

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 22-24

2022 SEP 14 PM 3:16

NOTICE OF PUBLIC HEARING BY THE
ZONING BOARD OF APPEALS

ON APPLICATION FOR THREE SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, October 3, 2022 at 7:00 PM by a hybrid public hearing at the Art Gallery on the third floor of the Homer Building, 19 Moore Street, and by remote access through the Zoom app. to consider the application of Audrey Miller and Robert Kuehn, for Three Special Permits under section 1.5 of the By-Law to construct a covered deck over the entrance at 1-3 Chester Road located in General Residence (GR) zoning district. Special Permit: (1) §1.5.3A of the By-Law allows alteration and expansion in the GR district by a Special Permits granted by the Board of Appeals. (2) §4.2 of the By-Law requires a minimum front setback of 20.0', the existing and proposed front setback is 12.2'. (3) requires a minimum side setback of 10.0', the existing and proposed side setback is 9.6'.

ZONING BOARD OF APPEALS



OFFICE OF COMMUNITY DEVELOPMENT

TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

June 2, 2022

Audrey Miller
1-3 Chester Road
Belmont, MA 02478

RE: Denial to Construct Deck over Covered Entrance.

Dear Ms. Miller,

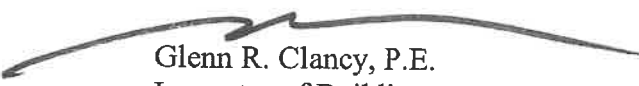
The Office of Community Development is in receipt of your building permit application for your proposal to construct a deck over the covered entrance at 1-3 Chester Road located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically,

- 1) §1.5.4A of the By-Law allows alterations and expansions in the GR district by a Special Permit granted by the Board of Appeals
- 2) §4.2 of the By-Law requires a minimum front setback of 20.0', The existing and proposed front setback is 12.2'.
- 3) §4.2 requires a minimum side setback of 10.0', the existing and proposed side setback is 9.6'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request three (3) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, or Gabriel Distler, Planning Staff at (617) 993-2650 in order to begin the process.

Sincerely,


Glenn R. Clancy, P.E.
Inspector of Buildings



Town of Belmont
Zoning Board of Appeals

RECEIVED
TOWN CLERK
BELMONT, MA

SEP 14 PM 3:15

APPLICATION FOR A SPECIAL PERMIT

Date: 08 / 01 / 2022

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A,
Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the
undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon)
situated on 3 Chester Road Street/Road, hereby apply to your Board
for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use
thereof under the applicable Section of the Zoning By-Law of said Town for _____
build a deck / railing on existing porch roof

on the ground that the same will be in harmony with the general purpose and intent of
said Zoning By-Law.

Signature of Petitioner

Audrey Miller & Robert Kuehn

Print Name

Audrey Miller & Robert Kuehn

Address

314 Payson Road

Belmont, MA 02478

Daytime Telephone Number

617-512-4535

Robert Kuehn & Audrey Miller
314 Payson Rd.
Belmont, MA 02478

July 29, 2022

RE: 1-3 Chester Rd.

To: The Zoning Board of Appeals

Thank you for taking the time to review our proposal.

We would like to install a deck and railing on the existing roof of the front porch.

When we bought 1-3 Chester Rd. in August of 2014 there was no balcony, only a door which led to a rubber roof with no railing. We were told the previous owner removed the deck and railing to replace the rubber roof and never reinstalled it.

As is, it presents a safety hazard. Our home insurance company has asked us to install a railing, but is satisfied with a barricade over the door in the interim. The barricade is intended to be a temporary solution.

The addition of the balcony will restore our home and enhance the appearance. The majority of the multi families along Chester Rd. have balconies / decks above their front porches, and as mentioned, 1-3 Chester Rd. at one point did as well. We are kindly asking the Board to approve our request.

