



Town of Belmont  
Planning Board

**APPLICATION FOR A SPECIAL PERMIT**

Date: 6/29/2022

Planning Board  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

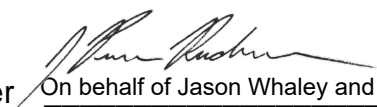
Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 29 Myrtle Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for \_\_\_\_\_ the construction of a one-story rear addition located in a Single Residence C Zoning District.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner  On behalf of Jason Whaley and Meredith Quinn

Print Name Penn Ruderman

Address 110 Gleasondale Rd  
Stow, MA 01775

Daytime Telephone Number 617-855-5277



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT

19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

June 2, 2022

Meredith M. Quinn and Jason M. Whaley  
29 Myrtle Street  
Belmont, MA 02478

RE: Denial to Construct a One-Story Rear Addition

Dear Ms. Quinn and Mr. Whaley,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a one-story rear addition at 29 Myrtle Street located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2 of the Zoning By-Law Dimensional Regulations require a minimum rear setback of 30.0'.

1. The existing rear setback to the structure is 18.2' and the proposed is 20.9'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request One (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, or Gabriel Distler, Planning Staff at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.  
Inspector of Buildings

June 29, 2022

Planning Board  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

**Application for Special Permit**

**Project Statement: 29 Myrtle Street - One Story Rear Addition**

To Whom It May Concern:

Our home at 29 Myrtle St. is a wonderful Victorian that we purchased in 2014. Despite being well maintained over the years, a number of aspects of the house no longer work for our family. We are seeking the following renovations:

- renovate and marginally expand the first floor in order to update the kitchen, and introduce a mudroom-type entrance in place of the current entry directly into our dining area.
- reconfigure the second floor so we can relocate laundry and so that our son and daughter can have separate bathrooms
- partially finish the basement as a family area, and to generally improve building systems including plumbing and electrical to modern standards.

In 1991, the previous owners built an extensive Zen garden that surrounds the house. The sustainability and beauty of the naturalized perennials is one of the great joys of the property. However, the garden is hardly visible from inside the house. Our plan will harmonize the first floor of the house with the garden so that the 30-year old mature plantings and stonework can be enjoyed from inside and out.

Our plan calls for extending only the rear portion of the first floor, and only to the limits of the existing deck and side porch. Furthermore, we plan to remove an existing shed that covers a back entrance to the basement. In doing so, the rear setback will actually be increased from 18.2' to 21.9', and the side setback unchanged. Our goal for the project is to maximize the visibility of the garden while minimizing the impact on the existing outdoor space. After completion, the rear portion of the house will be similar to other houses in the neighborhood that have kitchens in extended first floors - in particular the house next door. The proposed rear expansion is behind a fence line with limited visibility from the street. The front of the house will be unaltered, and from the street the only change will be in the back corner behind the existing porch.

Since moving to Belmont, we have loved putting down roots. Our kids are active participants in youth sports like the BYBA travel teams and Second Soccer, and Meredith was recently elected to Town Meeting. We are excited to make these improvements to our house so that it continues to suit our family as our kids grow through high school.

Sincerely,

Jason Whaley and Meredith Quinn

PROPOSED ADDITION 191±S.F.  
LESS PORCH/SHED/DECK T.B.R. 164±S.F.  
PROPOSED 1,433±S.F.

**ZONING DISTRICT: SC (SINGLE RESIDENCE C)**

EXISTING HOUSE 1,329±S.F. PROPOSED ADDITION+ROOF O.H. 211±S.F.  
GATE/DECK 77±S.F. LESS PORCH/SHED/DECK T.B.R. 164±S.F.  
EXISTING COVERAGE 1,406±S.F. PROPOSED 1,453±S.F.

**EXISTING LOT COVERAGE: 19.1%**  
**PROPOSED LOT COVERAGE: 19.8%**

EXISTING DRIVEWAYS & PARKING 753±S.F.

**EXISTING OPEN SPACE: 70.6%**

NO NEW DRIVEWAY OR PARKING IS PROPOSED.

**PROPOSED OPEN SPACE: 69.9%**

**NOTE:** PLAN IS FOR ZONING PURPOSES ONLY & NOT FOR CONSTRUCTION.

SEE PLANS OF 4/22/2022 BY PENN RUDERMAN ARCHITECTS, PENN RUDERMAN AIA,  
SEE COMMENTS OF 6/14/2022 BY O.C.D. ET. AL.

GOODNESS OF FIT, ADEQUACY OF DETAIL SOLE RESPONSIBILITY  
OF DESIGNER/CONTRACTOR. ZONING ANALYSIS BY OTHERS.  
ALL OVERHANGS, UTILITIES, TREES, FENCES & LANDSCAPING  
ARE NOT SHOWN.

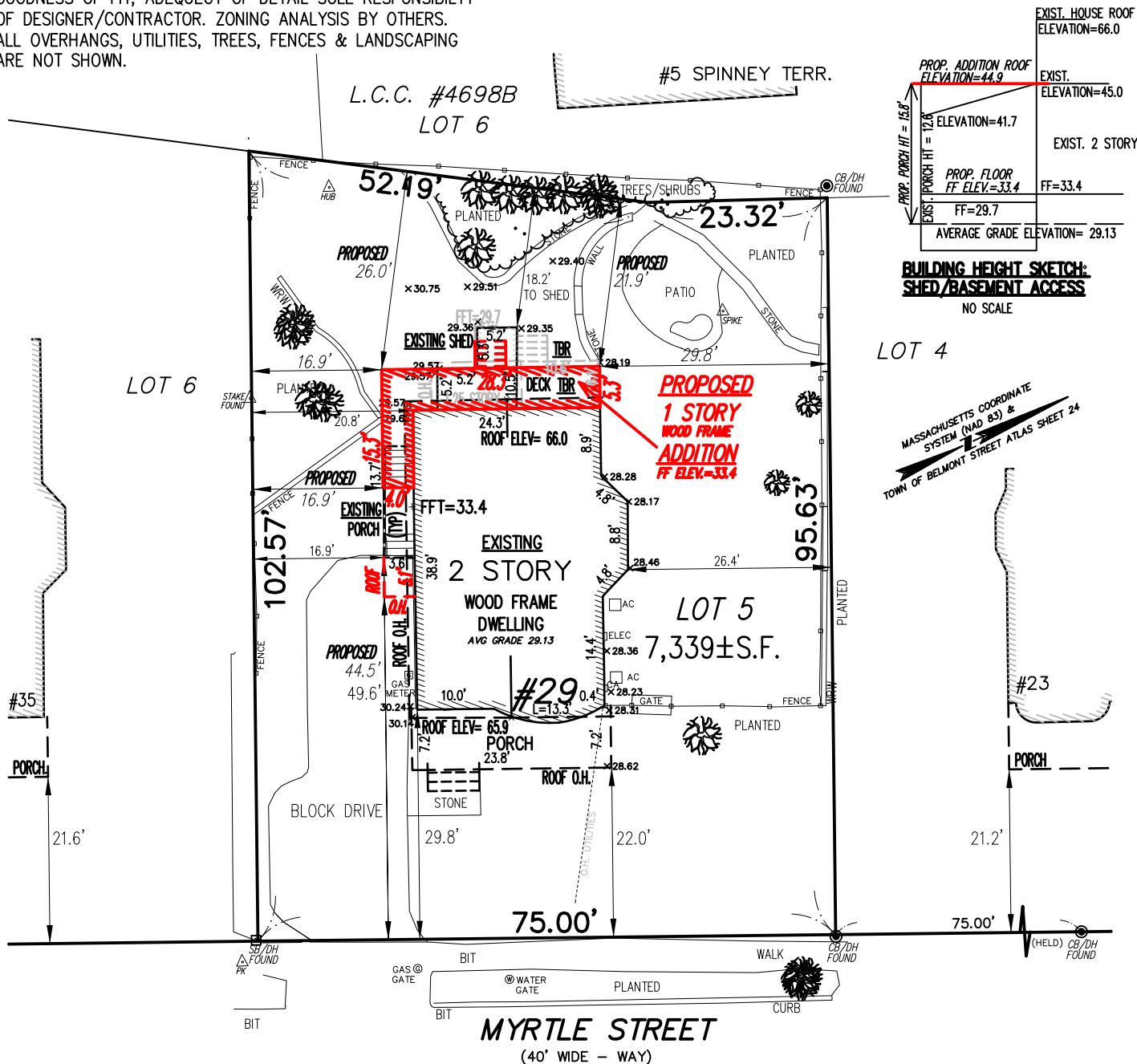
\*PER. SECTION 4.2.2: (A), 4, 4; (A) 6, EXISTING & PROPOSED  
SETBACKS ARE AS SHOWN AND AS CALCULATED.

