

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 21-18

2021 JUL -1 AM 11:19

NOTICE OF PUBLIC HEARING BY THE
ZONING BOARD OF APPEALS

ON APPLICATION FOR ONE SPECIAL PERMIT

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, July 19, 2021 at 7:00 PM by remote access through the Zoom app. to consider the application of Michael Sahagian for One Special Permit under §1.5 of the Zoning By-Law to construct an Addition at 26 Statler Road located in Single Residence C (SRC) Zoning district. Section 4.2 of the Zoning By-Law dimensional regulations require a minimum rear setback of 25.0'. The existing and proposed rear setback is 20.3'.

ZONING BOARD OF APPEALS



Town of Belmont
Zoning Board of Appeals

RECEIVED
TOWN CLERK
BELMONT, MA

2001 JUL -1 AM 11:19

APPLICATION FOR A SPECIAL PERMIT

Date: 6/15/21

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 26 Station Rd Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

New garage and second floor
addition.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

Address

Daytime Telephone Number

Michael Palagian
Michael Palagian
26 Station Rd
Belmont MA
02478



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

June 21, 2021

Michael Sahagian
26 Statler Road
Belmont, MA 02478

RE: Denial to Construct a Second Story Addition.

Dear Mr. Sahagian,

The Office of Community Development is in receipt of your building permit application for your proposal to construct an addition at 26 Statler Road located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2 of the Zoning By-Law Regulations require a minimum rear setback of 25.0'.

1. The existing and proposed rear setback 20.3'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request one (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

To: Zoning Board of Appeals

RE: 26 Statler Rd.

Dear board members,

My name is Michael Sahagian, a life long citizen of Belmont and I am applying for a building permit for my residence in Belmont, in which I have resided for the past 8 years. Over this period of time I have concluded that many of the aspects of my home are functionally obsolete and do not lend itself to today's standards for a growing family. As I have grown-up and lived in Belmont for the majority of my life, it has become increasingly apparent that the Belmont school system is something that we do not want to give up, for having to sell and relocate for a more functional home, so we are hoping to work with our present home.

My home was built in 1937, and although quite charming, and offers a desirable family neighborhood, it has many of the common flaws of a home that is 84 years old. The most obvious concern I have is the one car garage that faces outward to Newcastle road, not towards the front of the house (Statler). Being on a corner lot this poses a liability concern as cars come very fast around the corner. I am proposing a new garage on this side of my house that will be constructed flush with the front of the home and will allow access to safely enter and exit my driveway on Statler road. This build out will also allow me to add 2 bedrooms above, allowing the desired 4 bdrm's instead of the 3 bdrm's, for our growing family. Other dysfunctional elements include insufficient room size, closet size, storage space, laundry facilities, bathroom space, etc.

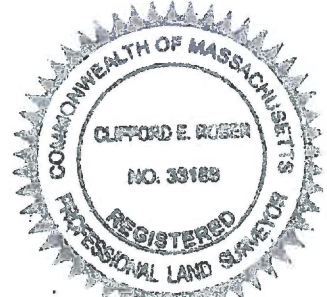
I have enclosed several pictures of new construction homes in my neighborhood that have recently been approved as well as homes that were approved for additions that are similar in scale to my addition proposal. My proposed plans are in keeping with new colonial homes in the neighborhood. Your consideration for our home project is greatly appreciated. Thank you.

Sincerely,

Michael Sahagian

Zoning Compliance Check List

Properties Located within the SR-C Districts
(To be Completed by a Registered Land Surveyor)



Property Address: 26 Statter Road

Surveyor Signature and Stamp: *[Signature]*

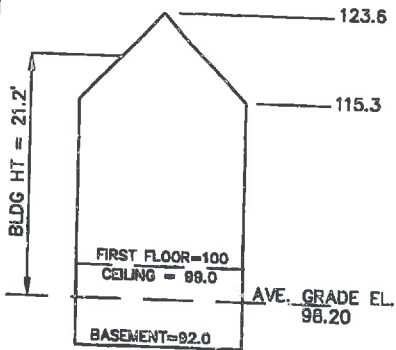
Date: 5/15/21

Per §4.2 of the Zoning By-Law							
		REQUIRED		EXISTING		PROPOSED	
Lot Area (sq. ft.)		9,000		7,929		7,929	
Lot Frontage (feet)		75'		126.96'		—	
Lot Coverage (% of lot)		25%		13.8%		16.9%	
Open Space (% of lot)		50%		81.0%		78.0%	
Setbacks: (feet)	➤ Front ^(a)	17.37'		18.8'		17.5'	
	➤ Side/Side	10'	10'	15.5'	36.1'	25.3'	35.1'
	➤ Rear	25'		20.3'		20.9'	
Building Height:	➤ Midpoint (feet)	30'		21.2'		21.2'	
	➤ Ridge (feet)			25.4'		25.4'	
	➤ Stories	2 1/2		2 1/2		2	
1/2 Story (feet) (Per §1.4)	➤ Perimeter (50%)						
	➤ Area (60%)						
	➤ Length (75%)						
HVAC ^(b)		Prohibited in Front Yard and Side and Rear Setbacks and shall be screened					

(a) Front setback is equal to the average front setbacks of the abutting properties on either side.

(b) Includes all outdoor mechanical equipment and fuel storage systems.

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated.



