CASE NO. 21-14

NOTICE OF PUBLIC HEARING BY THE
ZONING BOARD OF APPEALS

ON APPLICATION FOR FIVE SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, May 17, 2021 at 7:00 PM by remote access through the Zoom app. to consider the application of Gabriel Vellante for Five Special Permits under §1.5 of the Zoning By-Law to construct a two story addition over a crawl space at 183-185 Beech Street located in General Residence (GR) Zoning district. §1.5.4A of the By-Law allows alterations and expansions in the GR district by a Special Permit granted by the Board of Appeals and §4.2 of the Zoning By-Law Dimensional Regulations allow two and a half (2-1/2) story structures, a maximum lot coverage of 30.0%, requires a minimum open space of 40% and a minimum side setback of 10.0'. Special Permits: 1.- The proposed alterations and expansions are allowed by a Special Permit granted by the Board of Appeals. 2.- The Existing structure is three and a half story structure, the lower level of the structure is a basement (60.12% of the foundation walls are exposed) and is considered a story. The proposed addition is at second and third levels. 3.- The existing lot coverage is 42.2% and the proposed is 42.7%. 4.- The existing open space is 34.9% and the proposed is 34.5%. 5.- The existing side setback is 6.94' and the proposed is 8.4'.

ZONING BOARD OF APPEALS

Note: Application submittals, meeting agenda & instructions on remote access can be found on the Town's website https://www.belmont-ma.gov/zoning-board-of-appeals

Town of Belmont
Zoning Board of Appeals

RECEIVED
TOWN CLERK
BELMONT, MA

2021 MAY -4 PM 3:02

APPLICATION FOR A SPECIAL PERMIT

Date: 03/17/2021

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on __183-185 Beech_____Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for construction of two story addition over crawl space and new egress staircase along side

_____

_____

_____

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner _____

Print Name
GABRIEL VELLANTE

Address 260 WEST ST #7 QUINCY MA. 02169

Daytime Telephone 774-245-7636_____

December 6, 2005

OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

March 9, 2021

Gabriel Vellante
260 West Street
Quincy, MA 02169

RE: Denial to Construct Two Story Addition over Crawl Space

Dear Mr. Vellante,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a two story addition over a crawl space at 183-185 Beech Street located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, §1.5.4A of the By-Law allows alterations and expansions in the GR district by a Special Permit granted by the Board of Appeals, §4.2 of the Zoning By-Law Dimensional Regulations allow two and a half (2-1/2) story structures, a maximum lot coverage of 30.0%, requires a minimum open space of 40% and a minimum side setback of 10.0'.

1. The proposed alterations and expansions are allowed by a Special Permit granted by the Board of Appeals.
2. The Existing structure is three and a half story structure, the lower lever of the structure is a basement (60.12% of the foundation walls are exposed) and is considered a story. The proposed addition is at second and third levels.
3. The existing lot coverage is 42.2% and the proposed is 42.7%.
4. The existing open space is 34.9% and the proposed is 34.5%.
5. The existing side setback is 6.94' and the proposed is 8.4'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request five (5) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

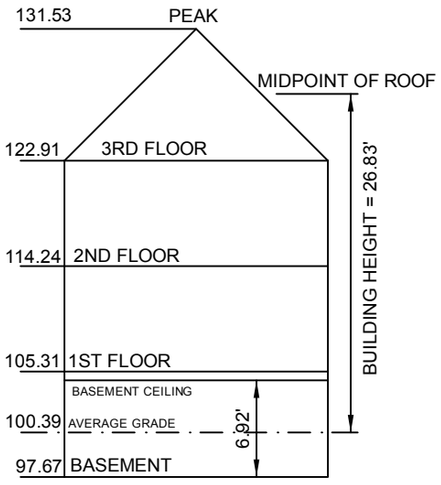
Glenn R. Clancy, P.E.
Inspector of Buildings

Dear Board Members,

My name is Gabriel Vellante. I recently purchased this home at 183-185 Beech street which you may know has been vacant and in disrepair for many years. I plan to make it habitable and beautiful again.

I am seeking to enclose the rear porches to add a second bathroom to each floor, small mudrooms and new rear egress staircases. The existing staircases are narrow and winding and I don't feel they are safe. With your help and approval I would like to create a much safer and direct form of egress. I look forward to the hearing on my proposal and would be happy to answer any questions or concerns. Thank you very much for your time and consideration.

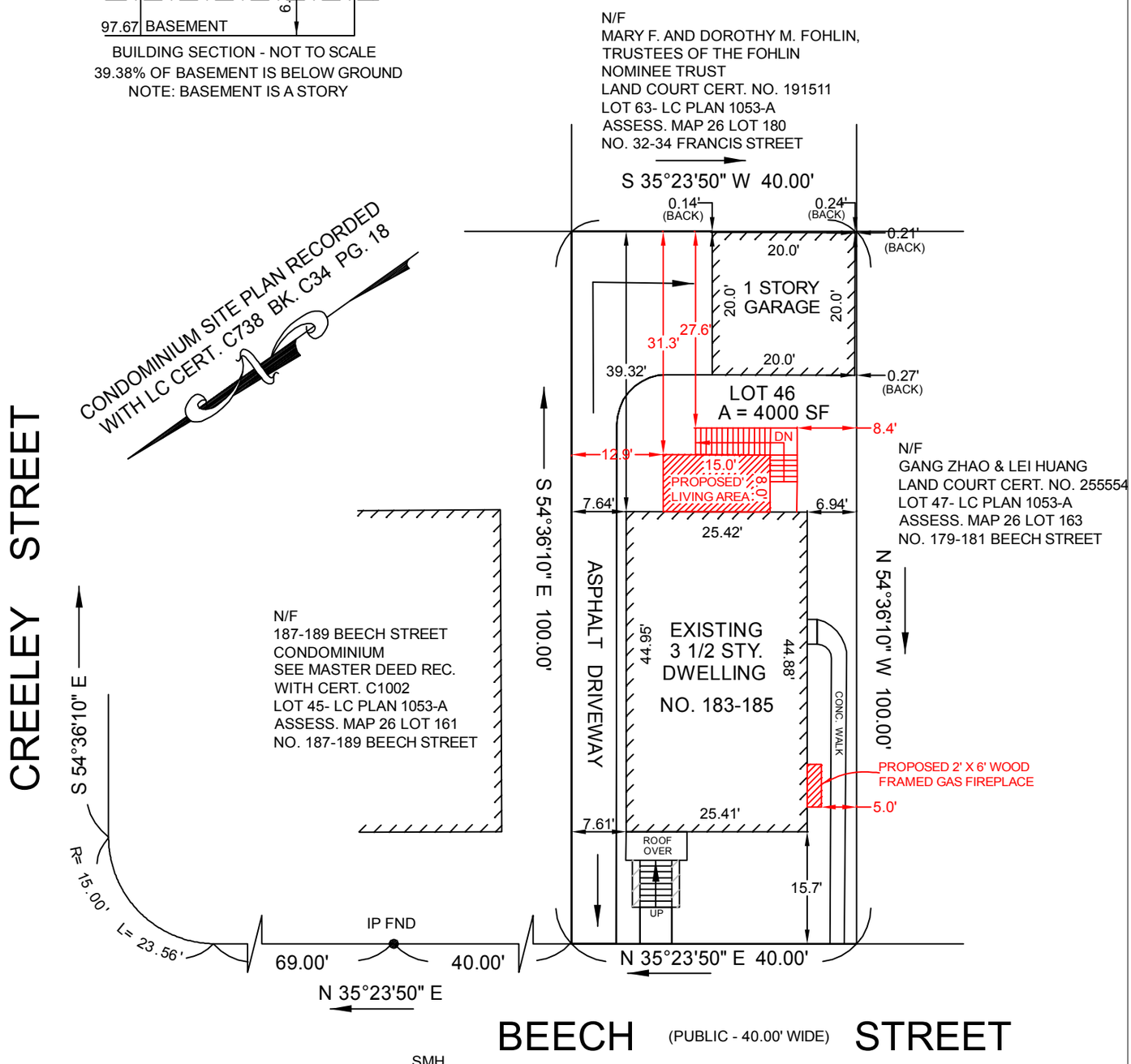
Respectfully,
Gabriel Vellante



BUILDING SECTION - NOT TO SCALE
39.38% OF BASEMENT IS BELOW GROUND
NOTE: BASEMENT IS A STORY

NOTES:

1.) This plan was prepared from an instrument survey
2.) Deed Reference: Cert. No. 274643
3.) Plan Reference: Land Court Plan No. 1053A - LOT 46
4.) Zoning District: General Residence
5.) This property is not located within wetlands as shown on the Town of Belmont wetlands map.
6.) The subject property is located in Zone X, area of minimal flood hazard as shown on the Flood Insurance Rate Map for Communiy No. 250182, dated 6/4/2010.



