

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 21-11

2021 MAY -4 PM 3:02

NOTICE OF PUBLIC HEARING BY THE
ZONING BOARD OF APPEALS

ON APPLICATION FOR TWO SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, May 17, 2021 at 7:00 PM by remote access through the Zoom app. to consider the application of Bo Cumbo for Two Special Permits under §1.5 of the Zoning By-Law to construct a second story addition at 3 Essex Road located in Single Residence C (SRC) Zoning district. §4.2.2 of the Zoning By-Law Dimensional Regulations allow a maximum lot coverage of 25% and require a minimum front setback of 22.4'. Special Permits: 1.- The existing and proposed lot coverage is 25.3%. 2.- The existing and proposed front setback is 20.5'.

ZONING BOARD OF APPEALS

Note: Application submittals, meeting agenda & instructions on remote access can be found on the Town's website <https://www.belmont-ma.gov/zoning-board-of-appeals>



Town of Belmont
Zoning Board of Appeals

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APPLICATION FOR A SPECIAL PERMIT

Date: April 1, 2021

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 3 Essex Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____ construction of an addition.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

Alexander "Bo" Cumbo

Address

3 Essex Road

Belmont, MA 02478

Daytime Telephone Number

(904) 537-4040



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

March 9, 2021

Bo Cumbo
3 Essex Road
Belmont, MA 02478

RE: Denial to Construct a Second Floor Addition.

Dear Mr. Cumbo,

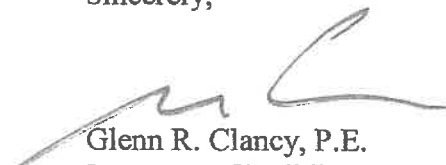
The Office of Community Development is in receipt of your building permit application for your proposal to construct a second floor addition at 3 Essex Road located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2.2 of the Zoning By-Law Dimensional Regulations allows a maximum lot coverage of 25% and requires a minimum front setback of 22.4'.

1. The existing and proposed lot coverage is 25.3%.
2. The existing and proposed front setback is 20.5'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,



Glenn R. Clancy, P.E.
Inspector of Buildings

SPECIAL PERMIT APPLICATION
3 ESSEX ROAD
ALEXANDER "BO" CUMBO

We are seeking a Special Permit for both Lot Coverage and Front Setback for the purpose of constructing an addition on the second floor over the existing sunroom to create much needed closet/storage space a new and enlarged master bathroom in our home. Please note that we simply want to build "up" and that we are not changing the existing footprint of the home. Rather, the existing and proposed measurements for both Lot Coverage and Front Setback will remain the same.

We are a married couple with two active growing teenage children, one boy and one girl. There is never enough room! The pandemic has caused us to make room for both working remotely and remote schooling for our children making things even more constricted. The existing bathroom situation in our home is somewhat unique as there is no bathroom on the first floor, our main living space. As such, the upstairs second floor bathrooms are in high demand. We have two small baths on the second floor, one common one at the top of the stair landing and one for the master bedroom which also has one small closet that does not meet our needs. Our proposed addition will create a new larger master bath over the existing first floor sunroom that better meets our family's needs. As a further benefit, we will be able to combine the small existing master bath with our small existing closet and make a large walk-in closet that will give us much needed closet/storage space.

Visually, our proposed addition is in direct proportion and style to our neighbors' homes and the character of our neighborhood. No adverse effects for water, sewerage, stormwater drainage or traffic will result from our proposal. In short, our proposed addition is consistent with the existing neighborhood conditions and will have no negative effect on existing conditions.

Thank you for your consideration and we ask that our Application for Special Permit be granted.