	REQUIRED	EXIST.	PROP.
FRONT SETBACK:	25', 21.4'*	22.0'	58.6'
SIDE SETBACK:	10'	16.9'	16.9'
REAR SETBACK: *	25, 29.7'*	18.2'	21.9'
MAXI. LOT COVERAGE:	25%	19.1%	19.8%
MIN. LOT OPEN SPACE:	50%	70.6%	69.9%
BUILDING HT. 36' MAX.		36.9'	15.8'

**LEGEND**

AC CONDENSER/HVAC  
BIT BITUMINOUS  
CA CABLE UTILITY  
CB/DH CONC BOUND/DRILL HOLE  
CONC CONCRETE  
ELEC ELECTRIC UTILITY  
ELEV ELEVATION  
FFT FLOOR/TREAD ELEVATION  
L.C.C. LAND COURT CASE  
O.H. OVERHEAD/OVERHANG  
SB/DH STONE BOUND/DRILL HOLE  
S.F. SQUARE FEET(SQ.FT.)  
X12.34 SPOT ELEVATION

→3.4'→ EXISTING BUILDING SETBACK  
→1.2'→ PROPOSED SETBACK



TO MEREDITH M. QUINN, JASON M. WHALEY E & THE TOWN OF BELMONT;  
I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL  
KNOWLEDGE, INFORMATION AND BELIEF THAT:

THIS PLAN SHOWS THE RESULTS OF AN INSTRUMENT  
SURVEY OF THE PREMISES BY ME USING A LEICA TS 12  
TOTAL STATION ON FEBRUARY 21, 2022.

NO PUBLIC SHADE TREES ARE LOCATED WITHIN THE LIMITS OF THE  
OF THE PROPERTY FRONTAGE OF THE SUBJECT PROPERTY; EXCEPT  
AS SHOWN.

THE LOT IS NOT WITHIN WETLANDS OR WETLAND BUFFER ZONE.

**CERTIFIED PLOT PLAN  
PROPOSED ADDITION  
TO  
#29 MYRTLE STREET  
BELMONT, MASS.**

ASSESSORS MAP 24, PARCEL 35

MERIDITH M. QUINN & JASON M. WHALEY  
Owner: DEED REFERENCE: BOOK 63694 PAGE 551  
Loc. House No. #29  
Lot No. Lot 5, Plan 7 in Plan Book 87, August 17, 1894.  
App. No.  
Date FEBRUARY 21, 2022  
Scale 1" = 20'

DENNY LAND SURVEYING & ENGINEERING  
51 PARK DRIVE (617) 875-1725 BOSTON, MASS.

REV. 6/14/2022 AHJ Comments, Setbacks  
REV. 6/24/2022 Entry Roof O.H.

REV. 5/5/2022 AHJ - Exist. Bldg. Dims

# Zoning Compliance Check List

## (Registered Land Surveyor)

Property Address: 29 MYRTLE

Zone: SC

Surveyor Signature and Stamp: 

Date: 6/24/2022



	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000 S.F.	7,339 S.F.	—
Lot Frontage	75.0 min.	75.00'	—
Floor Area Ratio	—	0.51	0.54
Lot Coverage	25% max.	19.1%	19.8%
Open Space	50% min.	70.6%	69.9%
Front Setback	21.4'	22.0'	44.5'
Side Setback <sup>L</sup>	10'	16.9'	16.9'
Side Setback <sup>R</sup>	10'	26.4'	29.8'
Rear Setback	29.7'	18.2'	21.9'
Building Height	36'	36.9'	15.8'
Stories	2.5 max.	2	2
1/2 Story Calculation			

**NOTES:**

Proposed 1 story addition to 29 MYRTLE STREET (REAR). \* SEE PLOT PLAN AS REVISED FROM COMMENTS OF 6/24/2022 AND PLANS BY PETER RUDERMAN A.I.A.,



# 29 MYRTLE STREET

## BELMONT, MA 02478

### PROJECT INFORMATION

PROJECT DESCRIPTION:	Interior renovation of basement, first and second floor in existing single-family dwelling. Addition to first floor
CONSTRUCTION TYPE:	Light-framed wood construction
OCCUPANCY TYPE:	R1
ZONING DISTRICT:	SINGLE RESIDENCE C (SR-C)
GROSS EXISTING FLOOR AREA (INCL. BASEMENT):	3740 GSF
GROSS PROPOSED FLOOR AREA (INCL. BASEMENT):	3942 GSF
TOTAL GROSS FLOOR AREA INCREASE:	202 GSF OR 5.4% (<30% OF TOTAL GSF)

### CODE APPLICATION

#### MASSACHUSETTS 780 CMR 51 APPLICABILITY:

This project is regulated by MASSACHUSETTS 780 CMR Chapter 51 9th Edition Residential Code, as an addition and alteration of an existing single-family dwelling. No change of occupancy. The 9th Edition code is based on modified versions of the 2015 International Residential Code (IRC) as published by the International Code Council (ICC), subject to Massachusetts Amendments.

**780 CMR 51 R102.7.1 ADDITIONS, ALTERATIONS OR REPAIRS** *Additions, alterations* or repairs to any structure shall conform to the requirements for a new structure without requiring the exiting structure to comply with the requirements of this code unless otherwise stated. Additions, alterations, repairs and relocations shall not cause an existing structure to become unsafe or adversely affect the performance of the building.

**780 CMR 51 R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED.** *Basements, habitable attics* and every sleeping room shall have not less than one operable emergency escape and rescue opening. Where *basements* contain one or more sleeping rooms, an emergency escape and rescue opening shall be required in each sleeping room. Emergency escape and rescue openings shall open directly into a public way, or to a *yard* or court that opens to a public way.

**780 CMR 51 R310.6 ALTERATIONS OR REPAIRS OF EXISTING BASEMENTS.** An emergency escape and rescue opening is not required where existing *basements* undergo alterations or repairs.  
**EXCEPTION:** New sleeping rooms created in an existing basement shall be provided with an emergency escape and rescue opening in accordance with Section R301.1.

**780 CMR 51 R314.2.2 ALTERATIONS, REPAIRS AND ADDITIONS.** Where *alterations, repairs* or *additions* requiring a permit occur, or where one or more sleeping rooms are added or created in existing *dwellings*, the individual *dwelling unit* shall be equipped with smoke alarms located as required for new *dwellings*.

**780 CMR 51 R315.2.2 ALTERATIONS, REPAIRS AND ADDITIONS.** Where *alterations, repairs* or *additions* requiring a permit occur, or where one or more sleeping rooms are added or created in existing *dwellings*, the individual *dwelling unit* shall be equipped with carbon monoxide alarms located as required for new *dwellings*.

**780 CMR 9305.1 ALTERATION OF EXISTING SPACES, GENERAL REQUIREMENTS:** Alterations shall meet the requirements of 780 CMR 9304, as applicable, and the requirements of 780 CMR 9305.1. All new rooms or spaces created by remodeling existing spaces and the access and egress to and from such spaces, including emergency egress when required, shall meet the minimum requirements of 780 CMR 51.00 through 99.00 for new construction to the fullest extend practicable and shall be provided with light and ventilation in accordance with the provisions for new construction.

**780 CMR 9305.5 EXISTING STAIRWAYS, STAIRS, AND LANDINGS:** Existing stairways, landings, handrails and guardrails are permitted to remain in service without modification unless such stairs, handrails or guardrails are structurally unsound or otherwise unsafe or unserviceable. If replaced, existing stairs may be reconstructed without necessarily requiring the stairway dimension to be altered.