SMH
RIM ELEV. = 100.00
(ASSUMED)

PREPARED BY:
D & A Survey Associates, Inc,
P.O. Box 621
Medford, MA 02155
781-324-9566

ZONING DISTRICT: **GENERAL RESIDENCE**

	REQ.	EXIST.	PROP.
FRONT SETBACK	15'	15.7'	15.7'
SIDE SETBACK (L)	10'	7.61'	12.9'
SIDE SETBACK (R)	10'	6.94'	5.0'
REAR SETBACK	20'	31.3'	27.6'
MAX LOT COVERAGE	30%	42.2%	42.7%
MIN OPEN SPACE	40%	34.9%	34.5%
MIN LOT FRONTAGE	50'	40.0'	40.0'
LOT AREA	5000SF	4000SF	4000SF

CERTIFIED PLOT PLAN

Owner: Gabriel Vellante
Location: 183-185 Beech Street
Assessors: Map 26 Lot 162
Application No: _____
Date: FEBRUARY 15, 2021
Scale: 1" = 20'

SHEET 1 OF 3

Zoning Compliance Check List

Properties Located within the GR Zoning Districts

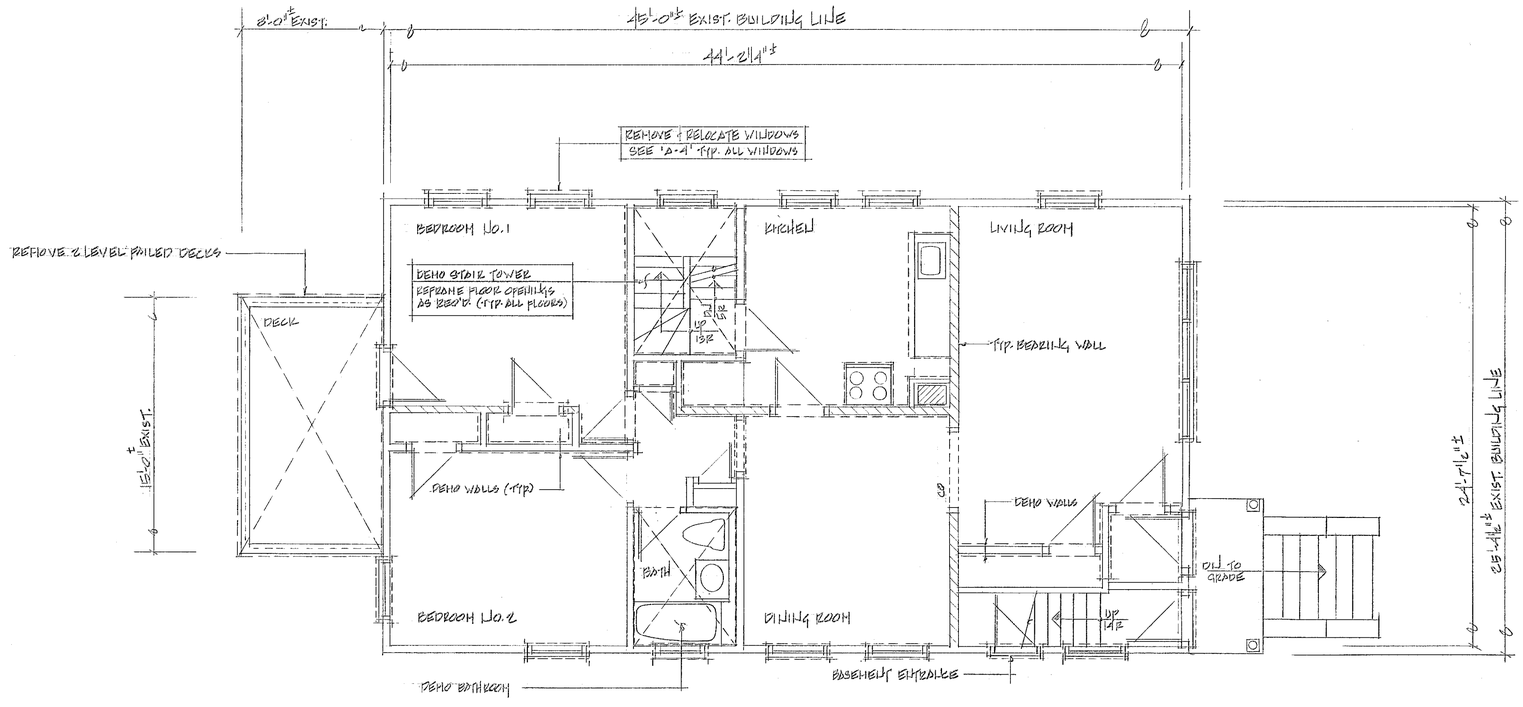
(To be Completed by a Registered Land Surveyor)

Property Address: 183-185 BEECH STREET Zoning District: General Residence

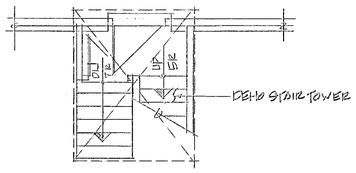
Surveyor Signature and Stamp: _____ Date: _____

Per §4.2 of the Zoning By-Laws				
		REQUIRED	**EXISTING**	**PROPOSED**
Lot Area (sq. ft)		5000	4000	4000
Lot Frontage (feet)		50'	40.0'	40.0'
Lot Area/Unit (sq. ft/d.u.)		3500	2000	2000
Lot Coverage (% of lot)		30% (max)	42.2%	42.7%
Open Space (% of lot)		40%	34.9%	34.5%
Setbacks: (feet)	➢ Front	15'	15.7'	15.7'
	➢ Side/Side	10'/10'	7.64'/6.94'	12.9'/8.4'
	➢ Rear	20'	31.3'	27.6'
Building Height:	➢ Feet	32' (max)	26.83'	26.83'
	➢ Stories	2 ½	3 ½	3 ½
½ Story (feet) (Per § 1.4)	➢ Perimeter	N/A	N/A	N/A
	➢ Area	N/A	N/A	N/A
	➢ Length	N/A	N/A	N/A
Per §6D of the Zoning By-Laws				
		REQUIRED	**EXISTING**	**PROPOSED**
Front Doors:	➢ Face Street		YES	YES
	➢ Setback		15.7'	15.7'
Curb Cut				
HVAC:	➢ Front Yard	Not Allowed		Not Within Front Yard
	➢ Side/Rear Setbacks	10'/20'		10'/20'

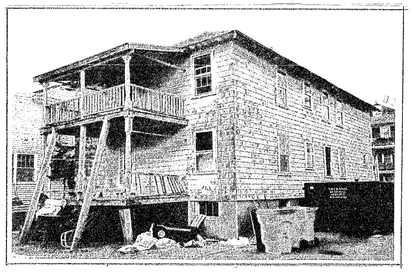
SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they we calculated.



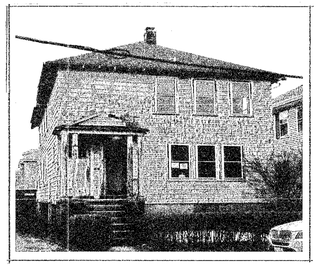
FIRST FLOOR PLAN - EXISTING CONDITIONS - DEMOLITION PLAN



LOWER LEVEL - SIDE ENTRY - EXISTING CONDITIONS



EXIST. REAR & LEFT SIDE ELEVATION



EXIST. FRONT ELEVATION

NOT TO SCALE

PRINTING NOTE
FOR TRUE SCALE, PRINT ON 24"x36" SHEETS

Demolition

The contractor/owner will have a Hazmat inspection performed prior to the start of any demolition work.
Should any HazMat be found it will be properly removed and disposed by a qualified removal company.
Certificates of clean air and remediation will be furnished to the owner and the Building Commissioner.
No debris will be buried on site

General Notes

These drawings have been prepared with my best good faith efforts, however, they have not been checked by a third party. Therefore I cannot guarantee the accuracy of all dimensions, or details.

Dimensions shown are for initial layout purposes only. The builder will make adjustments as needed to compensate for field conditions.

