



Town of Belmont
Zoning Board of Appeals

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TOWN CLERK
BELMONT, MA

2022 JUN 22 PM 3:03

APPLICATION FOR A SPECIAL PERMIT

Date: May 12, 2022

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 231 Orchard St Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for Construct a side addition & Decking

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

Address

Daytime Telephone Number

Nora Vincent

60 Orchard St

Woburn, MA 02472

781-488-7228

December 6, 2005



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

May 12, 2022

Vincent Nazar
231 Orchard Street
Belmont, MA 02478

RE: Denial to Construct a Side Addition and Dormers.

Dear Mr. Nazar,

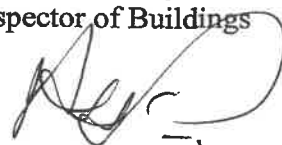
The Office of Community Development is in receipt of your building permit application for your proposal to construct a side addition and dormers at 231 Orchard Street located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2 of the Zoning By-Law Dimensional Regulations allow a maximum of 2-1/2 story structures and requires a minimum side setback of 10.0'.

1. The existing structure is three and a half (3-1/2) stories. The lowest level of the dwelling is a basement (59% of the foundation walls are exposed) and is considered a story. The existing structure and the proposed dormers are at a three and a half (3-1/2) story level.
2. The existing and proposed side setback is 8.5'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request Two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,
On Behalf of
Glenn R. Clancy, P.E.
Inspector of Buildings


Ara Yogurtian
Assistant Director

May, 23rd 2022

Zoning Board of Appeals
Office of Community Development
Homer Municipal Building
19 Moore Street, 2nd Floor
Belmont, MA 02478

Re: 231 Orchard Street Special Permit

Dear Zoning Board Members,

We thank you for the opportunity to come in front of you for the 2 relieves we seek. We originally applied for the building permit for the dormers and the side addition, we intended to regrade the yard and convert the basement to a cellar and build the side addition at 10'.

During construction, the second story side addition was built over the existing at 8.5' from the property line. Not being familiar with zoning laws, our thought was that since the existing was at 8.5' the addition would be by right. The building inspector brought this matter to our attention and stopped the work, for us to resolve this matter by a Special permit before we continued.

We were also told that grading the site to convert the basement to a cellar also required a special permit, mostly because of the percent of the addition compared to the existing house. The rough electrical and plumbing inspections have passed, we kindly ask your approval for these 2 special permits for us to continue the work.

Sincerely,



Nazar Vincent

Zoning Compliance Check List (Registered Professional Surveyor)



Property Address: 231 ORCHARD STREET

Zone: SINGLE RESIDENCE

Surveyor Signature and Stamp: Dennis B. Stone

Date: 5/23/2022

	REQUIRED	EXISTING	PROPOSED
Lot Area	9000 SQ. FT.	5732 SQ. FT.	5732 SQ. FT.
Lot Frontage	75'	61.33'	61.33'
Floor Area Ratio	---	0.400	0.516
Lot Coverage	25%	18.6%	19.9%
Open Space	50%	72.7%	72.0%
Front Setback	19.9'	20.4'	20.4'
Side Setback	10'	8.5'	8.5'
Side Setback	10'	15.4'	15.4'
Rear Setback	30'	48.4'	48.2'
Building Height			
Stories			
1/2 Story Calculation			

NOTES:

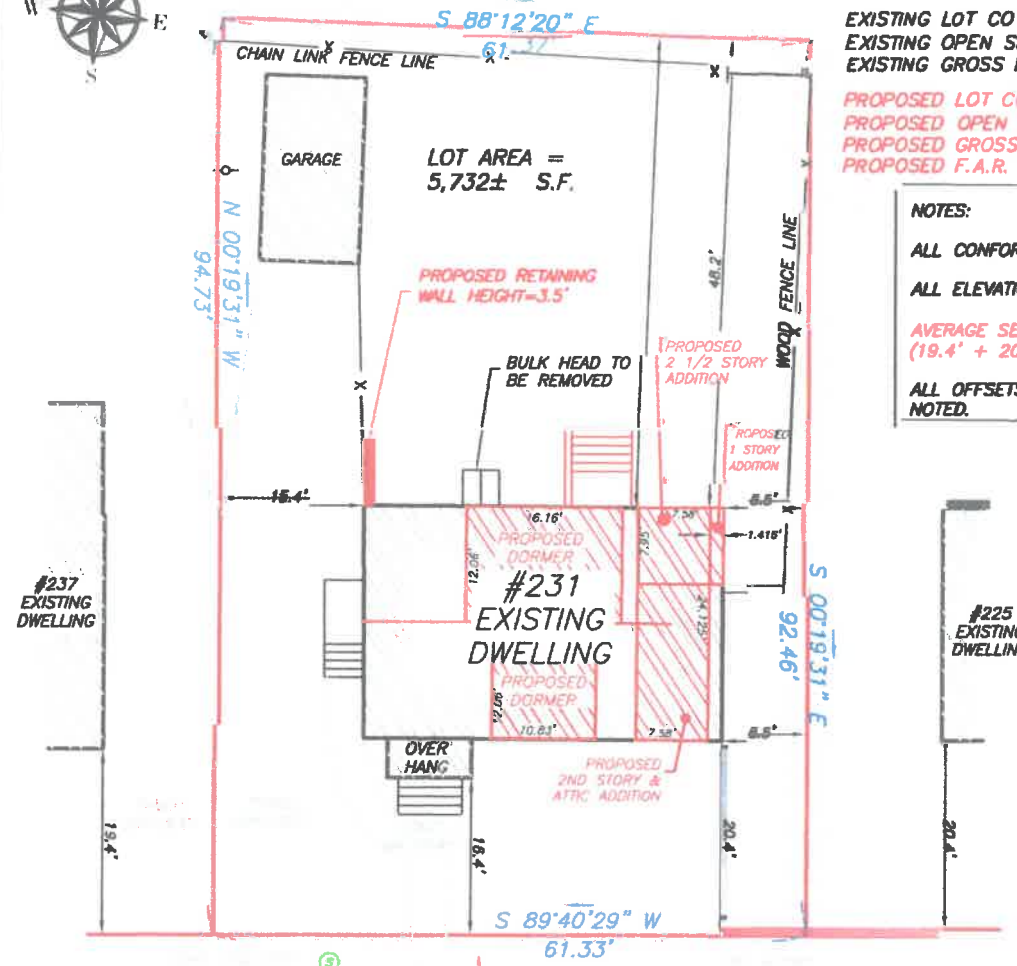


AFTER





2982.0 (PROPOSED G.F.A.) - 2304.0 S.F. (EXISTING G.F.A.) = 678.0 S.F. (DIFFERENCE IN G.F.A.)
678.0 S.F. (DIFFERENCE IN G.F.A.)/2304.0 S.F. (EXISTING G.F.A.) = 0.2942



EXISTING LOT COVERAGE = (18.6%) 1066.0 S.F.
EXISTING OPEN SPACE = (72.7%) 4167.4 S.F.
EXISTING GROSS FLOOR AREA = 2293.0 S.F.
PROPOSED LOT COVERAGE = (19.9%) 1141.4 S.F.
PROPOSED OPEN SPACE = (72.0%) 4128.4 S.F.
PROPOSED GROSS FLOOR AREA = 2982.0 S.F.
PROPOSED F.A.R. = .520

NOTES:
ALL CONFORMITY REQUIREMENTS TO BE VERIFIED WITH TOWN.
ALL ELEVATIONS ARE ON ASSUMED DATUM.
AVERAGE SET BACK OF ABUTTING PROPERTIES #225 & #237 = 19.9'
(19.4' + 20.4' = 39.8/2 = 19.9')
ALL OFFSETS & DIMENSIONS ARE TO THE SIDING UNLESS OTHERWISE NOTED.

ZONE: SINGLE RESIDENCE C			
	REQUIRED	EXISTING	PROPOSED
AREA (MIN.)	9000 SQ. FT.	5732 SQ. FT.	5732 SQ. FT.
FRONTAGE (MIN.)	75'	61.33'	61.33'
LOT COVERAGE (MAX)	25%	18.6%	19.9%
OPEN SPACE (MIN.)	50%	72.7%	72.0%
FRONT SETBACK (MIN.)	19.9'	20.4'	20.4'
SIDE SETBACK (MIN.)	10'	8.5'	8.5'
REAR SETBACK (MIN.)	30'	48.4'	48.2'
FLOOR AREA RATIO	--	0.400	0.520

EXISTING ROOF PEAK ELEV. = 129.83'
PROPOSED PEAK ELEV. = 132.83'

PROPOSED MIDPOINT ELEV. = 126.83'
PROPOSED ROOF MIDPOINT HEIGHT = 26.75'

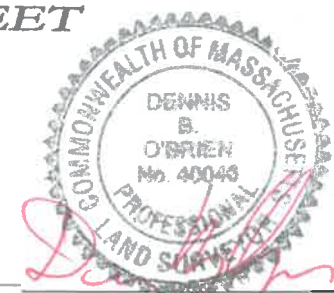
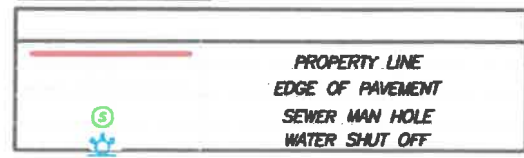
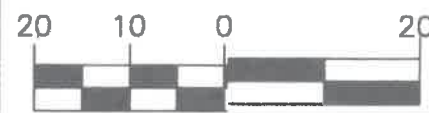
#231
EXISTING
DWELLING

FIRST FLOOR ELEV. = 103.86'

BASEMENT CEILING = 102.70'

AVERAGE GRADE ELEV. = 98.90'
PROPOSED AVERAGE GRADE = 99.9'

BASEMENT SLAB = 96.09'