Thank you,



Robert Kuehn and Audrey Miller





Zoning Compliance Check List

(Registered Land Surveyor)

Property Address: 1-3 Chester Road

Zone: GR

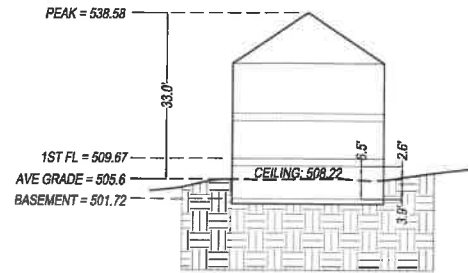
Surveyor Signature and Stamp: [Signature]

Date: 7/28/22

	REQUIRED	EXISTING	PROPOSED
Lot Area	5000 SF	5,579 +/- SF	5,579 +/- SF
Lot Frontage	50.0'	58.00'	58.00'
Floor Area Ratio	—	—	—
Lot Coverage	30 %	27.8 %	27.8 %
Open Space	40 %	60.7 %	60.7 %
Front Setback	Chester 16.55' Common 20.00'	12.2' *	12.2' *
Side Setback	10.0'	9.6' *	9.6' *
Side Setback	—	—	—
Rear Setback	17.96'	15.2' *	15.2' *
Building Height	33'	33.0'	33.0'
Stories	2.5	2.5	2.5
½ Story Calculation			

NOTES:
Average lot depth = 89.81'

PROFILE NOT TO SCALE



ZONING: 6-127
PARCEL ID: (GR) GENERAL RESIDENCE
ZONING DISTRICT: ASSUMED
VERTICAL DATUM:

JOB: 14-00631

	REQUIRED	EXISTING	PROPOSED
LOT AREA (MIN.)	5,000SF	5,579±SF	5,579±SF
LOT FRONTAGE (MIN.)	50.00'	58.00'	58.00'
LOT AREA/ DW. UNIT (MIN.)	3,500SF	N/A	N/A
FAR (MAX.)	-	-	-
LOT COVERAGE (MAX.)	30%	27.8%	27.8%
OPEN SPACE (MIN.)	40%	60.7%	60.7%
FRONT, CHESTER (MIN.)	16.55'	12.2'*	12.2'*
FRONT, COMMON (MIN.)	20.00'	23.3'	24.0'
SIDE SETBACK (MIN.)	10.00'	9.6'*	9.6'*
REAR SETBACK (MIN.)	17.96'	15.2'*	15.2'*
HEIGHT, FEET (MAX.)	33.00'	33.0	33.0'
HEIGHT, STORIES (MAX.)	2 1/2	2 1/2	2 1/2