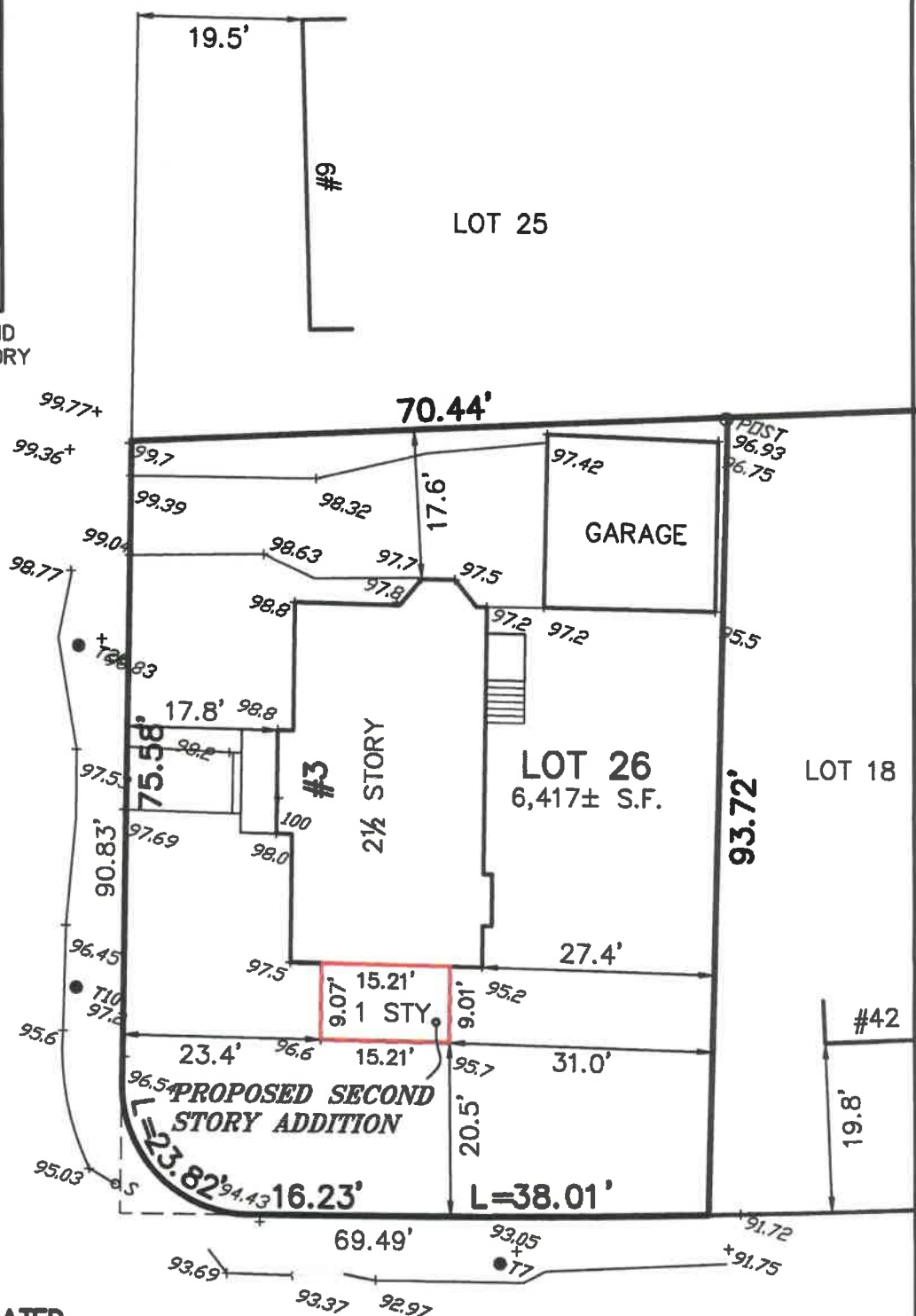
Respectfully submitted,

A handwritten signature in dark ink, appearing to be 'Bo' followed by a stylized surname, written over a horizontal line.

