

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 21-17

2021 JUL -1 AM 11:19

NOTICE OF PUBLIC HEARING BY THE
ZONING BOARD OF APPEALS

ON APPLICATION FOR ONE SPECIAL PERMIT

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, July 19, 2021 at 7:00 PM by remote access through the Zoom app. to consider the application of Dan and Jane Slavin for One Special Permit under §1.5 of the Zoning By-Law to construct a Second Story Addition at 80 Old Middlesex Road located in Single Residence C (SRC) Zoning district. Section 4.2 of the Zoning By-Law Dimensional Regulations allow a maximum lot coverage of 25%. The existing and proposed lot coverage is 28.8%.

ZONING BOARD OF APPEALS



Town of Belmont

RECEIVED
TOWN CLERK
BELMONT, MA

2021 JUL -1 AM 11:19

APPLICATION FOR A SPECIAL PERMIT

Date: 5/1/2021

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 80 Old Middlesex Street/Road hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for construction of a second story addition

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

Dan Stevin

Address

80 Old Middlesex Rd
Belmont, MA 02478

Daytime Telephone Number

617-489-6208



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

April 12, 2021

Dan and Jane Slavin
80 Old Middlesex Road
Belmont, MA 02478

RE: Denial to Construct a Second Story Addition.

Dear Mr. and Mrs. Slavin,

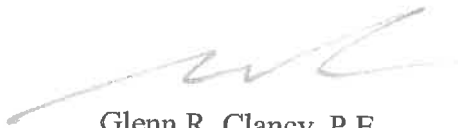
The Office of Community Development is in receipt of your building permit application for your proposal to construct a second story addition at 80 Middlesex Road located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2 of the Zoning By-Law Regulations allows a maximum of 25% lot coverage in your district.

1. The existing and proposed lot coverage is 28.8%.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request one (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,


Glenn R. Clancy, P.E.
Inspector of Buildings

Dan & Jane Slavin
80 Old Middlesex Road
Belmont, MA 02478
617-489-6208

STATEMENT OF NEED

May 4, 2021

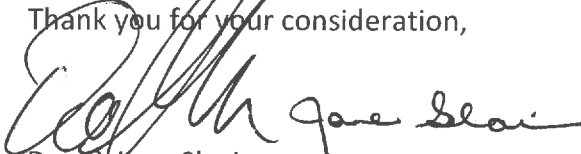
To ZBA,

This project encompasses three parts: 1) master bathroom expansion, 2) closet expansion, and 3) creation of private office space next to the master bedroom.

We are doing this project because we need a master bathroom large enough to accommodate two adults at the same time. To increase our bathroom size, we must take over our existing closet space. This addition will also provide us with private office space, essential to ensuring privacy during phone and Zoom meetings while we continue to work at home.

We are planning to complete our project in matching brick in order for our addition to be as seamless and aesthetically pleasing as possible. To the best of our knowledge, this addition will not be more detrimental to the neighborhood than the existing structure.

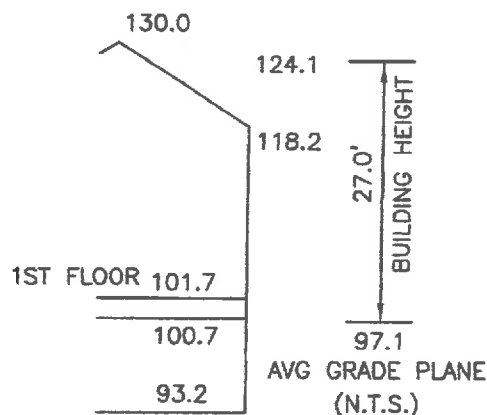
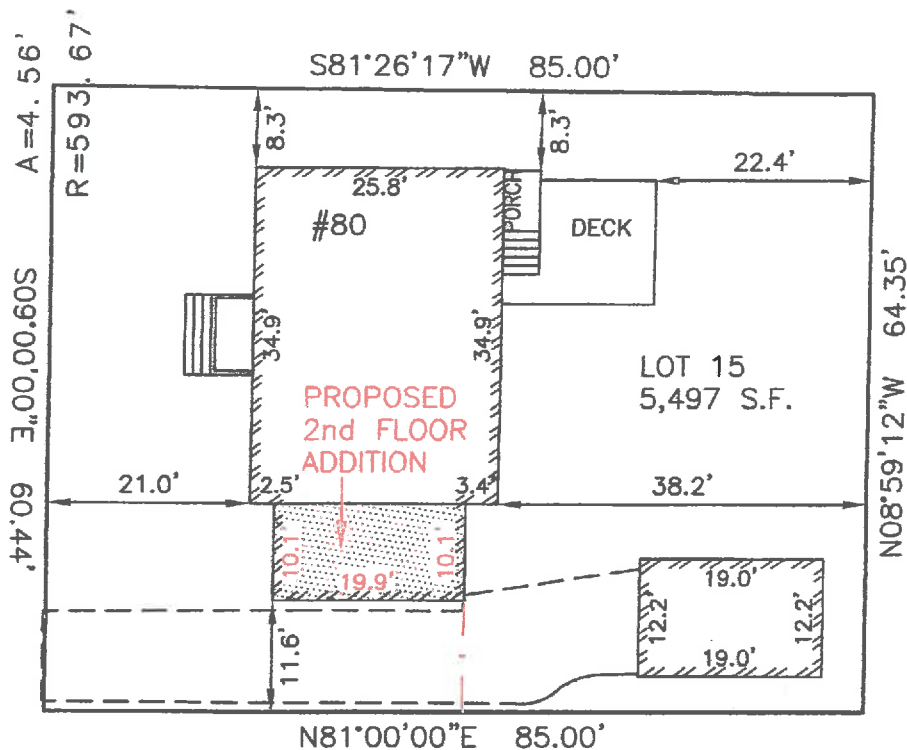
Thank you for your consideration,



Dan & Jane Slavin



OLD MIDDLESEX ROAD



ZONING INFORMATION:

ZONE: SR-C

DEED REFERENCE: BOOK 55555 PAGE 347

PLAN REFERENCE: PLAN BK 352 PLAN 18

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
LOT AREA	5497 S.F.	5497 S.F.	9,000 S.F. MIN.
LOT FRONTAGE	65.00'	65.00'	75' MIN.
SETBACK			
FRONT	21.0'	21.0'	25' MIN.
SIDE	8.3'	8.3'	10' MIN.
REAR	22.4'	22.4'	30' MIN.
LOT COVERAGE	28.8%	28.8%	25% MAX.
OPEN SPACE	60%	60%	50% MIN.
BUILDING HGT	27.0'	27.0'	36' MAX.
# OF STORIES	2.5	2.5	2.5 MAX.

THIS PROPERTY DOES NOT LIE WITHIN THE
WETLANDS OR WETLANDS BUFFER ZONE.

ESTABLISHED 1916

EMB

EVERETT M. BROOKS CO.
SURVEYORS & ENGINEERS

49 LEXINGTON STREET
WEST NEWTON, MA 02465

(617) 527-8750

embrooks@embrooks.com

Zoning Compliance Check List

(Registered Land Surveyor)

Property Address: 80 OLD MIDDLESEX RD

Zone: SR C

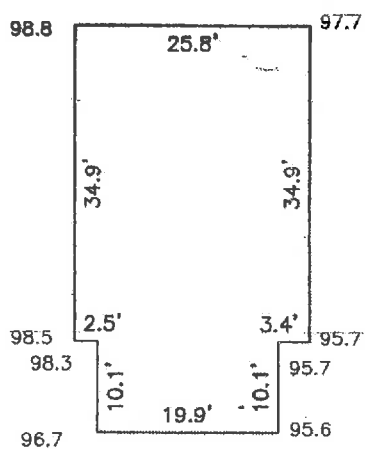
Surveyor Signature and Stamp: Bruce Bradford

Date: 1/26/21

	REQUIRED	EXISTING	PROPOSED
Lot Area	9000 SF	5497 SF	5497 SF
Lot Frontage	75'	65.00'	65.00'
Floor Area Ratio			
Lot Coverage	25% MAX	28.87%	28.87%
Open Space	50% MIN	60%	60%
Front Setback	25'	21.0'	21.0'
Side Setback	10'	8.3'	8.3'
Side Setback	10'	11.6'	11.6'
Rear Setback	30'	22.4'	22.4'
Building Height	30'	27.0'	27.0'
Stories	2.5	2.5	2.5
1/2 Story Calculation			
SEE ARCHITECT'S DOCUMENTS			

NOTES:



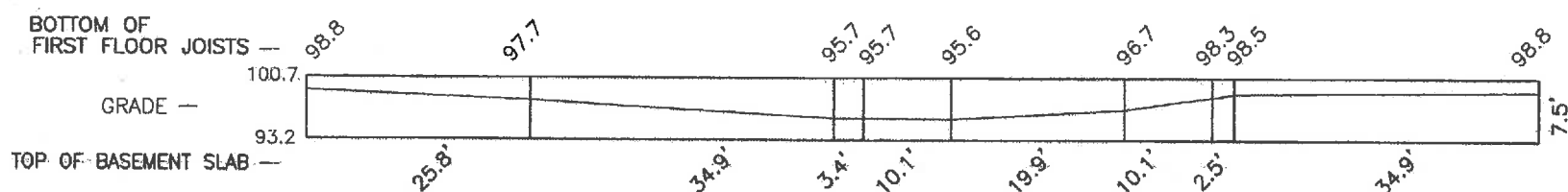


PROPOSED AVERAGE GRADE: 97.1

EVERETT M. BROOKS CO.
SURVEYORS & ENGINEERS
49 LEXINGTON STREET
WEST NEWTON, MA 02465
(617) 527-8750
INFO@EVERETTBROOKS.COM

80 OLD MIDDLESEX ROAD
PROPOSED ADDITIONS

SCALE: 1 IN. = 20 FT.
JANUARY 22, 2021
PROJECT NO. 26250



TOP FOUNDATION	100.7
BOT. FOUNDATION	93.2
HEIGHT OF FOUND WALL	7.5

SEGMENT:	LENGTH (FEET)	GRADE AT START OF SEGMENT	GRADE AT END OF SEGMENT	AREA OF EXPOSED FOUND. WALL	TOTAL AREA OF FOUND. WALL
A	25.8	98.8	97.7	63.21	193.5
B	34.8	98.8	95.7	120.06	261
C	3.4	95.7	95.7	17	25.5
D	10.1	95.7	95.6	51.005	75.75
E	19.9	95.6	96.7	90.545	149.25
F	10.1	96.7	98.3	32.32	75.75
G	2.5	98.3	98.5	5.75	18.75
H	34.9	98.5	98.8	71.545	261.75

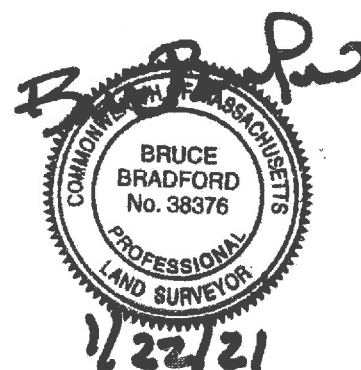
SUMS:	451.435	1061.25
-------	---------	---------

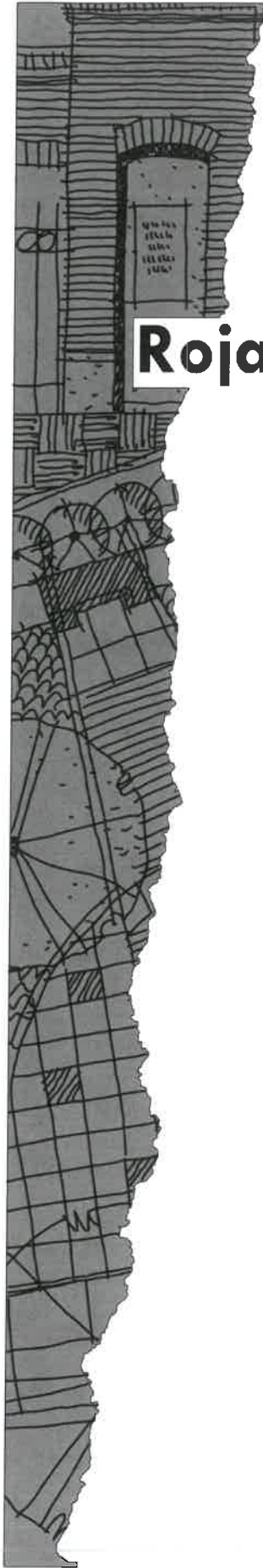
$[1 - (\text{SUM OF EXPOSED AREA} / (\text{SUM OF SEGMENT AREA}))] \times 100$

$[1 - (451.44 / 1061.25)] \times 100$

57.5% THEREFORE THIS SPACE IS A NOT CELLAR AS DEFINED IN THE ZONING BY-LAW

Cellar - A portion of a building partially underground, having 60% or more of its clear height below grade (see basement).





80 OLD MIDDLESEX ROAD

ADDITION AND RENOVATIONS

80 OLD MIDDLESEX ROAD
BELMONT MA 02478

PERMIT SET
03/19/2021

SHEET LIST	
Sheet Number	Sheet Title
	COVER SHEET
G- 01	GENERAL NOTES & SPECIFICATIONS
EX- 01	EXISTING FIRST & SECOND FLOOR PLANS
EX- 02	EXISTING FRONT (WEST) ELEVATION - OLD MIDDLESEX ROAD
EX- 03	EXISTING SIDE (SOUTH) ELEVATION
EX- 04	EXISTING REAR (EAST) ELEVATION
A- 01	PROPOSED SECOND FLOOR PLAN
A- 02	PROPOSED FRONT (WEST) ELEVATION - OLD MIDDLESEX ROAD
A- 03	PROPOSED SIDE (SOUTH) ELEVATION
A- 04	PROPOSED REAR (EAST) ELEVATION
A- 05	PARTITION TYPES & BUILDING SECTION
S- 01	SECOND FLOOR ADDITION & SECOND FLOOR ADDITION ROOF STRUCTURAL FRAMING PLANS

Owners

Daniel S. &
Jane M. Slavin
80 Old Middlesex Road
Belmont MA 02478

(617) 489-6208

Architecture | Interior Design |
Landscape Architecture

Rojas Design, Inc.

46 Waltham Street Suite 2A
Boston MA 02118

(617) 720-4100
www.rojasdesigninc.com

Structural Engineer

Fergal Brennock, PE

71 Lovell Road
Watertown MA 02472

(617) 828-0376

Surveyor

Everett M. Brooks Co. Inc.

49 Lexington Street
West Newton MA 02465

(617) 527-8750

GENERAL CONDITIONS:

1. THE GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ALL WORK (TO BE REFERRED TO AS THE WORK), UNLESS OTHERWISE NOTED, INDICATED ON THE CONSTRUCTION DOCUMENTS.
2. CONSTRUCTION DOCUMENTS COMPRISE ALL DRAWINGS INDICATED ON THE DRAWING LIST FOUND ON THE COVER SHEET.
3. THE GC IS RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS
4. IT IS THE OBLIGATION OF THE GC TO MEET ALL REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE 780 CMR, 9TH EDITION, THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR AND ALL OTHER APPLICABLE CODES AND REGULATIONS
5. IT IS THE OBLIGATION OF THE GC TO MEET THE REQUIREMENTS OF ALL REGULATIONS, PERFORMANCE AND SAFETY STANDARDS. ANY CONFLICTS FOUND BETWEEN THESE REGULATIONS AND THESE DOCUMENTS ARE TO BE IMMEDIATELY BROUGHT TO THE ARCHITECT'S ATTENTION.
6. THE GC IS REQUIRED TO CARRY AND MAINTAIN LIABILITY INSURANCE AND OTHER INSURANCE AS REQUIRED BY IN AMOUNTS AS REQUIRED BYLAW. GC IS REQUIRED TO CARRY WORKMEN'S COMPENSATION OR SIMILAR INSURANCE IN FORM AND AMOUNTS REQUIRED BY LAW, REGULATIONS AND REQUIREMENTS.
7. UPON AWARD OF CONTRACT, GC TO PROVIDE INSURANCE CERTIFICATES TO OWNER.
8. GC TO COORDINATE ADDITIONAL INSURANCE AMOUNTS WITH OWNER.
9. GC IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, TRANSPORTATION AND EQUIPMENT REQUIRED TO EXECUTE THE WORK.
10. GC TO PROVIDE ALL REQUIRED PERFORMANCE STANDARD TESTING.
11. GC TO PROVIDE ALL FIRE STOPPING AND SEALANTS AS REQUIRED BY APPLICABLE CODES INCLUDING BUILDING THERMAL ENVELOPE SEALANT IN COMPLIANCE WITH ENERGY CODES.
12. THE WORK IS TO BE PERFORMED IN A WORKMANLIKE MANNER AS REQUIRED TO MEET INDUSTRY WORKMANSHIP AND QUALITY STANDARDS. OWNER SHALL BE THE SOLE ARBITER OF WORKMANSHIP AND QUALITY OF CONSTRUCTION ISSUES.
13. GC SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS, BUILDING CONDITIONS, AND DIMENSIONS PRIOR TO COMMENCING WORK.
14. GC IS WHOLLY RESPONSIBLE FOR THE COORDINATION OF ALL DIMENSIONS HEREIN SPECIFIED WITH THE ACTUAL FIELD CONDITIONS. DIMENSIONS SHOWN ON THESE DRAWINGS ARE FINISHED FACE TO FINISHED FACE, UNLESS OTHERWISE NOTED. ANY DISCREPANCIES AND UNFORESEEN SITUATIONS, WHICH MAY ARISE DURING CONSTRUCTION, ARE TO BE IMMEDIATELY BROUGHT TO THE OWNER'S ATTENTION, IN WRITING, PRIOR TO PROCEEDING WITH THE WORK.
15. THE GC IS RESPONSIBLE FOR CORRECTING, AT NO ADDITIONAL EXPENSE TO THE OWNER, ANY AND ALL DISCREPANCIES FOUND AFTER THE WORK IS PERFORMED.
16. GC IS RESPONSIBLE FOR REPAIRING DAMAGE TO THE EXISTING BUILDING AND SITE DUE TO CONSTRUCTION ACTIVITIES. PATCH ALL DAMAGE TO MATCH SURROUNDING AREAS. REPAIR WORK TO CONFORM TO ALL APPLICABLE CODE AND PERFORMANCE REQUIREMENTS.
17. THE GC IS RESPONSIBLE FOR INSTALLING ALL REQUIRED MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR BEST PRACTICES.
18. THE GC AND GC'S SUBCONTRACTORS TO PROVIDE SUBMITTALS FOR ALL MATERIALS FOR ARCHITECT'S REVIEW FOR CONFORMANCE WITH PROJECT REQUIREMENTS. SHOP DRAWINGS, CUT SHEETS AND SAMPLES TO BE SUBMITTED IMMEDIATELY AFTER EXECUTION OF CONTRACT AND BEFORE ORDERING MATERIALS OR BEGINNING RELATED CONSTRUCTION ACTIVITIES. COMMENCEMENT OF WORK PRIOR TO SUBMITTAL REVIEW WILL BE AT GC'S RISK.
19. ALL MATERIALS SHALL BE DELIVERED TO THE JOB SITE IN MANUFACTURER'S ORIGINAL UNOPENED CONTAINERS WITH THE MANUFACTURER'S BRAND NAME CLEARLY MARKED.
20. THE GC SHALL PROVIDE OWNER WITH ALL EQUIPMENT MANUALS WARRANTIES AND OPERATING INSTRUCTIONS UPON FINAL ACCEPTANCE.
21. THE GC SHALL WARRANT ALL WORK, MATERIALS AND EQUIPMENT FOR A PERIOD OF ONE YEAR (IN ADDITION TO MANUFACTURER'S (WARRANTIES) FROM DATE OF FINAL ACCEPTANCE BY OWNER.
22. FINAL ACCEPTANCE SHALL BE ISSUED SUBSEQUENT TO COMPLETION OF THE FINAL PUNCH LIST.
23. GC SHALL KEEP THE WORK AREA SECURED WHEN UNATTENDED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
24. GC SHALL REMOVE TRASH AND DEBRIS FROM THE SITE DAILY. GC TO BE RESPONSIBLE FOR ARRANGING REMOVAL SERVICE AND SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER.
25. GC IS RESPONSIBLE, THROUGHOUT THE PROJECT, FOR ARRANGING REMOVAL AND RECYCLING OF CONSTRUCTION AND DEMOLITION MATERIALS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
26. GC IS RESPONSIBLE FOR TEMPORARY POWER AS REQUIRED BY OWNER.
27. THE CG SHALL CONFIRM WITH THE OWNER USE OF EXISTING TOILET FACILITIES. IF AVAILABLE FOR USE, THESE TOILET ROOMS MUST BE CLEANED DAILY. DO NOT DEPOSIT ANY CONSTRUCTION MATERIAL OR DEBRIS INCLUDING; CAULKING, PLASTER, PAINT OR SOLVENTS, INTO THE DRAINS.
28. ALL HVAC, ELECTRICAL, PLUMBING, AND FIRE PROTECTION & ALARM WORK SHALL BE 'DESIGN-BUILD' BY THE GC'S LICENSED SUB-CONTRACTORS FOR EACH TRADE. GC IS RESPONSIBLE FOR ALL PERMITS, ENGINEERING AND COORDINATION RELATED TO THE 'DESIGN-BUILD' TRADES AND WORK.
29. OWNER TO REVIEW AND APPROVE ALL PROPOSED 'DESIGN-BUILD' DESIGNS, PROPOSALS, PROPOSED INSTALLATIONS AND DETAILS PRIOR TO FABRICATION AND INSTALLATION. GC IS RESPONSIBLE FOR ALL WORK BY GC'S SUB-CONTRACTORS, INCLUDING 'DESIGN-BUILD' TRADES.
30. GC TO CONNECT AND INSTALL NEW FIRE ALARM SYSTEM, CONNECTED TO EXISTING BUILDING SYSTEM.

31. REMOVE UNSUITABLE OR EXTRANEIOUS MATERIALS NOT MARKED FOR SALVAGE, SUCH AS ABANDONED FURNISHINGS AND EQUIPMENT, AND DEBRIS.
32. IDENTIFY LOCATIONS OF UTILITIES FOR FUTURE WORK.
33. PROTECT EXISTING CONSTRUCTION TO REMAIN.
34. OWNERSHIP OF MATERIALS, EQUIPMENT AND FURNISHINGS IDENTIFIED BY THE OWNER FOR SALVAGE FOR RE-USE IN THIS PROJECT OR DESIGNATED FOR REUSE IS RETAINED BY THE OWNER.
35. THE CONTRACTOR IS DIRECTED NOT TO DISTURB OR ATTEMPT REMOVAL OF ANY DISCOVERED HAZARDOUS MATERIALS OR CONTAMINATED SUBSTANCES. IMMEDIATELY NOTIFY BOTH THE OWNER AND THE ARCHITECT UPON DISCOVERY OF SUCH CONDITIONS.
36. OBTAIN AND PAY FOR REQUIRED PERMITS AND LICENSES REQUIRED FROM AUTHORITIES PRIOR TO COMMENCING DEMOLITION WORK. ARRANGE AND PAY FOR LEGAL DISPOSAL OF REMOVED MATERIALS AND EQUIPMENT, OBTAIN PROPER DISPOSAL RECEIPTS FOR VERIFICATION.
37. DO NOT DISABLE OR DISRUPT BUILDING FIRE OR LIFE SAFETY SYSTEMS WITHOUT 3 DAYS PRIOR WRITTEN NOTIFICATION TO THE OWNER AND THE ARCHITECT.
38. CONDUCT THE WORK IN A MANNER GIVING PRIME CONSIDERATION TO PROTECTION OF THE NEIGHBORS AND THE PUBLIC; PROTECTION FROM THE WEATHER, CONTROL OF NOISE, SHOCKS AND VIBRATION; CONTROL OF DIRT AND DUST; ORDERLY ACCESS FOR AND STORAGE OF MATERIALS; PROTECTION OF EXISTING BUILDINGS; PROTECTION OF ADJACENT SURFACES AND PROPERTY; COORDINATION WITH THE OWNER AT ALL TIMES.
39. COMPLY WITH ALL REQUIREMENTS OF THIS CONTRACT RELATIVE TO PROTECTION, SCHEDULING AND COORDINATION WITH THE OWNER.
40. COORDINATE AND ARRANGE WITH MECHANICAL AND ELECTRICAL TRADES FOR THEIR DISCONNECTING, REROUTING AND MAINTENANCE OF EXISTING SERVICES IN THE BUILDINGS AS REQUIRED, AS PART OF THE WORK OF THIS CONTRACT.
41. ERECT AND MAINTAIN TEMPORARY PARTITIONS TO PREVENT SPREAD OF DUST, ODORS, AND NOISE TO PERMIT CONTINUED OCCUPANCY OF BUILDING.
42. PROTECT EXISTING ELEMENTS WHICH ARE NOT TO BE DEMOLISHED. PROTECT DESIGNATED MATERIALS AND EQUIPMENT TO BE REMOVED AND RETAINED BY THE OWNER.
43. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT AND OCCUPIED BUILDING AREAS, IN COMPLIANCE WITH GOVERNING LAWS AND BUILDINGS, WITH PRIME CONSIDERATION GIVEN TO THE SAFETY, PROTECTION AND CONVENIENCE OF THE TENANTS, NEIGHBORS, AND THE PUBLIC AND THE OWNER'S PERSONNEL.
44. CAREFULLY OBSERVE EXISTING STRUCTURE DURING DEMOLITION OPERATIONS, CEASE OPERATIONS IMMEDIATELY IF STRUCTURE APPEARS TO BE IN DANGER. NOTIFY ARCHITECT AND DO NOT RESUME OPERATIONS UNTIL DIRECTED.
45. MAINTAIN PROTECTED EGRESS AND ACCESS TO THE WORK AT ALL TIMES.
46. WET DOWN DEBRIS TO PREVENT AIR POLLUTION BY DUST RISING FROM DEMOLITION WORK. EMPLOY TARPAILLINS ON TRUCKS CARRYING DEBRIS TO PREVENT SPREADING DUST OR DEBRIS. CLEAN UP LOOSE DEBRIS DAILY TO PREVENT THE WIND SPREADING DEBRIS.
47. DO NOT THROW TRASH FROM WINDOWS OR FROM ROOF. ERECT CHUTES TO DUMPSTER FOR CONTAINING DEBRIS. KEEP DUMPSTER COVERED AND WET DOWN TO PREVENT FIRES CAUSED BY VANDALS.
48. AS WORK PROGRESSES, REGULARLY REMOVE DEMOLISHED MATERIALS FROM SITE, EXCEPT SALVAGED MATERIALS AS NOTED. DO NOT BURN OR BURY MATERIALS ON SITE, ARRANGE FOR LEGAL DISPOSAL OF THE SAME.
49. DAILY CLEAN INTERIOR WORK AREAS BY SWEEPING AND DISPOSING OF DEBRIS.
50. UPON COMPLETION OF WORK, REMOVE TOOLS, EQUIPMENT, AND TEMPORARY WORK. REMOVE ALL DEBRIS AND SURPLUS MATERIALS; LEAVE AREAS IN CLEAN CONDITION.
51. DURING THE DEMOLITION PHASE, THE GC IS TO REMOVE ONLY THOSE MATERIALS AND MISCELLANEOUS ITEMS SHOWN OR AS REQUIRED TO PERFORM THE WORK SHOWN IN THESE DOCUMENTS. ALL MATERIALS REMOVED ARE TO BE DISPOSED OF OR RECYCLED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS, UNLESS OTHERWISE NOTED.
52. SMOKE DETECTORS/ ALARMS ARE TO BE PROVIDED AS REQUIRED BY LOCAL BUILDING COMMISSIONER. FULL COMPLIANCE IS REQUIRED WHETHER OR NOT EXPLICITLY SHOWN ON THE DRAWINGS, DURING THE DEMOLITION PHASE.