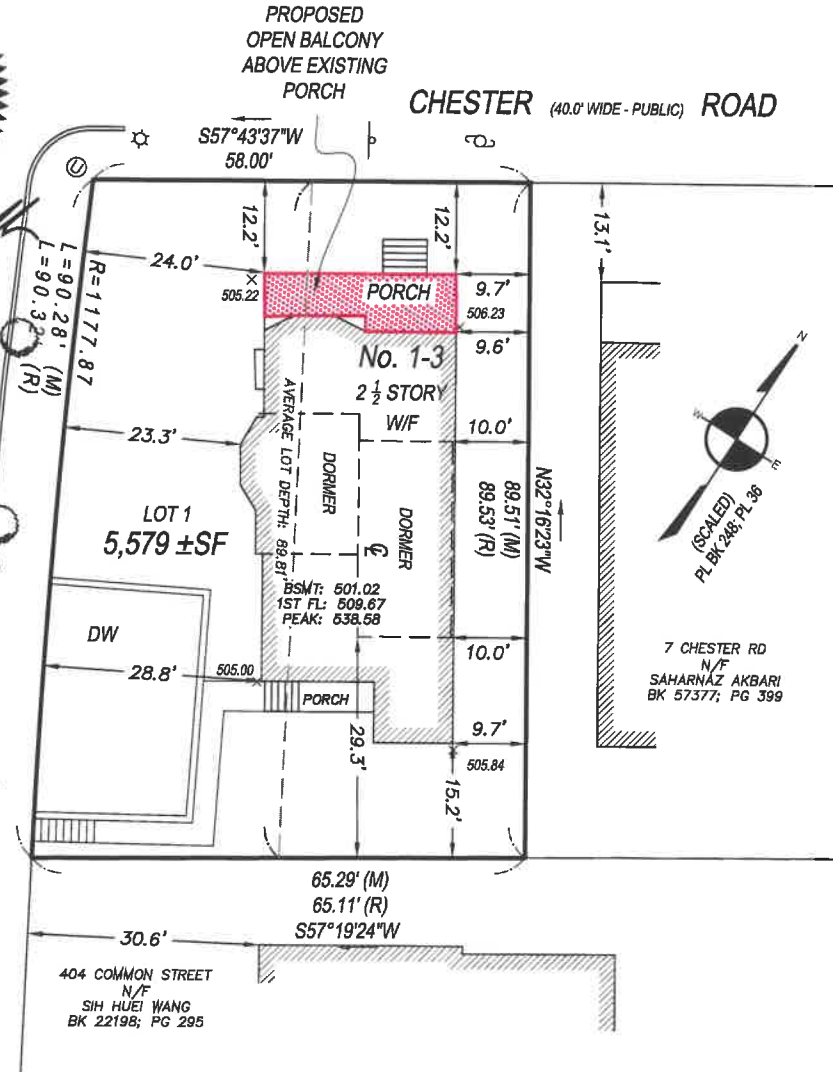
* = EXISTING NON-CONFORMING

NOTES:
BASEMENT IS 60% BELOW AVERAGE GRADE AS SHOWN & THEREFORE CONSIDERED A BASMENT AND NOT THE 1ST STORY.

- 1) FRONT SETBACK CONTIGUOUS LOT (7 CHESTER ROAD) IS 16.55'.
- 2) FRONT SETBACK OF CONTIGUOUS LOT (404 COMMON STREET) IS 25.3' (THEREFORE REVERTS BACK TO 20').
- 3) AVERAGE LOT DEPTH = 89.81'
- 4) REAR SETBACK: 89.81' * (0.20) = 17.96'



COMMON STREET (80.0' WIDE - PUBLIC)