Alexander "Bo" Cumbo



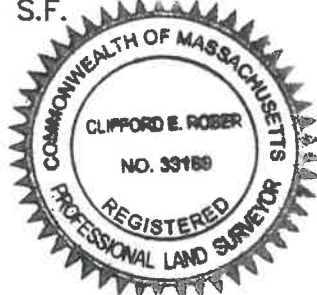
3 ESSEX RD - EXISTING CONDITIONS



**THE PROPERTY IS NOT LOCATED
WITHIN WETLANDS AS SHOWN
ON THE TOWN OF BELMONT
WETLANDS ATLAS.**

ZONING DISTRICT:	SC (SINGLE RESIDENCE C)		
		REQ. EXISTING	PROP.
FRONT SETBACK: ESSEX	17.49'	17.8'	23.4'
FRONT SETBACK: BENTON	22.4'	20.5'	20.5'
SIDE SETBACK:	10'	17.6'	-
REAR SETBACK: ESSEX	25.0'	27.4'	31.0'
MAXIMUM LOT COVERAGE:	25%	25.3%	25.3%
MINIMUM OPEN SPACE:	50%	64.7%	64.7%
LOT FRONTAGE:		90.83'	

TOTAL LOT AREA: 7,382± S.F.



CLIFFORD E. ROBER, PLS

DATE _____

BENTON ROAD

ESSEX
FRONT $(70.44+69.49)/2 \times .25 = 17.49'$
REAR $(70.44+69.49)/2 \times .30 = 20.99'$ (25.0')

BENTON
FRONT $(19.8 + 25.0)/2 = 22.4'$
PREPARED FOR: ALEXANDER & MARCI CUMBO
72110/199
ASSESSORS MAP 4 - PARCEL 62

PROPOSED PLOT PLAN
3 ESSEX ROAD
IN
BELMONT, MA
(MIDDLESEX COUNTY)

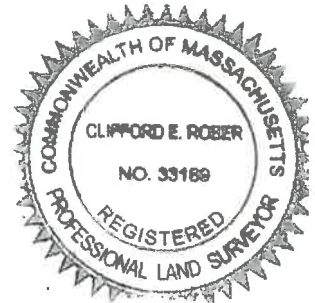
SCALE: 1"= 20' DATE: 1/21/2021



ROBER SURVEY
1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
DWG. NO. 6376PP1.DWG

Zoning Compliance Check List

Properties Located within the SR-C Districts
(To be Completed by a Registered Land Surveyor)



Property Address: 3 Essex Road

Surveyor Signature and Stamp: *[Signature]*

Date: 1/21/2021

Per §4.2 of the Zoning By-Law							
		REQUIRED		EXISTING		PROPOSED	
Lot Area (sq. ft.)		9,000		7,382		—	
Lot Frontage (feet)		75'		90.83'		—	
Lot Coverage (% of lot)		25%		26.3%		25.3%	
Open Space (% of lot)		50%		64.7%		64.7%	
Setbacks: (feet)	➤ Front ^(a) <i>ESSEX BENTON</i>	<i>17.49' 22.4'</i>		<i>17.8' 20.5'</i>		<i>23.4' 20.5'</i>	
	➤ Side/Side	<i>10'</i>	<i>10'</i>	<i>17.6</i>	<i>—</i>	<i>—</i>	<i>—</i>
	➤ Rear	<i>25'</i>		<i>27.4'</i>		<i>31.0'</i>	
Building Height:	➤ Midpoint (feet)	<i>30'</i>		<i>25.3'</i>		<i>20.6' Flat</i>	
	➤ Ridge (feet)	<i>—</i>					
	➤ Stories	<i>2 1/2</i>				<i>2</i>	
1/2 Story (feet) (Per §1.4)	➤ Perimeter (50%)						
	➤ Area (60%)						
	➤ Length (75%)						
HVAC ^(b)		Prohibited in Front Yard and Side and Rear Setbacks and shall be screened					

