



Town of Belmont
Zoning Board of Appeals

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BELMONT, MA

2022 AUG 26 AM 10:57

APPLICATION FOR A SPECIAL PERMIT

Date: 7/12/22

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 127 WASHINGTON Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

LOT COVERAGE FOR SECOND FLOOR BALCONY

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Deirdre E. Walsh

Print Name

Deirdre E. Walsh

Address

127 Washington St
Belmont MA

Daytime Telephone Number

617-943-5030



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

June 30, 2022

Deirdre Walsh
127 Washington Street.
Belmont, MA 02478

RE: Denial to Construct Second Story Porch

Dear Ms. Walsh,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a second story balcony at 127 Washington Street located in a Single Family Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2.1 allows a maximum lot coverage of 25%.

1. The existing lot coverage is 25.2% and the proposed is 25.7%.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request one (1) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Gabriel Distler, Staff Planner, at (617) 993-2666 in order to begin the process.

Sincerely,
On Behalf of Glenn R. Clancy, P.E.
Inspector of Buildings

Ara Yogurtian
Assistant Director
Office of Community Development

Request for Special Permit Re: Lot Coverage

Submitted by
Jim Reilly and Deirdre Walsh

Owners of
127 Washington Street, Belmont MA 02478

We propose to add a second floor balcony to our home at 127 Washington Street in Belmont. The new deck covers approximately 27 square feet on the south elevation (rear) of the house. This balcony effectively replaces the large second floor deck that is being removed for the new permitted master suite. We would like to note that our intent is a simple balcony for two chairs and a bistro table and have endeavored to create a small design which is harmonious with the neighborhood and adjacent houses.

We have worked with Keith Miller of Miller Design, a local Belmont architect to review options for creating the balcony we wanted. We explored other options but felt that the addition at the rear of the house complying with all other zoning criteria was the best way to retain the look and massing of the existing homes on Washington Street.

The original building permit application was declined because the maximum required lot coverage in the single residence C zoning district is 25% under section 4.2.1. When the house was built in 1930 the structure covered 25.2% of the lot. Our proposed balcony located 10'-1" above grade covers an additional 27 square feet of lot increasing the intensity of the existing non-conformity .5% to 25.7% requiring a special permit. All other aspects of the new balcony conform with Belmont zoning requirements. The area where the balcony extends is located behind the house and is not visible from the street. We are asking the Zoning Board of Appeals to grant us a special permit allowing us to add this balcony to the second floor of our home. It is our belief that the proposed addition is in keeping with the character of the neighborhood and not detrimental to the community.

127 Washington Street



EXISTING HOUSE

153 Washington Street



NEIGHBOR'S HOUSE

133 Washington Street



NEIGHBOR’S HOUSE

154 Washington Street

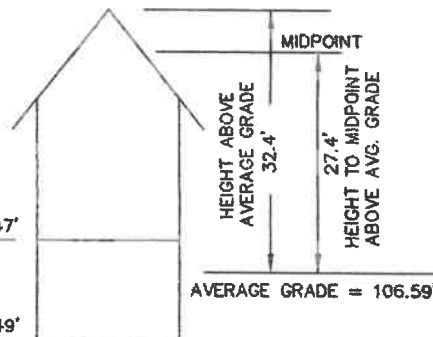


NEIGHBOR’S HOUSE



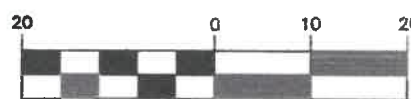
LOT = 6,772 S.F.±
 BUILDING = 1,712 S.F.±
 DRIVEWAY = 530 S.F.±
 EXISTING LOT COV. = 25.2%
 PROPOSED ADDITION = 28 S.F.±
 PROPOSED LOT COV.=25.7%
 EXISTING OPEN SPACE = 66.9%
 PROPOSED OPEN SPACE=66.5%

BASEMENT CEILING = 109.47'
 BASEMENT FLOOR = 101.49'



NOTES

1. SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 25694, PAGE 207.
2. SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN BOOK 402, PLAN 29.
3. SUBJECT PARCEL IS LOCATED IN ZONE SRC.
4. SUBJECT PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON PANEL 25017C0418E WITH AN EFFECTIVE DATE OF JUNE 4, 2010.
5. ONE PUBLIC SHADE TREE IS LOCATED WITHIN THE LIMITS OF THE PROPERTY FRONTAGE OF THE SUBJECT PROPERTY.
6. FRONT SETBACK=21.2+25.0=46.2; 46.2/2=23.1;
FRONT SETBACK=23.1'



(IN FEET)
 1 inch = 20 ft.