CERTIFIED PLOT PLAN LOCATED IN BELMONT, MA

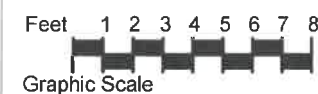
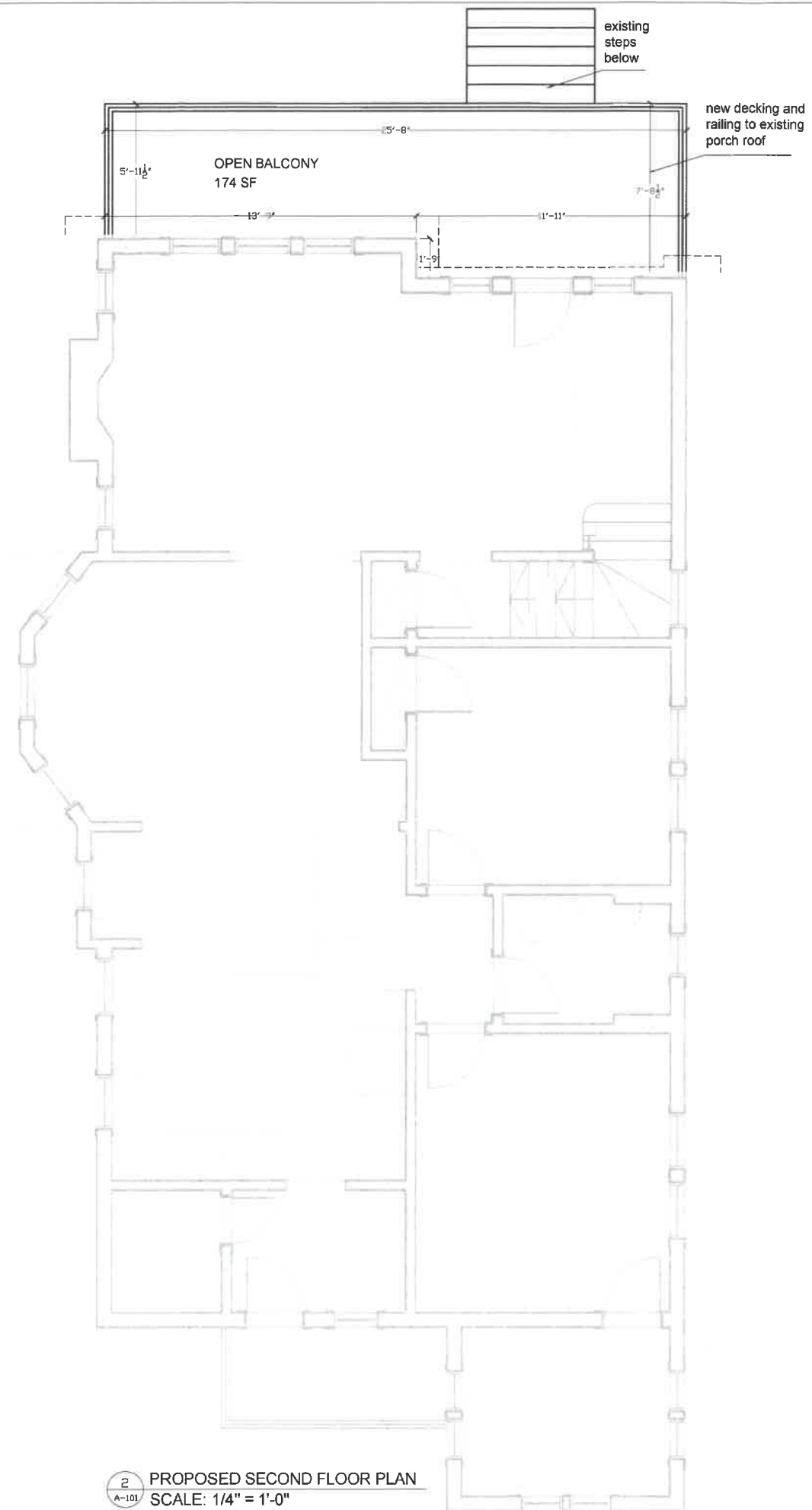