SPECIFICATIONS:

GENERAL

1. SPECIFICATIONS FOR ALL FINISHES, PLUMBING FIXTURES, HVAC, LIGHTING, DOORS, WINDOWS, MEMBRANE ROOF, BATHROOM ACCESSORIES, PAINT AND COLORS, AND OTHER ITEMS, REFER TO THE OWNERS' SPECIFICATIONS SHEET THAT ACCOMPANIES THE DRAWING SET.

ROUGH CARPENTRY

1. PROVIDE NAILER AND BLOCKING WHERE REQUIRED FOR ALL MATERIAL INCLUDED IN CONTRACT AND OWNER FURNISHED MATERIAL, INCLUDING BUT NOT LIMITED TO, MILLWORK, CASEWORK AND APPLIANCES GC TO COORDINATE.
2. PROVIDE BLOCKING AND BRACING OF SOFFITS AND INTERIOR PARTITIONS.
3. PROVIDE FIRE-RETARDANT TREATED WOOD (FRT) WHERE REQUIRED BY CODE.
4. WOOD NAILER, BLOCKING, FURRING AND SLEEPERS SHALL BE FIRE RETARDANT TREATED.

MASONRY

1. GENERAL CONTRACTOR (GC) SHALL PROVIDE AND INSTALL FACE BRICK ON ALL EXTERIOR SURFACES SHOWN ON THE DRAWINGS. BRICK AND GROUT SHALL MATCH THE EXISTING BRICK AND GROUT. RUNNING BOND TO MATCH EXISTING.
2. GC TO PROVIDE BRICK AND MORTAR SAMPLES TO THE OWNERS FOR APPROVAL.

ARCHITECTURAL WOODWORK/CASEWORK

1. QUALITY STANDARD FOR FABRICATION AND PRODUCTS: ARCHITECTURAL WOODWORK INSTITUTE QUALITY STANDARDS, PREMIUM GRADE UNLESS NOTED OTHERWISE.
2. GC TO COORDINATE WITH THE OWNERS' BATHROOM VANITY SUPPLIER. GC TO INSTALL.
3. GC TO COORDINATE WITH THE OWNERS' CLOSET INTERIOR VENDOR AND THE INSTALLATION BY VENDOR. GC TO PROVIDE BLOCKING AS REQUIRED.
4. PROVIDE HARDWOOD STANDING AND RUNNING TRIM IN SIZES, STAIN AND FINISH AS SELECTED BY OWNER.

THERMAL & MOISTURE PROTECTION

1. LAP ALL SEAMS 6" AND SEAL WITH MANUFACTURER-APPROVED SEAM TAPE.
2. PROVIDE SEALING WITH CONTINUOUS AND DURABLE CAULK, GASKETS, TAPE OR SPRAY SEALANTS TO REDUCE AIR LEAKAGE.
3. PROVIDE ALUMINUM TRIM AT ALL EDGES.
4. PROVIDE SEAMLESS ALUMINUM CUTTERS AND DOWNSPOUTS, COLOR TO MATCH EXITING.
5. PROVIDE CONTINUOUS INSULATION TO NEW EXTERIOR WALLS, PER CODE.
6. PROVIDE 6-MIL POLYETHYLENE VAPOR BARRIER ON THE WARM FACE OF INSULATION. LAP AND SEAL ALL SEAMS, AND FASTEN AND SEAL ALL EDGES.
7. PROVIDE CAULKING AT ALL NEW WINDOWS. SPRAY FOAM AT AT PERIMETERS OF NEW EXTERIOR WINDOWS.
8. CAULK AS REQUIRED AT TRIM, PLUMBING FIXTURES, BACKSPLASH AND MILLWORK.

PLASTER AND GYPSUM BOARD

1. PROVIDE 5/8" GYPSUM WALLBOARD (GWB) UNLESS INDICATED OTHERWISE.
2. .PROVIDE PAPER TAPE AND READY MIXED VINYL COMPOUND JOINT REINFORCEMENT.
3. PROVIDE STUDS AND ACCESSORIES AS NEEDED FOR A COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO: -STEEL STUDS: 25 GAUGE GALVANIZED, SCREW TYPE -CEILING SUSPENSION AND FURRING MATERIALS: STEEL RUNNERS, FURRING CHANNELS AND GALVANIZED HANGER WIRE.
4. PROVIDE CONTROL JOINTS PER MANUFACTURER'S SPECIFICATIONS.
5. EXTEND FIRE-RATED PARTITIONS TO UNDERSIDE OF DECK AND SEAL AS REQUIRED.
6. PROVIDE STUDS AT 16" O.C.
7. PROVIDE BLOCKING FOR WALL SUPPORTED ITEMS, AND ACCESSORIES.
8. INSTALL TRIM AND JOINT TREATMENT IN STRICT COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. SAND AND LEAVE READY FOR FINISHING PAINT.

FLOORING

1. PROVIDE COMPATIBLE ADHESIVE PER MANUFACTURER'S REQUIREMENTS; AT PERIMETER ONLY.
2. PROVIDE FLUSH/LEVEL TRANSITION BETWEEN FLOORING MATERIALS.

EQUIPMENT

1. PROVIDE MECHANICAL, ELECTRICAL AND PLUMBING AS REQUIRED FOR OWNER FURNISHED NEW AND EXISTING EQUIPMENT.

ELECTRICAL

1. COMPLY WITH APPLICABLE CODES, REGULATIONS, ORDINANCES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION AND THE NATIONAL ELECTRICAL CODE. TEST ALL SYSTEMS FOR PROPER OPERATION.
2. PROVIDE AND INSTALL ALL NEW ELECTRICAL SWITCHES, RECEPTACLES AND GFCI PER CODE.

PLUMBING


1. COMPLY WITH APPLICABLE CODES, REGULATIONS, ORDINANCES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION AND THE NATIONAL PLUMBING CODE. TEST ALL SYSTEMS FOR PROPER OPERATION.

80
OLD MIDDLESEX
ROAD
BELMONT, MA
02478

ADDITION AND
RENOVATIONS

2886
03/19/2021
AS NOTED
ISP
ATR

GENERAL NOTES



Rojas Design, Inc.
Architecture
46 Waltham Street
Suite 2A
Interior Design
Boston, MA 02118
Landscape Architecture
(617) 720-4100

