

June 10, 2021

Dear Board Members,


We appreciate the assistance we have received from Belmont's Office of Community Development and Ara Yogurtian in our attempt to make the proposed porch/deck/mudroom addition compliant with current zoning requirements to fullest extent possible. After coordination with Mr. Yogurtian we have revised our original scheme in order to eliminate all variance requests. Through those discussions we determined the following adjustments and corrections to the original proposal were required.

1. We determined the that the required rear setback listed on the initial site survey was inaccurate. The table listed the minimum rear setback as 23.72'. According to Article 4.2.2 a)6 the rear setback for lots less than 100' can be 30% of the total depth, "but in no event shall the rear setback equal less than 25 feet". With that change we realized the bulkhead for the basement access was within the required setback. We had this confirmed by the surveyor (Cliff Rober) and had the survey adjusted to show this setback dimension. We understand that that condition now creates a non-conforming situation and, therefore, a special permit would be required to extend into the setback any farther.
2. We reduced the width of the screened in porch to eliminate the need for the 5' separation from other structures on the lot. This will eliminate the need for a variance for Article 4.3.5 b)2.
3. We also reduced the depth of the screened in porch to reduce both the increase in the rear setback of the porch and the lot coverage.

The last issue noted on the initial refusal letter from the Office of Community Development dated February 23, 2021, was regarding article 4.3.5 (c)3 which states "Additions to existing dwellings may extend beyond the front line of existing unattached accessory buildings provided said additions meet the requirements for setback, sideline, rear-line setbacks and lot coverage and open space requirements for the respective zoning district." Since the article does allow the addition to extend beyond the frontline of the accessory building IF the addition meets the noted requirements, we believe that the granting of special permits in essence creates a situation where those requirements are being satisfied. We hope the Board agrees with our interpretation.

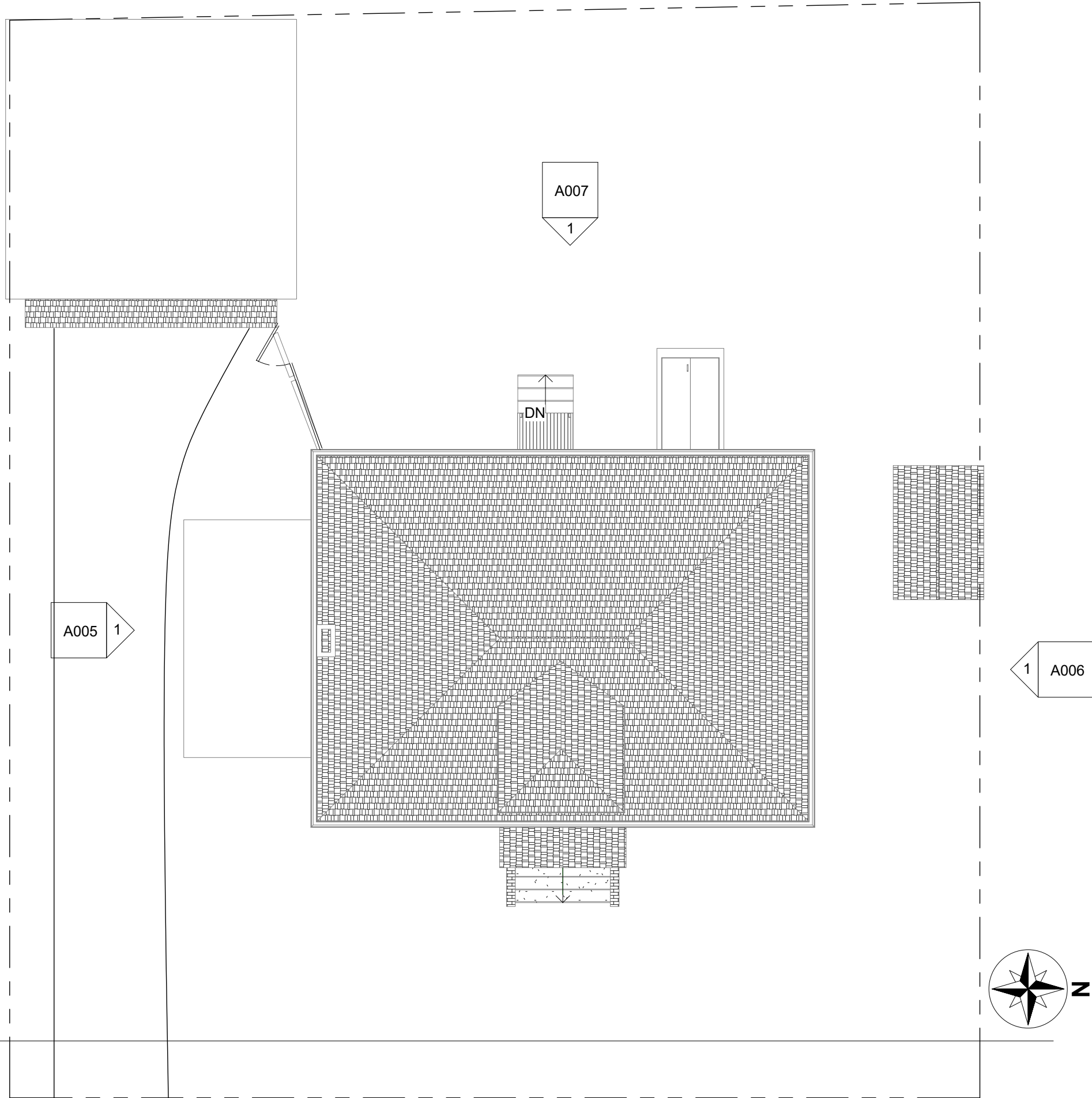
As we have previously mentioned in our original statement we have lived in Belmont for 13 years and truly love our home and the neighborhood. Kristen works in Belmont as well. Our two children have grown up here and are both enrolled in the Belmont School system. We have no plans to move. We do have the support of neighbors for this project and we both feel there will be no detrimental effect to the neighborhood or surrounding properties.