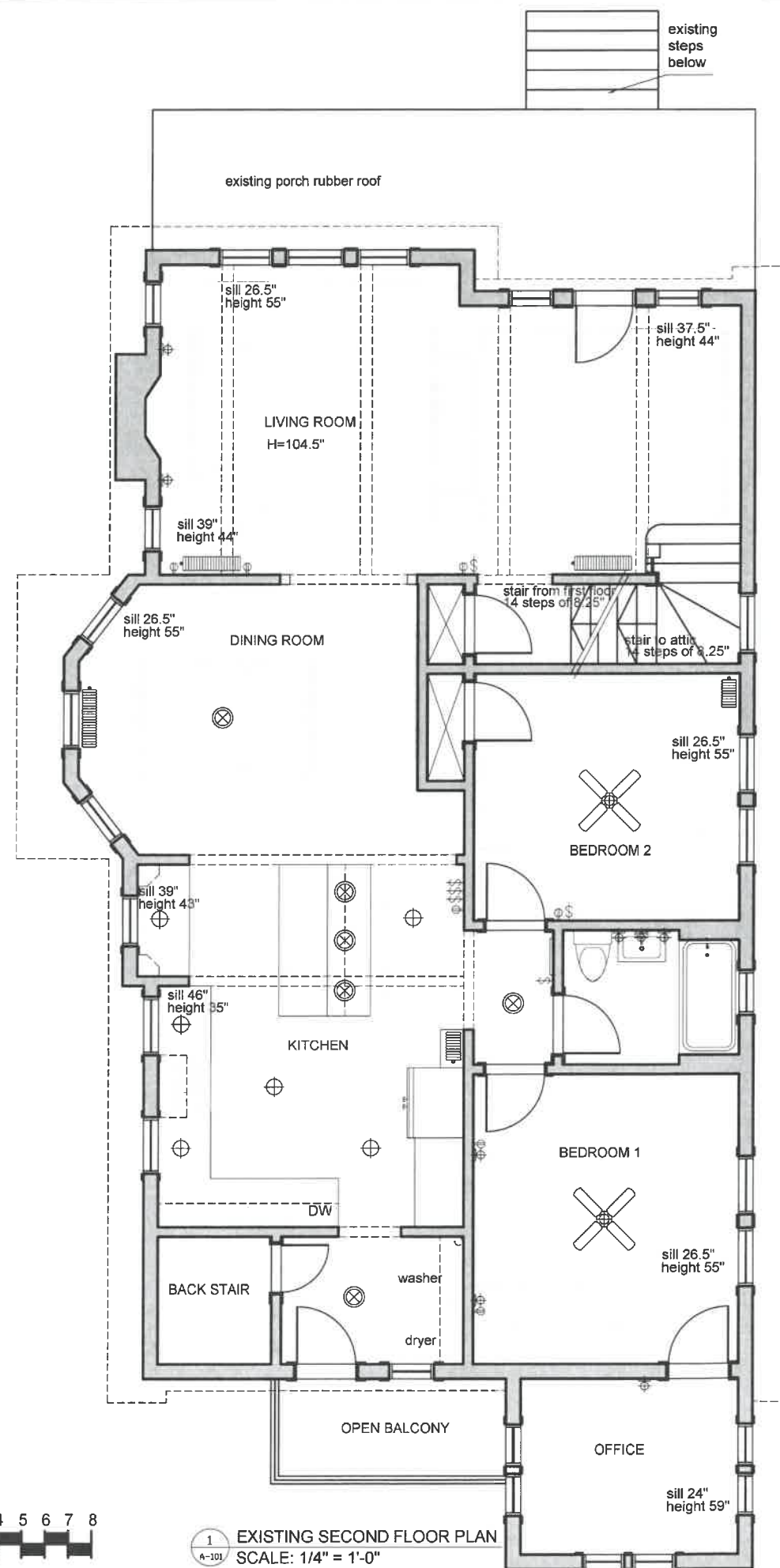
REFERENCE
DEED: BK 64106; PG 146
PLAN: PL BK 248; PG 36
BK 4740; PG END