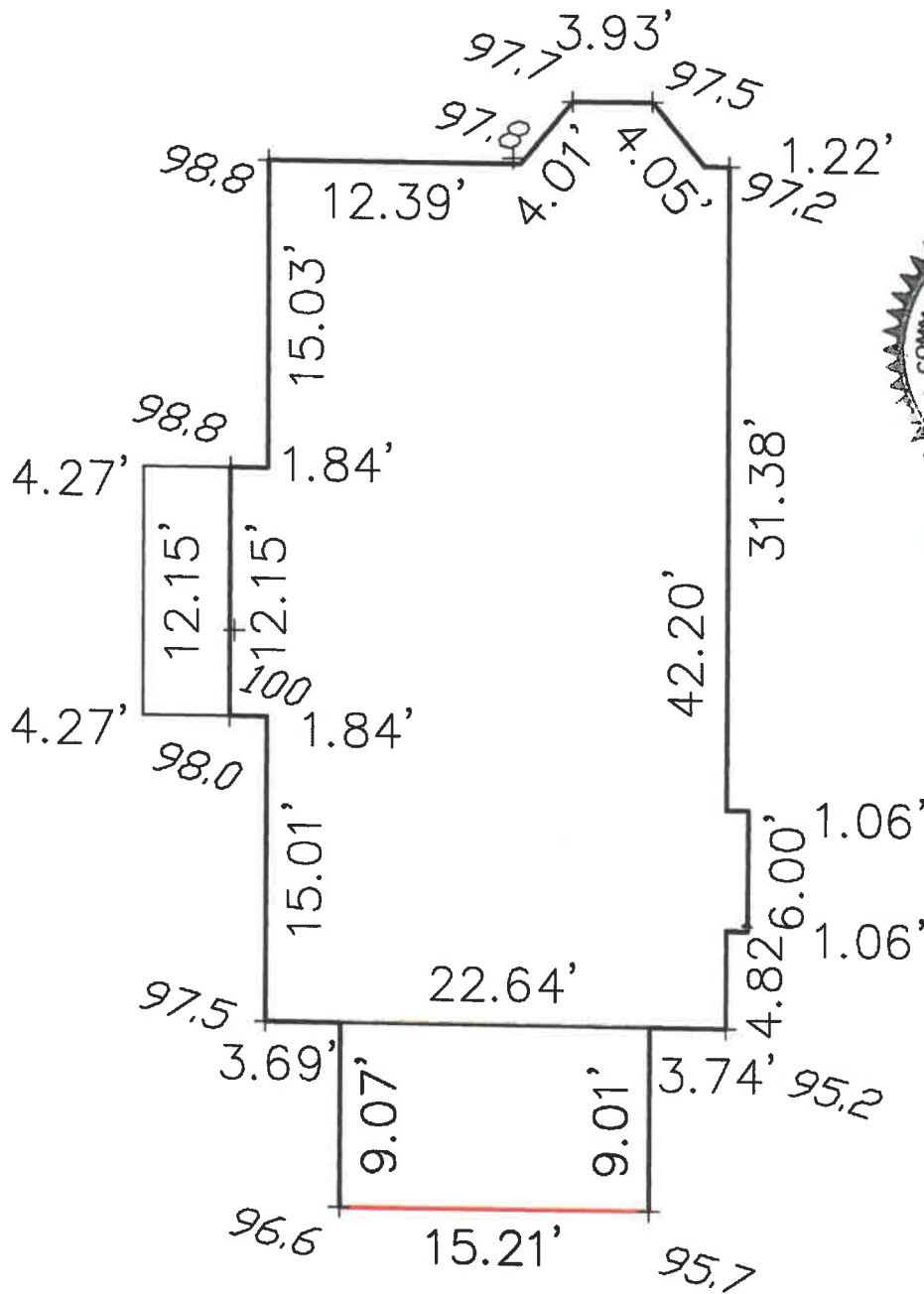
(a) Front setback is equal to the average front setbacks of the abutting properties on either side.

(b) Includes all outdoor mechanical equipment and fuel storage systems.

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated.