Thank you again for considering our case,



Marc and Kristen Becker
24 Stults Road
Belmont, MA

1 Site
1/8" = 1'-0"



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Becker Residence

24 Stults Road
Belmont, MA 02478

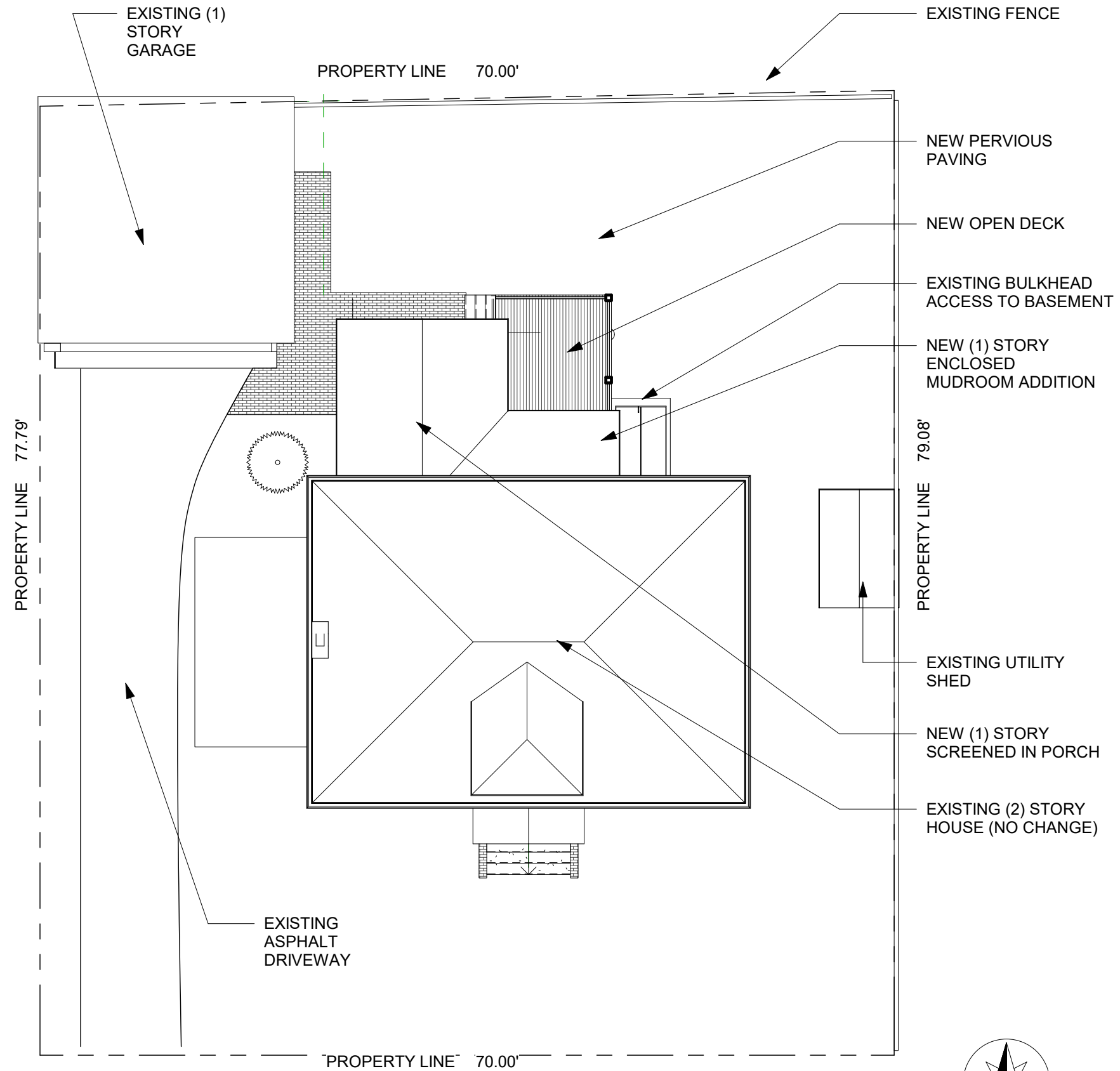
Existing Site Plan

19001

Date
06/11/20121

Scale
1/8" = 1'-0"

A001



1 Site
1" = 10'-0"



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Becker Residence

24 Stults Road
Belmont, MA 02478

Proposed Site Plan

Permit Set

Date
06/11/2021

Scale
1" = 10'-0"