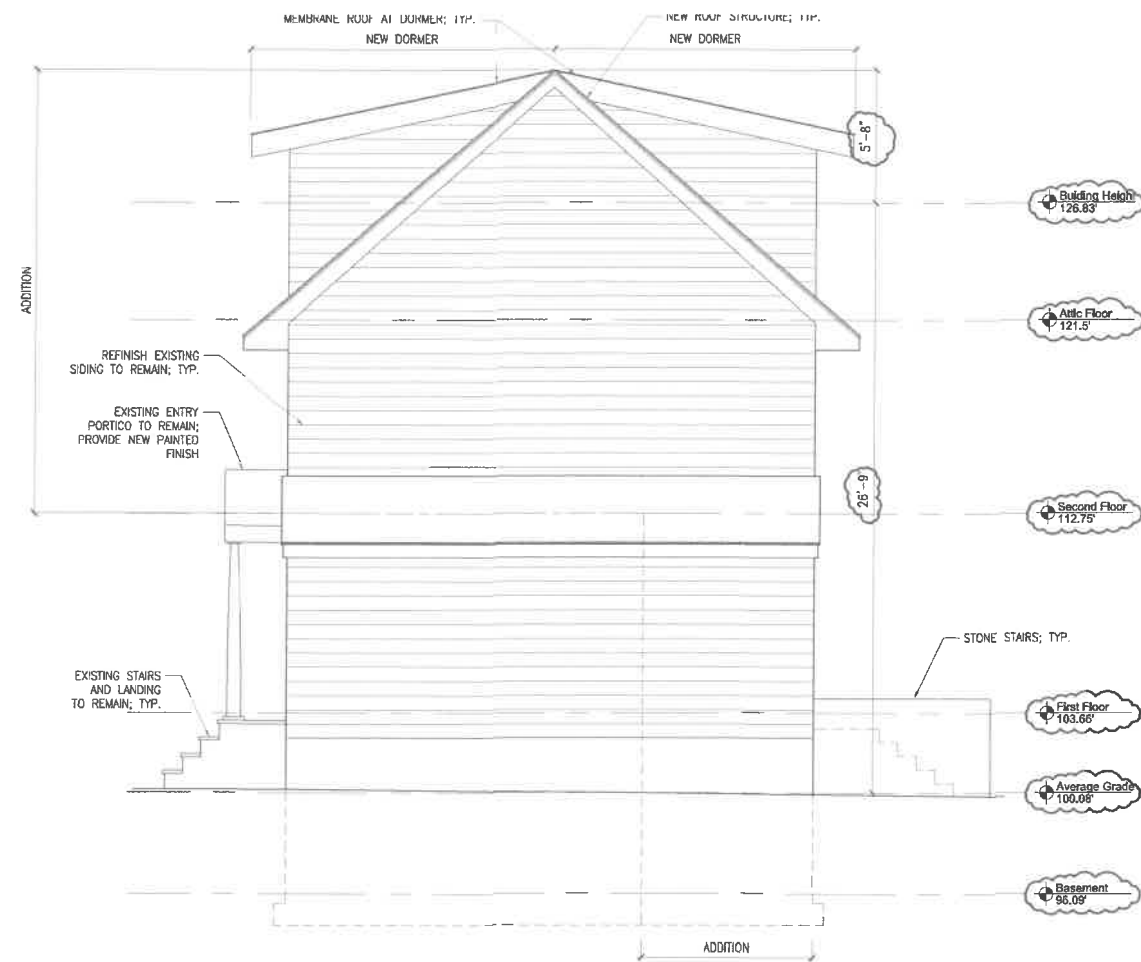


Dennis O'Brien P.L.S.

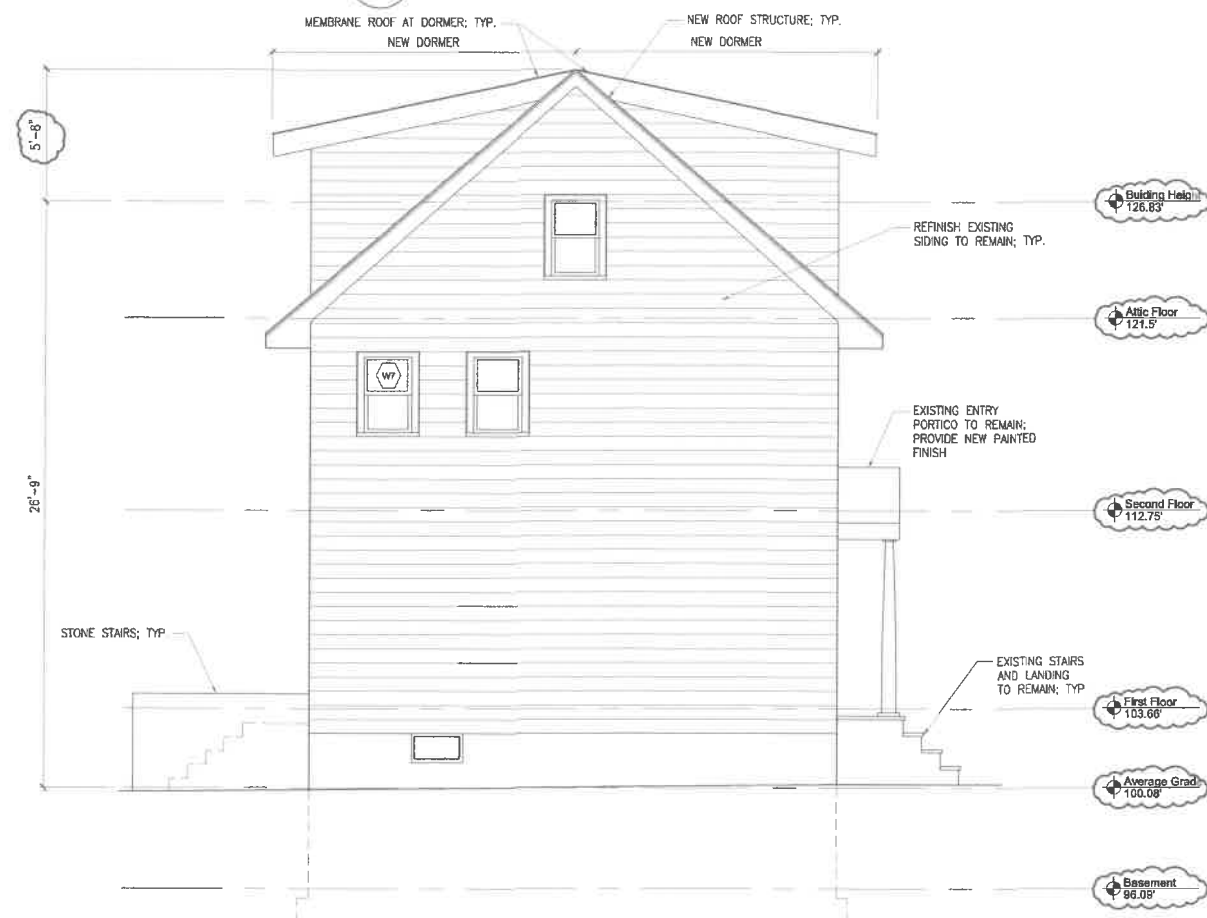
D. O'BRIEN
LAND SURVEYING
EST. 1986
480 WEST CENTRAL ST.
FRANKLIN, MA 02038 508-541-0048