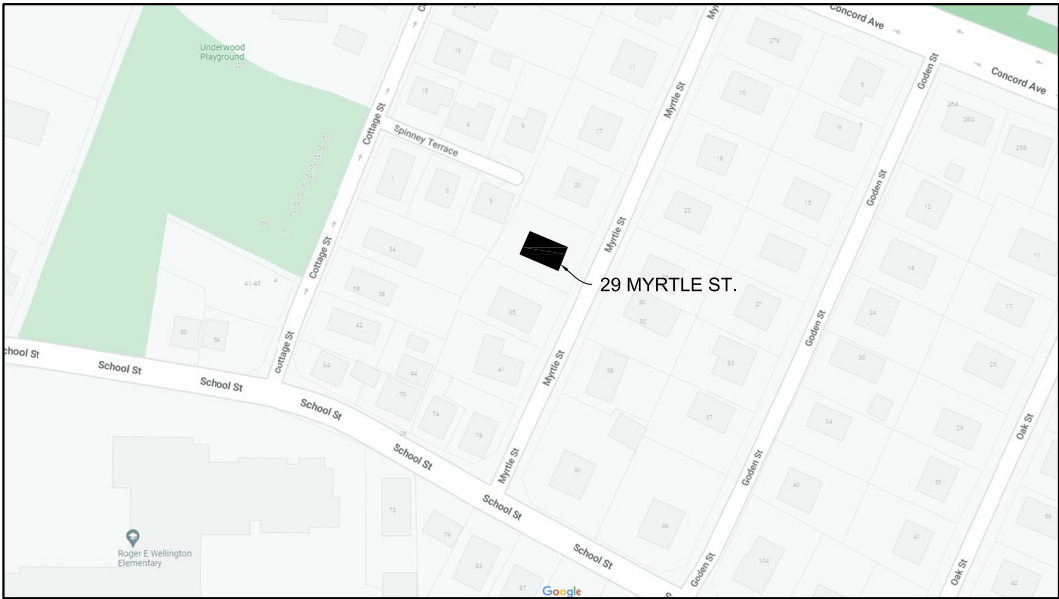
#### MASSACHUSETTS 521CMR APPLICABILITY:

Renovation is exempt from 521 CMR application based upon the following provisions:  
Less than three units (521 CMR 9.1)

**521 CMR 9.1 GENERAL:** *A multiple dwelling* is considered to be either a lodging *facility* or a residential *facility* for hire, rent, lease, or sale containing **three or more dwelling units in a building**. Facilities used for temporary accommodations are considered *transient lodging facilities*.

#### HISTORIC BEACON HILL DISTRICT LANDMARKS REVIEW:

Renovation is exempt from Beacon Hill Landmarks Commission review, as scope of project includes no exterior work visible from public way.



VICINITY MAP

### LIST OF ABBREVIATIONS

ABBREVIATION	TERM	ABBREVIATION	TERM	ABBREVIATION	TERM
A.F.F.	ABOVE FINISHED FLOOR	GYP.	GYPSUM	REF.	REFRIGERATOR
ADJ.	ADJUSTABLE	G.W.B.	GYPSUM WALL BOARD	REG.	REGISTER
A/C	AIR CONDITIONING	H.V.A.C.	HEATING, VENTILATING, AIR CONDITIONING	REINF.	REINFORCE
&	AND			REQD.	REQUIRED
APPROX.	APPROXIMATE	HORIZ.	HORIZONTAL	REV.	REVISE (REVISION)
ARCH.	ARCHITECT, ARCHITECTURAL	IN.	INCH(ES)	R.	RISER
@	AT	INCL.	INCLUDE	R.D.	ROOF DRAIN
BASEBD.	BASEBOARD	I.A.	INSIDE DIAMETER	RM.	ROOM
BTWN.	BETWEEN	INSUL.	INSULATION	R.O.	ROUGH OPENING
BOT.	BOTTOM	INT.	INTERIOR	SCHED.	SCHEDULE
B.O.	BOTTOM OF	KIT.	KITCHEN	SLNT.	SEALANT
BLDG.	BUILDING	LAV.	LAVATORY	SECT.	SECTION
BYND.A.	BEYOND	LT.	LIGHT	SEL.	SELECT
CAB.	CABINET	LTG.	LIGHTING	SHT.	SHEET
CLG.	CEILING	MFR.	MANUFACTURER	SIM.	SIMILAR
CTR.	CENTER	M.O.	MASONRY OPENING	S.	SOUTH
CONST.	CONSTRUCTION	MAT.	MATERIAL	SPEC.	SPECIFICATION(S)
CONT.	CONTINUOUS	MECH.	MECHANICAL	SQ.	SQUARE
DIM.	DIMENSION	MEMB.	MEMBRANE	S.F.	SQUARE FEET
DW.	DISHWASHER	MTL.	METAL	S.S.	STAINLESS STEEL
DR.	DOOR	MIN.	MINIMUM	STD.	STANDARD
DN.	DOWN	MISC.	MISCELLANEOUS	STL.	STEEL
DWG.	DRAWING	MTD.	MOUNTED	STRPG.	STRAPPING
EA.	EACH	MUL.	MULLION	ST.	STREET
E.	EAST	N.	NORTH	STRUCT.	STRUCTURAL
ELEC.	ELECTRICAL	N.I.A.	NOT IN CONTRACT	SUBFLR.	SUBFLOOR
EL.	ELEVATION	N.T.S.	NOT TO SCALE	SURF.	SURFACE
EQ.	EQUAL	NO.	NUMBER	SUSP(D).	SUSPEND(ED)
EQUIP.	EQUIPMENT	O.C.	ON CENTER	SYMB.	SYMBOL
EST.	ESTIMATE	OPNG.	OPENING	SYS.	SYSTEM
(E)	EXISTING	OPER.	OPERATION	TEL.	TELEPHONE
EXIST.	EXISTING	OVHD.	OVERHEAD	TEMP.	TEMPORARY
EXT.	EXTERIOR	PT(D).	PAINT(ED)	THK.	THICK(NESS)
F.O.	FACE OF	PR.	PAIR	THRU.	THROUGH
F.O.F.	FACE OF FINISH	PNL.	PANEL	T.B.D.	TO BE DETERMINED
F.O.S.	FACE OF STUD	PAR.	PARAPET	T&G	TONGUE AND GROOVE
FT.	FEET/FOOT	PERF.	PERFORATED	T&B	TOP AND BOTTOM
FIN.	FINISH	PERP.	PERPENDICULAR	T.O.	TOP OF
F.F.	FINISHED FLOOR	PLAS.	PLASTER	T.O.W.	TOP OF WALL
F.P.	FIREPLACE	PL.	PLATE	TRK.	TRACK
FIXT.	FIXTURE	PLMBG.	PLUMBING	TD.	TREAD
FLASHG.	FLASHING	PLYWD.	PLYWOOD	TYP.	TYPICAL
FLEX.	FLEXIBLE	PNT.	POINT	UNFIN.	UNFINISHED
FL.	FLOOR	#	POUND	U.N.O.	UNLESS NOTED OTHERWISE
FLRG.	FLOORING	LBS.	POUNDS	V.B.	VAPOR BARRIER
FRAMG.	FRAMING	PREFAB.	PREFABRICATED	VEN.	VENEER
FURN.	FURNISH(ED)	P.T.	PRESSURE TREATED	VENT.	VENTILATION
F.B.O.	FURNISHED BY OTHERS	PROJ(D)(G).	PROJECT, ED, ING	V.I.F.	VERIFY IN FIELD
FUT.	FUTURE	PROP.	PROPERTY	VERT.	VERTICAL
GAL.V.	GALVANIZED	QUAL.	QUALITY	W/D	WASHER/DRYER
GA.	GAUGE	QUAN.	QUANTITY	WT.	WEIGHT
GEN.	GENERAL	QTR.	QUARTER	WIND.	WINDOW
G.C.	GENERAL CONTRACTOR	RAD.	RADIUS	W/	WITH
GL.	GLASS	REC.	RECESSED	W/O	WITHOUT
GR.	GRADE	RECT.	RECTANGULAR	WD.	WOOD
				W.P.	WORKING POINT

## SHEET INDEX

G0.00	Title Sheet
D1.01	Existing Basement Plan
A1.01	Proposed Basement Plan
D1.02	Existing First Floor Plan
A1.02	Proposed First Floor Plan
D1.03	Existing Second Floor Plan
A1.03	Proposed Second Floor Plan
D2.01	Existing East Elevation
A2.01	Proposed East Elevation
D2.02	Existing South Elevation
A2.02	Proposed South Elevation
D2.03	Existing West Elevation
A2.03	Proposed West Elevation
D2.04	Existing North Elevation
A2.04	Proposed North Elevation

### SYMBOLS KEY

	SECTION DRAWING
	ELEVATION DRAWING
	ELEVATION DRAWINGS
	DETAIL / ENLARGED DRAWING
	DETAIL CALLOUT BUBBLE
	SPOT ELEVATION
	ELEVATION DATUM
	NORTH
	CENTER LINE
	ROOM NUMBER
	WINDOW NUMBER
	DOOR NUMBER
	WALL TYPE
	CEILING MOUNTED COMBINATION SMOKE DETECTOR / CO MONITOR
	COMBINED RECESSED LIGHT/ EXHAUST FAN
	WALL-MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	CEILING-MOUNTED LIGHT FIXTURE

PROJECT NAME:

29 MYRTLE

PROJECT ADDRESS:

29 MYRTLE STREET  
BELMONT, MA 02478

CLIENT

JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT

#### OPRCH

THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

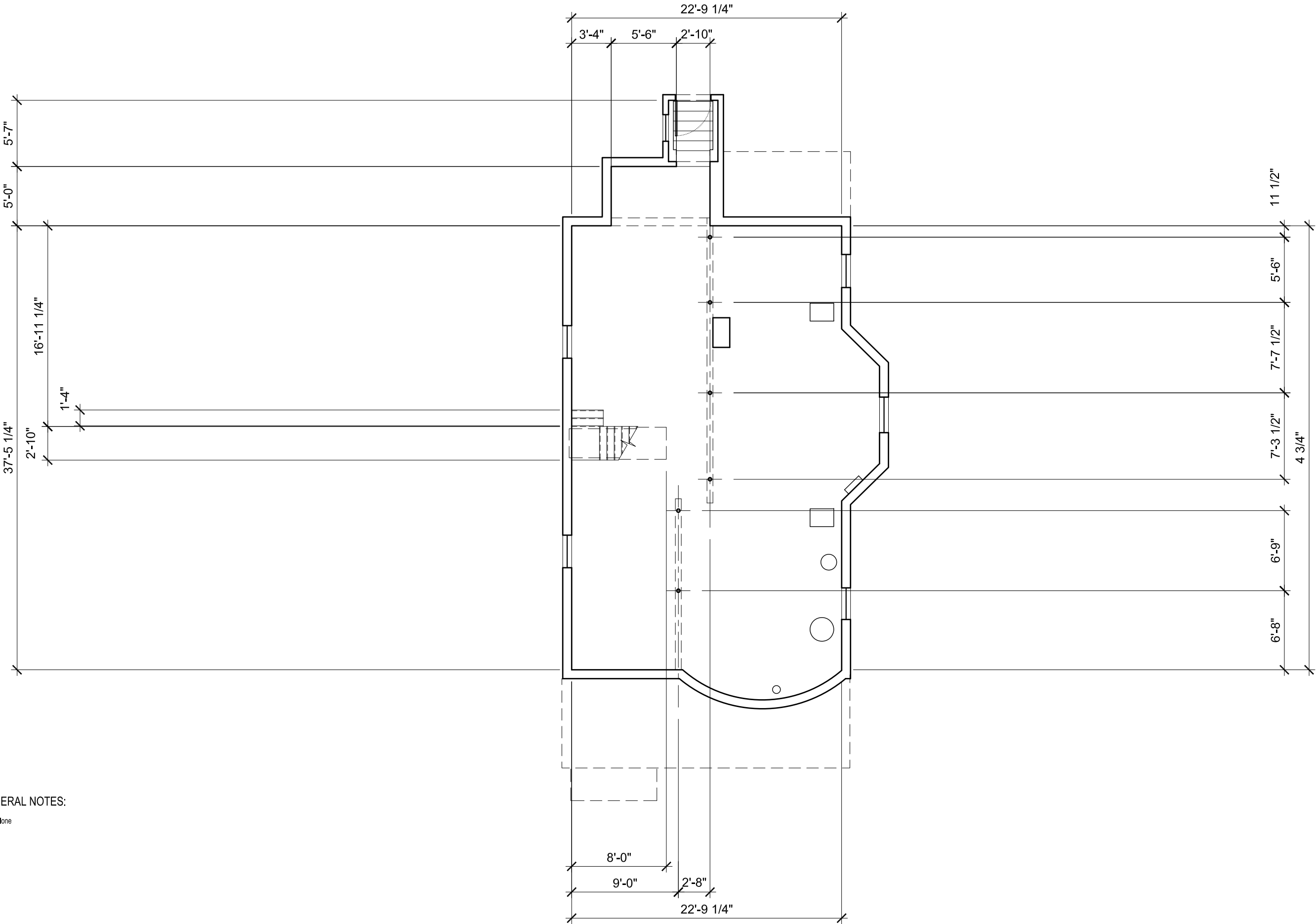
CONTRACTOR

STRUCTURAL ENGINEER

DATE: JUN 22, 2022

TITLE SHEET

G0.00



GENERAL NOTES:  
A. None

PROJECT NAME:  
29 MYRTLE

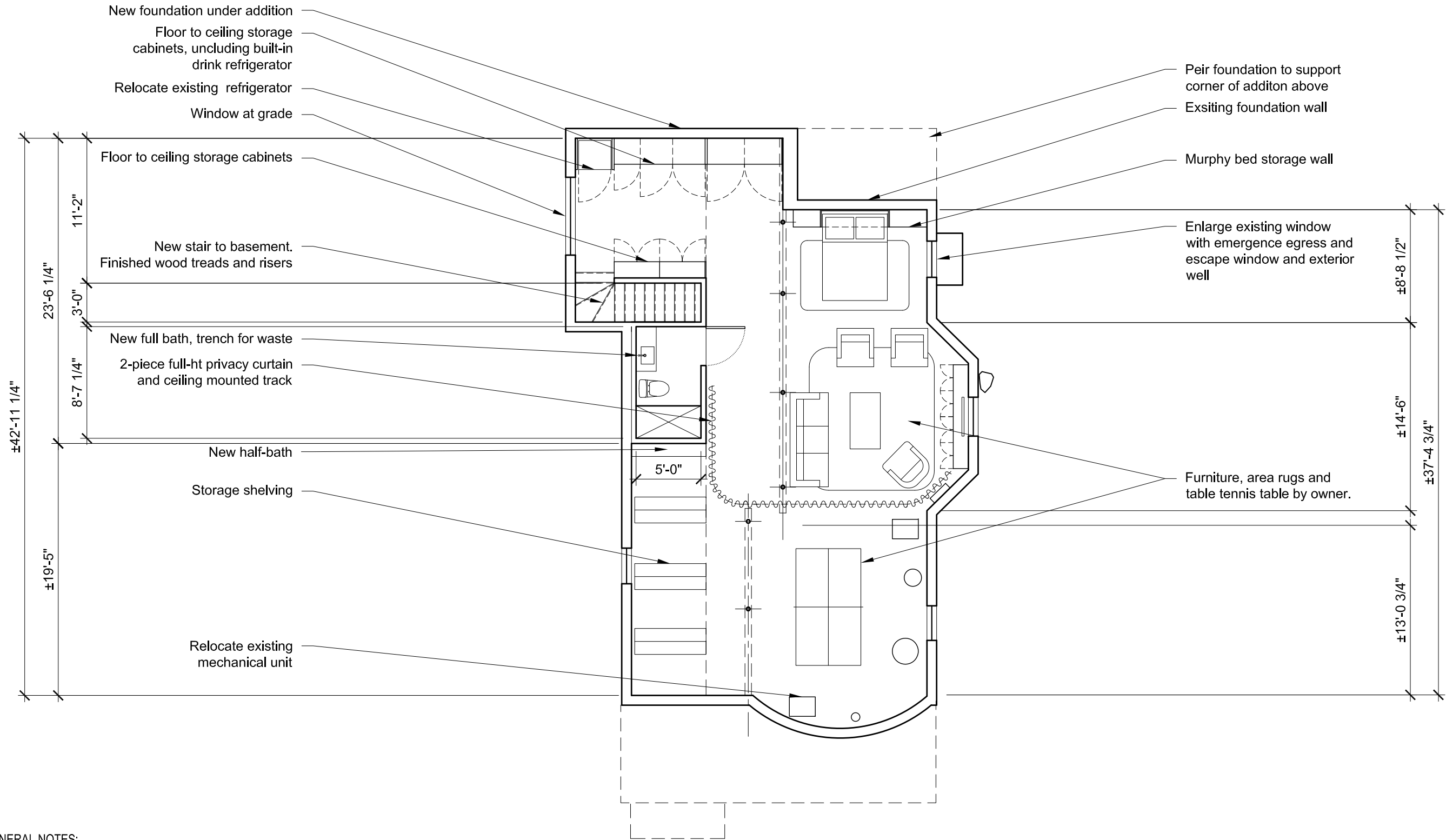
PROJECT ADDRESS:  
29 MYRTLE STREET  
BELMONT, MA 02478

CLIENT  
JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT  
**OPRCH**  
THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

CONTRACTOR

STRUCTURAL ENGINEER



GENERAL NOTES:

- A. Remove existing plaster and lath ceiling throughout basement. Replace with new GWB. Reroute utilities into existing joist bays wherever possible. Locations of dropped soffits to be coordinated with Architect.
- B. Trench for waste line serving new full bathroom
- C. Pour new finish concrete topping slab throughout

PROJECT NAME:

29 MYRTLE

PROJECT ADDRESS:

29 MYRTLE STREET  
BELMONT, MA 02478

CLIENT

JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT

**OPRCH**  
THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

CONTRACTOR

STRUCTURAL ENGINEER

DATE: JUN 22, 2022

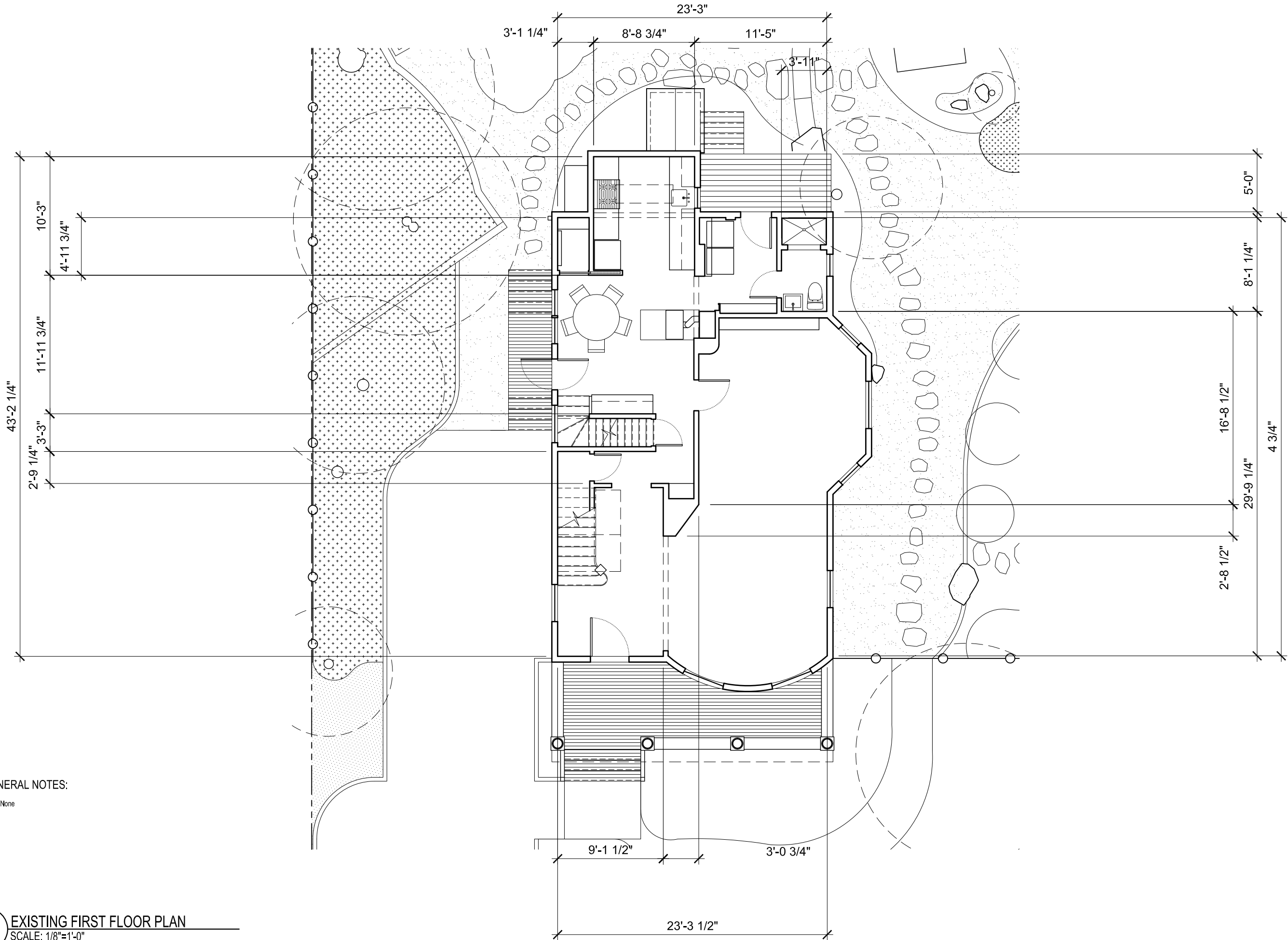
PROPOSED  
BASEMENT PLAN

A1.01

© OPRCH



GENERAL NOTES:  
A. None



PROJECT NAME:  
**29 MYRTLE**

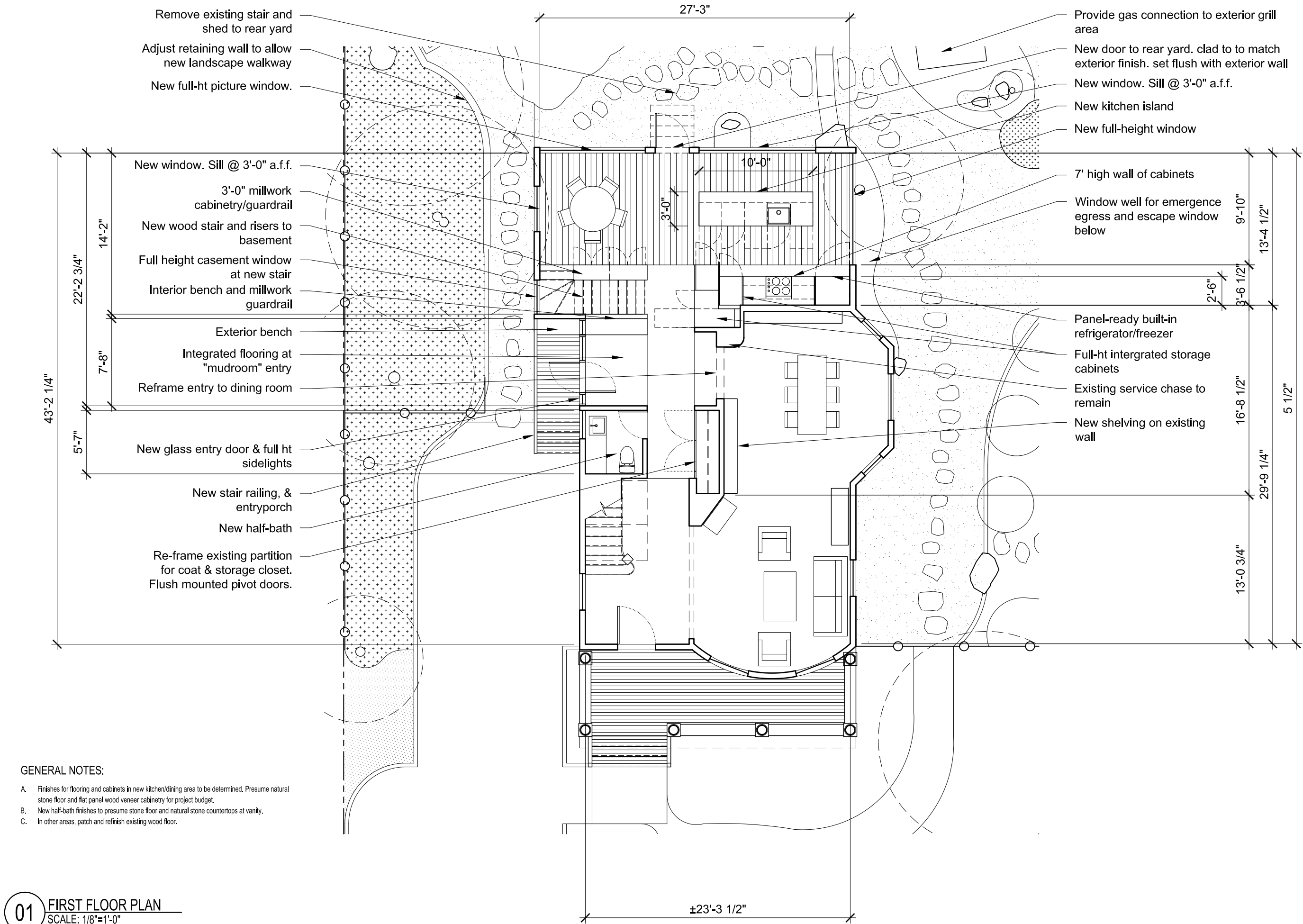
PROJECT ADDRESS:  
**29 MYRTLE STREET  
BELMONT, MA 02478**

CLIENT  
JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT  
**OPRCH**  
THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

CONTRACTOR

STRUCTURAL ENGINEER



PROJECT NAME:  
**29 MYRTLE**

PROJECT ADDRESS:  
**29 MYRTLE STREET  
BELMONT, MA 02478**

CLIENT  
JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT  
**OPRCH**  
THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