#3 ESSEX

12-6376



Clifford E. Rober
1/21/2021

Segment	Ceiling Elevation	Elevation From	Elevation To	Length	Ceiling Height	Square Footage	Exposed Square Footage	% Covered
1	99	98.8	97.8	12.39	7.5	92.93	8.67	90.67%
2	99	97.8	97.7	4.01	7.5	30.08	5.01	83.33%
3	99	97.7	97.5	3.93	7.5	29.48	5.50	81.33%
4	99	97.5	97.2	4.05	7.5	30.38	6.68	78.00%
5	99	97.2	97.2	1.22	7.5	9.15	2.20	76.00%
6	99	97.2	95.2	42.20	7.5	316.50	118.16	62.67%
7	99	95.2	95.2	3.74	7.5	28.05	14.21	49.33%
8	99	95.2	95.7	9.01	7.5	67.58	31.99	52.67%
9	99	95.7	96.6	15.21	7.5	114.08	43.35	62.00%
10	99	96.6	97.5	9.07	7.5	68.03	17.69	74.00%
11	99	97.5	97.5	3.69	7.5	27.68	5.54	80.00%
12	99	97.5	98	15.01	7.5	112.58	18.76	83.33%
13	99	98	98	1.84	7.5	13.80	1.84	86.67%
14	99	98	98.8	12.15	7.5	91.13	7.29	92.00%
15	99	98.8	98.8	1.84	7.5	13.80	0.37	97.33%
16	99	98.8	98.8	15.03	7.5	112.73	3.01	97.33%
17	99			154.39	7.5	1157.93	290.26	74.93%

Ceiling Height:	7.5	<- enter
Basement Floor Elevation	91.5	<- enter
Ceiling Elevation	99	
Perimeter Total Length	154.39	
Total Perimeter Square Foot	1157.93	
Exposed Square Footage	290.26	
% Covered	74.93%	<- result

R-6376

North South East West



Segment	Segment From Existing Grade	Segment From New Grade	Segment To Existing Grade	Segment To New Grade	Segment Length	Avg Existing	Avg New	Difference
A	98.8	98.8	97.8	97.8	12.39	1217.937	1217.937	0.00
B	97.8	97.8	97.7	97.7	4.01	391.9775	391.9775	0.00
C	97.7	97.7	97.5	97.5	3.93	383.568	383.568	0.00
D	97.5	97.5	97.2	97.2	4.05	394.2675	394.2675	0.00
E	97.2	97.2	97.2	97.2	1.22	118.584	118.584	0.00
F	97.2	97.2	95.2	95.2	31.38	3018.756	3018.756	0.00
G	95.2	95.2	95.2	95.2	1.06	100.912	100.912	0.00
	95.2	95.2	95.2	95.2	6	571.2	571.2	0.00
	95.2	95.2	95.2	95.2	1.06	100.912	100.912	0.00
	95.2	95.2	95.2	95.2	4.82	458.864	458.864	0.00
	95.2	95.2	95.2	95.2	3.74	356.048	356.048	0.00
	95.2	95.2	95.7	95.7	9.01	860.0045	860.0045	0.00
	95.7	95.7	96.6	96.6	15.21	1462.442	1462.442	0.00
	96.6	96.6	97.5	97.5	9.07	880.2435	880.2435	0.00
	97.5	97.5	97.5	97.5	3.69	359.775	359.775	0.00
	97.5	97.5	98	98	15.01	1467.228	1467.228	0.00
	98	98	98	98	6.11	598.78	598.78	0.00
	98	98	98.8	98.8	12.15	1195.56	1195.56	0.00
H	98.8	98.8	98.8	98.8	6.11	603.668	603.668	0.00
	98.8	98.8	98.8	98.8	15.03	1484.964	1484.964	0.00
					165.05	16025.69	16025.69	0