A0.1

Becker Residence

24 Stults Road
Belmont, MA 02478

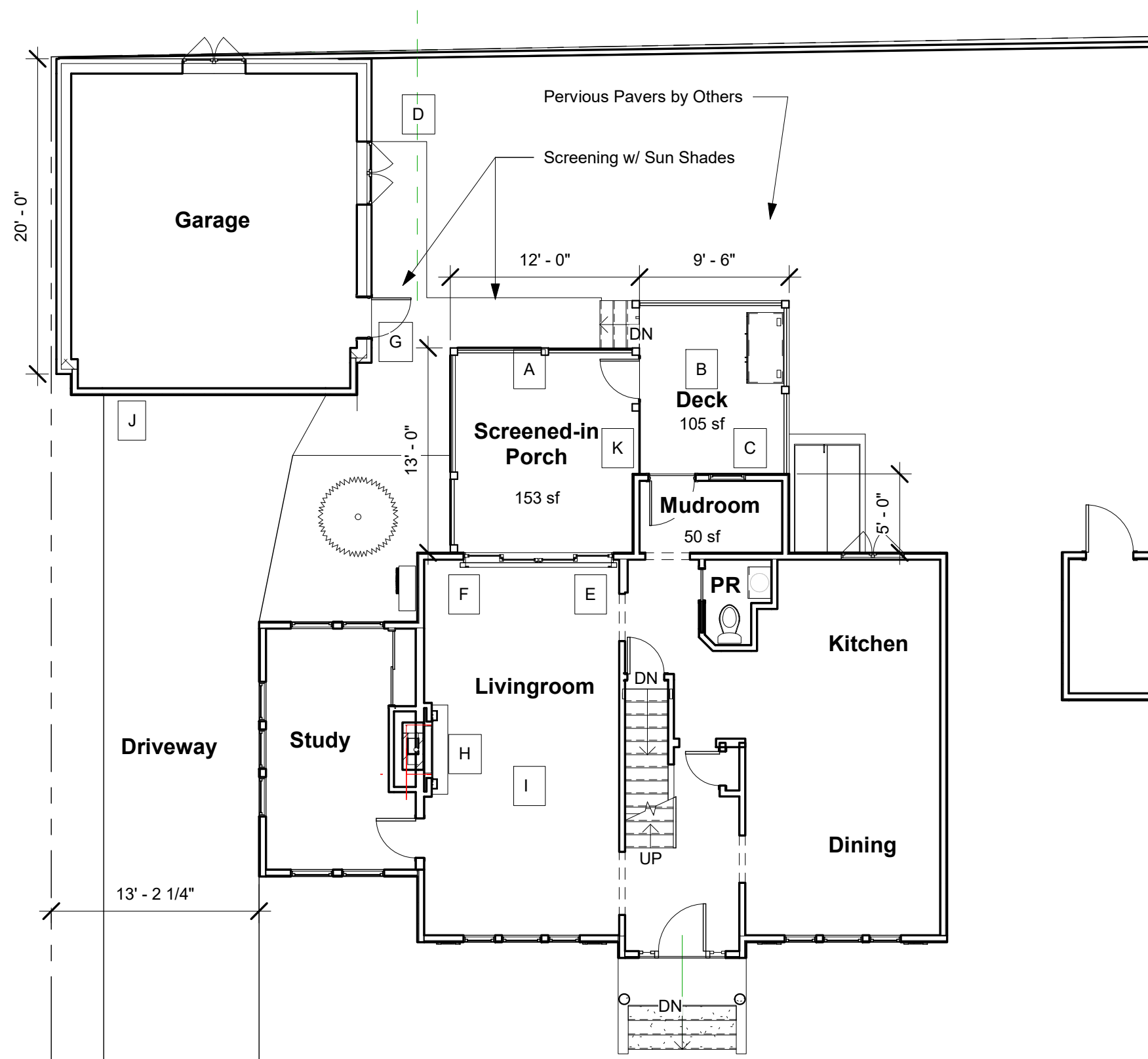
Proposed Floor
Plan

Permit Set

Date
06/11/2021

Scale
1/8" = 1'-0"

A2.0



SCOPE OF WORK

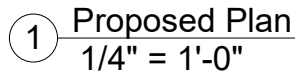
- A. 12' X 13' ENCLOSED PORCH
- B. 9.5' X 11' DECK
- C. 9.5' X 5' MUDROOM ADDITION
- D. MOVE GARAGE DOOR TO WHERE THE EXISTING WINDOW IS
- E. CREATE OPENING BETWEEN BACK HALL AND LIVING ROOM
- F. (4) PANEL SLIDING DOOR FROM LIVING ROOM
- G. GATE BETWEEN BACKYARD AND DRIVEWAY
- H. REDO FIREPLACE MANTEL TO LOWER IT
- I. NEW RECESSED LIGHTING IN LIVING ROOM
- J. REPLACING GARAGE OH DOOR
- K. 8' MOTORIZED PHANTOM SCREEN

1 Proposed First Floor Plan
1/8" = 1'-0"

24 Stults Road
Belmont, MA 02478

Permit Set
Date
06/11/2021
Scale
1/4" = 1'-0"

A2.1





1 4-Rear
1/4" = 1'-0"