CONTRACTOR

STRUCTURAL ENGINEER

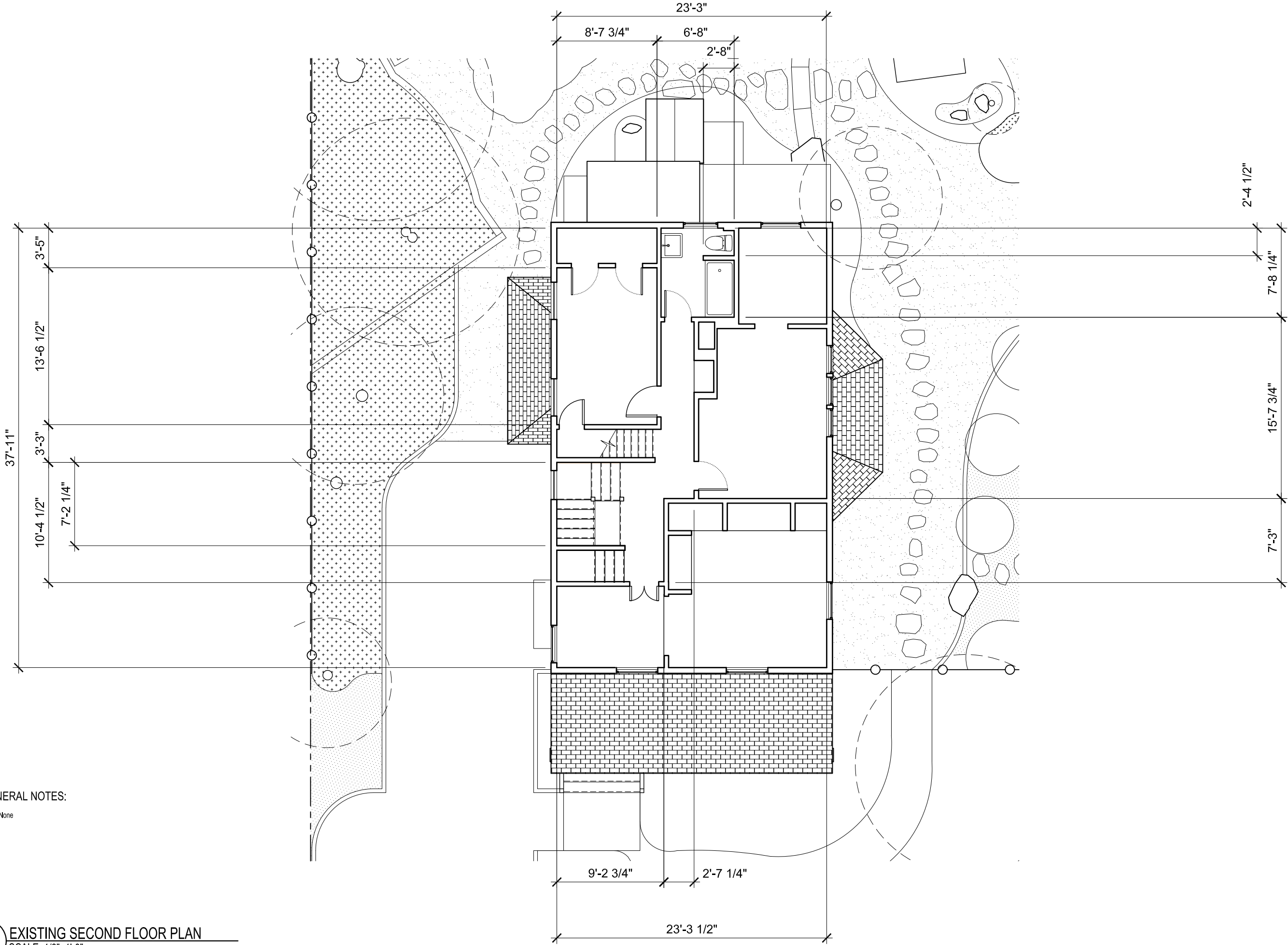
DATE: JUN 22, 2022

PROPOSED  
1ST FLOOR PLAN

**A1.02**

© OPRCH

GENERAL NOTES:  
A. None



PROJECT NAME:  
29 MYRTLE

PROJECT ADDRESS:  
29 MYRTLE STREET  
BELMONT, MA 02478

CLIENT  
JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT  
**OPRCH**  
THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

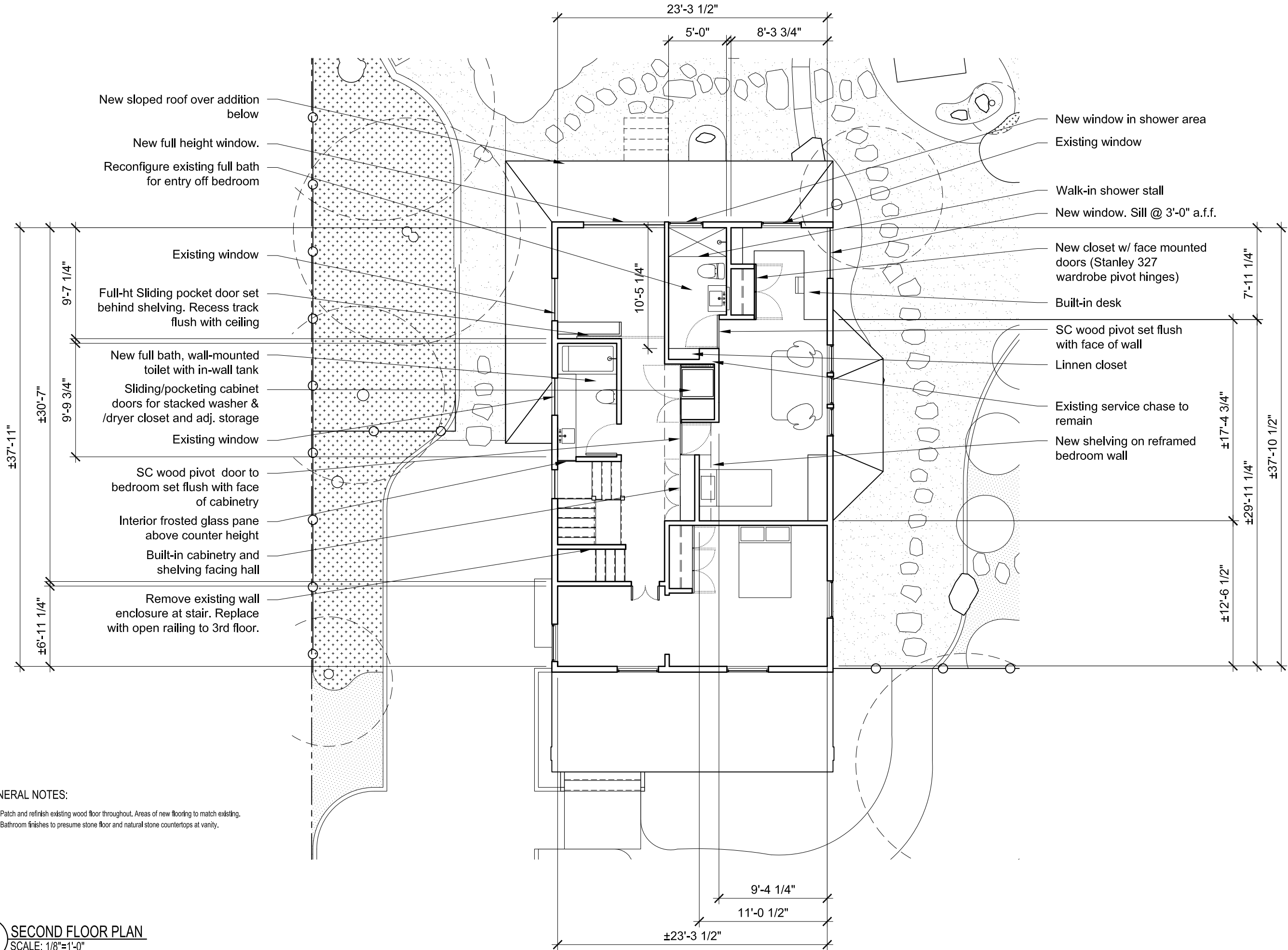
CONTRACTOR

STRUCTURAL ENGINEER

GENERAL NOTES:

A. Patch and refinish existing wood floor throughout. Areas of new flooring to match existing.

B. Bathroom finishes to presume stone floor and natural stone countertops at vanity.



PROJECT NAME:  
29 MYRTLE

PROJECT ADDRESS:  
29 MYRTLE STREET  
BELMONT, MA 02478

CLIENT  
JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT  
**OPRCH**  
THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

CONTRACTOR

STRUCTURAL ENGINEER

PROJECT NAME:

29 MYRTLE

PROJECT ADDRESS:

29 MYRTLE STREET  
BELMONT, MA 02478

CLIENT

JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT

**OPRCH**  
THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

CONTRACTOR

STRUCTURAL ENGINEER

DATE: JUN 22, 2022

EXISTING  
EAST ELEVATION

D2.01

© OPRCH

THIRD FLOOR  
EL= 51'-9 1/4"