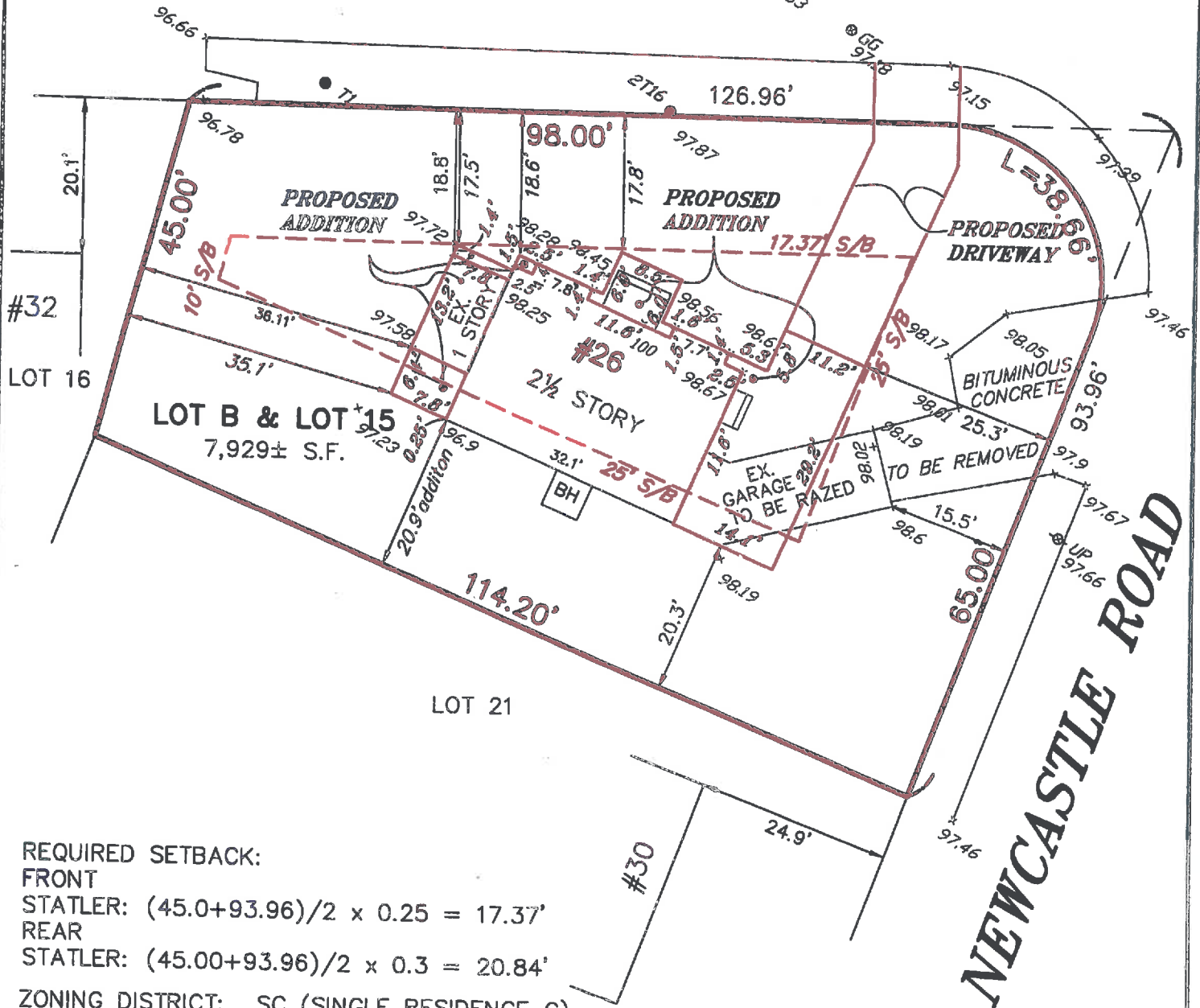
BUILDING HEIGHT
NOT TO SCALE

THE PROPERTY IS NOT LOCATED
WITHIN WETLANDS AS SHOWN
ON THE TOWN OF BELMONT
WETLANDS ATLAS.



87.57% OF BASEMENT UNDERGROUND
THEREFOR BASEMENT IS NOT A STORY

STATLER ROAD



REQUIRED SETBACK:

FRONT

STATLER: $(45.0 + 93.96) / 2 \times 0.25 = 17.37'$

REAR

STATLER: $(45.00 + 93.96) / 2 \times 0.3 = 20.84'$

ZONING DISTRICT: SC (SINGLE RESIDENCE C)

	REQ.	EXISTING	PROP.
FRONT SETBACK(STATLER):	17.37'	18.8'	17.5'
FRONT SETBACK(NEWCASTLE):	25'	15.5'	25.3'
SIDE SETBACK:	10'	36.1'	35.1'
REAR SETBACK:	25'	20.3'	20.9'
MAXIMUM LOT COVERAGE:	25%	13.8%	16.9%
MINIMUM OPEN SPACE:	50%	81.0%	78.0%
LOT FRONTAGE:	20.9'	20.9'	20.9'

TOTAL LOT AREA: 7,929± S.F.

OWNER: MICHAEL SAHAGIAN
61794/502

ASSESSORS MAP 38 - PARCEL 39

PROPOSED PLOT PLAN #26 STATLER ROAD

IN
BELMONT, MA
(MIDDLESEX COUNTY)

SCALE: 1" = 20'