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Becker Residence

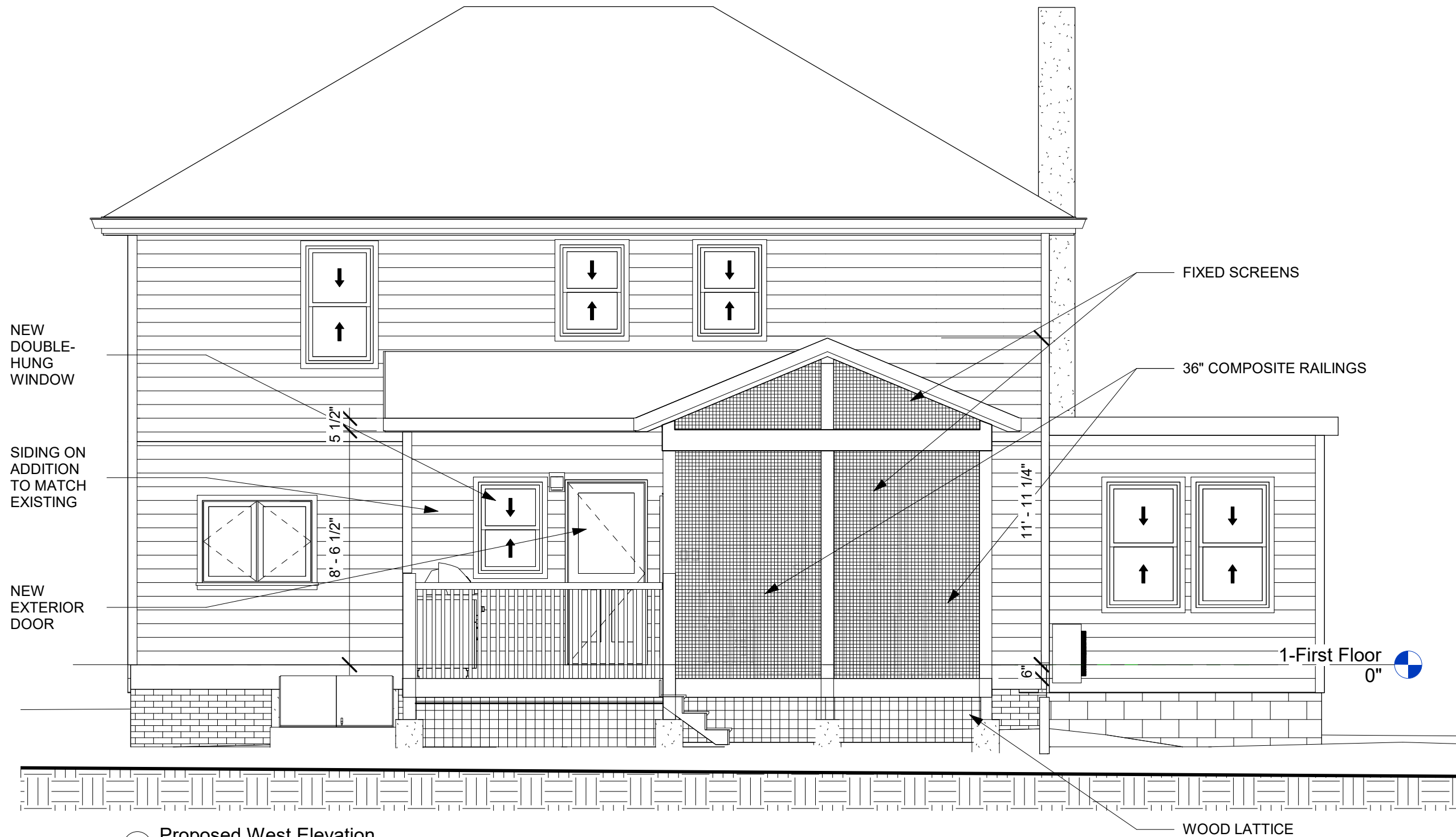
24 Stults Road
Belmont, MA 02478

Exterior Elevation

19001
Date
06/11/20121
Scale
1/4" = 1'-0"

A007

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1 Proposed West Elevation
1/4" = 1'-0"



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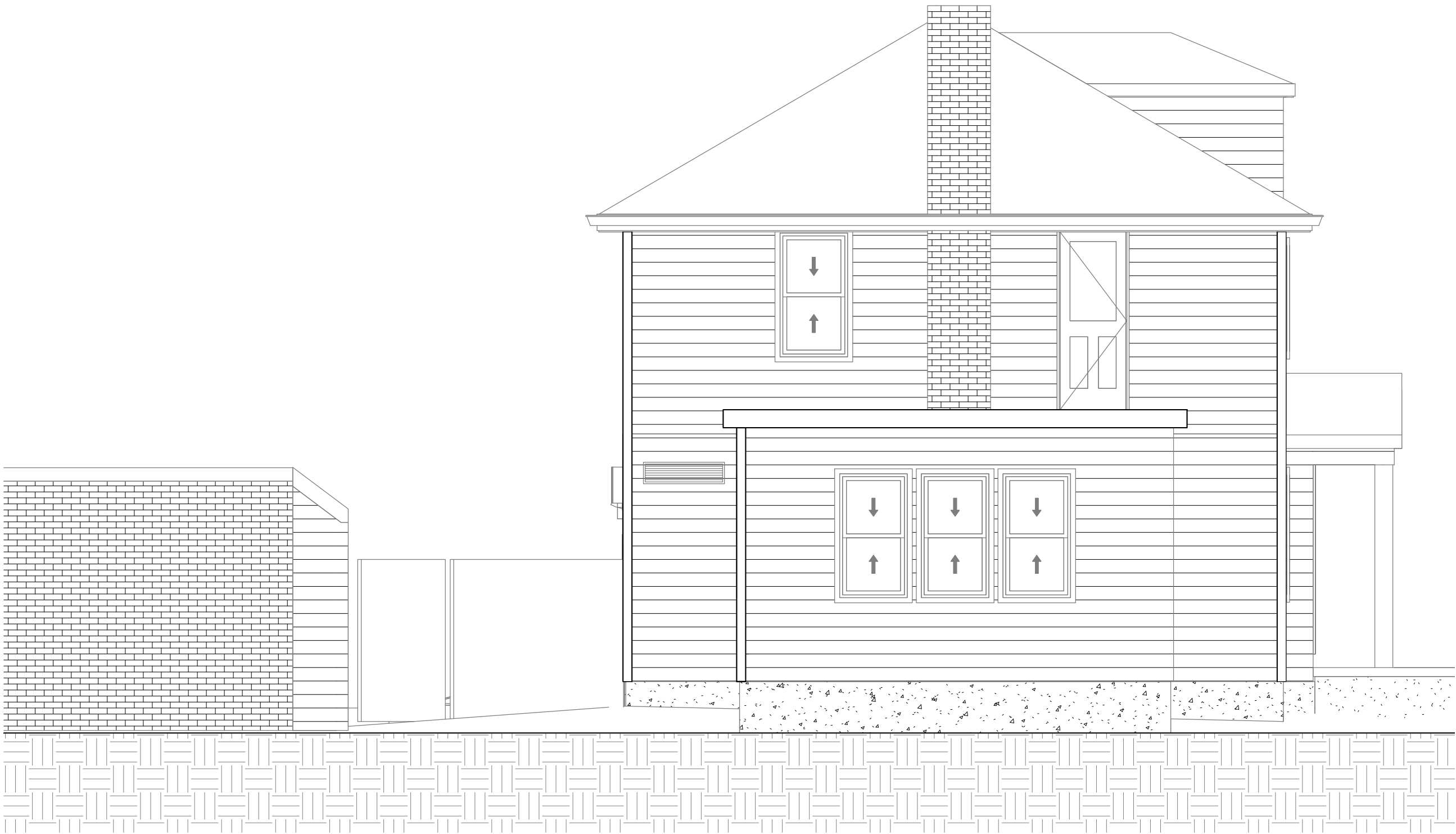
Becker Residence