CERTIFIED PLOT PLAN
 IN BELMONT, MA

SCALE: 1"=20' JULY 7, 2022

DLJ GEOMATICS
 PROFESSIONAL LAND SURVEYING

276 NORTH STREET

WEYMOUTH, MA 02191

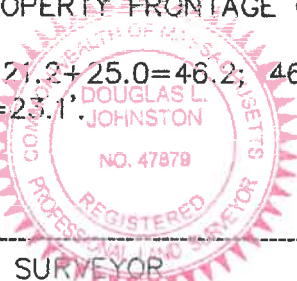
(781) 812-0457

127 WASHINGTON ST BELMONT.dwg

Dayle J. Johnston

PROFESSIONAL LAND SURVEYOR

7-7-22
DATE

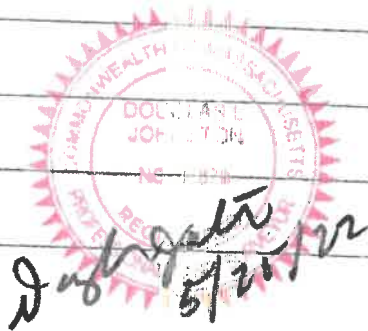


Zoning Compliance Check List
(Registered Land Surveyor)

Property Address: 127 Washington Street Zone: SRC
Surveyor Signature and Stamp: _____ Date: _____

	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000 SF.	6,772 S.F.	6,772 S.F.
Lot Frontage	75'	85.87'	85.87'
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	25%	25.2%	25.7%
Open Space	50%	66.9%	66.5%
Front Setback	23.1'	19.9'	19.9'
Side Setback	10'	19.8'	20.8'
Side Setback	10'	11.1'	11.1'
Rear Setback	26.25'	26.3'	29.7'
Building Height	34' to Ridge	32.4' to Ridge	32.4' to Ridge
	30' to Midpoint	27.4' to Midpoint	27.4' to Midpoint
Stories	2-1/2	2-1/2	2-1/2
1/2 Story Calculation	See basement calc. sheets.		

NOTES:



June 4, 2013



SPECIAL PERMIT PLANS
JULY 12, 2022

NEW 2ND FLOOR BALCONY

- DRAWING LIST
- A1 COVER SHEET
 - A2 PLANS
 - A3 ELEVATIONS
 - A4 ELEVATIONS
 - A5 ELEVATIONS

SYMBOL LEGEND

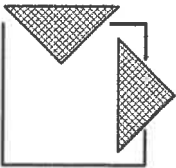
- WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL
- SECTION
- DOOR TAG
- WINDOW TAG
- RECESSED CAN LIGHT AS SELECTED BY OWNER
- WALL MOUNTED SCONCES AS SELECTED BY OWNER
- CEILING MOUNTED LIGHT AS SELECTED BY OWNER

PROJECT INFORMATION: PER ZONING AMENDMENTS DATED 11/26/2012
BELMONT ZONING DISTRICT SR-C:

FRONT YARD SETBACK: 19.9' (UNCHANGED - NON CONFORMING)
REAR YARD SETBACK: 26.25' (UNCHANGED - CONFORMING)
SIDE YARD SETBACK: 19.6' (UNCHANGED - CONFORMING)
FRONTAGE: 20'-0" (EXISTING 63'-3" COMPLIES)
FRONTAGE: 85.87' (UNCHANGED)
LOT AREA: 6772 SQFT (UNCHANGED)
MAX HEIGHT: 32.4'/2.5 STORIES (UNCHANGED - CONFORMING)

SEE SITE PLAN FOR NON-CONFORMING LOT COVERAGE INCREASE

MILLER
DESIGN LLC

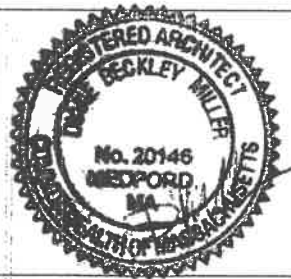


80 CLARK STREET
BELMONT, MA 02478
TEL: 617.993.3157

Architect:
Miller Design LLC
80 Clark Street
Belmont MA 02478
617-993-3157

Date: Issued for:

04/28/22 SPECIAL PERMIT
07/12/22 SPECIAL PERMIT



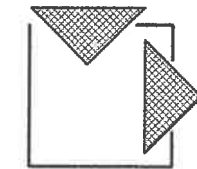
WALSH/REILLY RESIDENCE
127 WASHINGTON STREET
BELMONT, MA 02487

COVER SHEET

Sheet
Number:

A1

MILLER
DESIGN LLC

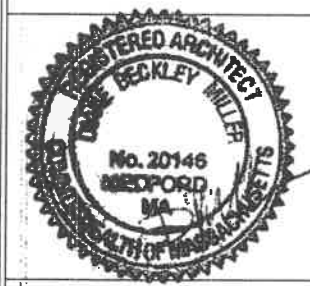


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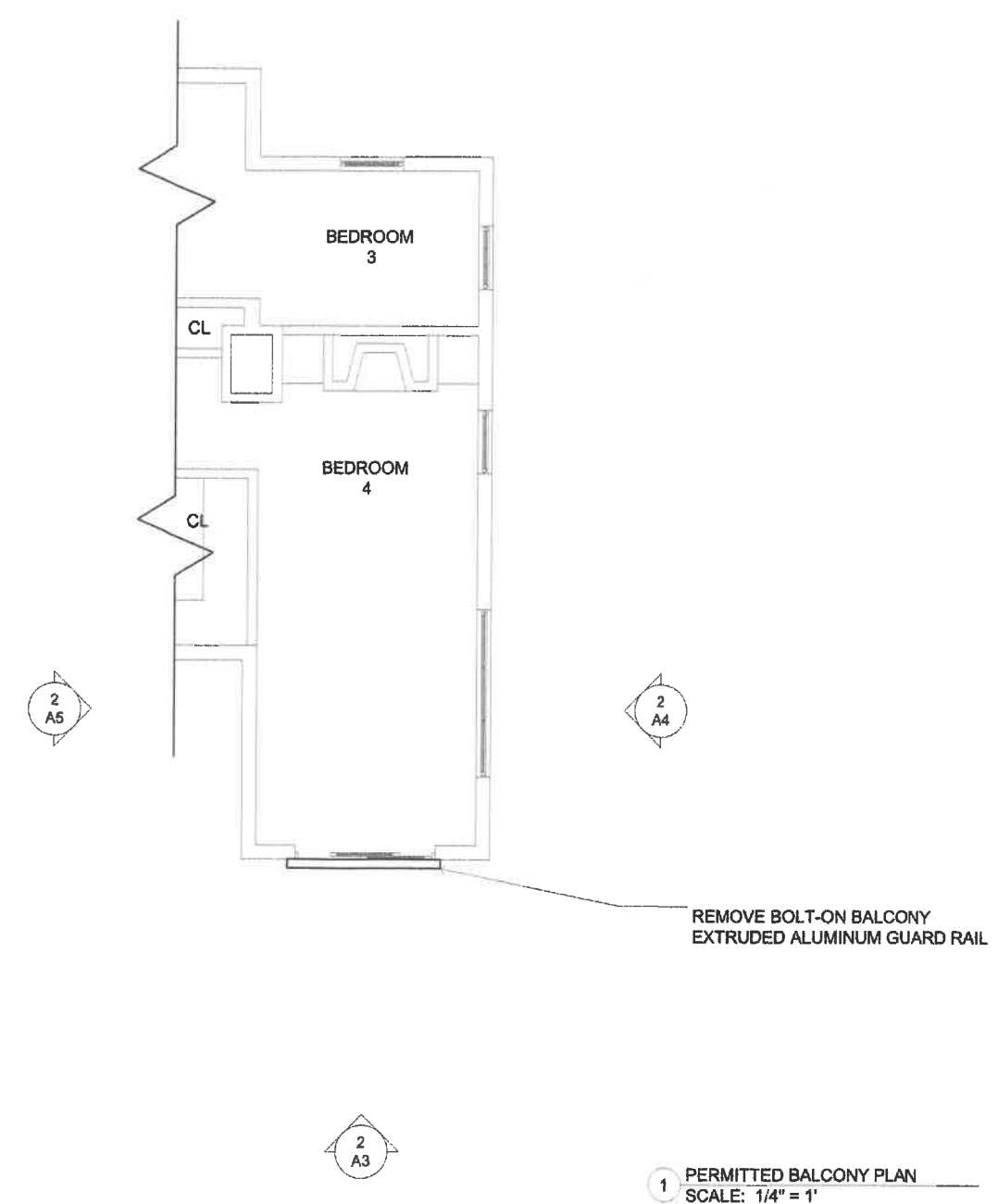
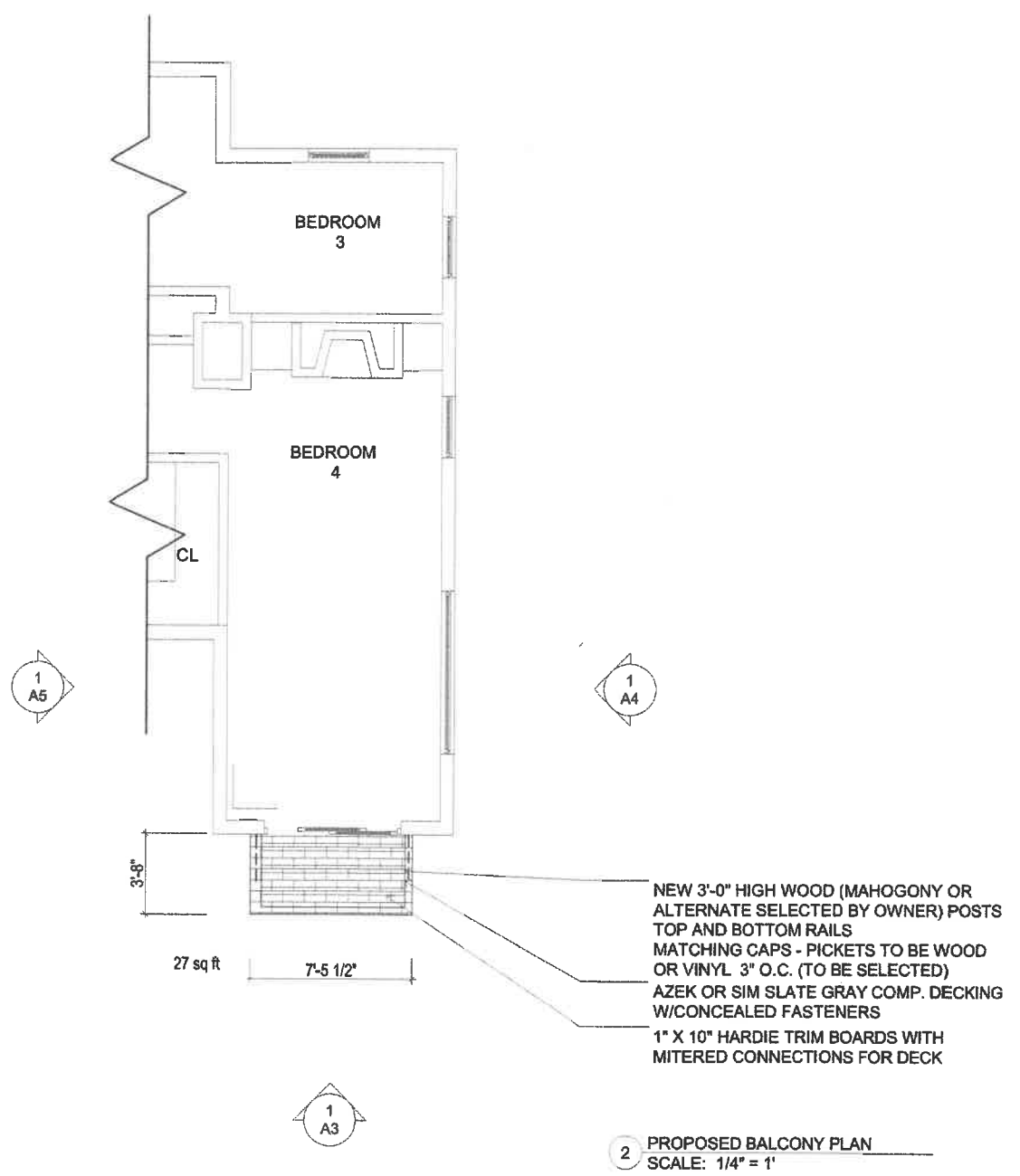