It will be the contractor/owner's responsibility to verify, establish, and maintain all dimensions-Jobsite.

Code having jurisdiction

780 CMR 9th Edition
(IRC 2015 w/ MA. Amendments)

Should any discrepancies exist between the drawings and the 'CODE' the CODE will govern.

Design Loads

Roof Ground Snow Load	50 psf
Living Area Floor Live load	40 psf
Sleeping Area Floor Live Load	30 psf
Unfinished Attic Floor Live Load	20 psf

Zoning Compliance

It will be the Owner/contractor's responsibility to establish, and comply with all applicable Codes and local Zoning Regulations.

Egress Windows

Windows marked with "Z" will meet the Building Code requirements for egress from a sleeping area.

Exterior Elevations

The exterior elevations are intended to be a graphic representation only. The actual finished appearance will vary depending on, but not limited to such items as:
. Door and window styles
. Exterior siding and color
. Trim details and color
. Finished landscaping

Dimension Note

All dimensions are stud to stud, unless noted otherwise.

F/F dimensions are finish to finish dimensions of existing conditions. These dimensions are approximate dimensions. The builder should verify these dimensions and make field adjustments s needed.

Do not scale from prints

Alignment Note

It will be the builders responsibility to establish all elevations and horizontal dimensions to achieve proper alignment of all new finished materials with that of existing adjacent surfaces.

Trim Note

All trim materials and installation details to match the existing or as selected by owner.

Conventional Framing Lumber

All framing lumber to be No. 1 & 2 SPF dimensional lumber or better

All PT lumber to be SYP No 2 or better

Engineered Lumber

All engineered lumber will be designed and certified by the mfg./supplier.
Engineering certification will be by a MA. Registered Professional engineer

A1

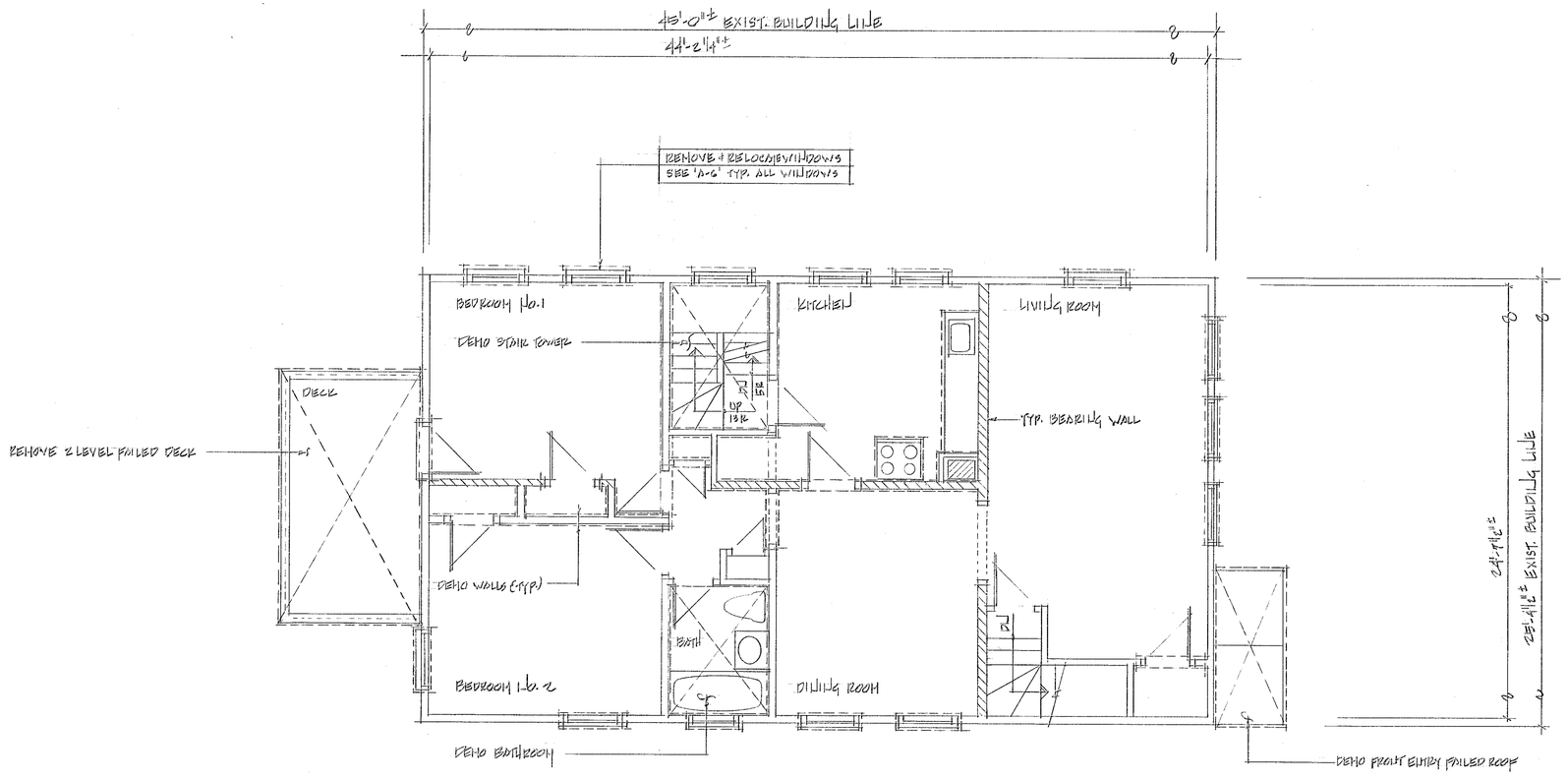
PROJECT NO. 20-220
DATE FEB'21
SHEET 1 OF 9
REVISIONS

DRAWING FIRST FLOOR PLAN - EXIST. CONDITIONS - DEMOLITION PLAN

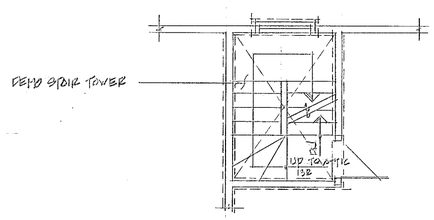
SCALE: 1/4"=1'-0" DO NOT SCALE FROM PRINTS OR DRAWINGS

PROJECT GABRIEL VELLANTE JR. 1891/85 BEACH ST. BELMONT, MA.