PLAN SHOWING PROPOSED ADDITION
231 ORCHARD STREET
BELMONT, MA MIDDLESEX COUNTY
OWNER: VINCENT NAZAR

SCALE: 1:20'	DATE: 1/18/2021	REVISED: 5/23/2022	DRAWN BY: A.R.M.	CHECKED BY: D.O.
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4 Proposed Side Elevation
Scale: 1/4" = 1'-0"



2 Proposed Side Elevation
Scale: 1/4" = 1'-0"



3 Proposed Rear Elevation
Scale: 1/4" = 1'-0"



1 Proposed Front Elevation
Scale: 1/4" = 1'-0"

PROJECT: **231 Orchard Street Renovations**
Belmont, MA

PREPARED FOR:
Nazar Vincent

RP Architectural Studio

78 Highland Circle
Wayland, MA 01778
Tel. 617-794-7759

Project Team:

Keyplan

Date:	Revisions:
02/15/2021	GENERAL REVISIONS
04/13/2021	DORMER REVISIONS
06/30/2021	SETBACK REVISIONS
09/24/2021	DORMER ELEVATION REVISIONS
11/3/2021	MISC. REVISIONS / AS-BUILT
4/5/2022	SURVEY ELEVATION COORDINATION

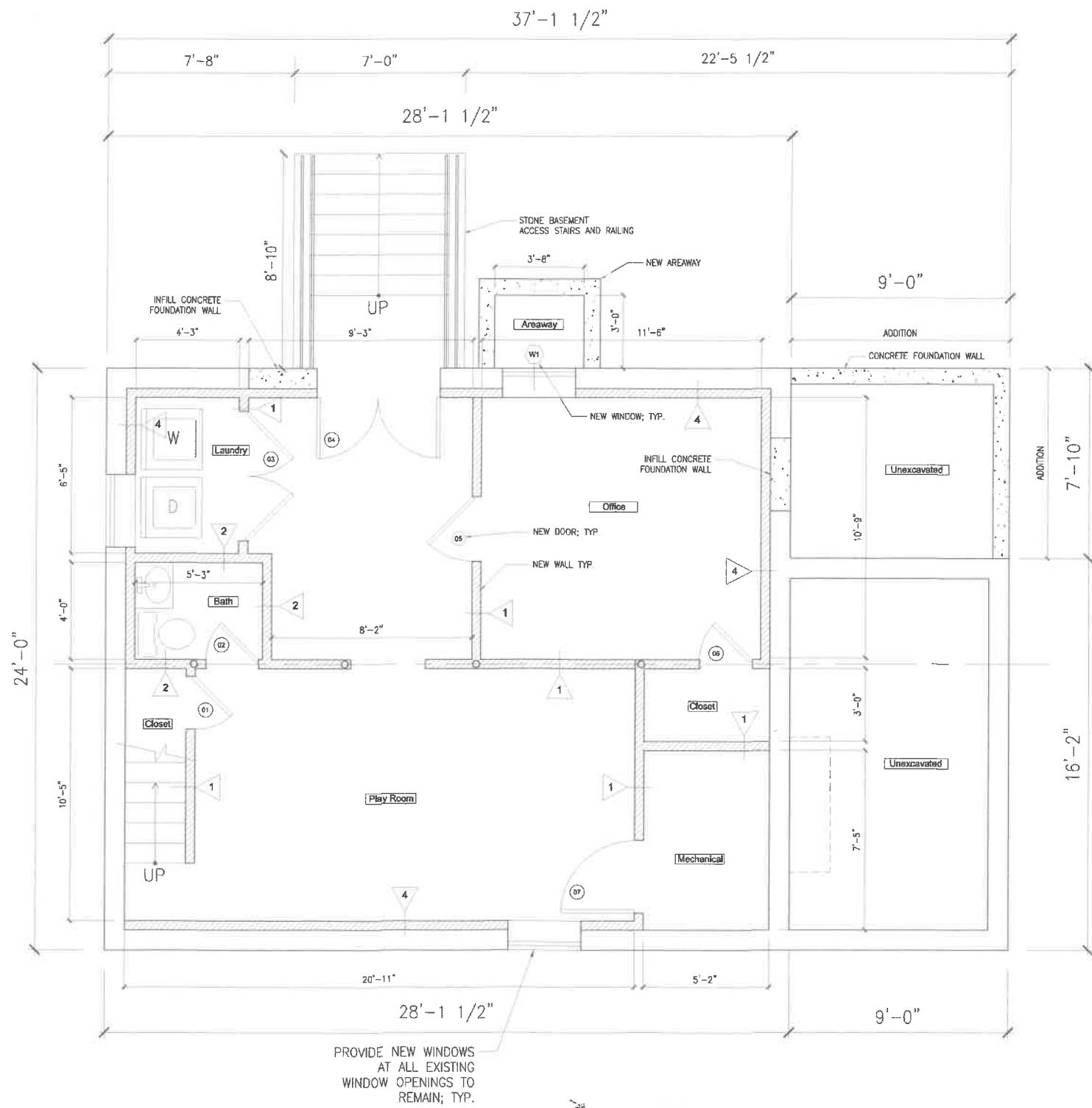
Drawing Title:
Proposed Elevations

Scale: Noted Drawing N

Job No.:

Date: 1/13/21

A2.1



1 Proposed Basement Plan
Scale: 3/8" = 1'-0"

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Project Team:

Keyplan

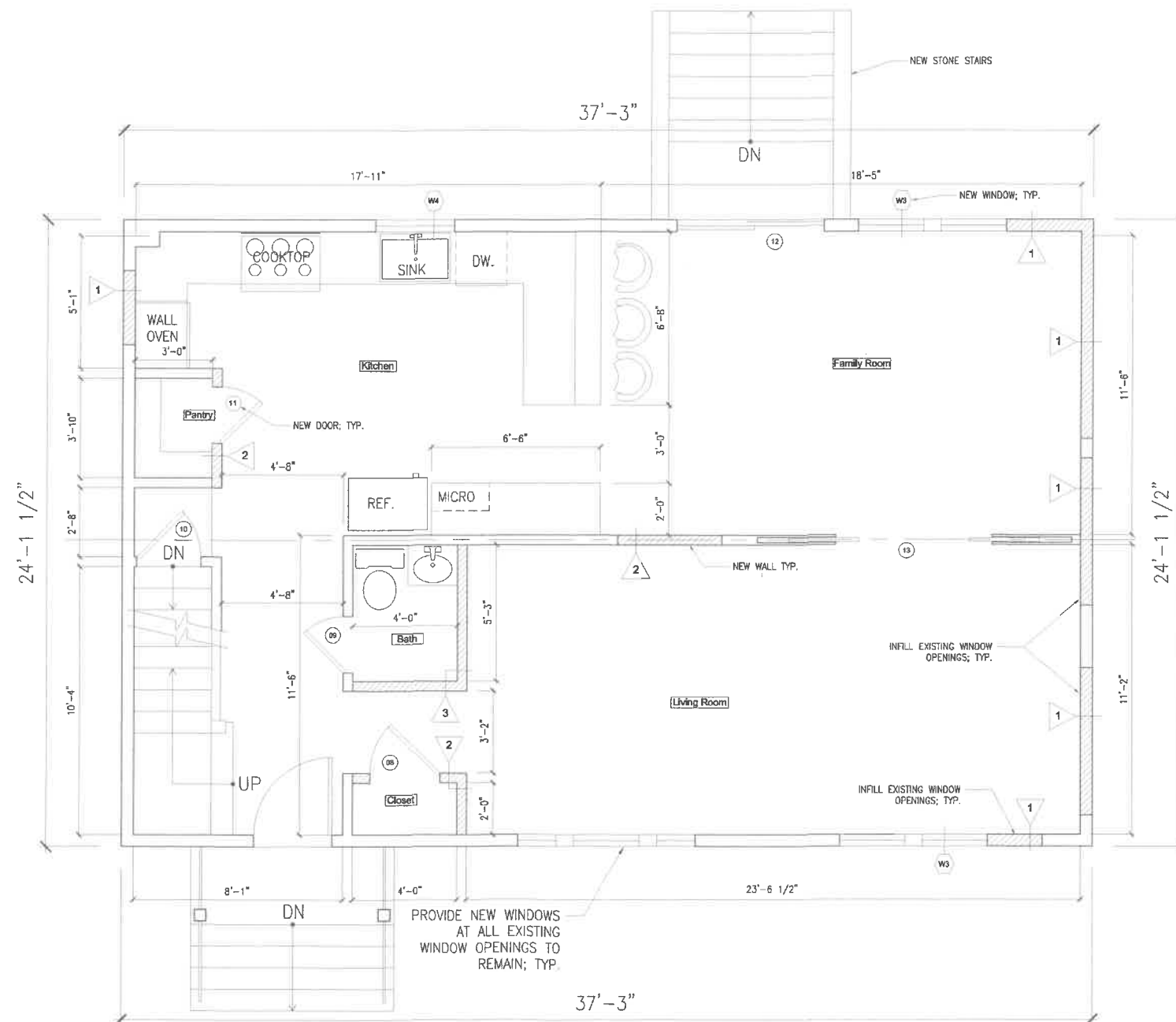
Date:	Revisions:
02/15/2021	GENERAL REVISIONS
04/08/2022	DIMENSION UPDATE

Drawing Title:
Proposed Basement Plan

Scale: Noted Drawing No. **A1.1**

Job No.: **1/13/21**

Date: **1/13/21**



2 Proposed First Floor Plan
 Scale: 3/8" = 1'-0"

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 Belmont, MA

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 Wayland, MA 01778
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Project Team:

Keyplan

Date:	Revisions:
02/15/2021	GENERAL REVISIONS
4/8/2022	DIMENSIONS UPDATE

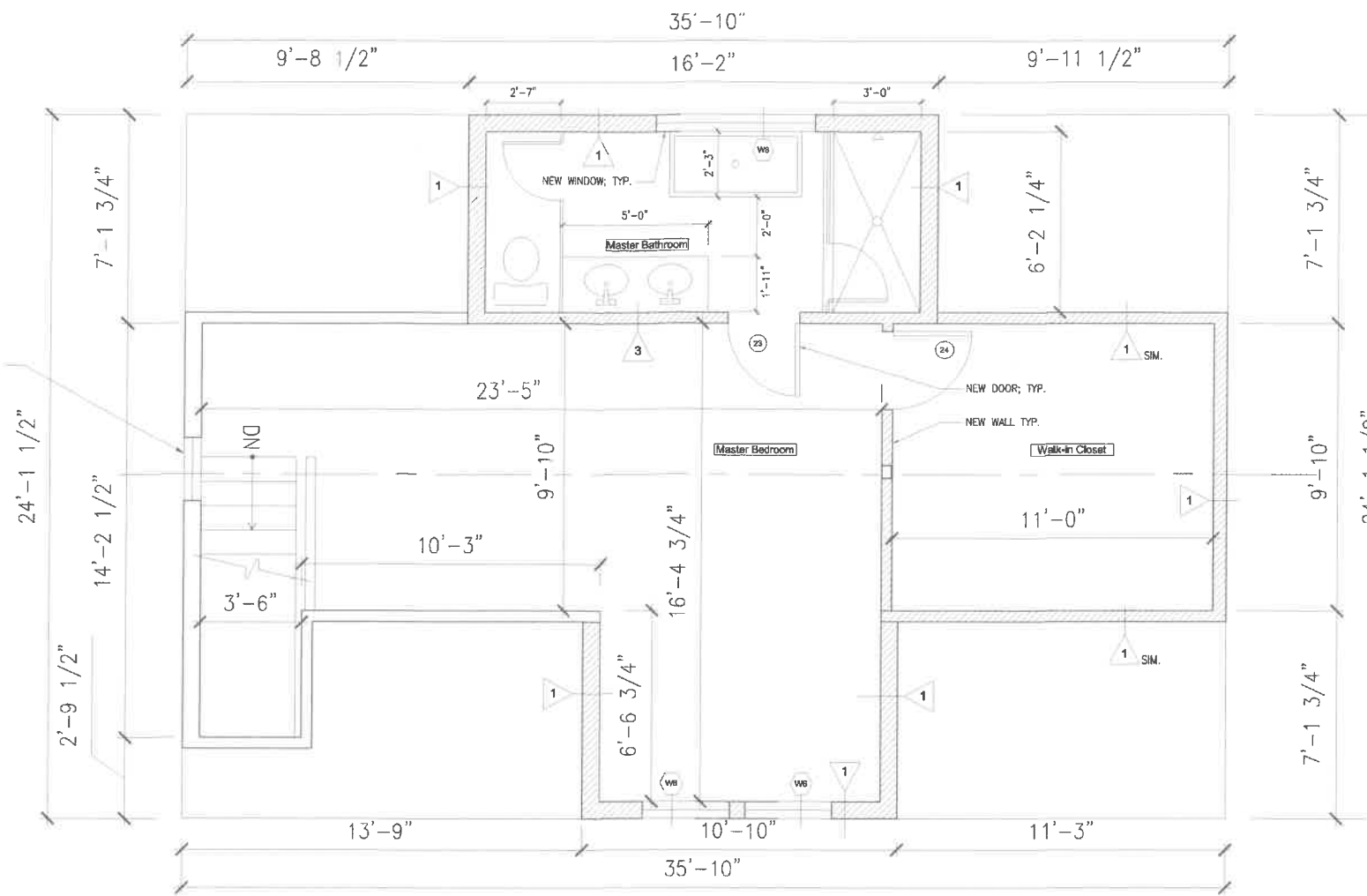
Drawing Title:
 Proposed First Floor Plan

Scale: Noted Drawing No.
 Job No.:
 Date: 1/13/21

A1.2

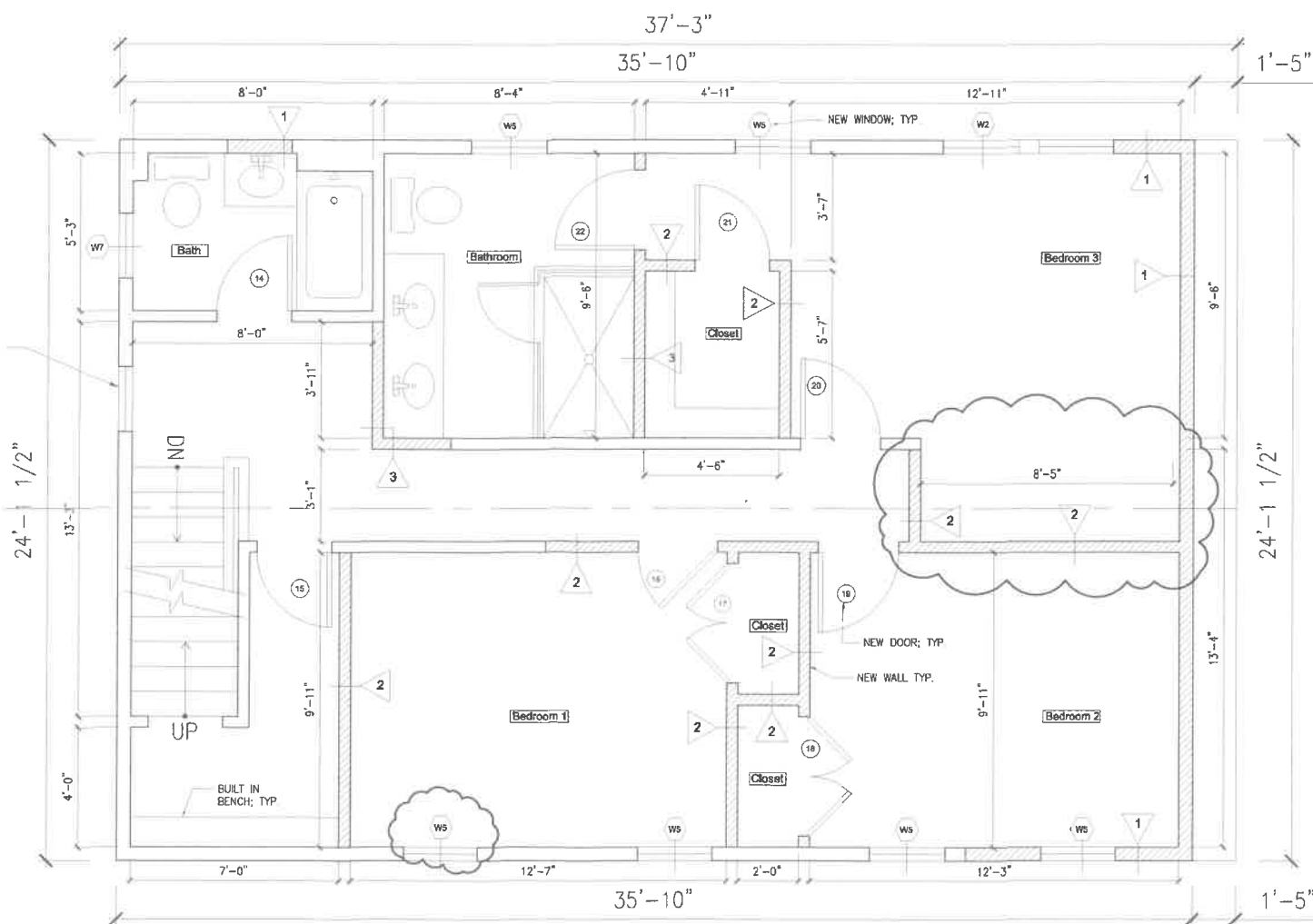
2 Proposed Attic Floor Plan
Scale: 3/8" = 1'-0"

PROVIDE NEW WINDOWS
AT ALL EXISTING
WINDOW OPENINGS TO
REMAIN; TYP.