Rojas

PROJECT NO. 2886
DATE 03/19/2021
BY ISP
CHECKED ATR

G-01

80
OLD MIDDLESEX
ROAD
BELMONT, MA
02478

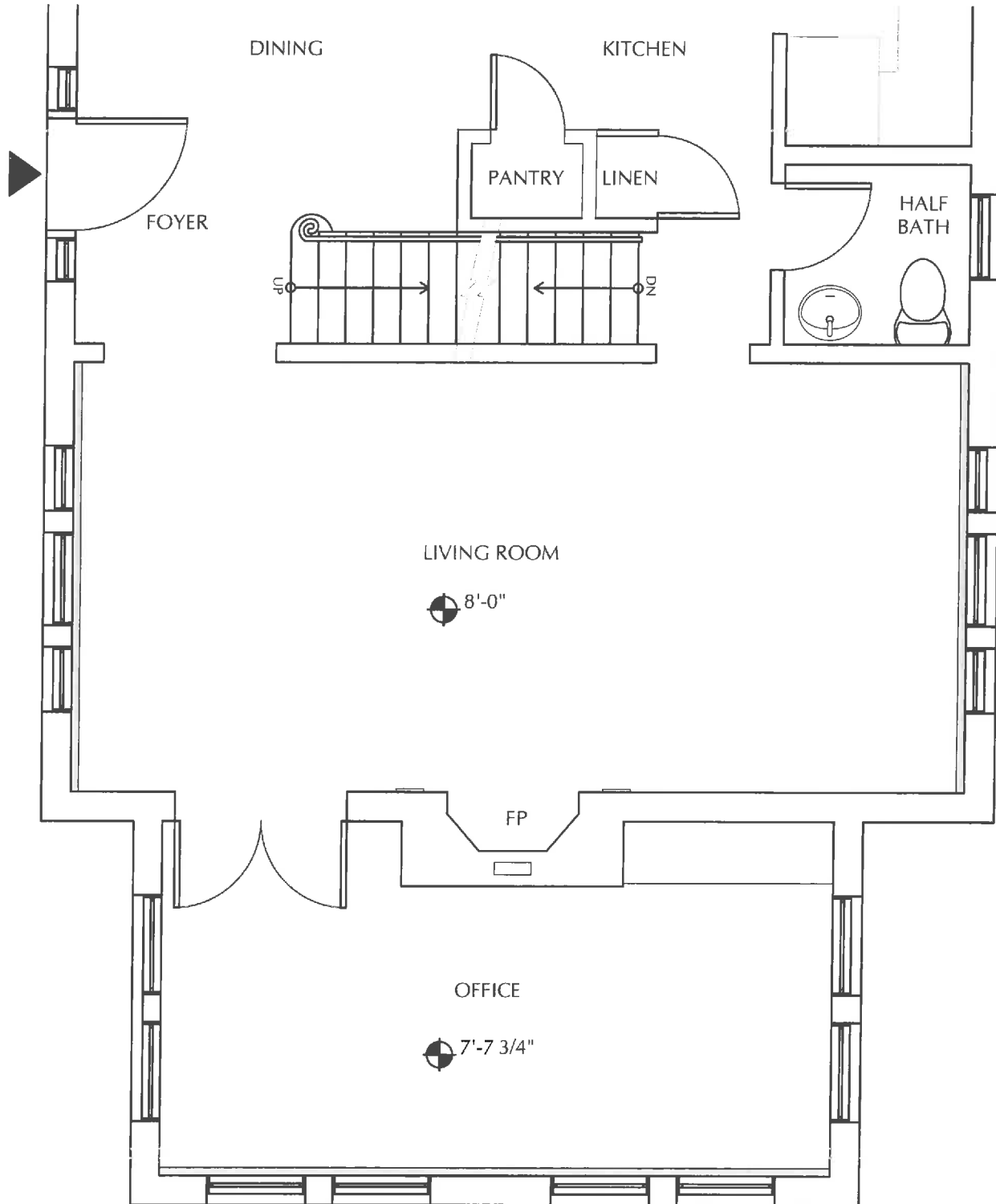
ADDITION AND
RENOVATIONS

Project No.	2886
Date	03/19/2021
Scale	AS NOTED
Discipline	ISP
Author	ATR

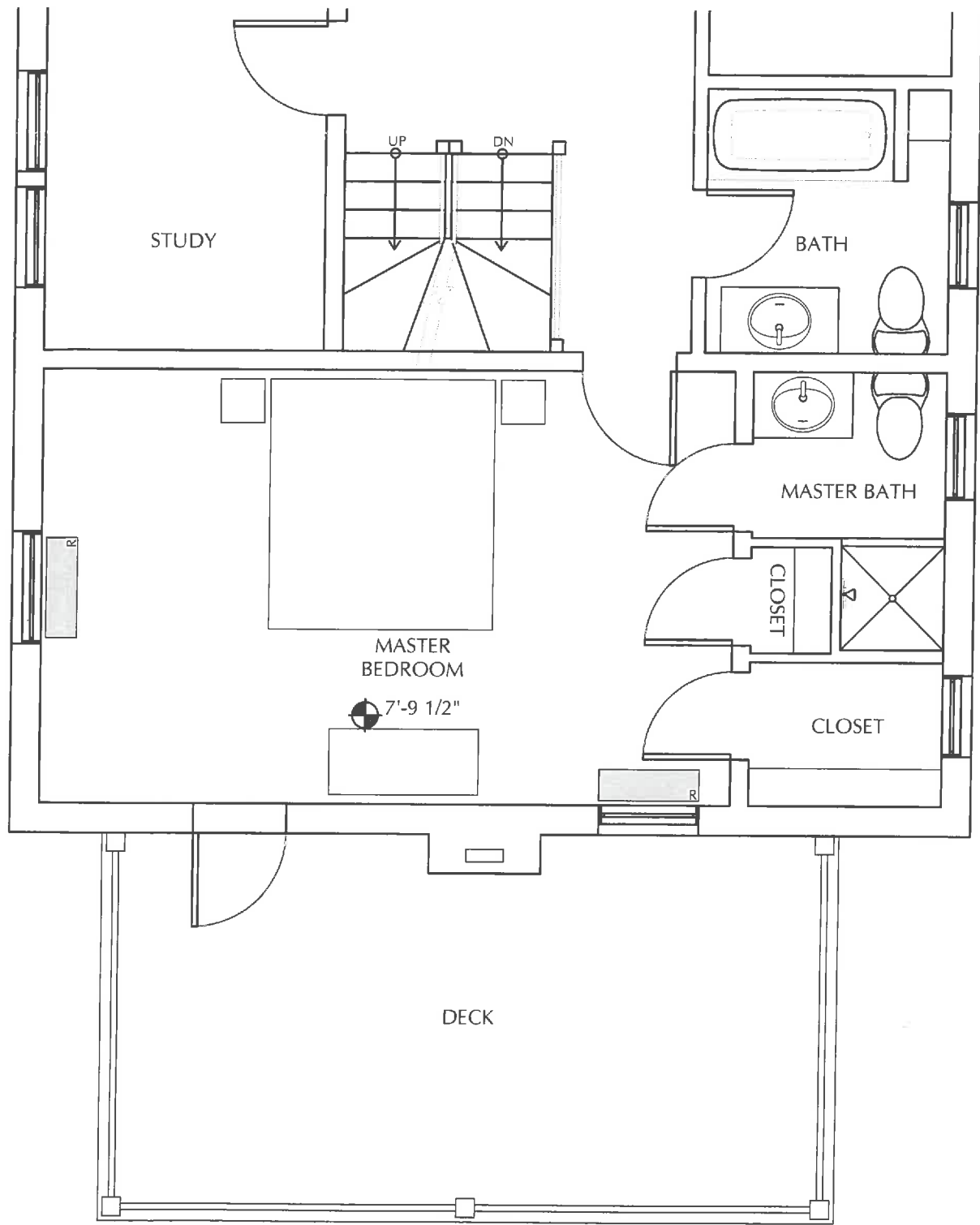
EXISTING FIRST &
SECOND FLOOR
PLANS

Rojas Design, Inc.
Architecture
46 Wallham Street
Suite 2A
Interior Design
Boston, MA 02118
Landscape Architecture
(617) 720-4100

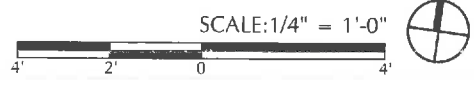
Rojas



1 EXISTING FIRST FLOOR PLAN - PARTIAL



2 EXISTING SECOND FLOOR PLAN - PARTIAL



EX-01

80
OLD MIDDLESEX
ROAD
BELMONT, MA
02478

ADDITION AND
RENOVATIONS

2886
03/19/2021
AS NOTED
ISP
ATR

EXISTING FRONT
(WEST) ELEVATION -
OLD MIDDLESEX
ROAD

Rojas Design, Inc.
Architecture
46 Waltham Street
Suite 2A
Interior Design
Boston, MA 02118
Landscape Architecture
(617) 720-4100

Rojas

EX-02





1 EXISTING SIDE (SOUTH) ELEVATION

80
OLD MIDDLESEX
ROAD
BELMONT, MA
02478

ADDITION AND
RENOVATIONS

2886
03/19/2021
AS NOTED
ISP
ATR

EXISTING SIDE
(SOUTH) ELEVATION

Rojas Design, Inc.
Architecture
46 Waltham Street
Suite 2A
Boston, MA 02118
Landscape Architecture
(617) 720-4100

Rojas



EX-03

80
OLD MIDDLESEX
ROAD
BELMONT, MA
02478

ADDITION AND
RENOVATIONS

2886
03/19/2021
AS NOTED
ISP
ATR

EXISTING REAR
(EAST) ELEVATION

Rojas Design, Inc.
Architecture
46 Waltham Street
Suite 2A
Boston, MA 02118
Landscape Architecture
(617) 729-4100