GABRIEL J. VELLANTE JR.
DESIGN CONSULTANT
83 ANN LEES RD.
HARVARD, MA 01451 U.S.A.
TELEPHONE (978) 772-4991



SECOND FLOOR PLAN - EXISTING CONDITIONS
- DEMOLITION PLAN



STAIRS TO ATTIC - EXISTING CONDITIONS

A2

PROJECT NO. 20-220

DATE FEB '21

SHEET 2 OF 9

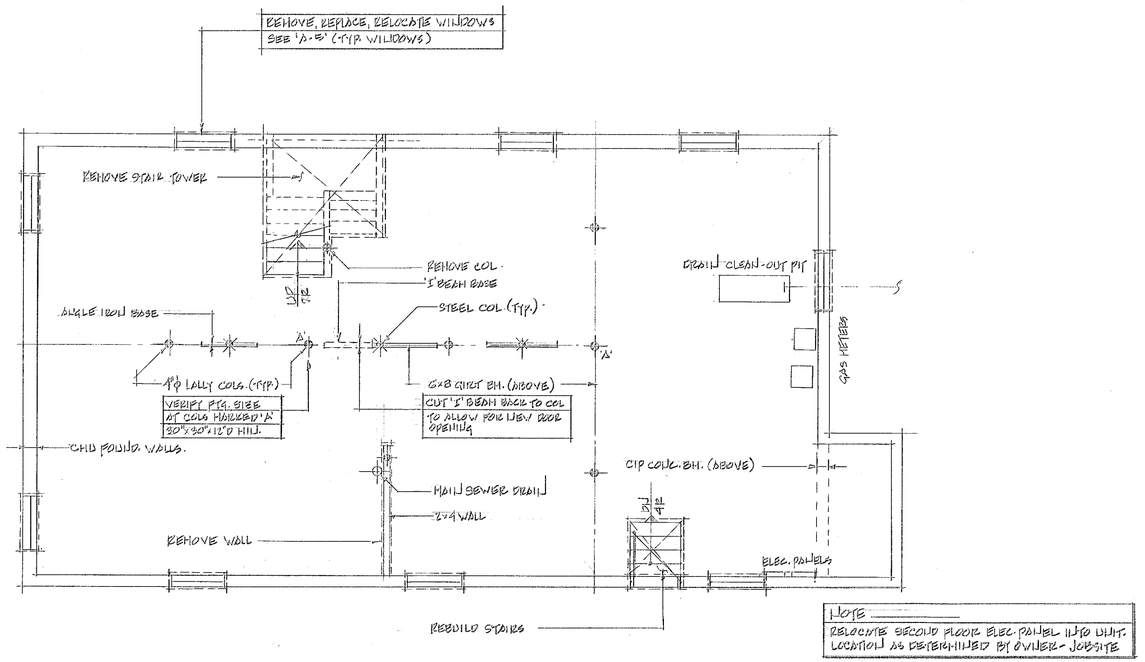
REVISIONS

DRAWING
SECOND FLOOR PLAN - EXIST. CONDITIONS
- DEMOLITION PLAN

SCALE: 1/4" = 1'-0"
DO NOT SCALE FROM PRINTS OR DRAWINGS

PROJECT
G. VELLANTE

GABRIEL J. VELLANTE JR.
DESIGN CONSULTANT
83 ANN LEES RD.
HARVARD, MA 01451 U.S.A.
TELEPHONE (978) 772-4991



BASEMENT FLOOR PLAN - EXISTING CONDITIONS
- DEMOLITION PLAN

GABRIEL J. VELLANTE JR.
DESIGN CONSULTANT
83 ANN LEES RD.
HARVARD, MA 01451 U.S.A.
TELEPHONE (978) 772-4991

PROJECT
G. VELLANTE

DRAWING
BASEMENT FLOOR PLAN - EXISTING CONDITIONS - DEMOLITION PLAN

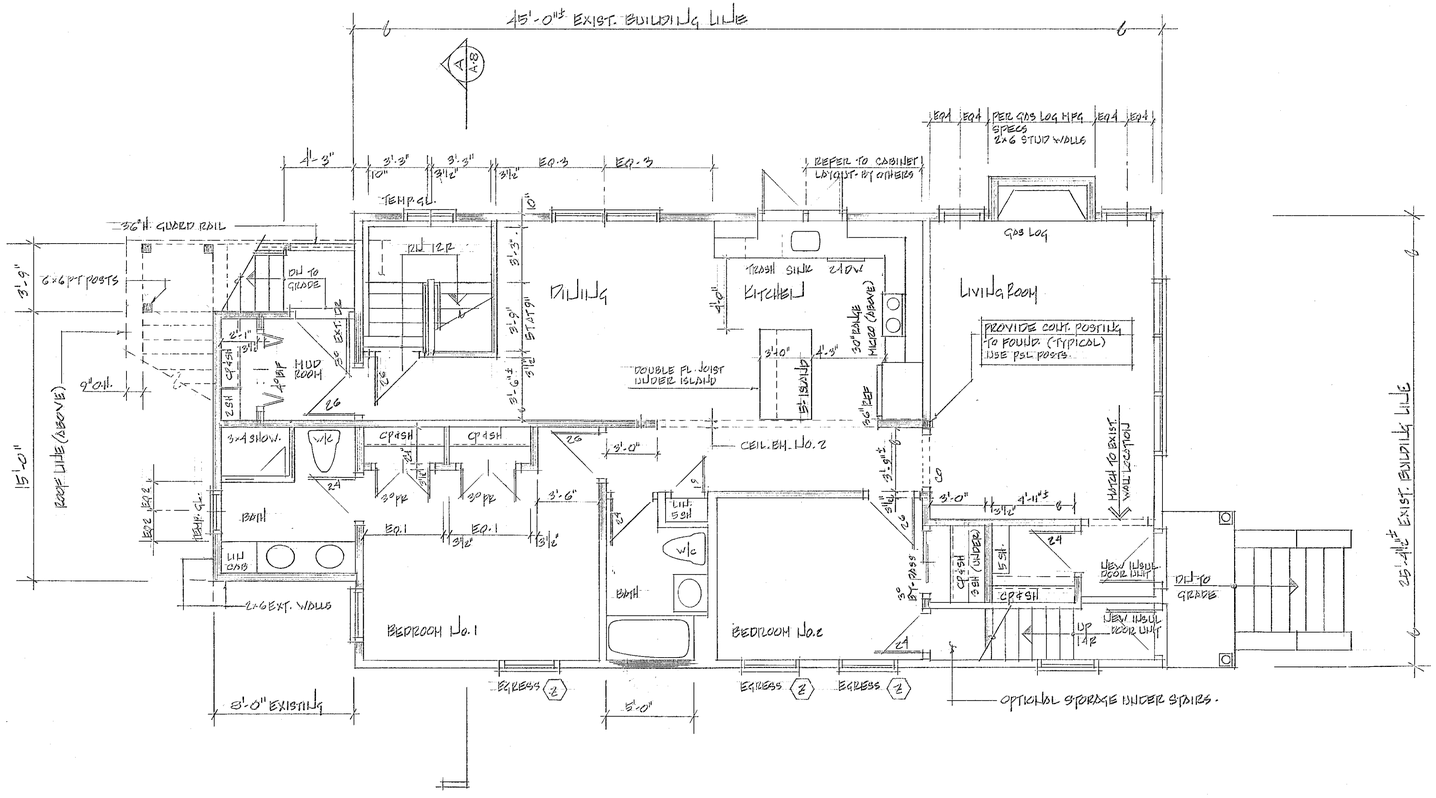
SCALE: 1/4"=1'-0"
DO NOT SCALE FROM PRINTS OR DRAWINGS

PROJECT NO.
20-220

DATE FEB '21

SHEET 3 OF 9

REVISIONS

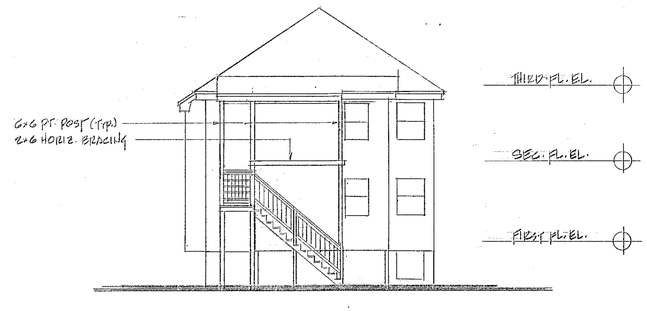


FIRST FLOOR PLAN - PROPOSAL 'B'

SCALE 1/4"=1'-0"

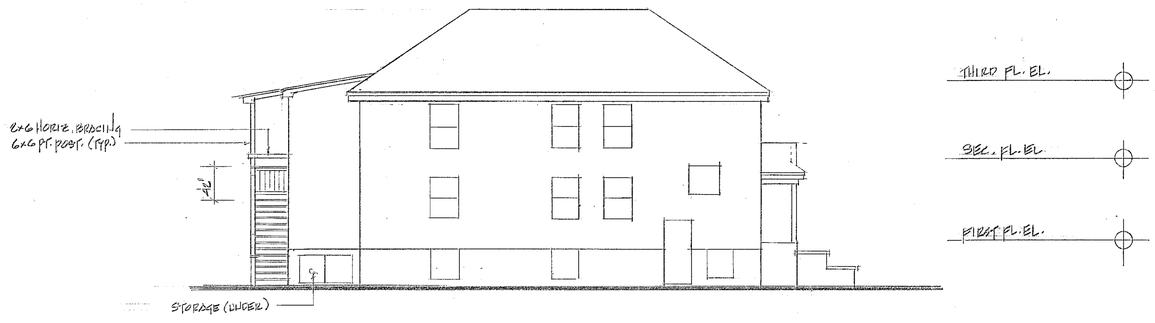
FRONT ELEVATION

SCALE 1/8"=1'-0"

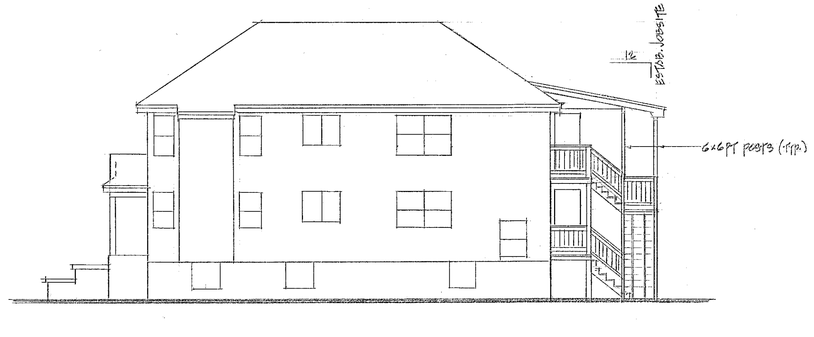


REAR ELEVATION

SCALE 1/8"=1'-0"



LEFT ELEVATION



RIGHT ELEVATION

SCALE 1/8"=1'-0"

A1

PROJECT NO. 20-220

DATE FEB'21

SHEET 4 OF 9

REVISIONS

REV. 1 3 FEB'21
REMOVE DORMER

REV. 2 1 APR'21
ADDED ROOF OVER EXT. STAIRS.