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND BETWEEN THE DATES OF AUGUST 1, 2014 - APRIL 29, 2022 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE "X" (AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN).
COMMUNITY-PANEL#: 25017CD418E
EFFECTIVE DATE: 06/04/2010

OWNER: AUDREY A. MILLER
ROBERT F. KUEHN
ADDRESS: 1-3 CHESTER ROAD
BELMONT, MA 02478
PARCEL ID: MAP 6; PARCEL 127
DATE: APRIL 29, 2022
SCALE: 1.0 INCH = 20.0 FEET





1 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

YGS
DESIGN &
DEVELOPMENT
LLC

ARCHITECTURAL DESIGN &
REAL ESTATE DEVELOPMENT
70 HOITT RD
BELMONT MA 02478
617-663-7865
WWW.YGSDO.COM

YGS
Design &
Development



MILLER RESIDENCE

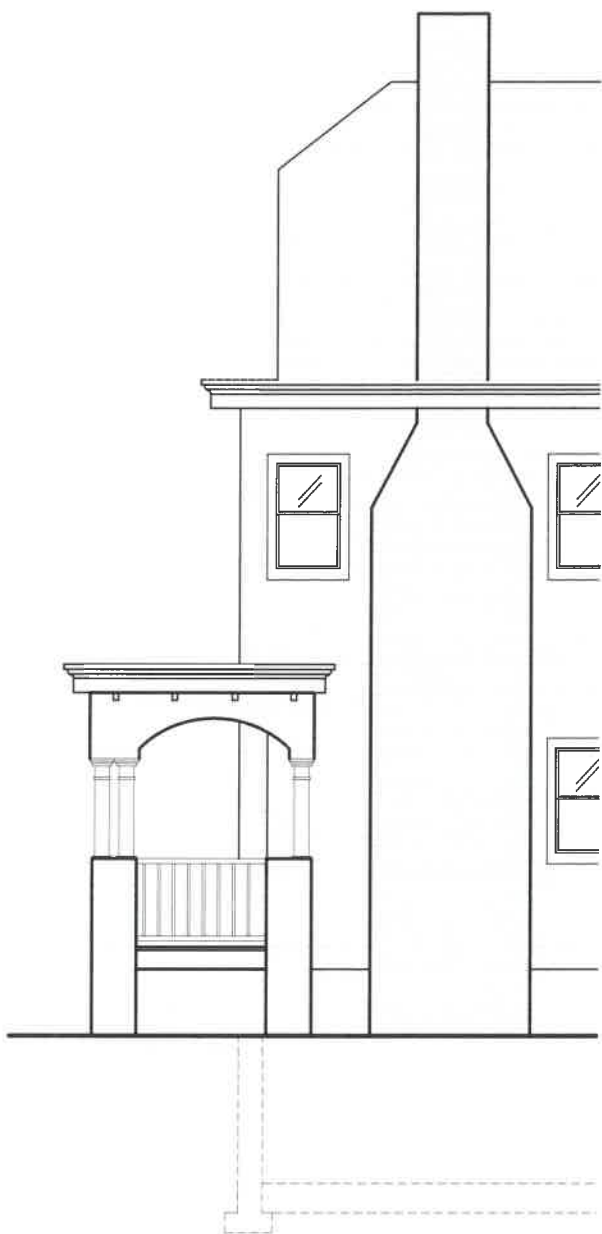
1-3 CHESTER RD
BELMONT, MA

EXISTING AND PROPOSED
SECOND FLOOR PLAN

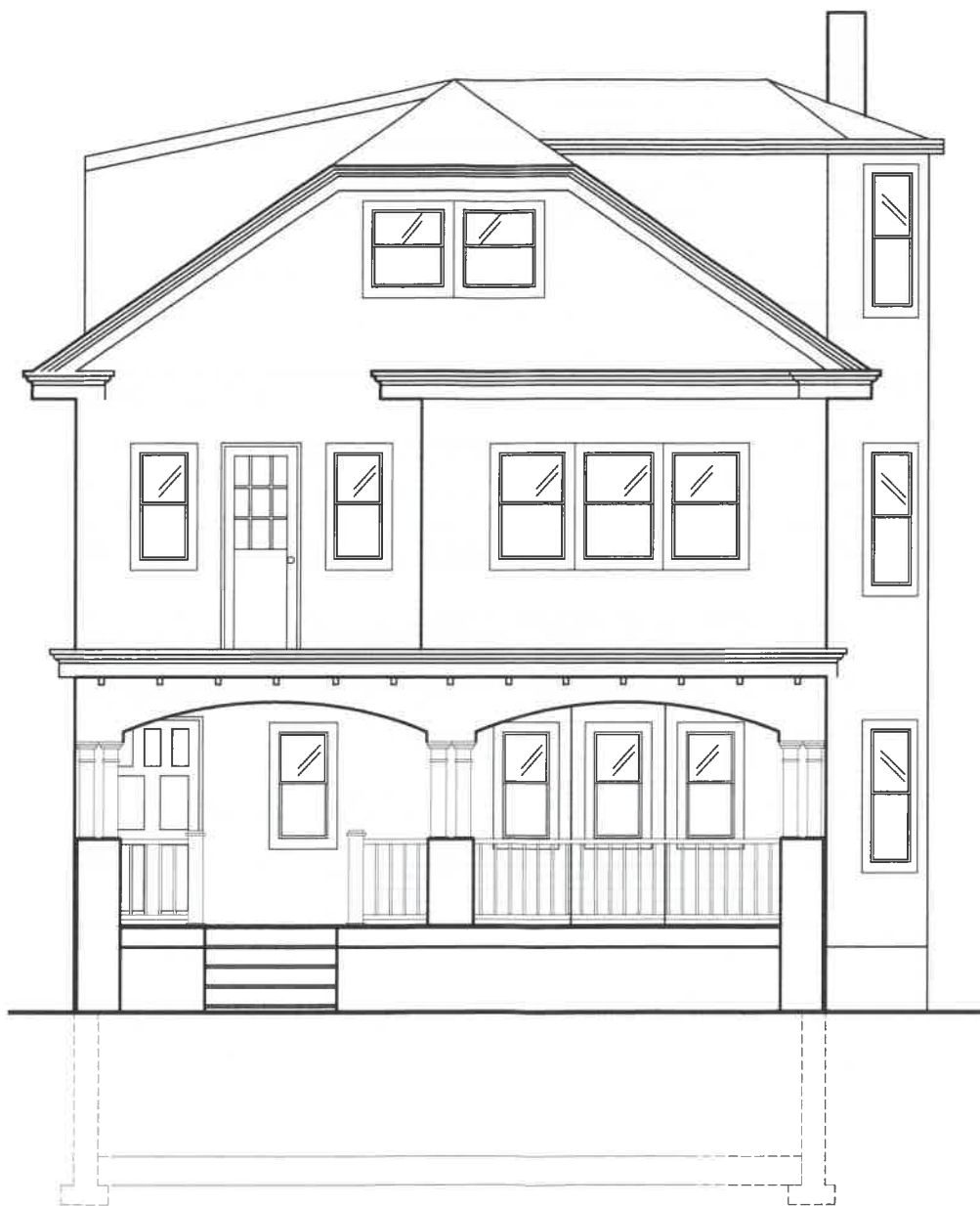
015 YGS

1/4" = 1'-0" JULY 08, 2022

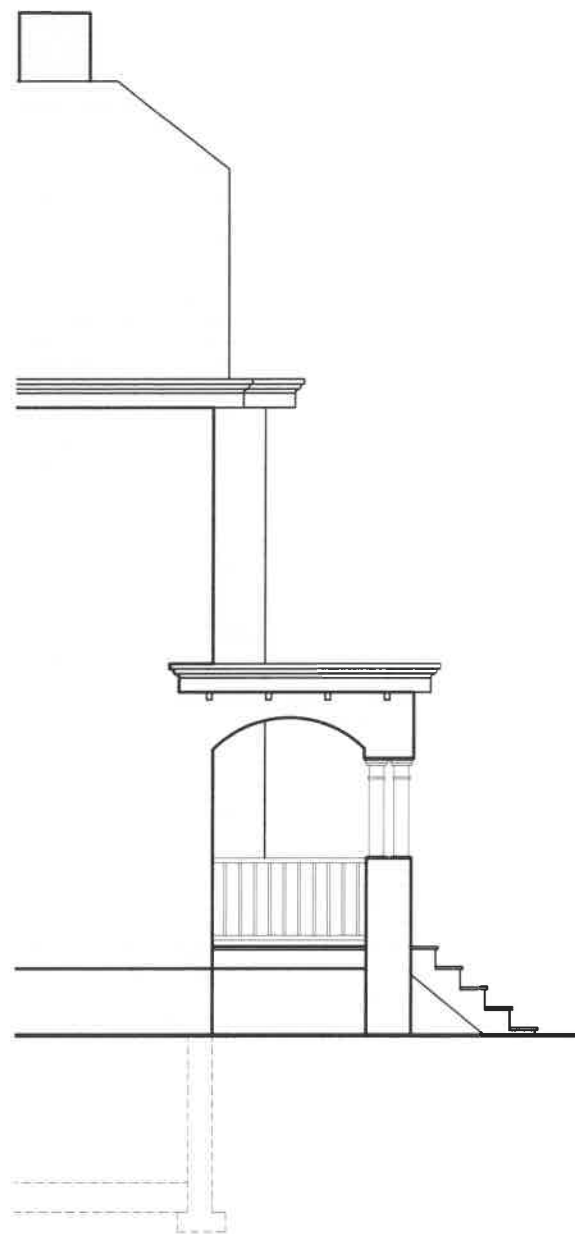
A-101



1 EXISTING SOUTH WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING FRONT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING NORTH EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



REV	DESCRIPTION	DATE