Ceiling Height:	7.5
Basement Floor Elevation	91.5
Ceiling Elevation	99
Perimeter Total Length	165.05
Total Perimeter Square Foot	1237.88
Average Existing Grade	97.10
New Average Grade	97.10
Difference in Grade in feet	0.00

r-6376

% Covered using Avg Grade 74.61%



Clifford E. Rober
11/21/2021

CUMBO RESIDENCE

3 ESSEX ROAD — BELMONT, MA



DRAWING LIST

- C COVER
- 0 EXISTING BASEMENT FLOOR PLAN (NO WORK)
- 1 EXISTING 1ST FLOOR PLAN (NO WORK)
- 2 EXISTING 2ND FLOOR PLAN
- 3 EXISTING 3RD FLOOR PLAN
- 4 EXISTING ROOF PLAN (NO WORK)
- 5 EXISTING BUILDING SECTION
- 6 EXISTING SOUTH SIDE ELEVATION
- 7 EXISTING FRONT ELEVATION (WEST)
- 8 EXISTING REAR ELEVATION (EAST)
- 9 EXISTING NORTH SIDE ELEVATION (NO WORK)
- 10 PROPOSED SOUTH SIDE ELEVATION
- 11 PROPOSED FRONT ELEVATION (WEST)
- 12 PROPOSED REAR ELEVATION (EAST)
- 13 PROPOSED 2ND FLOOR PLAN
- 14 PROPOSED 3RD FLOOR PLAN
- 15 INTERIOR ELEVATIONS
- S1 STRUCTURAL PLANS

General Notes

1. DRAWINGS ILLUSTRATE THE DESIGN INTENT OF THE FINAL APPEARANCE OF THE BUILDING ONLY.
2. ALL CONSTRUCTION IS TO CONFORM TO THE IRC, MASSACHUSETTS STATE BUILDING CODE SUPPLEMENT, AND ALL APPLICABLE LAWS & REGULATIONS.
3. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL THOROUGHLY EXAMINE THE DRAWINGS AND ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS ON THE DRAWINGS.
4. ONCE CONSTRUCTION COMMENCES, CONTRACTORS ASSUME ALL RESPONSIBILITY FOR THE WORK. ARCHITECT IS NOT LIABLE FOR STRUCTURES BUILT FROM THESE DRAWINGS.
5. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES.
6. THE CONTRACTOR SHALL MAKE NO CHANGES TO THE WORK AS SHOWN ON THE DRAWINGS WITHOUT THE PRIOR APPROVAL OF ARCHITECT AND THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY CHANGES MADE IN THE WORK WITHOUT PRIOR APPROVAL.
7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND RELATED INSPECTIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB-SITE SAFETY AND REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS.
9. DRAWINGS INDICATE GENERAL CONSTRUCTION, DIMENSIONS, DETAILS AND STYLES FOR MATERIALS, PRODUCTS, AND EQUIPMENT INDICATED. FIELD VERIFY ALL CONDITIONS AND REQUIREMENTS AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
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12. ANY ELECTRICAL, HVAC, AND PLUMBING PLANS TO BE PROVIDED BY LICENSED CONSULTANTS.
13. ANY REPRODUCTION OF PLANS WITHOUT WRITTEN PERMISSION FROM MASS ARCHITECT, LLC IS PROHIBITED.
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16. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE SUBSURFACE CONDITIONS. NO FOUNDATION SHALL BE PLACED IN WATER OR FROZEN GROUND.
17. RESPONSIBILITY FOR THERMAL AND MOISTURE DESIGN LIES WITH THE BUILDER AND HOMEOWNER.

MASS
ARCHITECT
NICHOLAS PAOLUCCI, AIA

NICHOLAS PAOLUCCI, AIA
45 WOODMERE DRIVE
MILTON, MA 02186
RIMASSARCHITECT@GMAIL.COM
WWW.MASSARCHITECT.COM
401-316-3525

Project Name and Address
CUMBO RESIDENCE
3 ESSEX ROAD
BELMONT, MA
ADDITION TO SINGLE FAMILY