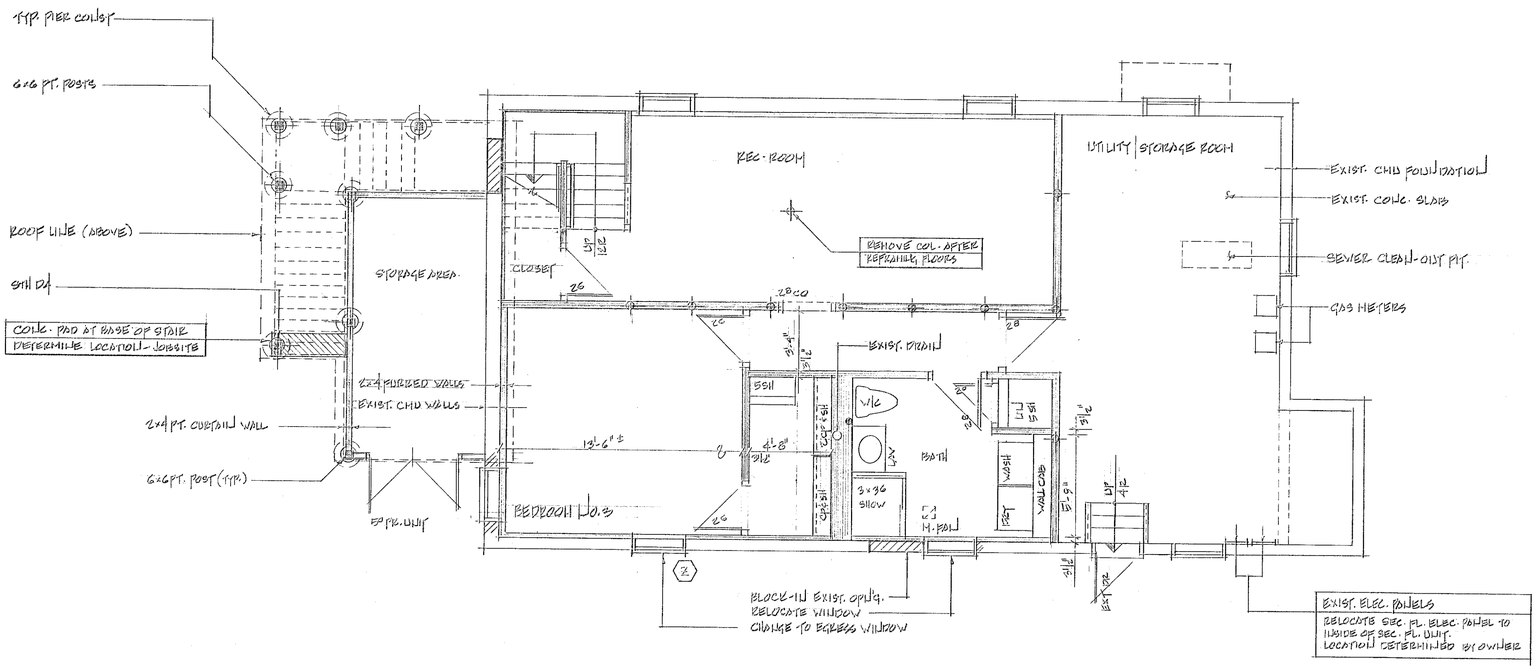
DRAWING
FIRST FLOOR PLAN - PROPOSAL 'B'
EXTERIOR ELEVATIONS

SCALE: AS NOTED

DO NOT SCALE FROM PRINTS OR DRAWINGS

PROJECT
G. VELLANTE

GABRIEL J. VELLANTE JR.
DESIGN CONSULTANT
83 ANN LEES RD.
HARVARD, MA 01451 U.S.A.
TELEPHONE (978) 772-4991



BASEMENT FLOOR PLAN - PROPOSAL 'B'

SCALE 1/4"=1'-0"

PROJECT NO. 2015

DATE FEB'21

SHEET 5 OF 9

REVISIONS

REV. 1 APR. '21
ADDED ROOF LINE OVER EXT. STAIRS.
ADDED PIERS

DRAWING
BASEMENT FLOOR PLAN - PROPOSAL 'B'

SCALE: AS NOTED
DO NOT SCALE FROM PRINTS OR DRAWINGS

PROJECT
G. VELLANTE

GABRIEL J. VELLANTE JR.
DESIGN CONSULTANT
83 ANN LEES RD.
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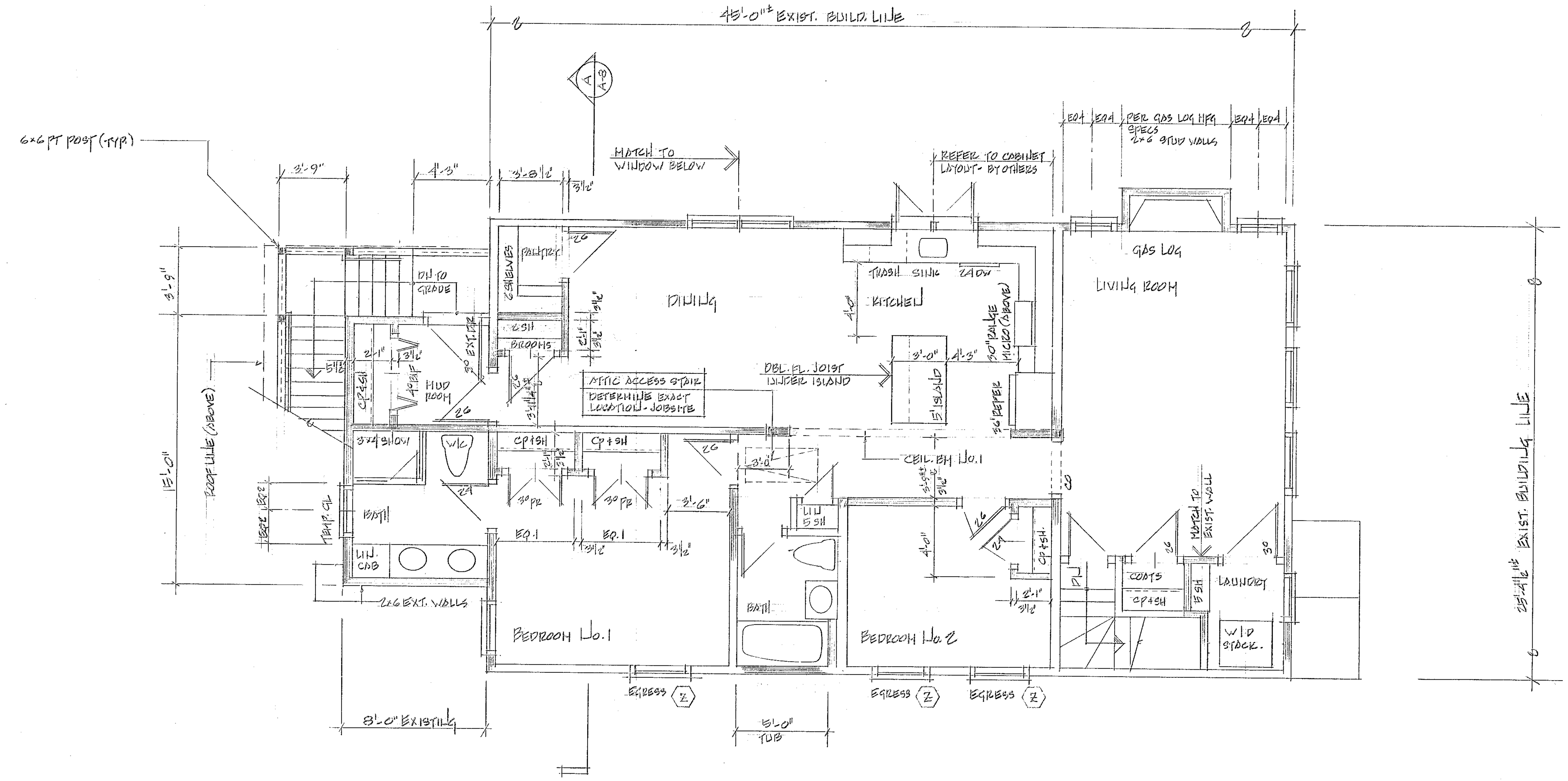