Rojas



EX-04



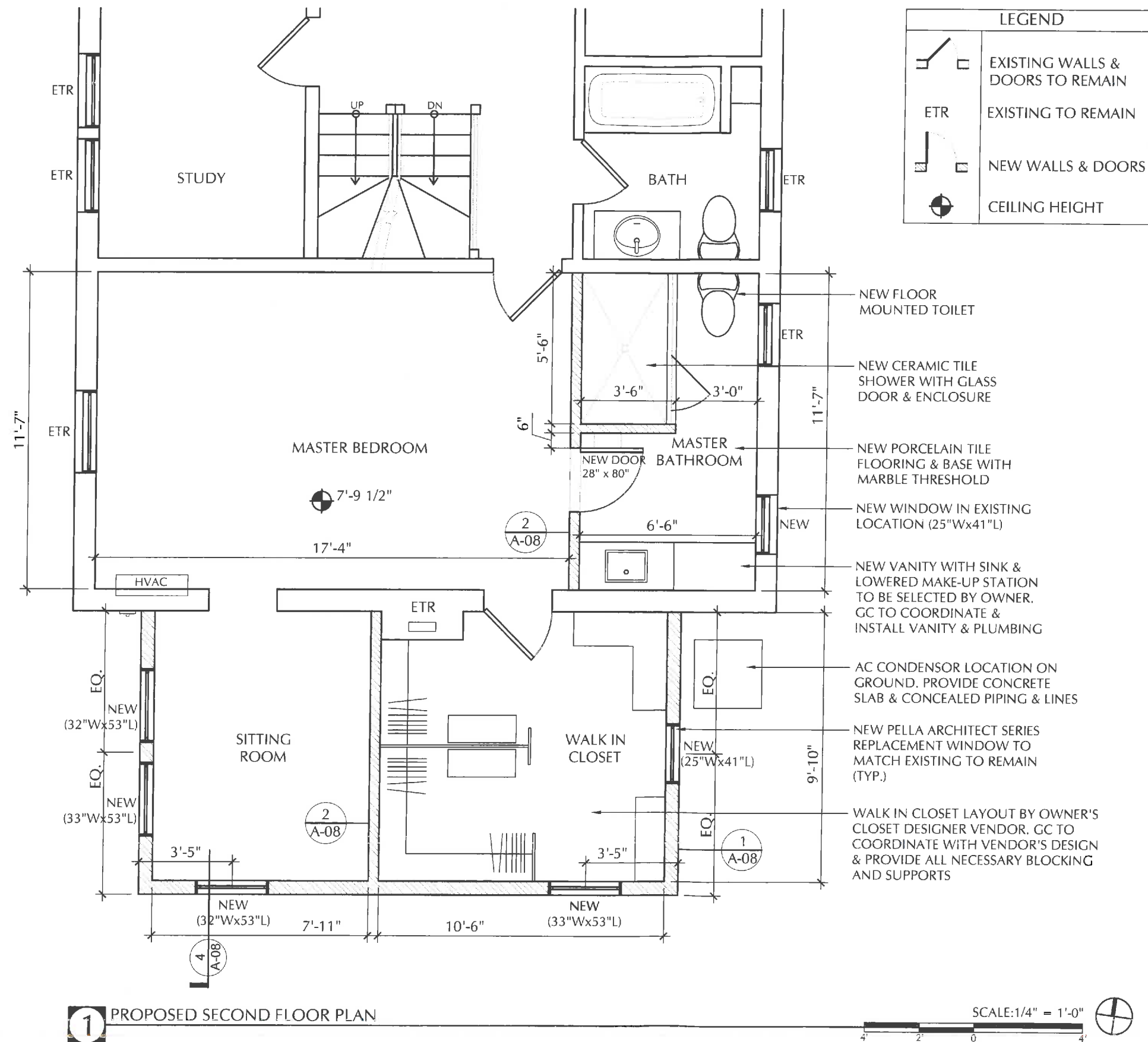
1 EXISTING REAR (EAST) ELEVATION

ADDITION AND RENOVATIONS

PROPOSED SECOND FLOOR PLAN

Rojas

A-01



80
OLD MIDDLESEX
ROAD
BELMONT, MA
02478

ADDITION AND
RENOVATIONS

2886
03/19/2021
AS NOTED
ISP
ATR

PROPOSED FRONT
(WEST) ELEVATION -
OLD MIDDLESEX
ROAD

Rojas Design, Inc.
Architecture
46 Waltham Street
Suite 2A
Interior Design
Boston, MA 02118
Landscape Architecture
(617) 720-4100

Rojas



A-02

80
OLD MIDDLESEX
ROAD
BELMONT, MA
02478

ADDITION AND
RENOVATIONS

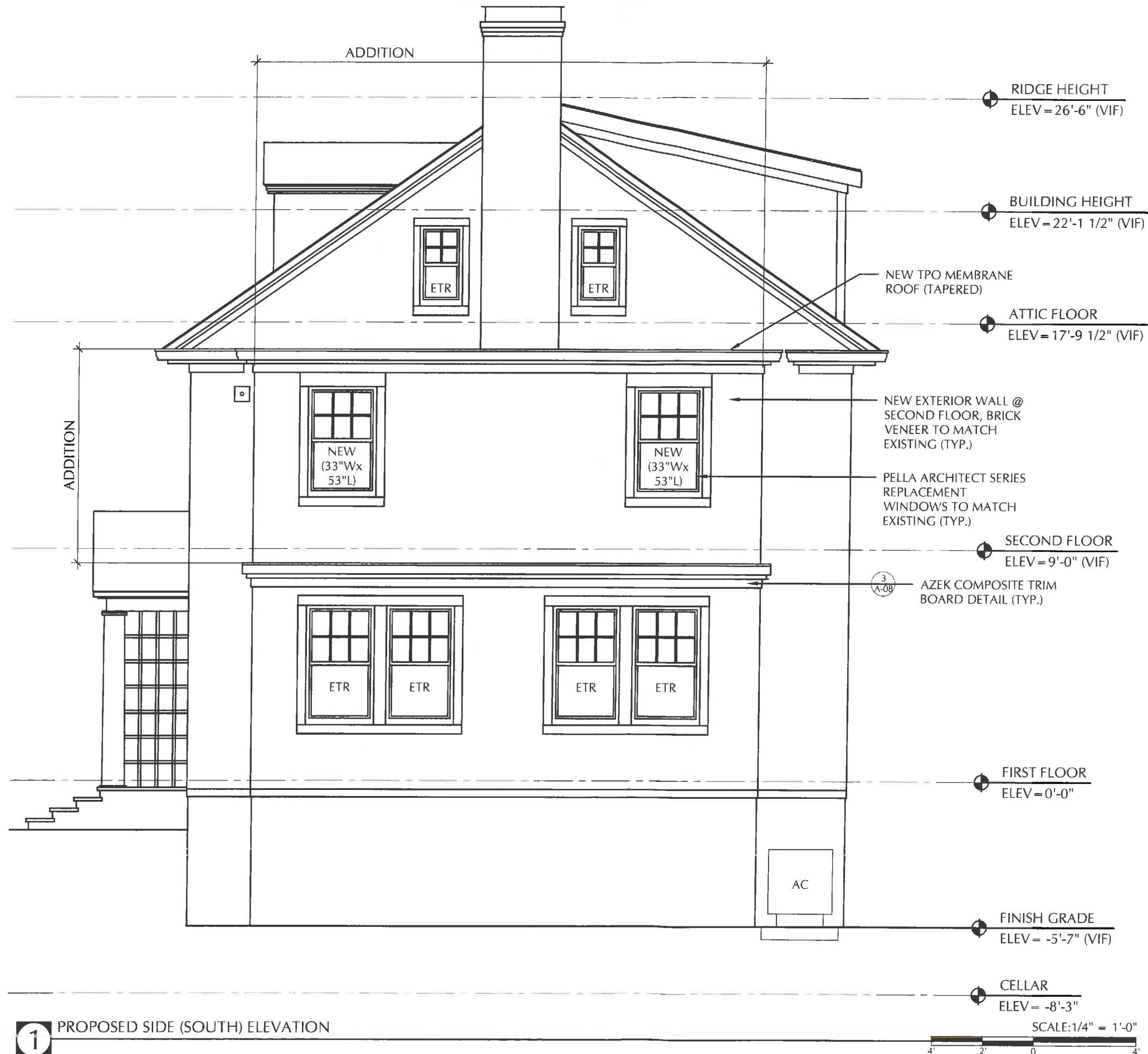
2886
03/19/2021
AS NOTED
ISP
ATR

PROPOSED SIDE
(SOUTH) ELEVATION
- OPTION 1

Rojas Design, Inc.
Architecture
46 Waltham Street
Suite 2A
Boston, MA 02118
Landscape Architecture
(617) 720-4100

Rojas

A-03



ADDITION AND RENOVATIONS

Rojas Design, Inc.
Architecture
46 Waltham Street
Suite 2A
Boston, MA 02118
Landscape Architecture
(617) 720-4100

Rojas

Rojas Design, Inc.
Architecture
46 Waltham Street
Suite 2A
Interior Design
Boston, MA 02118
Landscape Architecture
(617) 720-4100