Project
CUMBO RESIDENCE

Date
2-12-21

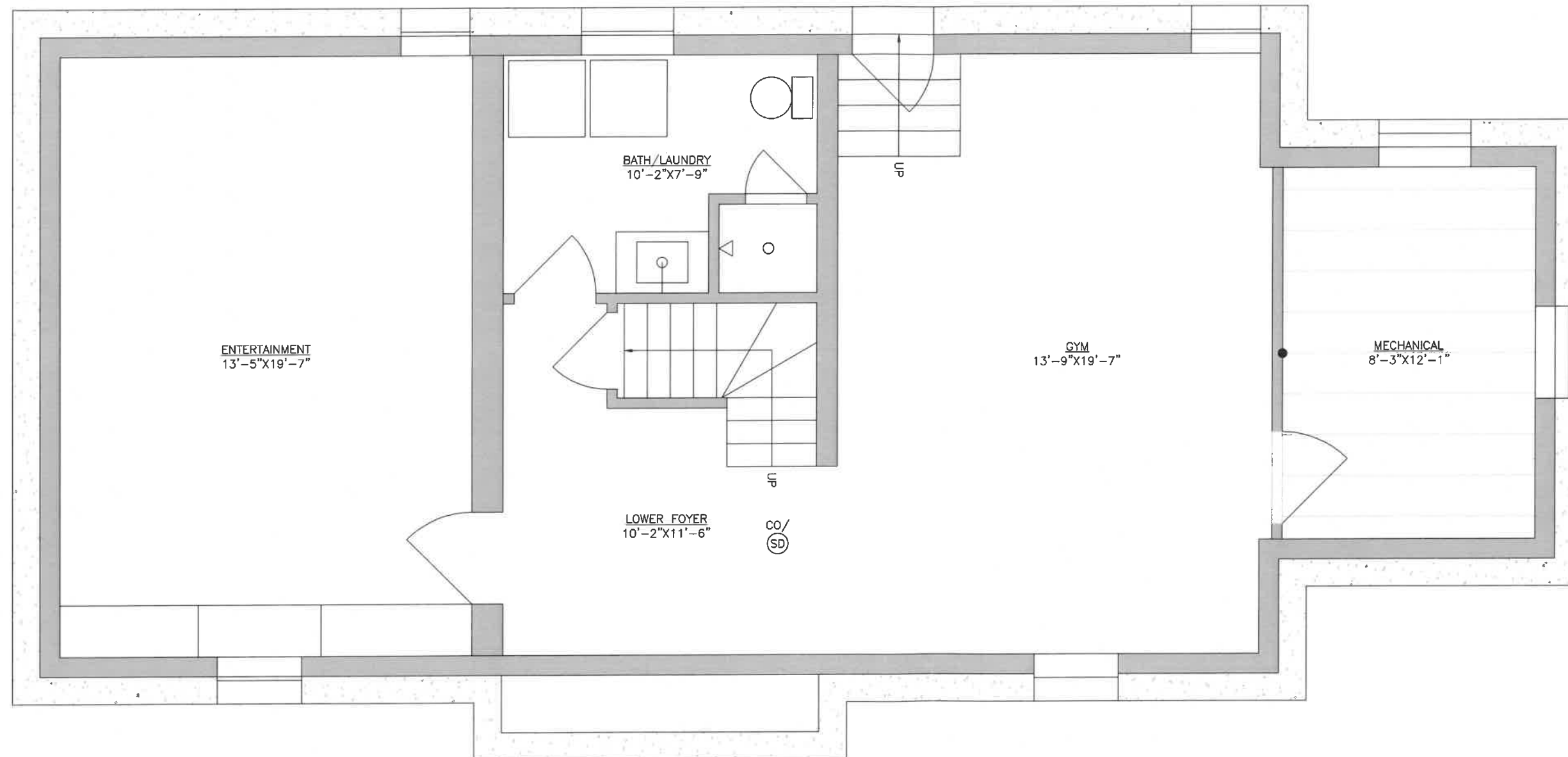
Scale
1/2"=1'-0"