24 Stults Road
Belmont, MA 02478

Proposed Exterior
Elevation

Permit Set
Date
06/11/2021
Scale
1/4" = 1'-0"

A3.0



1 South Elevation
1/4" = 1'-0"



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Becker Residence

24 Stults Road
Belmont, MA 02478

Exterior Elevation

19001
Date
06/11/20121
Scale
1/4" = 1'-0"

A005

Becker Residence

24 Stults Road
Belmont, MA 02478

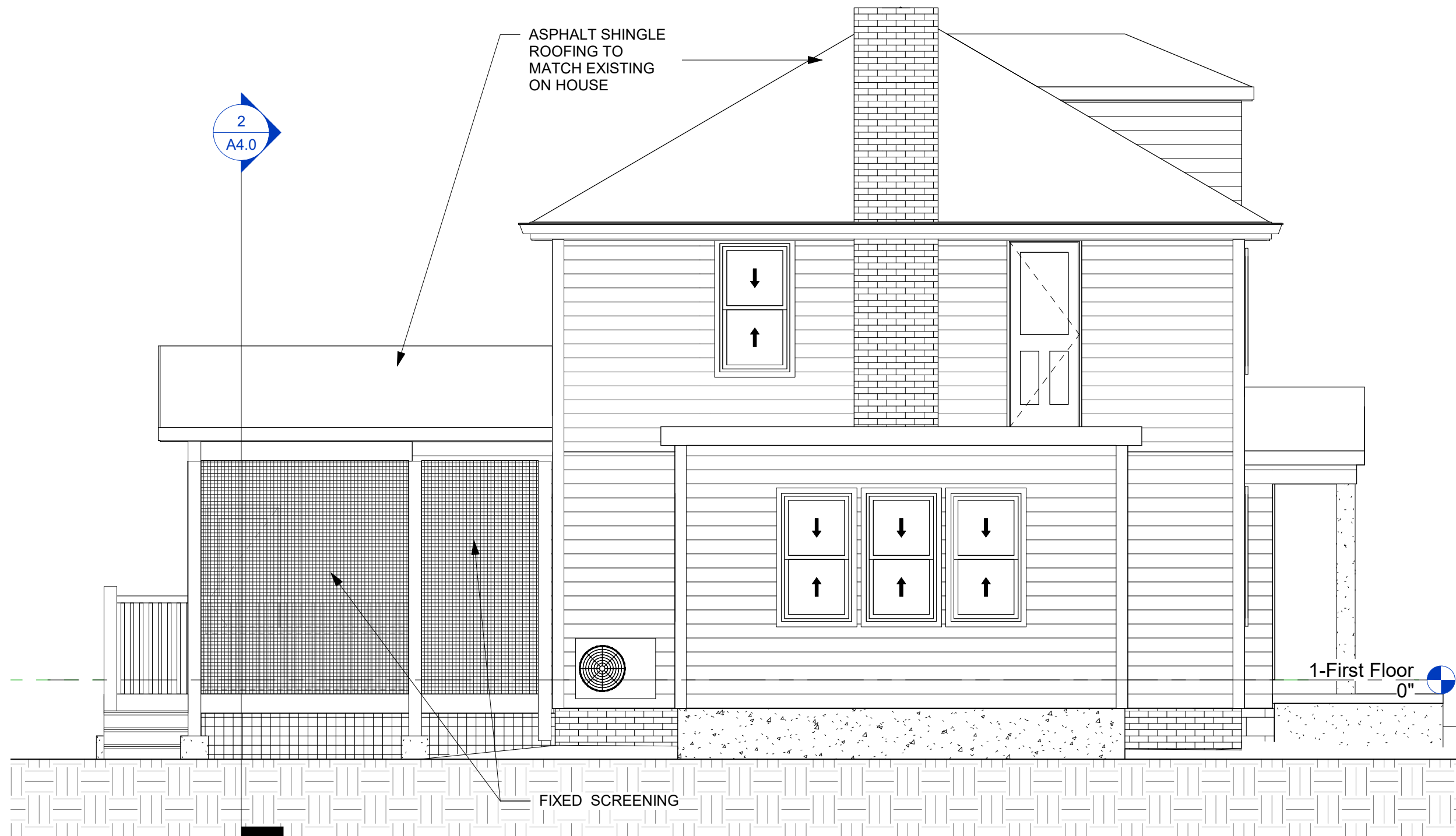
Proposed Exterior Elevation

Permit Set

Date
06/11/2021

Scale