A-04



80
OLD MIDDLESEX
ROAD
BELMONT, MA
02478

ADDITION AND
RENOVATIONS

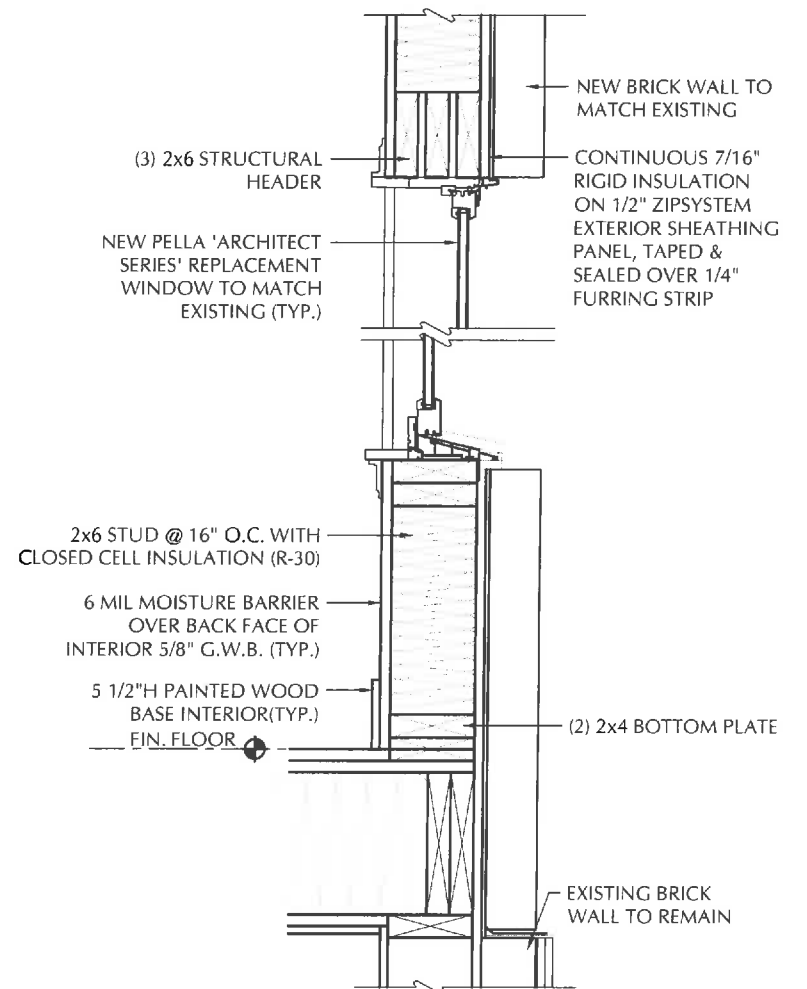
2886
03/19/2021
AS NOTED
ISP
ATR

PARTITION TYPES &
BUILDING SECTION

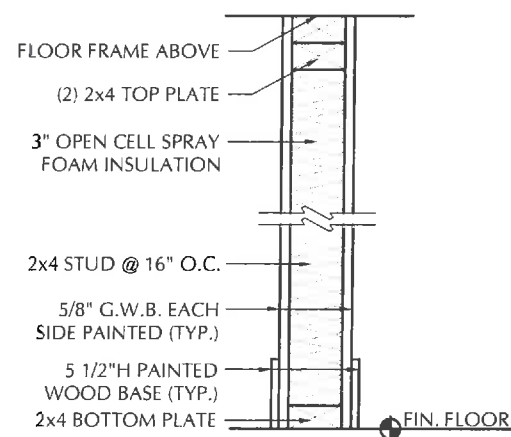
Rojas Design, Inc.
Architecture
46 Waltham Street
Suite 2A
Boston, MA 02118
Landscape Architecture
(617) 720-4100

Rojas

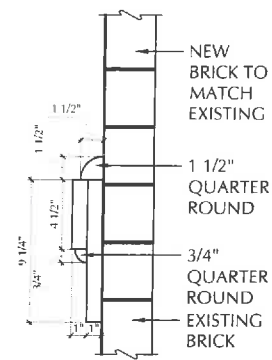
A-05



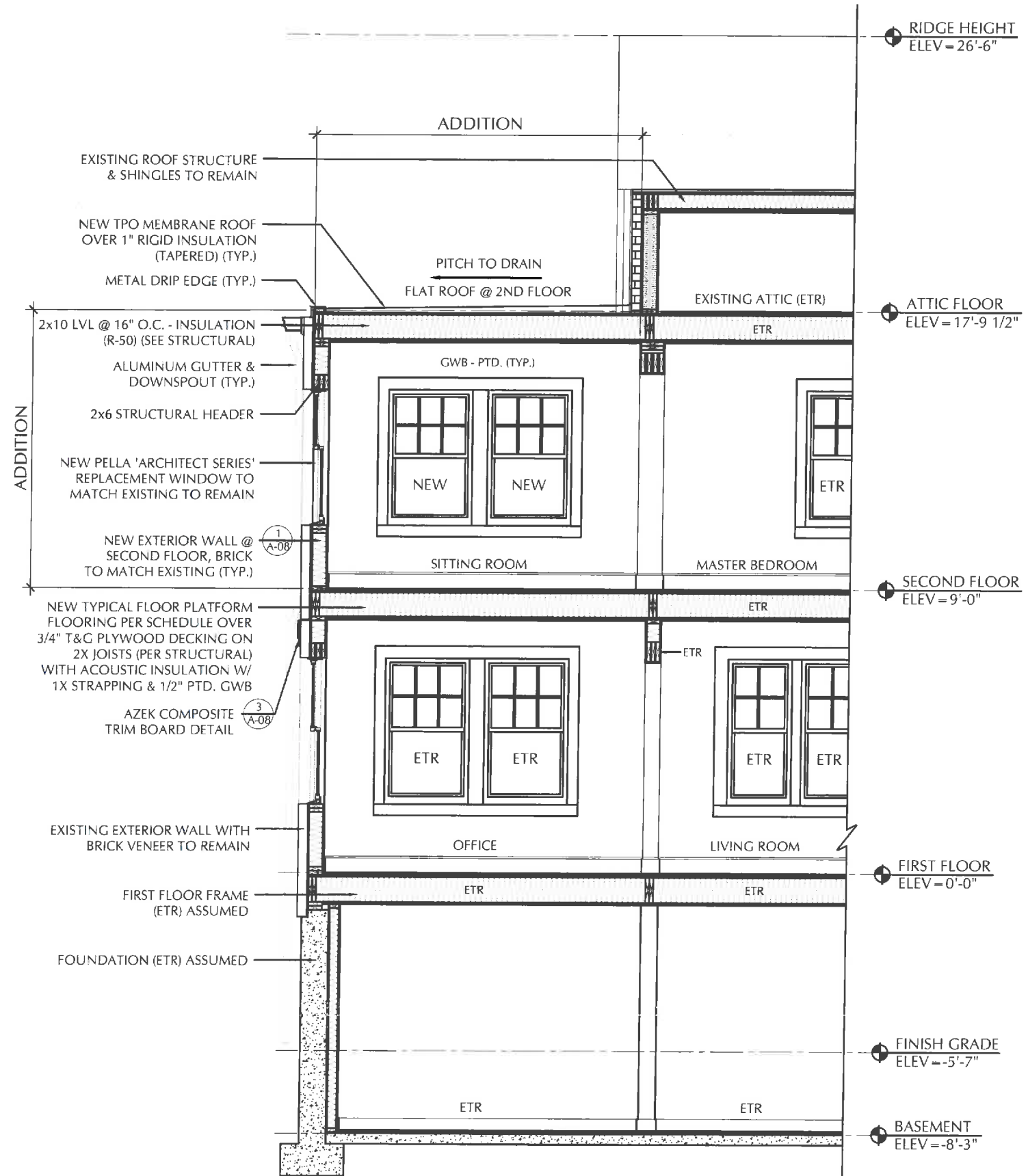
1 TYPICAL EXTERIOR WALL SCALE: 1" = 1'-0"