REV. 3/16/2021
DATE: 11/6/2017

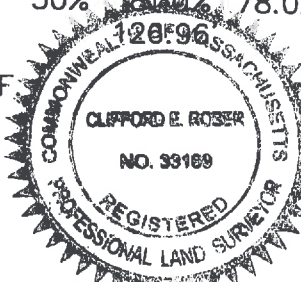


ROBER SURVEY

1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476

(781) 648-5533

DWG. NO. 5342PP6.DWG



CLIFFORD ROBER, PLS

DATE

5/15/21



16 Statler Rd (Above) Garage side addition. LIVING AREA 2,600 +/- sq ft. LOT SIZE 6,240 sq ft



16 Troy Rd (Above) New Construction. Liv Area 2,864, Lot size 7,153



20 Elliot Place (Above) Right and left side addition. LIV. AREA 2300 SQ FT. LOT SIZE 9315



51 Waterhouse Rd. (Above) New Construction



9 Westlund Rd (Above) New Construction. LIVING AREA 2,644. LOT SIZE 6,480



73 Hoitt Rd. (Above) New Construction. LIVING AREA 3,358. LOT SIZE 9,296 SQ FT



9 Westlund Rd. (Above) New Construction LIVING AREA 2,644. LOT SIZE 6,480 SQ FT



70 Middlecott Rd. (Above) New Construction. LIVING AREA 3,137 SQ FT. LOT SIZE 7,000 SQ FT



182 Channing Rd. (Above) New Construction. LIVING AREA 2,742 SQ FT. LOT SIZE 9,144 SQ FT



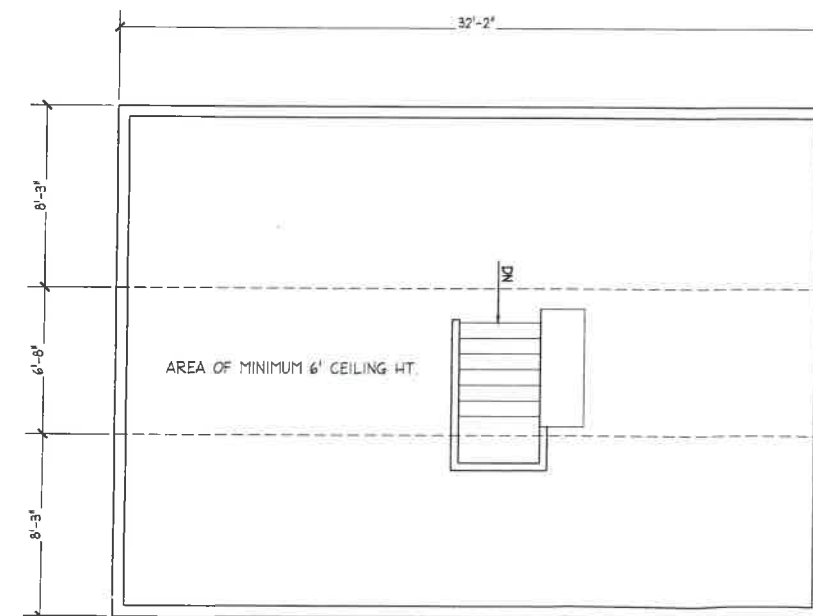
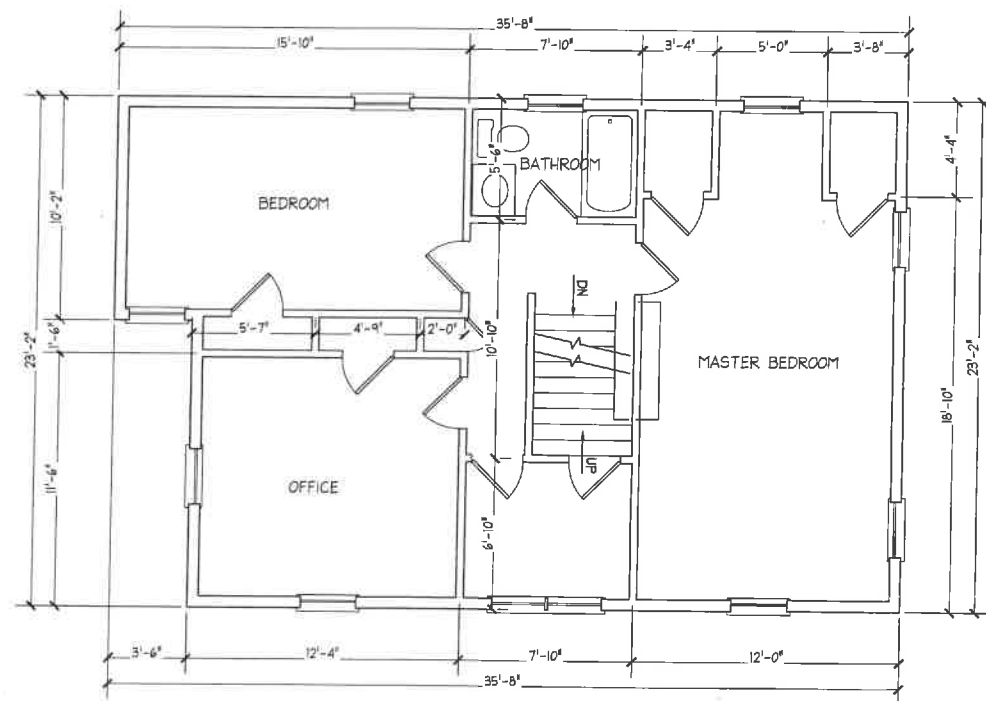
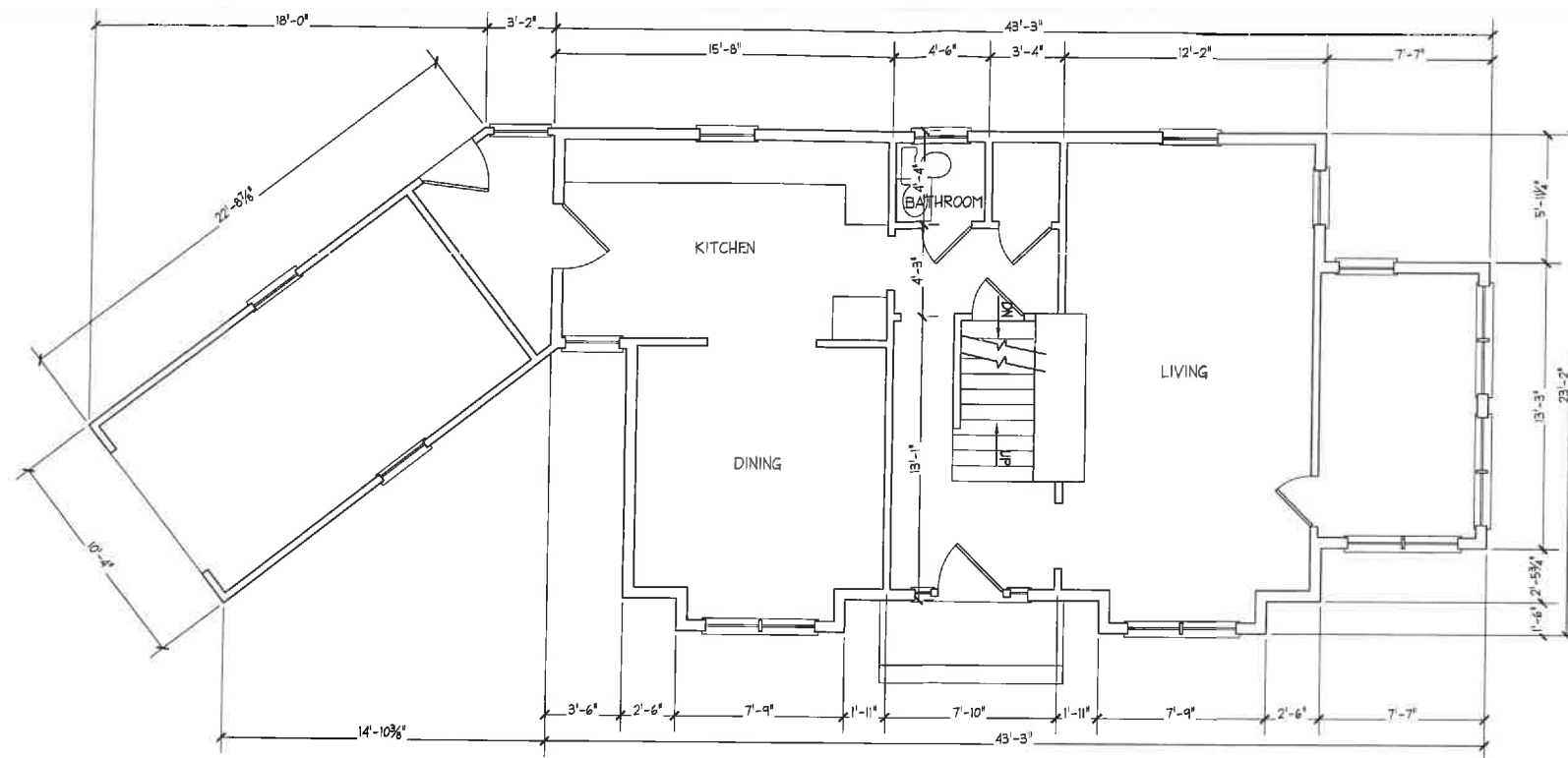
215 Channing Rd. (Above) 2 level garage addition. LIVING AREA 2,600 SQ FT, LOT SIZE 7,497 SQ FT