1/4" = 1'-0"

A3.1



1 Proposed South Elevation
1/4" = 1'-0"



1

North Elevation
1/4" = 1'-0"



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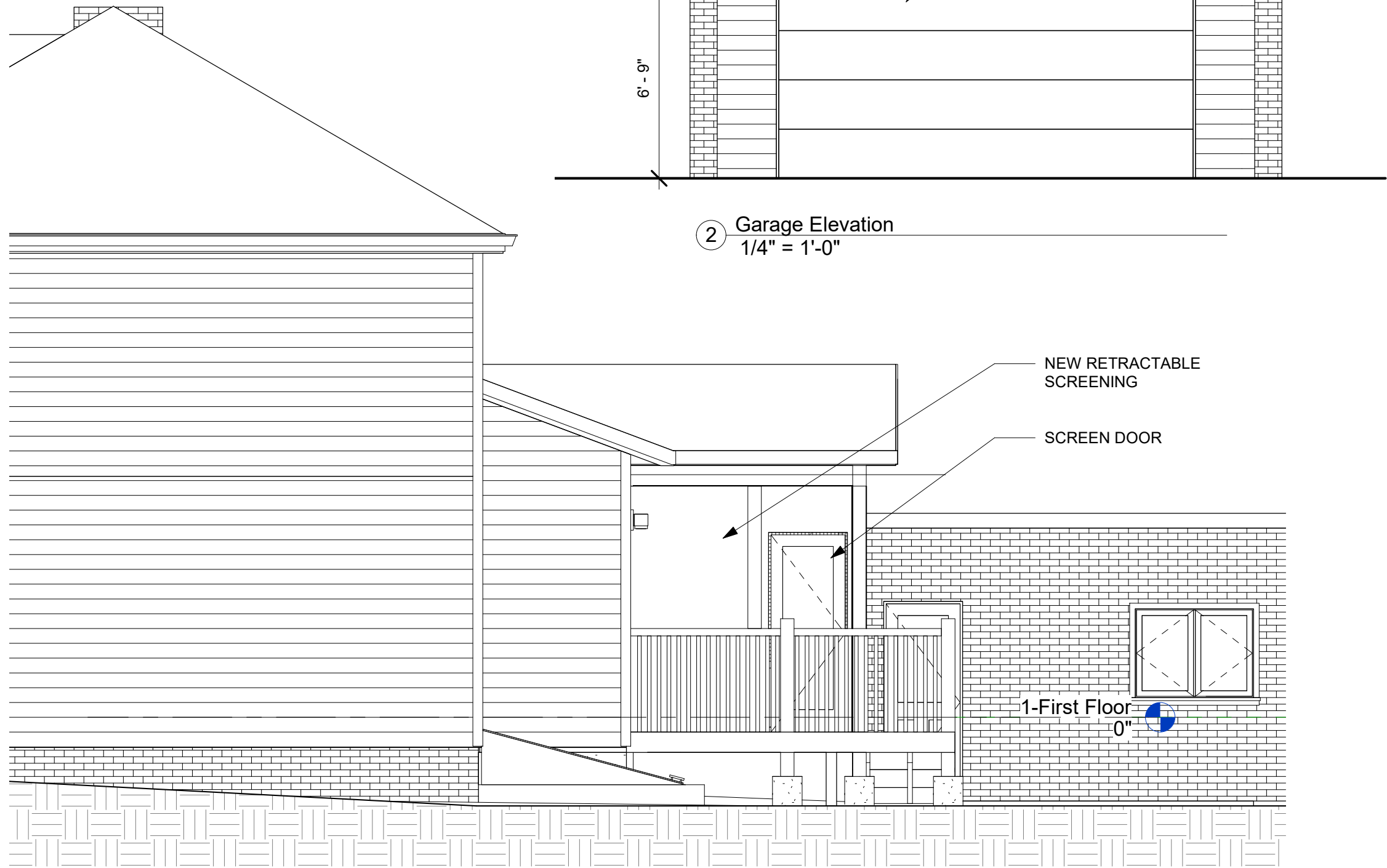
Becker Residence

24 Stults Road
Belmont, MA 02478

Exterior
Elevation

19001
Date
06/11/20121
Scale
1/4" = 1'-0"

A006



1 Proposed North Elevation A
1/4" = 1'-0"

Becker Residence

24 Stults Road
Belmont, MA 02478

Proposed Exterior
Elevation

Permit Set
Date
06/11/2021
Scale
1/4" = 1'-0"