SECOND FLOOR PLAN - PROPOSAL 'B'

A6

PROJECT NO. 20-220

DATE FEB '21

SHEET 6 OF 9

REVISIONS

REV. 2 1 APR '21
ADDED ROOF LINE
OVER EXT. STAIRS

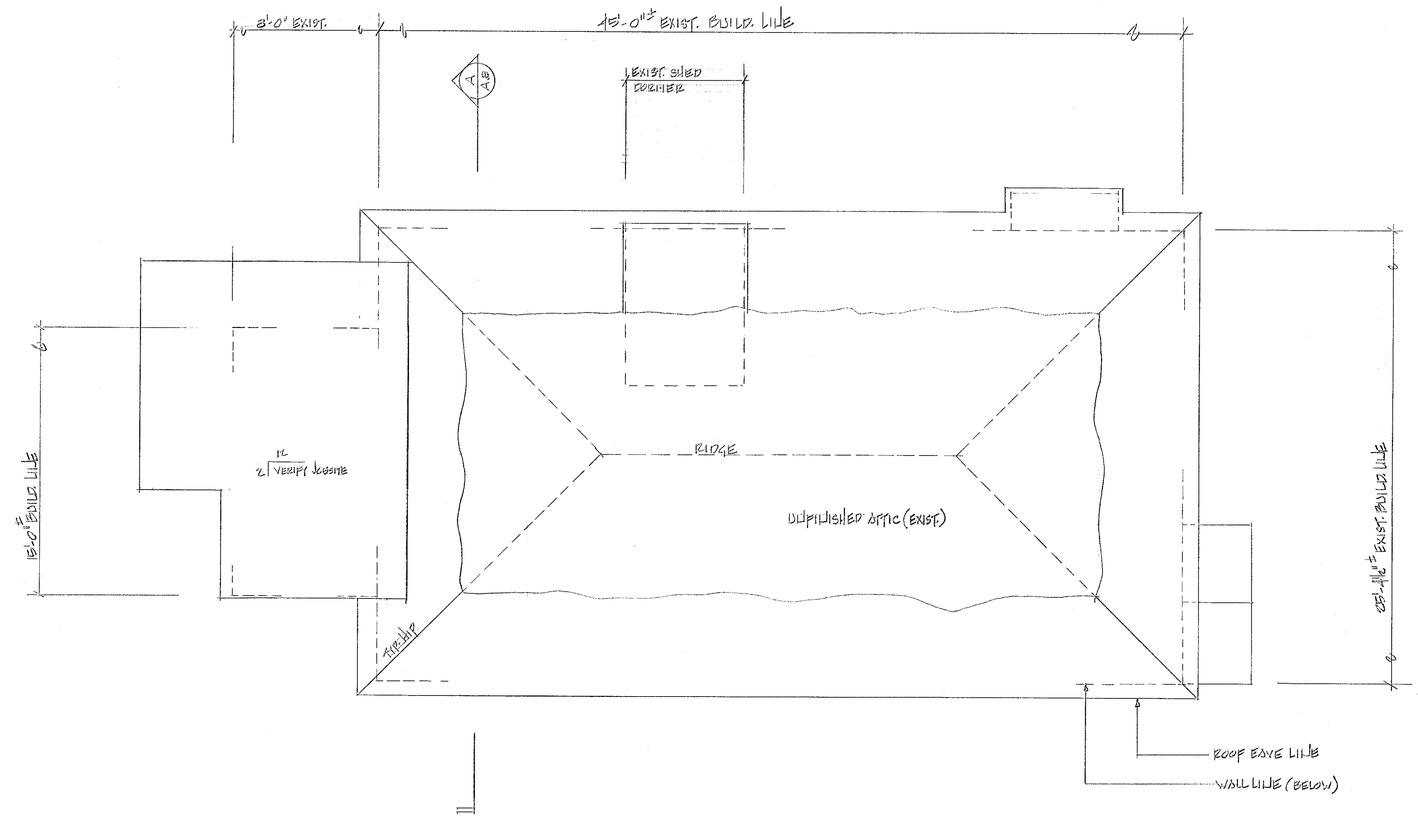
DRAWING
SECOND FLOOR PLAN - PROPOSAL 'B'

SCALE: 1/4"=1'-0"
DO NOT SCALE FROM PRINTS OR DRAWINGS

PROJECT
G. VELLANTE

GABRIEL J. VELLANTE JR.
DESIGN CONSULTANT

83 ANN LEES RD.
HARVARD, MA 01451 U.S.A.
TELEPHONE (978) 772-4991



ATTIC FLOOR PLAN - EXISTING - UNFINISHED

PROJECT NO. 20-220

DATE FEB '21

SHEET 7 OF 9

REVISIONS

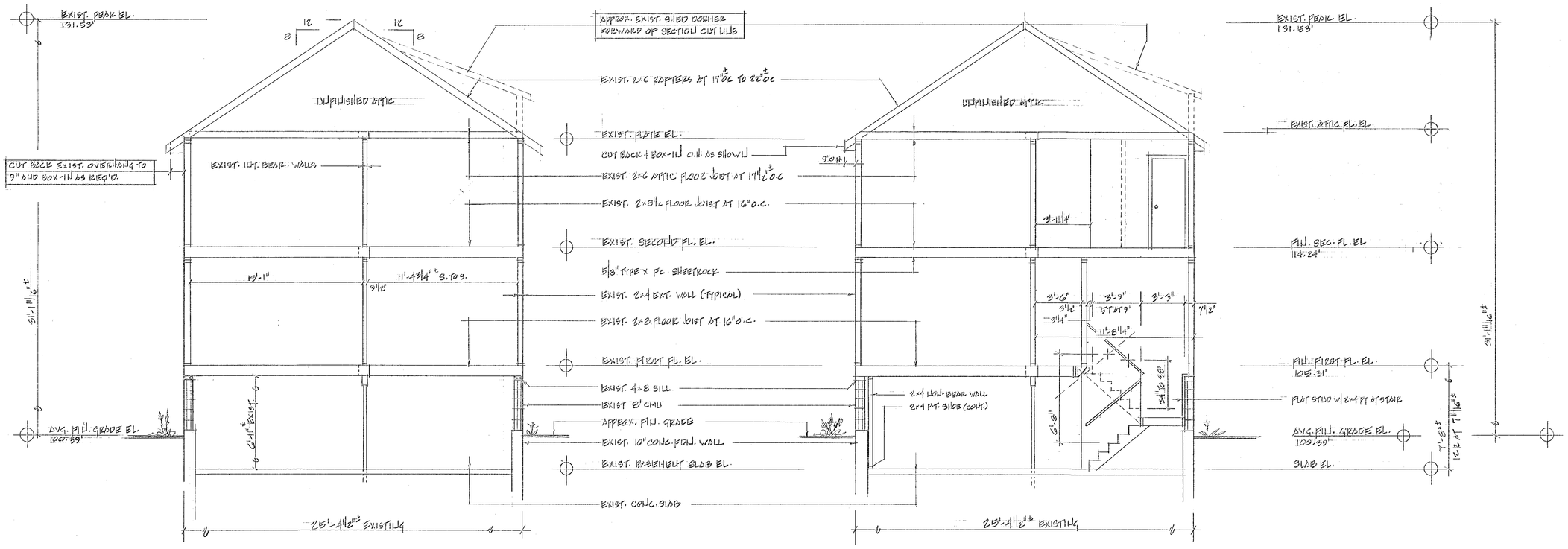
REV. 2 1, APR '21
ADDED ROOF OVER EXT. STAIRS.