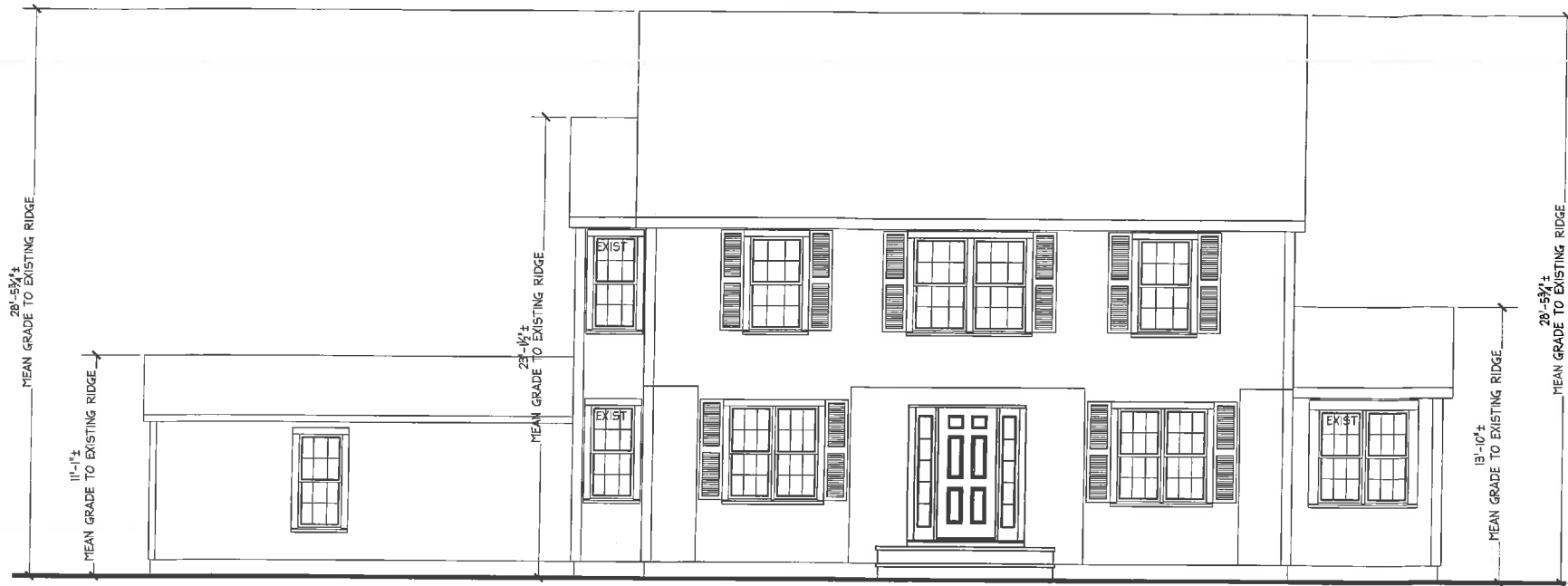


54 Waterhouse Rd. (Above) 2nd Story Addition. LIVING AREA 2,817. LOT SIZE 7,648 SQ FT



29 Jason Rd. (Above) 2nd Story Addition. LIVING AREA 2,608. LOT SIZE 7,225 SQ FT

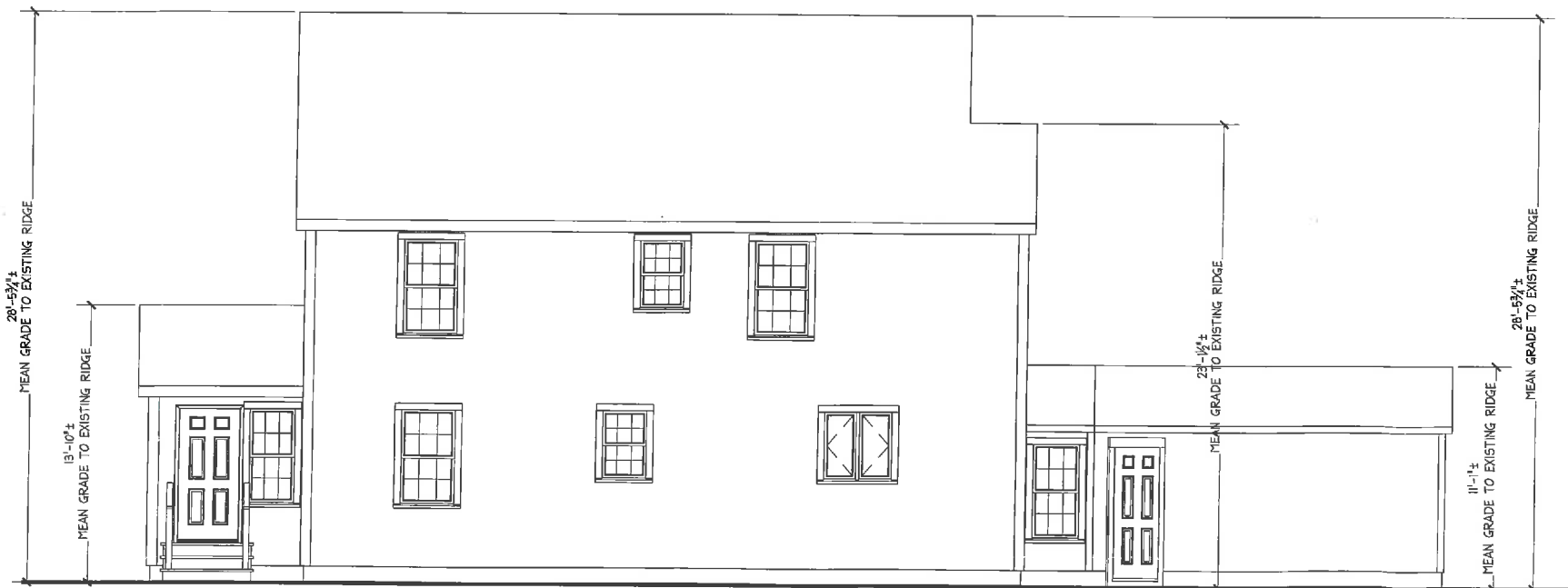




EXISTING
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING
REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