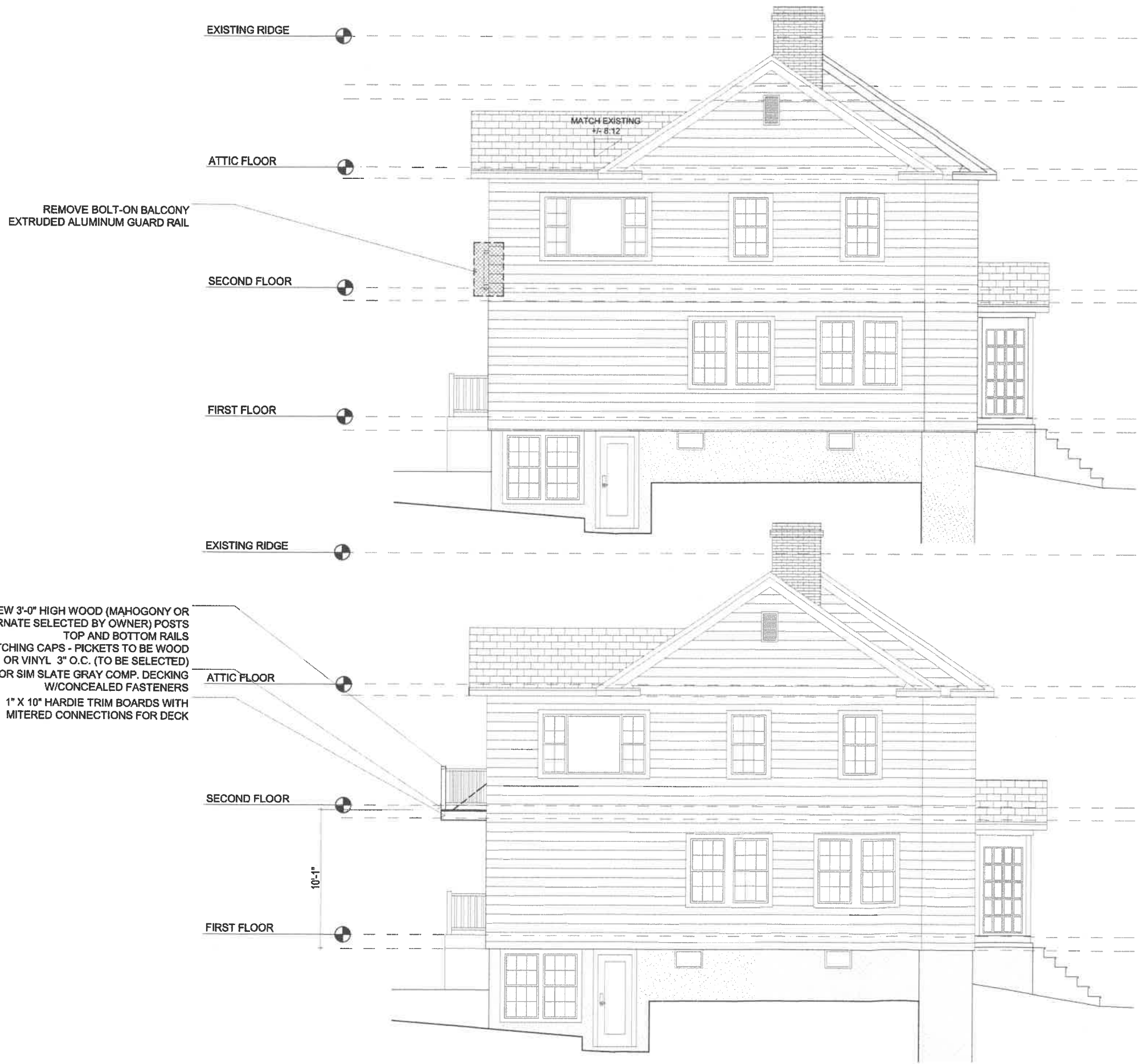
WALSH/REILLY RESIDENCE
127 WASHINGTON STREET
BELMONT, MA 02487

LAYOUT PLANS

Sheet
Number:

A2





2 PERMITTED WEST ELEVATION
SCALE: 1/4" = 1'

1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'

**MILLER
DESIGN LLC**

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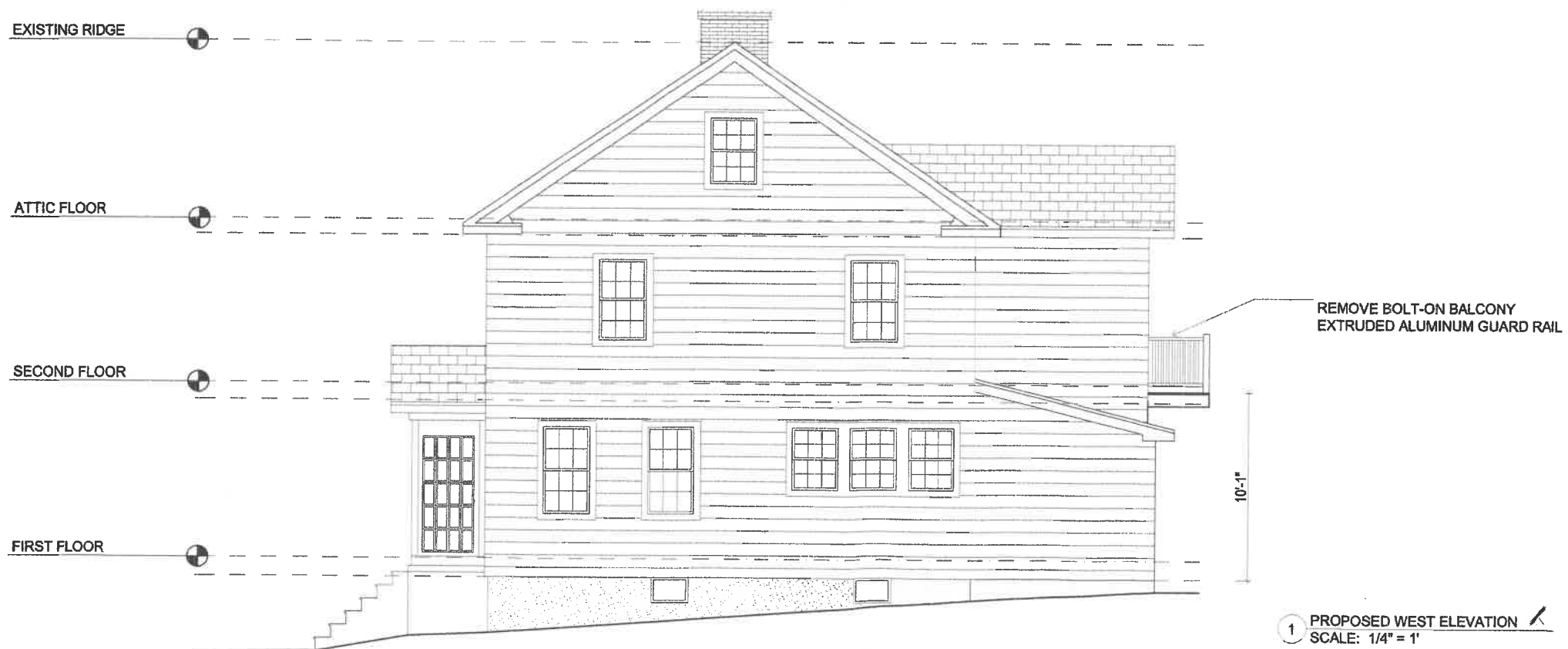


WALSH/REILLY RESIDENCE
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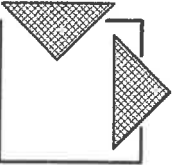
PROPOSED
ELEVATIONS

Sheet
Number:

A4



**MILLER
DESIGN LLC**



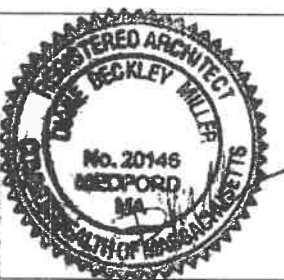
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WALSH/REILLY RESIDENCE
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**PROPOSED
ELEVATIONS**

Sheet
Number:

A5