1 Proposed Second Floor Plan
Scale: 3/8" = 1'-0"

PROVIDE NEW WINDOWS
AT ALL EXISTING
WINDOW OPENINGS TO
REMAIN; TYP.



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09/24/2021	DORMER ELEVATION REVISIONS
11/3/2021	MISC. REVISIONS / AS-BUILT
4/8/2022	DIMENSIONS UPDATE

Drawing Title:
**Proposed Second and Attic
Floor Plan**

Scale: Noted Drawing N

Job No.:

Date: 1/13/21

A1.1

NOTES:

1. TOTAL PROPOSED PERIMETER OF ATTIC FLOOR WITH BOTTOM OF ROOF RAFTERS 3'-0" BELOW FINISHED FLOOR = 60'-2"
TOTAL SECOND FLOOR PERIMETER LENGTH = 119'-11"
50% OF TOTAL SECOND FLOOR PERIMETER LENGTH = 59'-11 1/2"
PROPOSED PERIMETER OF ATTIC FLOOR WITH BOTTOM OF ROOF RAFTERS 3'-0" BELOW FINISHED FLOOR EXCEEDS 50% OF SECOND FLOOR PERIMETER LENGTH

2. TOTAL PROPOSED ATTIC FLOOR SPACE SF WITH CEILING HEIGHTS OVER 5'-0" = 494
TOTAL SECOND FLOOR SF = 864
60% OF TOTAL SECOND FLOOR SF = 518
PROPOSED ATTIC FLOOR SPACE IS LESS THAN 60% AS LARGE AS THE SECOND FLOOR

3. FRONT ELEVATION DORMER ROOF LINE = 10'-10"
TOTAL FRONT ELEVATION ROOF LINE = 35'-7"
75% OF FRONT ELEVATION ROOF LINE = 26'-9"
PROPOSED FRONT ELEVATION DORMER DOES NOT EXCEED 75% OF THE ROOF LINE

REAR ELEVATION DORMER ROOF LINE = 16'-2"
TOTAL REAR ELEVATION ROOF LINE = 35'-7"
75% OF REAR ELEVATION ROOF LINE = 26'-9"
PROPOSED REAR ELEVATION DORMER DOES NOT EXCEED 75% OF THE ROOF LINE