2 TYPICAL INTERIOR PARTITION NTS



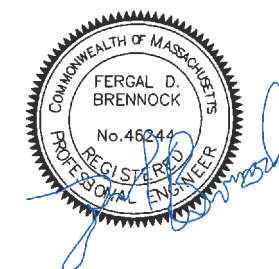
3 AZEK TRIM COMPONENTS NTS



4 BUILDING SECTION

80
OLD MIDDLESEX
ROAD
BELMONT, MA
02478

ADDITION AND
RENOVATIONS

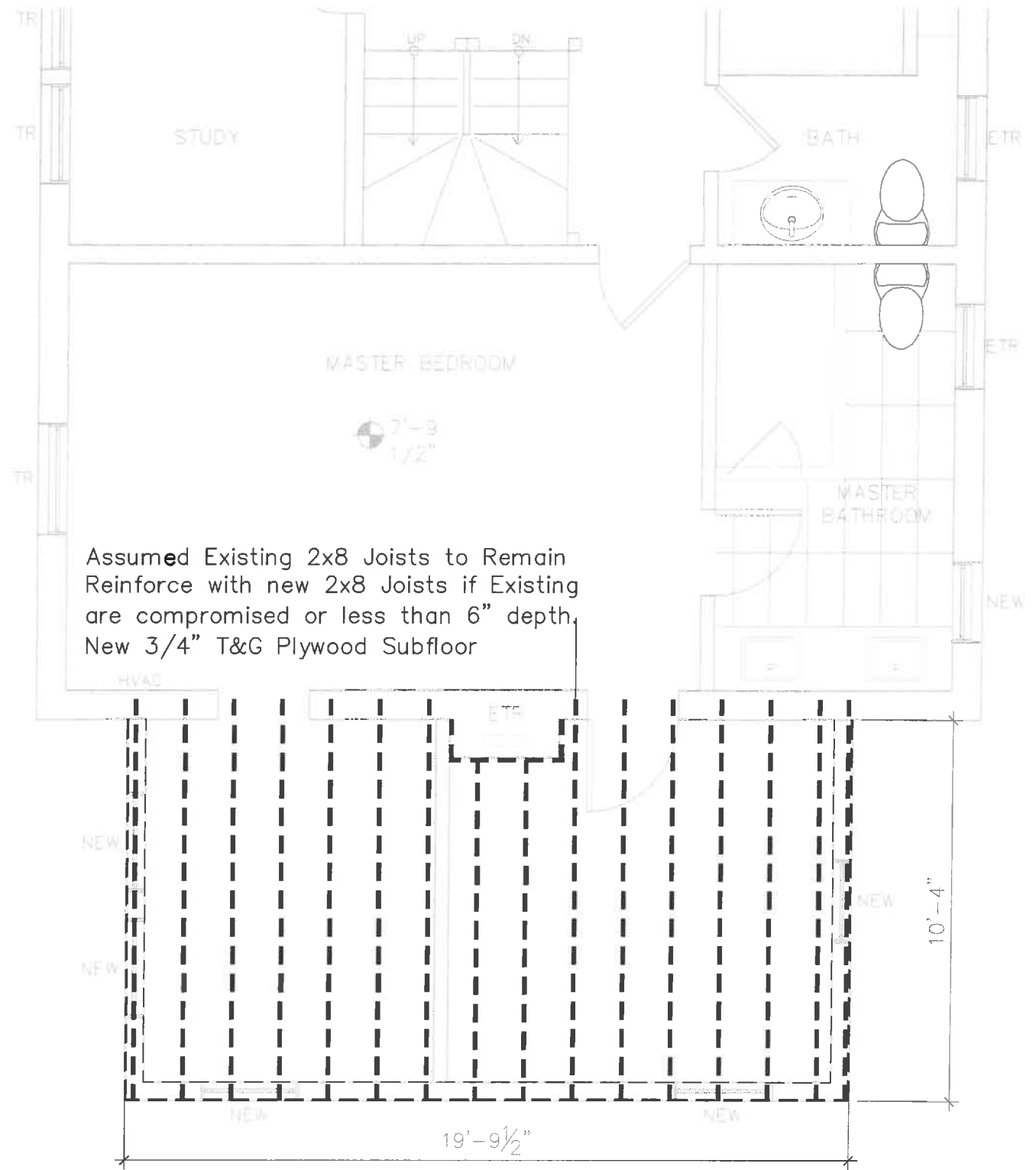


DATE	03/01/2023
SCALE	AS NOTED
DESIGNED BY	FB
CHECKED BY	FB

SECOND FLOOR
& SECOND FLOOR
ROOF FRAMING
PLANS

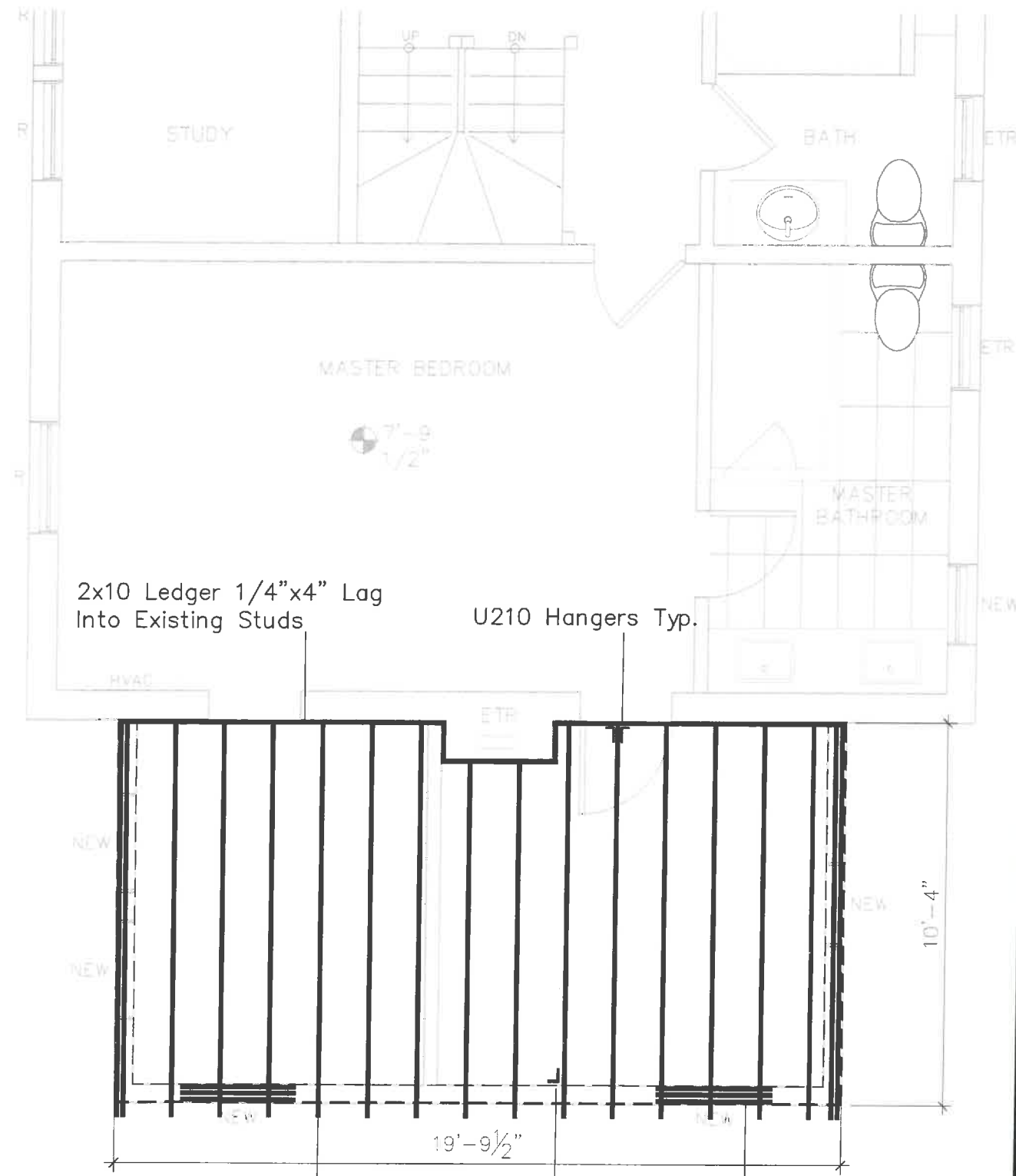
Rojas Design, Inc.
Architecture
Interior Design
Landscape Architecture

Rojas



Notes:
IRC 2015, 9th Edition MA Bldg Code CMR 780
40psf Snow Load, 40psf Live Load, 10psf Dead Load
Wind Vult 127mph, 2x6@16 Wall Studs, 1/2" Sheathing

1 SECOND FLOOR ADDITION FRAMING PLAN



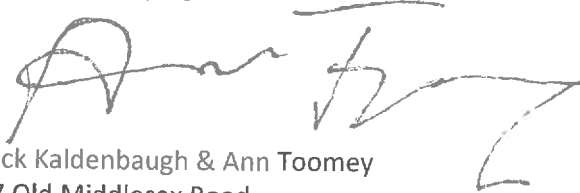
2 SECOND FLOOR ADDITION ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

May 8, 2021

To Belmont ZBA,

Dan & Jane Slavin have shared their plans for the second story addition with me and I do not object to the proposed project.

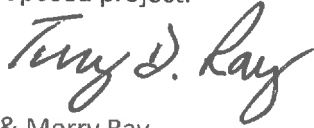
A handwritten signature in black ink, appearing to read "Ann Toomey", written over a horizontal line.

Nick Kaldebaugh & Ann Toomey
67 Old Middlesex Road
Belmont, MA 02478
(House across from 80 Old Middlesex Road)

May 8, 2021

To Belmont ZBA,

Dan & Jane Slavin have shared their plans for the second story addition with me and I do not object to the proposed project.

A handwritten signature in black ink that reads "Terry D. Ray". The signature is written in a cursive style with a large, stylized "T" and "R".

Terry & Merry Ray
265 Payson Rd.
Belmont, MA 02478
(House behind 80 Old Middlesex Road)



80 Old Middlesex Road