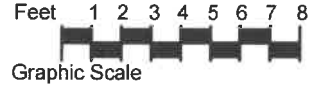
MILLER RESIDENCE

1-3 CHESTER RD
BELMONT, MA

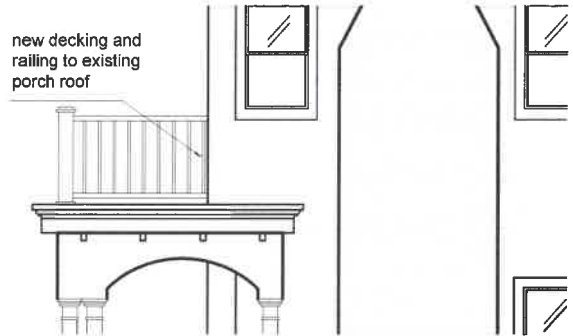
EXISTING FRONT
PORCH ELEVATIONS

015	YGS
1/4" = 1'-0"	JULY 08, 2022

A-102



FOR CONSTRUCTION
THE DRAWING IS A PROPERTY OF YGS DESIGN & DEVELOPMENT, LLC



1 PROPOSED SOUTH WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

2 PROPOSED FRONT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

3 PROPOSED NORTH EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



REV	DESCRIPTION	DATE

MILLER RESIDENCE

1-3 CHESTER RD
BELMONT, MA

PROPOSED FRONT
PORCH ELEVATIONS

DRAWING TITLE

015 YGS

1/4" = 1'-0"

JULY 08, 2022

A-103

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PROPOSED



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DEVELOPMENT
LLC

ARCHITECTURAL DESIGN &
REAL ESTATE DEVELOPMENT
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BELMONT, MA 02478
617-688-2985
WWW.YGSD.COM

Y
G
S
Design &
Development



REV	DESCRIPTION	DATE

MILLER RESIDENCE

1-3 CHESTER RD
BELMONT, MA

EXISTING AND PROPOSED
3D IMAGES

015	YGS
1/4" = 1' 0"	JULY 08, 2022

A-104

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