DRAWING ATTIC FLOOR PLAN

PROJECT G. VELLANTE

SCALE: 1/4"=1'-0"
DO NOT SCALE FROM PRINTS OR DRAWINGS

GABRIEL J. VELLANTE JR.
DESIGN CONSULTANT
83 ANN LEES RD.
HARVARD, MA 01451 U.S.A.
TELEPHONE (978) 772-4991



SECTION A-B EXISTING CONDITIONS

SECTION A-B RELOCATED

SCALE 1/4"=1'-0"

GABRIEL J. VELLANTE JR.
DESIGN CONSULTANT
83 ANN LEES RD.
HARVARD, MA 01451 U.S.A.
TELEPHONE (978) 772-4991

PROJECT
G. VELLANTE

DRAWING
PROPOSED SECTIONS

SCALE: 1/4"=1'-0"

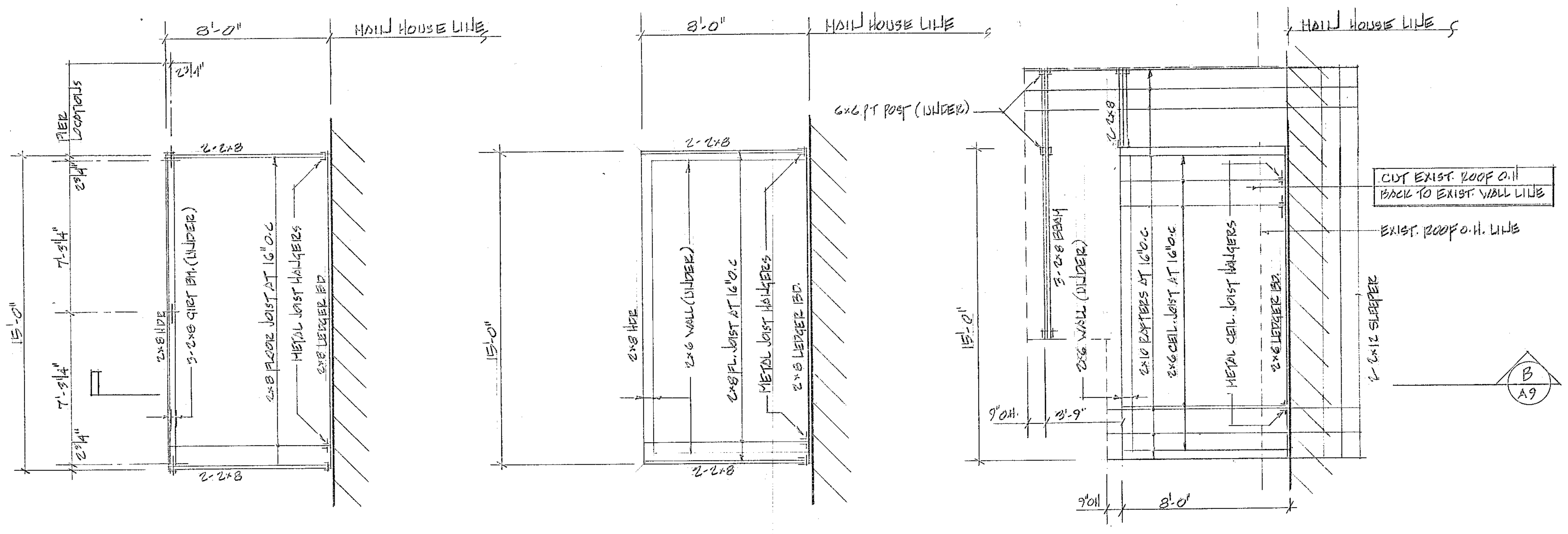
DO NOT SCALE FROM PRINTS OR DRAWINGS

PROJECT NO.
20-209

DATE FEB'21

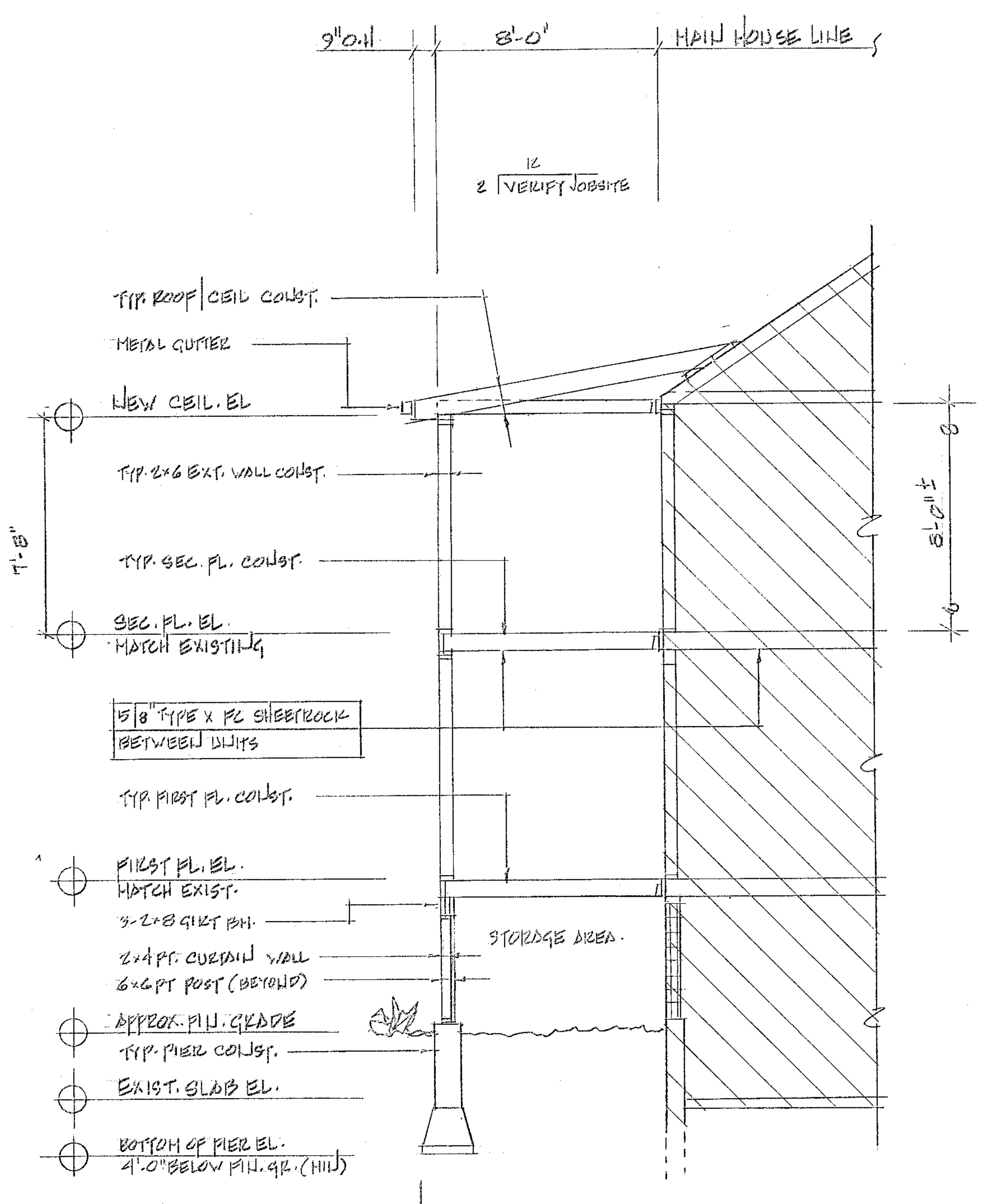
SHEET 8 OF 9

REVISIONS



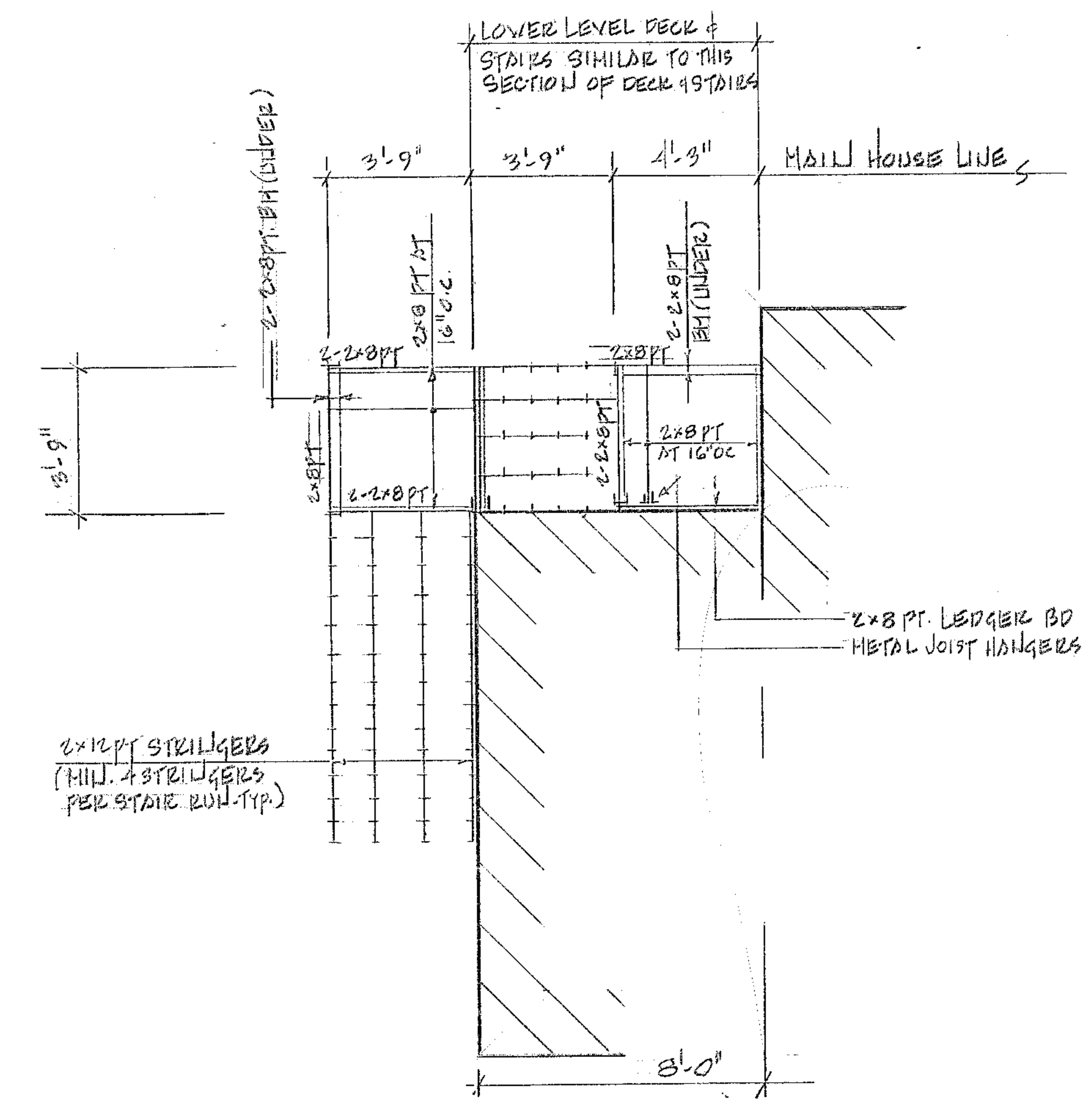
FIRST FLOOR FRAMING PLAN — SECOND FLOOR FRAMING PLAN — ROOF & CEILING FRAMING PLAN

SCALE 1/4"=1'-0"±



SECTION (B/A9)

SCALE 1/4"=1'-0"±



REAR EXTERIOR STAIR FRAMING

Insulation Package

Exterior Basement Walls:
Foam plastic Closed cell
Fill cavity (R-21 minimum)

Existing Exterior Exterior Walls:
Foam plastic Closed cell
Fill cavity (R-21 minimum)

New Exterior Exterior Walls:
Foam plastic Open cell
Fill cavity (R-21 minimum)

Second Floor Cavity:
9" fiberglas Insulation
(R-30 minimum)

Existing Main Roof:
Foam Plastic Open Cell
(R-48 minimum)
Insulation to be covered
with intermisent paint coating.

New Rear Roof:
Foam Plastic Open Cell
(R-48 minimum)
No access. Paint coating not required

Typical First Floor Construction

- 2 x 8 floor joist spaced as shown on plan
- 3/4" TnG underlayment grade plywood subfloor.
- 1 x 3 strapping at 16" o.c.
- 3/8" PT plywood on underside of floor joist.
- 8" Foam Plastic insulation (R-38 min.)
- Finish flooring as selected by owner.

Typical Second Floor Construction

- 2 x 8 floor joist spaced as shown on plan
- 3/4" TnG underlayment grade plywood subfloor.
- 1 x 3 strapping at 16" o.c.
- 9" Fiberglas insulation in floor cavity
- 5/8" Type x FC sheetrock on bottom of floor joist.
- Finish flooring as selected by owner.

Typical Deck Floor Construction

- 2 x 8 PT SYP No 1 & 2 floor joist spaced as shown on plan.

Note- Decking and railing system as selected by owner

Typical Roof / Ceiling Construction