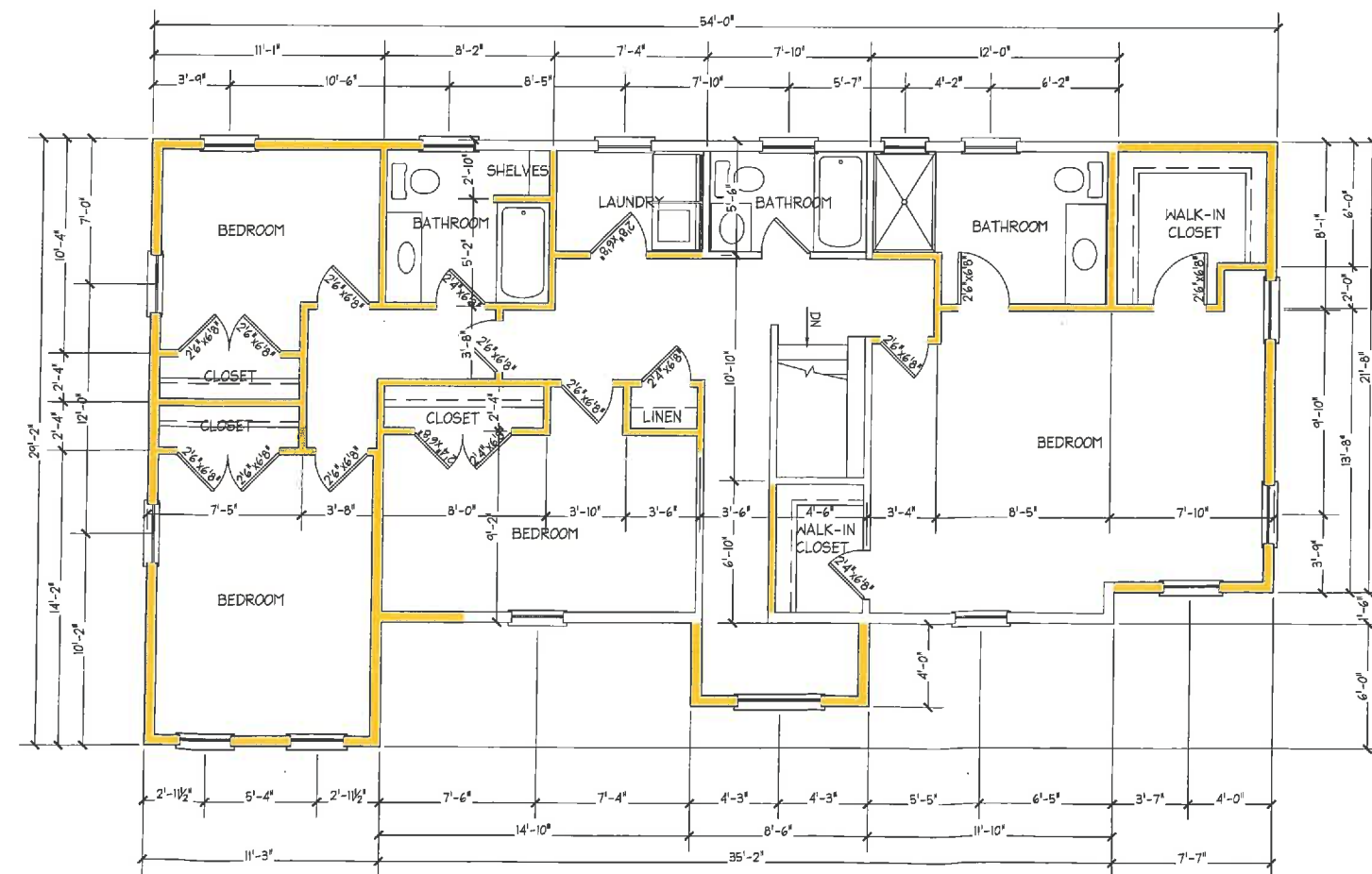
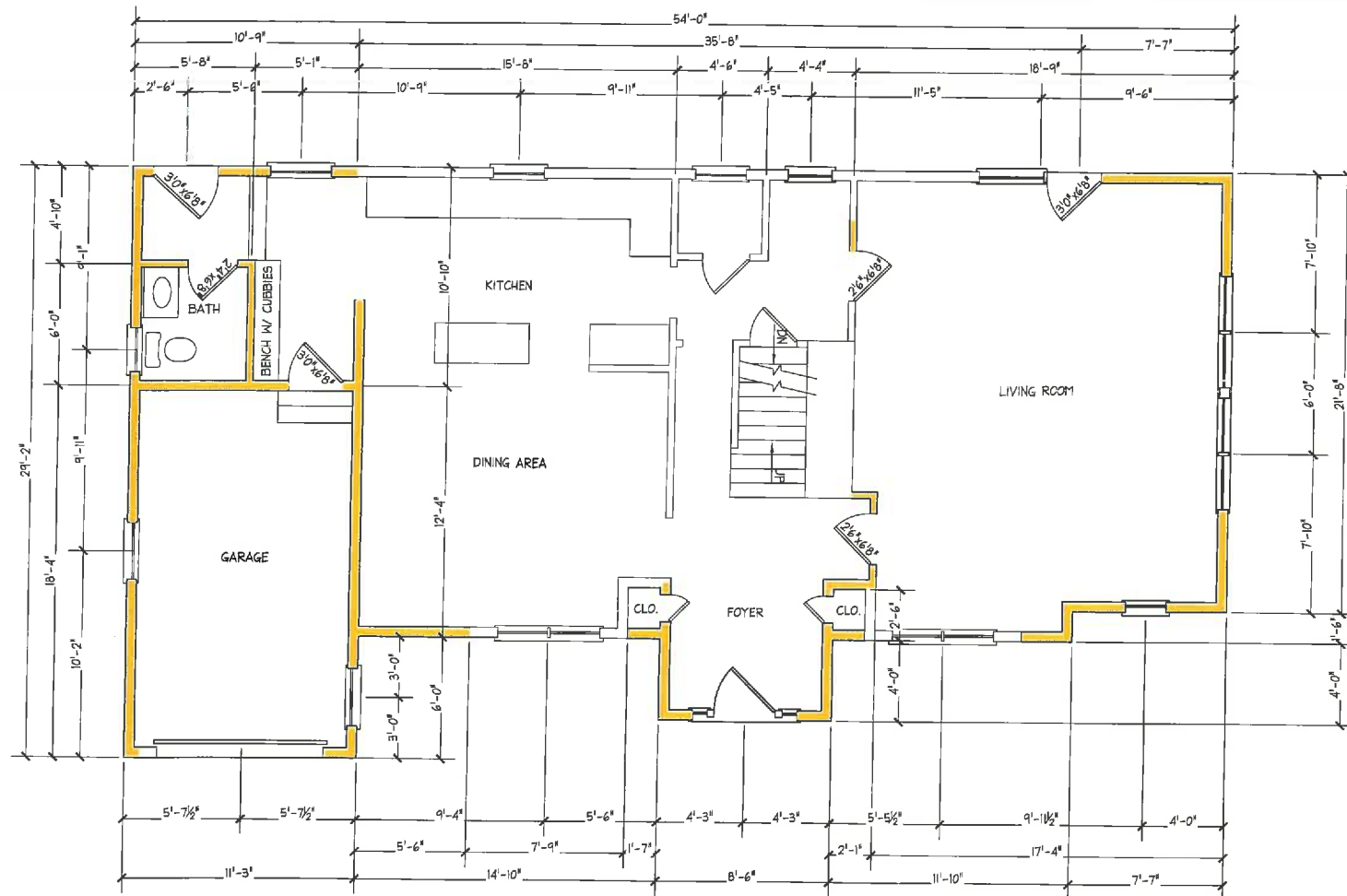