A3.2

Becker Residence

24 Stults Road
Belmont, MA 02478

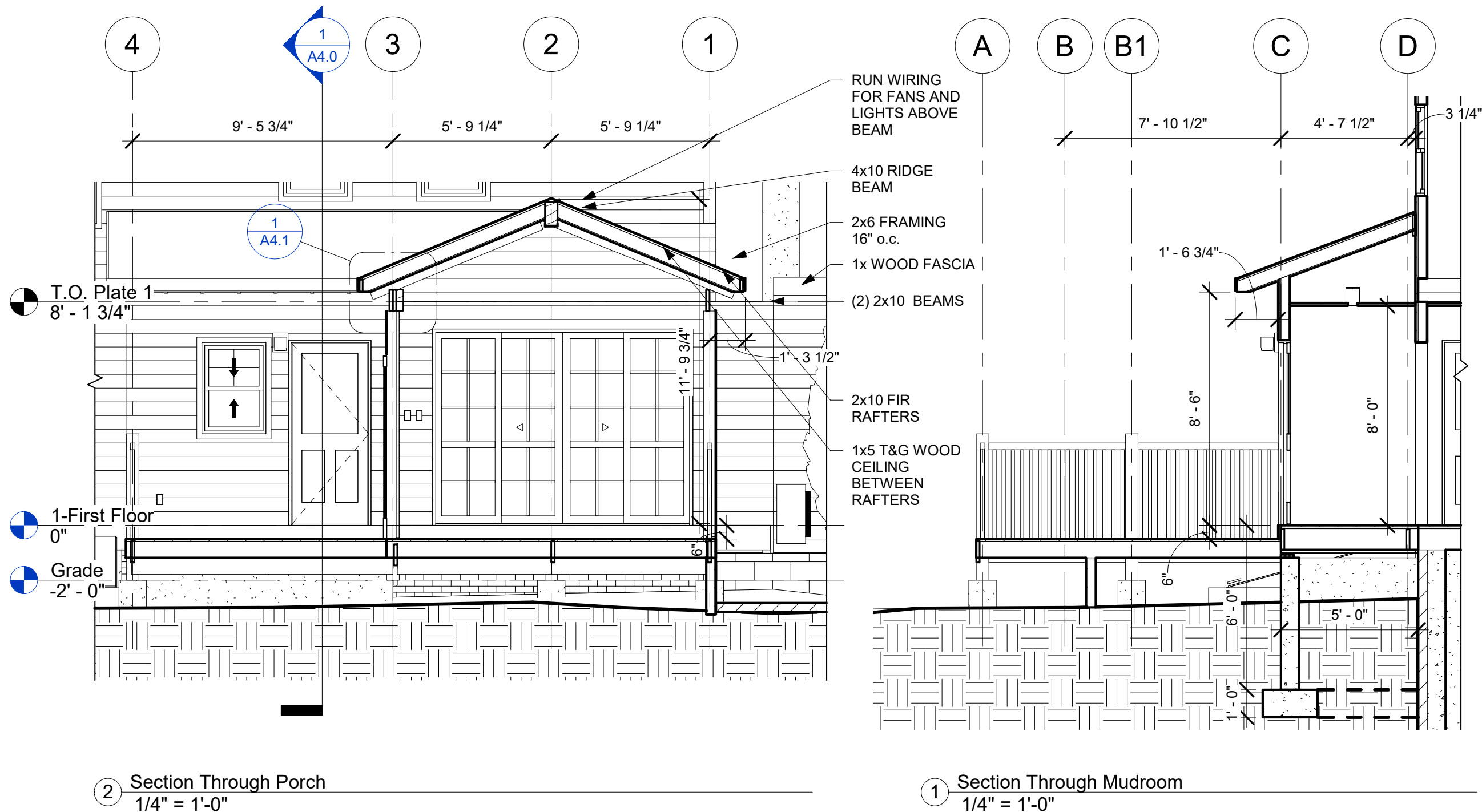
Sections

Permit Set

Date
06/11/2021

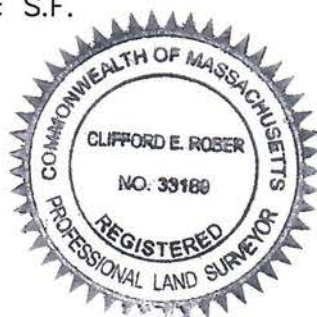
Scale
1/4" = 1'-0"

A4.0





STULTS ROAD

[illegible]

DATE _____

Zoning Compliance Check List

Properties Located within the SR-C Districts
(To be Completed by a Registered Land Surveyor)



Property Address: 24 Stults Road

Surveyor Signature and Stamp: [Signature]

Date: 5/26/21

Per §4.2 of the Zoning By-Law

Per §4.2 of the Zoning By-Law							
		REQUIRED		EXISTING		PROPOSED	
Lot Area (sq. ft.)		9,000		5,491		—	
Lot Frontage (feet)		75'		70'		—	
Lot Coverage (% of lot)		25%		29.5%		34.8%	
Open Space (% of lot)		50%		60.9%		55.6%	
Setbacks: (feet)	➤ Front ^(a)	19.77'		20'		—	
	➤ Side/Side	10'	10'	13.2'	.8'	—	22.9'
	➤ Rear	25'		24.8'		16.3'	
Building Height:	➤ Midpoint (feet)						
	➤ Ridge (feet)						
	➤ Stories						
1/2 Story (feet) (Per §1.4)	➤ Perimeter (50%)						
	➤ Area (60%)						
	➤ Length (75%)						
HVAC ^(b)		Prohibited in Front Yard and Side and Rear Setbacks and shall be screened					

(a) Front setback is equal to the average front setbacks of the abutting properties on either side.