- 2 x 10 rafters as shown on plan
- 1/2" cdx plywood sheathing
- Metal drip edge
- EPDM Roofing system installed per mfg installation specifications.
- Foam plastic insulation blown into rafter bays. (R-38 minimum)
- 2x 6 ceiling joist as shown on plans
- 1 x 3 strapping at 16" o.c.

Typical New Exterior Walls
2 x 6 Exterior Wall Construction

- 2 x 6 studs at 16" o.c.
- 1/2 cdx exterior plywood sheathing
- Tyvek house wrap
- Exterior siding as selected by owner.
- Foam Plastic insulation (R-21 min) or equal as selected by owner.

NOTE: Green Board Sheathing may be substituted for 1/2" cdx ply and Tyvek. Install per mfg installation specifications

Foundation Design Note

- Assumed Soil Bearing Capacity to be 3000 PSF
- The contractor will verify soil bearing - capacity at jobsite.
- Make adjustments in footing and foundation as needed for site conditions and local codes.
- The contractor will be responsible for establishing the bottom of footing and top of wall elevations as required by site conditions.

Typical Deck Pier Construction

- 10" dia. Concrete Piers.
  Located as shown on plan.
  Bottom of piers to be a minimum of 4'-0" below finished grade.

- 1/2" dia. Anchor Bolt
- Simpson Metal anchor base ABU[illegible]Z

NOTE - All concrete will be continuous pour. and have a 28 day compressive strength of 3000 PSI minimum.

-----OR----

A Helix Screw Pier system may be substituted for the concrete piers.
The supplier/installer will be responsible for the design of the system and will provide the owner and Building Commissioner with engineering for the system certified by a Ma. Licensed structural engineer.

A9

PROJECT NO. 20-220

DATE FEB '21

SHEET 9 OF 9

REVISIONS
REV 2 APR '21 ADDED ROOF OVER EXT. STAIRS.

DRAWING
FRAMING PLANS, SECTIONS & DETAILS

SCALE: AS NOTED
DO NOT SCALE FROM PRINTS OR DRAWINGS

PROJECT
G. VELLANTE

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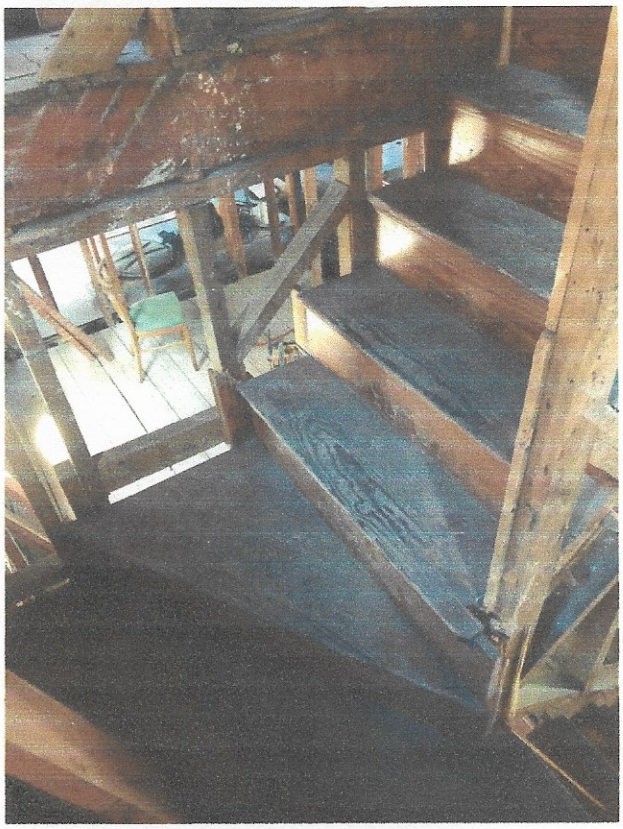

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(no subject)

1 message

GABRIEL VELLANTE <gabrielvellante@gmail.com> Tue, Mar 16, 2021 at 8:12 PM
To: GABRIEL VELLANTE <gabrielvellante@gmail.com>