EXISTING ELEVATIONS
NEW HOUSE ADDITION
26 STATLER ROAD
BELMONT, MA

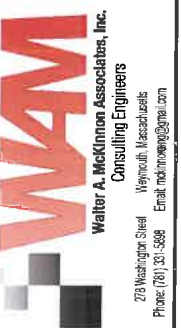
DESIGNED BY:	BJJ	
CHECKED BY:	MKS	
DATE:	04/13/2021	
JOB No.:	2018-004	
SCALE:	1/4" = 1'-0"	
REV#	DESCRIPTION	DATE
	RELEASE FOR APPROVAL/PERMIT	06/20/18
	REVISIONS TO FRONT WALL	01/18/2019
	FLOOR PLAN & ELEVATION REVISIONS	03/09/2021

SHEET NO.

A-2



SQUARE FOOTAGE CALCULATIONS (GROSS)	
EXISTING SQUARE FOOTAGE:	
1st FLOOR w/ GARAGE =	1086 SQ. FT.
2nd FLOOR =	780 SQ. FT.
ATTIC =	214 SQ. FT.
TOTAL = 2080 SQ. FT.	
PROPOSED SQUARE FOOTAGE	
1st FLOOR w/ GARAGE =	1341 SQ. FT.
2nd FLOOR =	1341 SQ. FT.
TOTAL = 2682 SQ. FT.	
PERCENT INCREASE: 28.9%	