SECOND FLOOR  
EL= 43'-3 1/4"

FIRST FLOOR  
EL= 33'-4 3/4"

BASEMENT  
EL= 24'-8"

01 EAST ELEVATION  
SCALE: 1/8"=1'-0"



PROJECT NAME:

29 MYRTLE

PROJECT ADDRESS:

29 MYRTLE STREET  
BELMONT, MA 02478

CLIENT

JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT

**OPRCH**

THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

CONTRACTOR

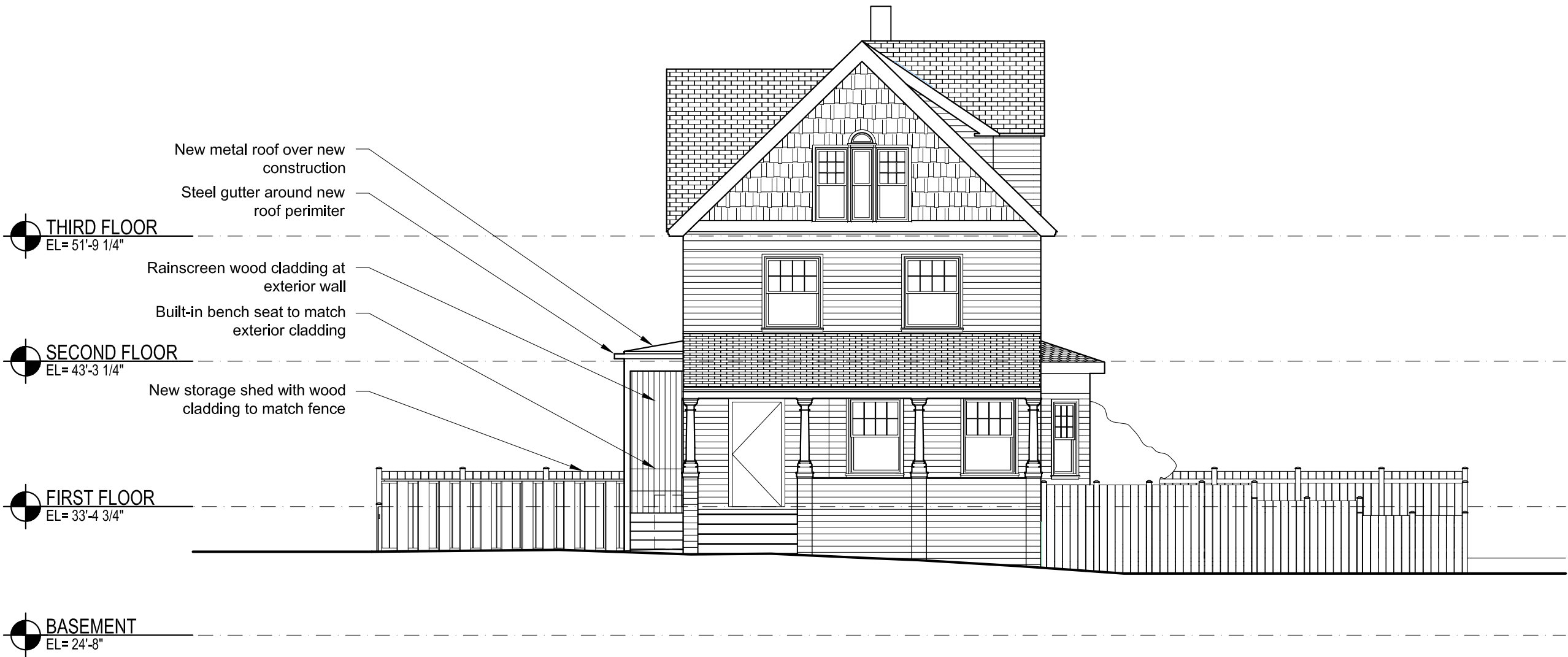
STRUCTURAL ENGINEER

DATE: JUN 22, 2022

PROPOSED  
EAST ELEVATION

A2.01

© OPRCH





PROJECT NAME:

29 MYRTLE

PROJECT ADDRESS:

29 MYRTLE STREET  
BELMONT, MA 02478

CLIENT

JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT

**OPRCH**  
THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

CONTRACTOR

STRUCTURAL ENGINEER

DATE: JUN 22, 2022

EXISTING  
SOUTH ELEVATION

D2.02

© OPRCH



THIRD FLOOR  
EL = 51'-9 1/4"

SECOND FLOOR  
EL = 43'-3 1/4"

FIRST FLOOR  
EL = 33'-4 3/4"

BASEMENT  
EL = 24'-8"

01 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

PROJECT NAME:

29 MYRTLE

PROJECT ADDRESS:

29 MYRTLE STREET  
BELMONT, MA 02478

CLIENT

JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT

**OPRCH**

THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

CONTRACTOR

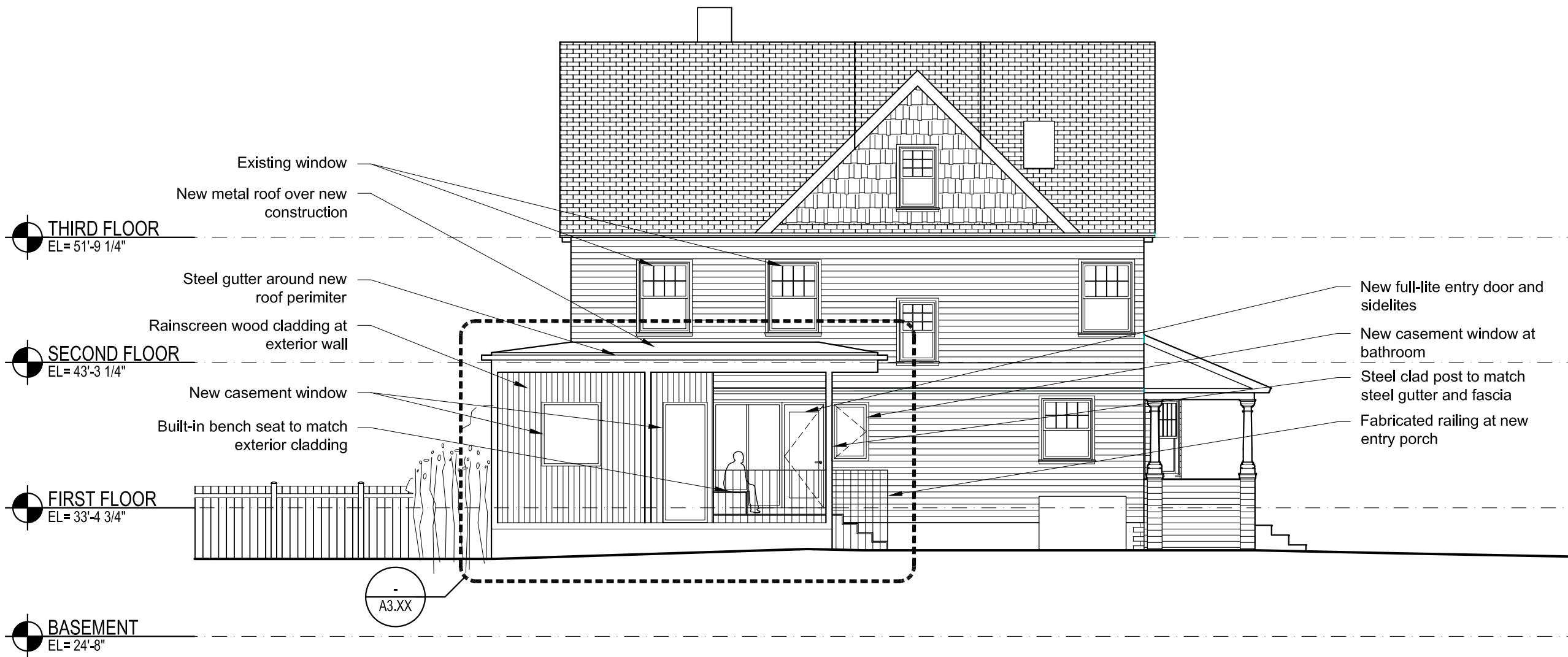
STRUCTURAL ENGINEER

DATE: JUN 22, 2022

PROPOSED  
SOUTH ELEVATION

A2.02

© OPRCH



PROJECT NAME:

29 MYRTLE

PROJECT ADDRESS:

29 MYRTLE STREET  
BELMONT, MA 02478

CLIENT

JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT

**OPRCH**

THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

CONTRACTOR

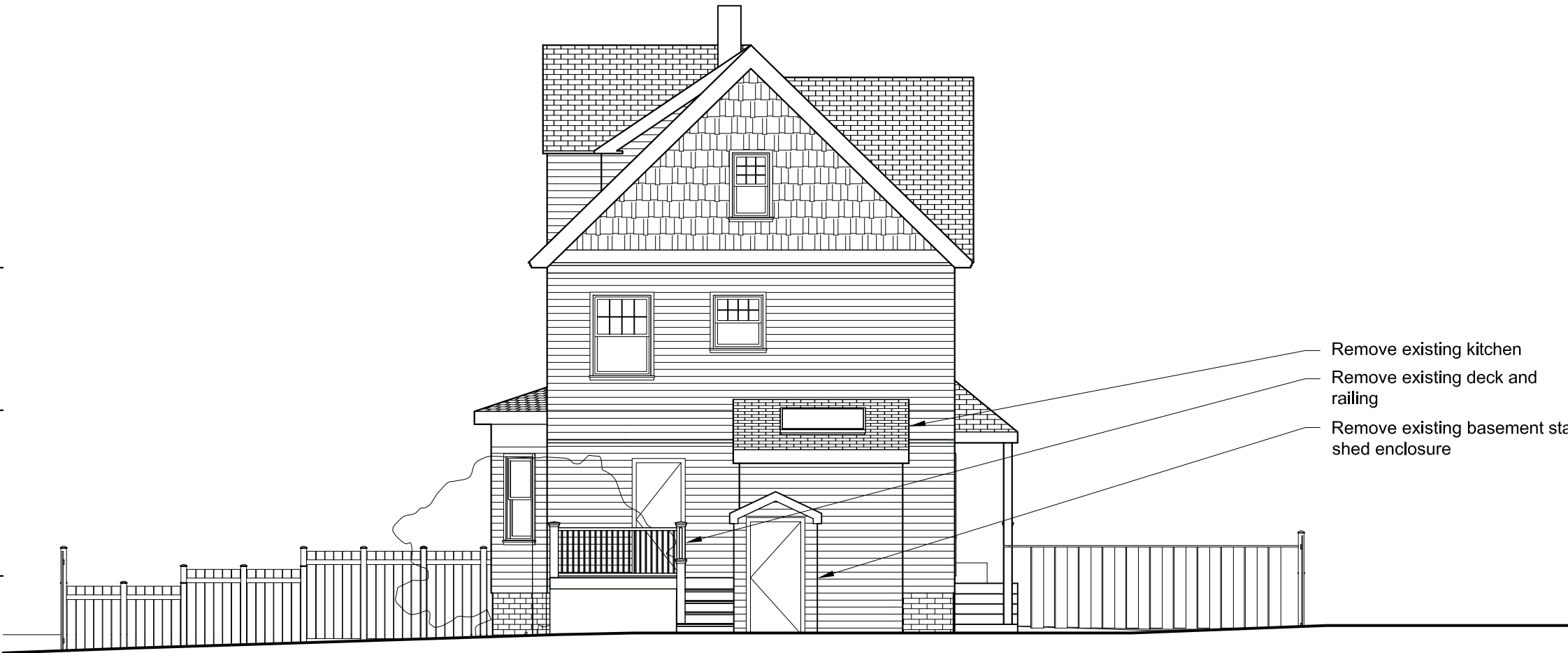
STRUCTURAL ENGINEER

DATE: JUN 22, 2022

EXISTING  
WEST ELEVATION

D2.03

© OPRCH



Remove existing kitchen

Remove existing deck and  
railing

Remove existing basement stair  
shed enclosure

THIRD FLOOR  
EL= 51'-9 1/4"

SECOND FLOOR  
EL= 43'-3 1/4"

FIRST FLOOR  
EL= 33'-4 3/4"

BASEMENT  
EL= 24'-8"

01 WEST ELEVATION  
SCALE: 1/8"=1'-0"

PROJECT NAME:

29 MYRTLE

PROJECT ADDRESS:

29 MYRTLE STREET  
BELMONT, MA 02478

CLIENT

JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT

**OPRCH**  
THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

CONTRACTOR

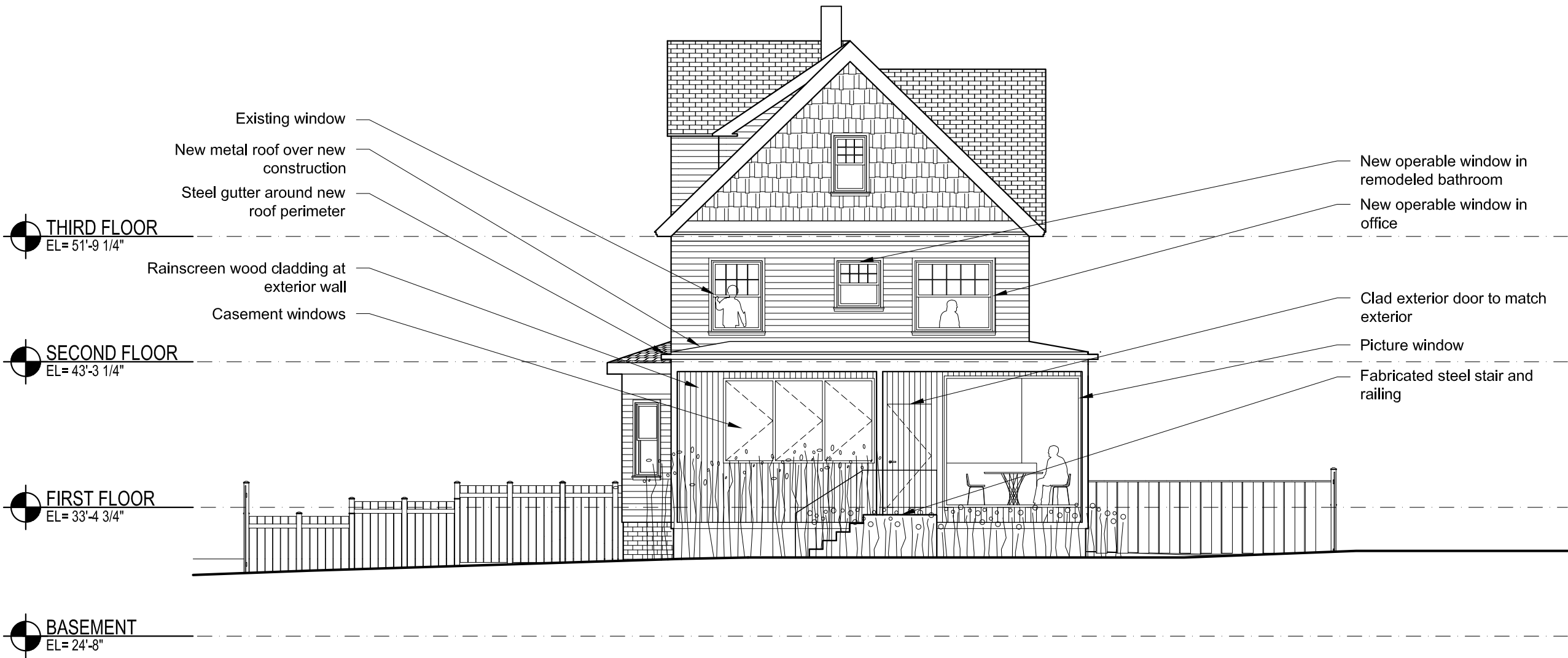
STRUCTURAL ENGINEER

DATE: JUN 22, 2022

PROPOSED  
WEST ELEVATION

A2.03

© OPRCH



PROJECT NAME:

29 MYRTLE

PROJECT ADDRESS:

29 MYRTLE STREET  
BELMONT, MA 02478

CLIENT

JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT

**OPRCH**

THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

CONTRACTOR

STRUCTURAL ENGINEER

DATE: JUN 22, 2022

EXISTING  
NORTH ELEVATION

D2.04

© OPRCH



THIRD FLOOR  
EL= 51'-9 1/4"

SECOND FLOOR  
EL= 43'-3 1/4"

FIRST FLOOR  
EL= 33'-4 3/4"

BASEMENT  
EL= 24'-8"

01 NORTH ELEVATION  
SCALE: 1/8"=1'-0"

PROJECT NAME:

29 MYRTLE

PROJECT ADDRESS:

29 MYRTLE STREET  
BELMONT, MA 02478

CLIENT

JASON WHALEY  
MEREDITH QUINN  
29 MYRTLE STREET  
BELMONT, MA 02478

ARCHITECT

**OPRCH**

THE OFFICE OF PENN RUDERMAN  
ARCHITECTS, INC.  
STOW, MA 01775  
617.855.5277

CONTRACTOR

STRUCTURAL ENGINEER

DATE: JUN 22, 2022

PROPOSED  
NORTH ELEVATION

A2.04

© OPRCH