4. GROSS FLOOR AREA CALCULATIONS

BASEMENT EXISTING: 675 GSF
BASEMENT PROPOSED: 675 GSF

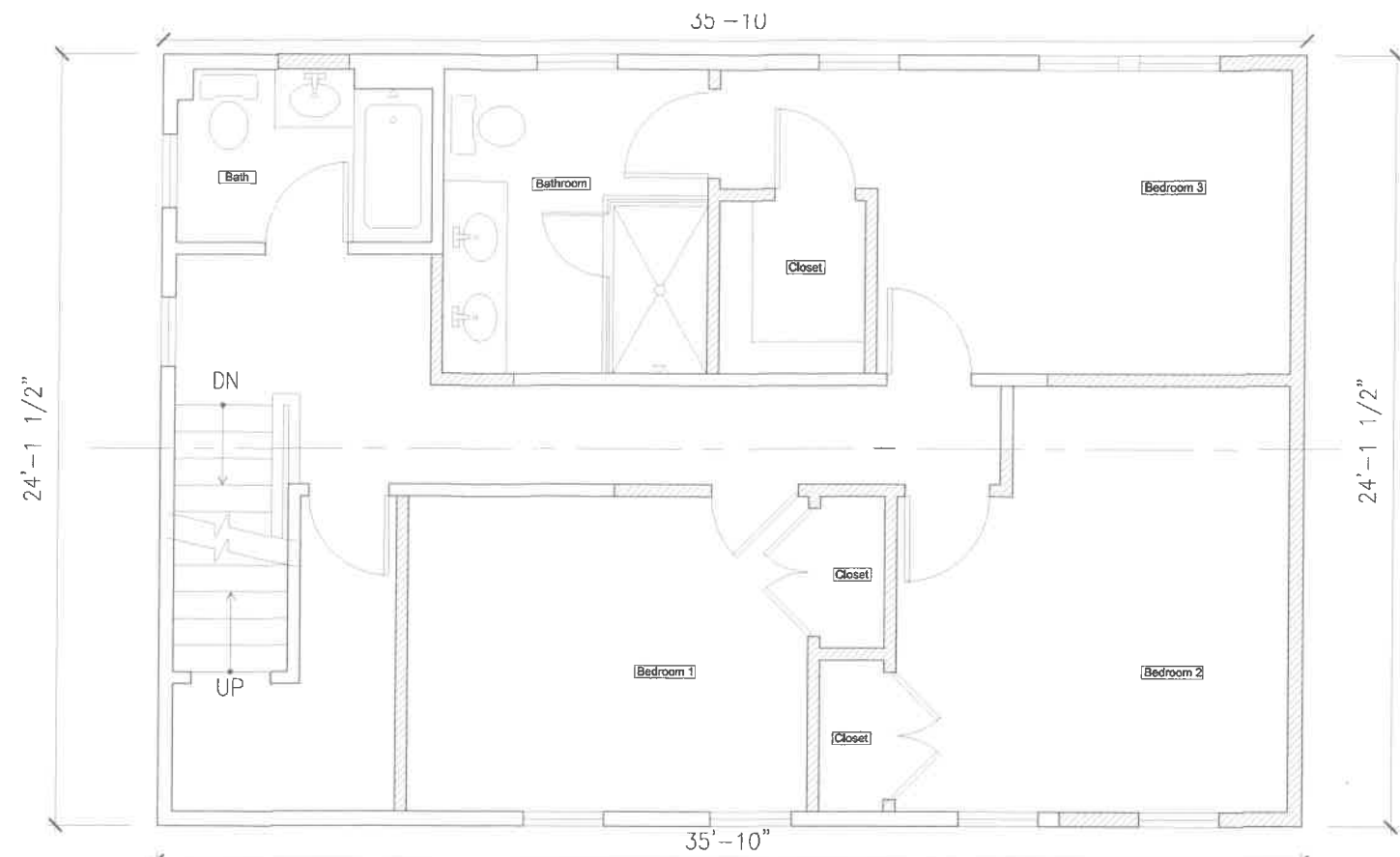
FIRST FLOOR EXISTING: 826 GSF
FIRST FLOOR PROPOSED: 898 GSF

SECOND FLOOR EXISTING: 682 GSF
SECOND FLOOR PROPOSED: 864 GSF

ATTIC EXISTING: 121 GSF
ATTIC PROPOSED: 545 GSF

TOTAL EXISTING: 2,304 GSF
TOTAL PROPOSED: 2,982 GSF

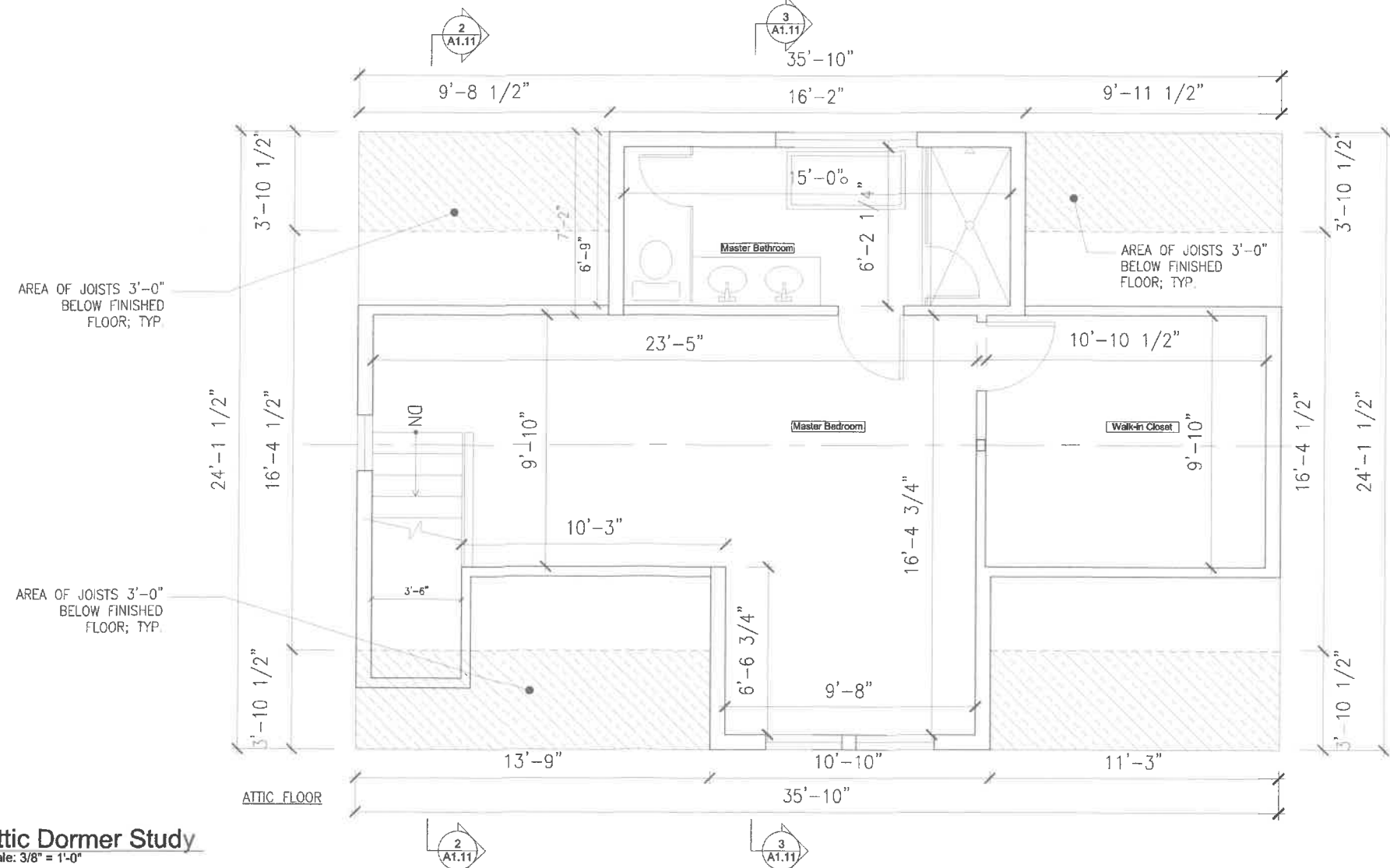
TOTAL GSF INCREASE = 678 GSF
TOTAL GSF INCREASE AS PERCENTAGE = 29.42%



SECOND FLOOR

NOTES:

1. TOTAL SECOND FLOOR PERIMETER LENGTH = 119'-11"
2. TOTAL SECOND FLOOR GSF = 864



ATTIC FLOOR

1 Attic Dormer Study

Scale: 3/8" = 1'-0"

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11/3/2021	MISC. REVISIONS / AS-BUILT
4/8/2022	DIMENSIONS UPDATE

Drawing Title:
Dormer and GFA Study
AS-BUILT

Scale: Noted Drawing N

Job No.:

Date: 1/13/21

A1.10