(b) Includes all outdoor mechanical equipment and fuel storage systems.

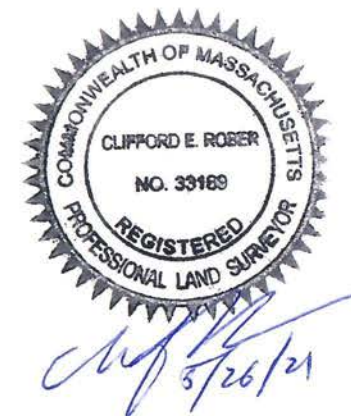
SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated.

Segment	Ceiling	Elevation	Elevation	Exposed				
	Elevation	From	To	Length	Ceiling Height	Square Footage	Square Footage	% Covered
A	111.37	109.59	110.43	34.54	6.85	236.60	46.97	80.15%
B	111.37	110.43	110.07	4.12	6.85	28.22	4.61	83.65%
C	111.37	110.07	109.36	10.02	6.85	68.64	16.58	75.84%
D	111.37	109.36	108.93	16.58	6.85	113.57	36.89	67.52%
E	111.37	108.93	109.73	9.98	6.85	68.36	20.36	70.22%
F	111.37	109.73	109.86	4.23	6.85	28.9755	6.66225	77.01%
G	111.37	109.86	109.81	12.89	6.85	88.2965	19.78615	77.59%
H	111.37	109.81	109.81	1.04	6.85	7.124	1.6224	77.23%
I	111.37	109.81	109.71	8.87	6.85	60.7595	14.2807	76.50%
J	111.37	109.71	109.71	1.02	6.85	6.987	1.6932	75.77%
K	111.37	109.71	110.75	12.8	6.85	87.68	14.592	83.36%
L	111.37	110.75	109.59	25.07	6.85	171.73	30.084	82.48%
	111.37			141.16	6.85	966.95	214.14	77.85%

Ceiling Height:	6.85	<- enter
Basement Floor Elevation	104.52	<- enter
Ceiling Elevation	111.37	
Perimeter Total Length	141.16	
Total Perimeter Square Foot	966.95	
Exposed Square Footage	214.14	
% Covered	77.85%	<- result

North	South	East	West
#REF!	#REF!	#REF!	#REF!
#REF!	#REF!	#REF!	#REF!
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00
#REF!	#REF!	#REF!	#REF!
#REF!	#REF!	#REF!	#REF!
#REF!	#REF!	#REF!	#REF!
#REF!	#REF!	#REF!	#REF!
#REF!	#REF!	#REF!	#REF!

5084 propadj 6/4/21



Segment	Segment From Existing		Segment From New		Segment To		Segment To		Avg	Difference
	Grade	Grade	Grade	Grade	Length	Existing	New Grade	Avg New		
AA	110.43	110.43	110.43	110.43	2	220.86	110.43	220.86	0.00	
BB	110.43	110.43	110.43	110.07	4.12	454.23	110.07	454.23	0.00	
CC	110.07	110.07	110.07	109.36	10.02	1099.344	109.36	1099.344	0.00	
DD	109.36	109.36	109.36	108.93	16.58	1809.624	108.93	1809.624	0.00	
EE	108.93	108.93	108.93	109.73	9.98	1091.113	109.73	1091.113	0.00	
FF	109.73	109.73	109.73	109.86	4.23	464.4329	109.86	464.4329	0.00	
GG	109.86	109.86	109.86	109.81	12.89	1415.773	109.81	1415.773	0.00	
HH	109.81	109.81	109.81	109.81	1.04	114.2024	109.81	114.2024	0.00	
II	109.81	109.81	109.81	109.71	8.87	973.5712	109.71	973.5712	0.00	
JJ	109.71	109.71	109.71	109.71	1.02	111.9042	109.71	111.9042	0.00	
KK	109.71	109.71	109.71	110.75	12.8	1410.944	110.75	1410.944	0.00	
LL	110.75	110.75	110.75	109.59	25.07	2761.962	109.59	2761.962	0.00	
	109.95	109.95	109.95	109.6	5.54	608.1535	109.6	608.1535	0.00	
	109.6	109.6	109.6	109.6	7.74	848.304	109.6	848.304	0.00	
	109.6	109.6	109.6	109.6	5.4	591.84	109.6	591.84	0.00	
	109.6	109.6	109.6	109.5	8.26	904.883	109.5	904.883	0.00	
	109.5	109.5	109.5	109.5	9.4	1029.3	109.5	1029.3	0.00	
	109.5	109.5	109.5	109.5	3	328.5	109.5	328.5	0.00	
	109.5	109.5	109.5	109.5	12	1314	109.5	1314	0.00	
	109.5	109.5	109.5	109.5	13	1423.5	109.5	1423.5	0.00	
					172.96	18976.44		18976.44	0	

Ceiling Height:	6.85
Basement Floor Elevation	104.52
Ceiling Elevation	111.37
Perimeter Total Length	172.96
Total Perimeter Square Foot	1184.78
Average Existing Grade	109.72
New Average Grade	109.72
Difference in Grade in feet	0.00

% Covered using Avg Grade 75.85%



Clifford E. Rober
5/26/21

6/4/2021



5/26/21