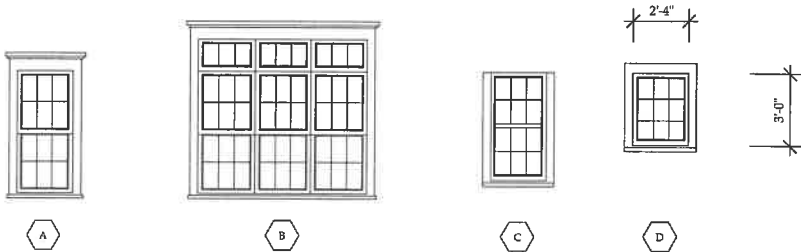
CROSS SECTIONS
1/8" = 1'-0"

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WINDOW SCHEDULE			Anderson _ A Series	Simulated Divided Light (7/8" grill profile)	
Tag	Model	Qty.	Rough opening	Grill	Notes
A	TW24410		2'6 7/8" x 5'0 7/8"	6/6	Double Hung
B	TW24410-3 / TWT2415		7'7" x 6'8" (* TBV)	6/6	Triple mullion w/ transom
C	CX14		2'8" x 4'0"	6/6	Egress casement : with check rail
D	CW13		2'4 7/8" x 3'0 1/2"	6	Casement (attic; rear dormer)

Manufacturer to verify : Rough Openings, Egress Requirements, Tempered requirements, and code requirements.
JAD Design to be notified of any changes necessary to window schedule PRIOR to the Construction Phase.

All replacement windows to be measured and verified by Anderson manufacturer rep.



DOOR SCHEDULE

Tag	Door Size	Qty.	Rough opening	Notes
1	3'0"x6'8"			Exterior full view glass door
2	2'6"x6'8"			Interior (match existing)
3	4'0"x6'8"			Interior pair (match existing)
4	2'0"x6'8"			Interior pocket (match existing)

Contractor to Verify PRIOR to construction: Rough Openings, Egress Requirements, Tempered requirements, code requirement and specifications.

Roof Construction

215# composition shingles on 15# building felt over 1/2" plywood sheathing on rafters as noted on floor plans. (match existing)

Typical Soffit

1x8 sub-fascia w/ 1x3 fascia trim board w/ continuous metal drip edge. Provide continuous ventilation strip. (match existing)

Wall Construction

Cedar Shingle Siding on 1/2" plywood sheathing on 2x6 SPF#2 studs @ 16" o.c.; R-21 insulation. Provide 4 mil poly vapor barrier on interior w/ 1/2" gypsum wall board.

Typical Floor

3/4" T&G Advantech sub-floor glued and ring nailed to floor joists as noted on floor plans.

Typical Sill

2x6 treated sill plate on 1 layer sill seal w/ non-corrosive metal anchor bolts @ 6'-0" o.c. (maximum). Sill to be 8" above finish grade (minimum).

Typical Stair

4-2x12 stringers w/ 10" rough treads & 1" nosing at finish (hardwood or 3/4" Advantech). 3/4" risers equally spaced & not to exceed 7 3/4" in rise.

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NOTES

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SHEET

A - 16

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existing rafters / roof
system to remain

(2) 2x8 collar ties @ 42" o.c.
(attach to both sides of rafter
@ 120" AFF) (match existing)
(9-16d nails each end)

Collar Tie Framing

Family Room

Attic Dormer Framing

Attic Dormer Framing

2x8 Rafters & 2x6 ceiling
joists @ 16" o.c.

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FRAMING PLANS
1/8" = 1'-0"

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