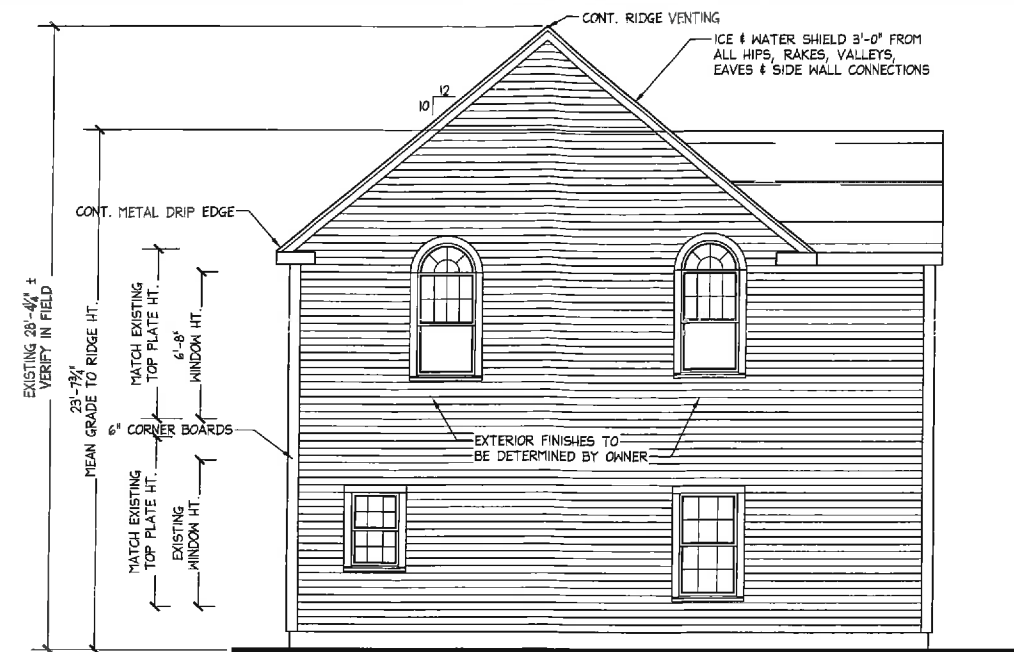


PROPOSED FLOOR PLANS
NEW HOUSE ADDITION
26 STATLER ROAD
BELMONT, MA

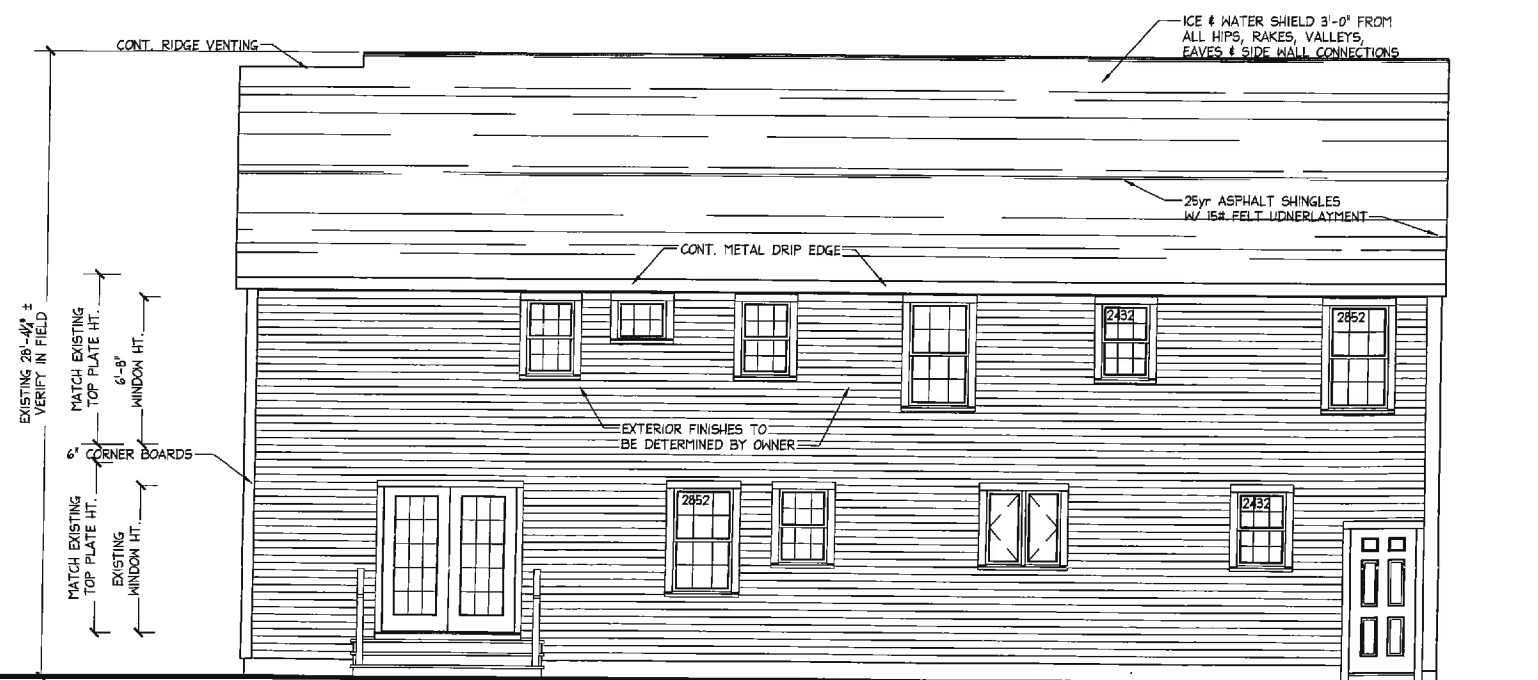
DRAWN BY :		BJJ
CHECKED BY :		MKS
DATE :		4/13/2021
JOB No. :		2018-004
SCALE :		1/4" = 1'-0"
REV#	DESCRIPTION	DATE
	FLOOR PLAN & ELEVATION REVISIONS	03/09/2022
		</



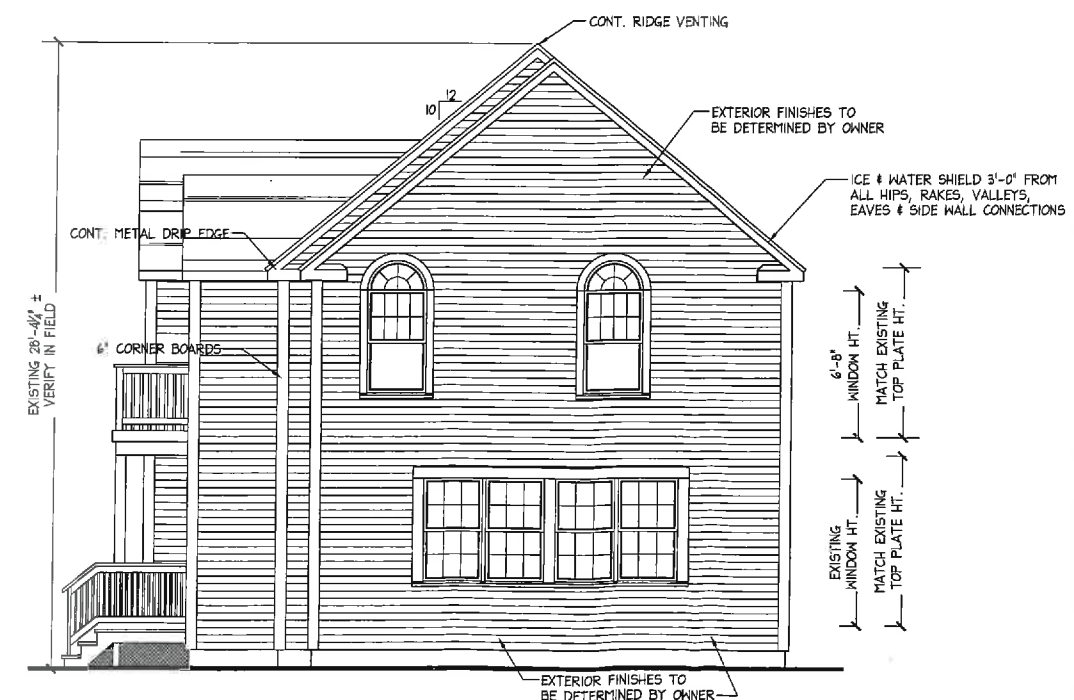
PROPOSED
FRONT ELEVATION
SCALE : 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED
REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE : 1/4" = 1'-0"



- FOUNDATION PLAN,
DETAILS, AND NOTES
NEW HOUSE ADDITION
26 STATLER ROAD
BELMONT, MA

DRAWN BY: CAP	
CREATED BY: MKS	
DATE: 04/13/2021	
JOB NO.: 18004	
SCALE: 1/4" = 1'-0"	
DATE	06/20/18
DATE	01/18/2019
DESCRIPTION	RELEASE FOR APPROVAL/PERMIT
	REVISION TO FRONT WALL
REV#	
SHEET NO.	



CROSS SECTION
NEW HOUSE ADDITION
26 STATLER ROAD
BELMONT, MA

[illegible]

SHEET NO.

S-3