1/4"=1'-0" FOR 11X17 SHEET

Sheet

C

COVER



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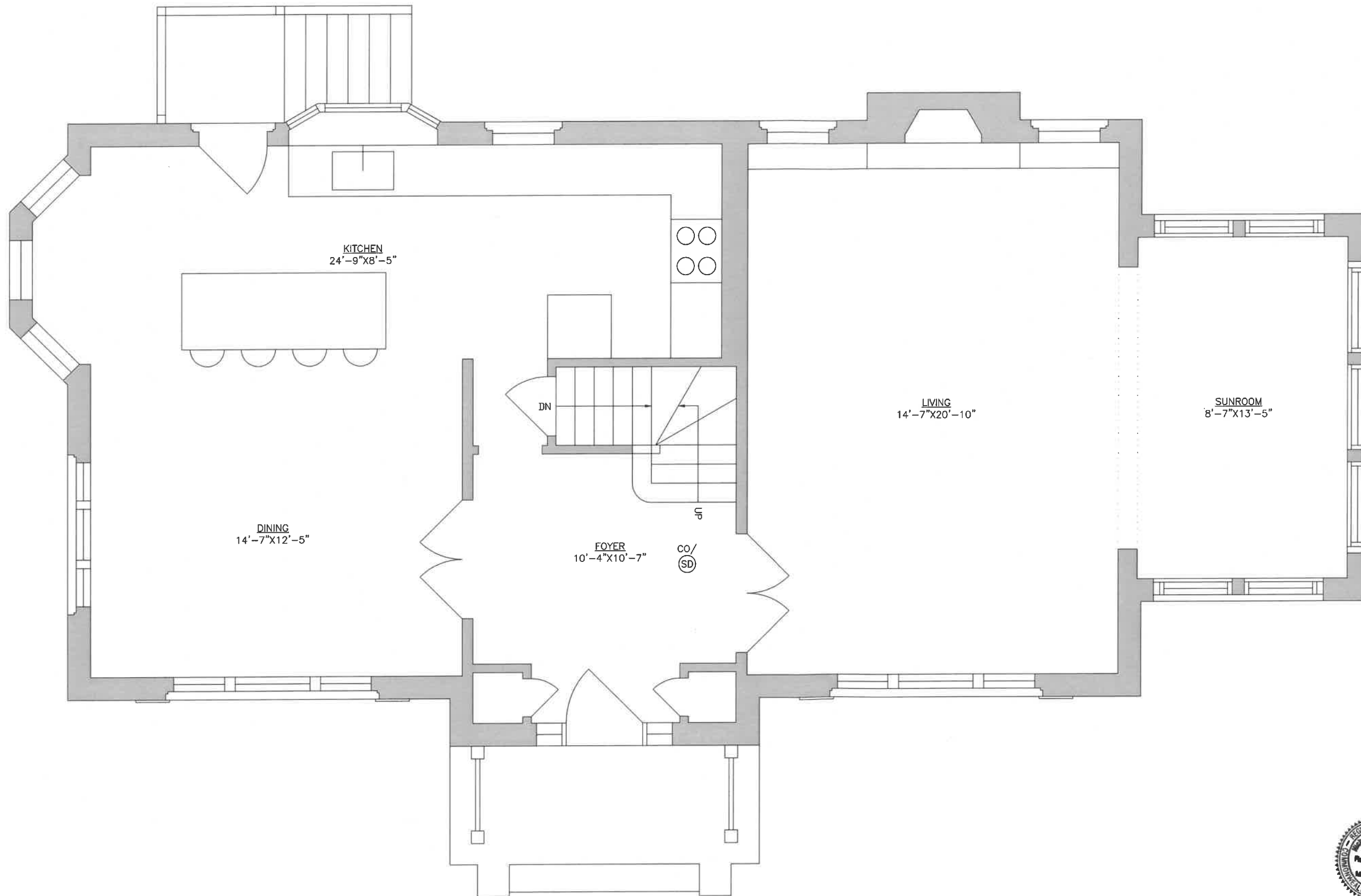
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Project Name and Address
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Project CUMBO RESIDENCE	Sheet 0
Date 2-12-21	EXISTING BASEMENT FLOOR PLAN
Scale 1/2"=1'-0"	
1/4"=1'-0" FOR 11X17 SHEET	



General Notes

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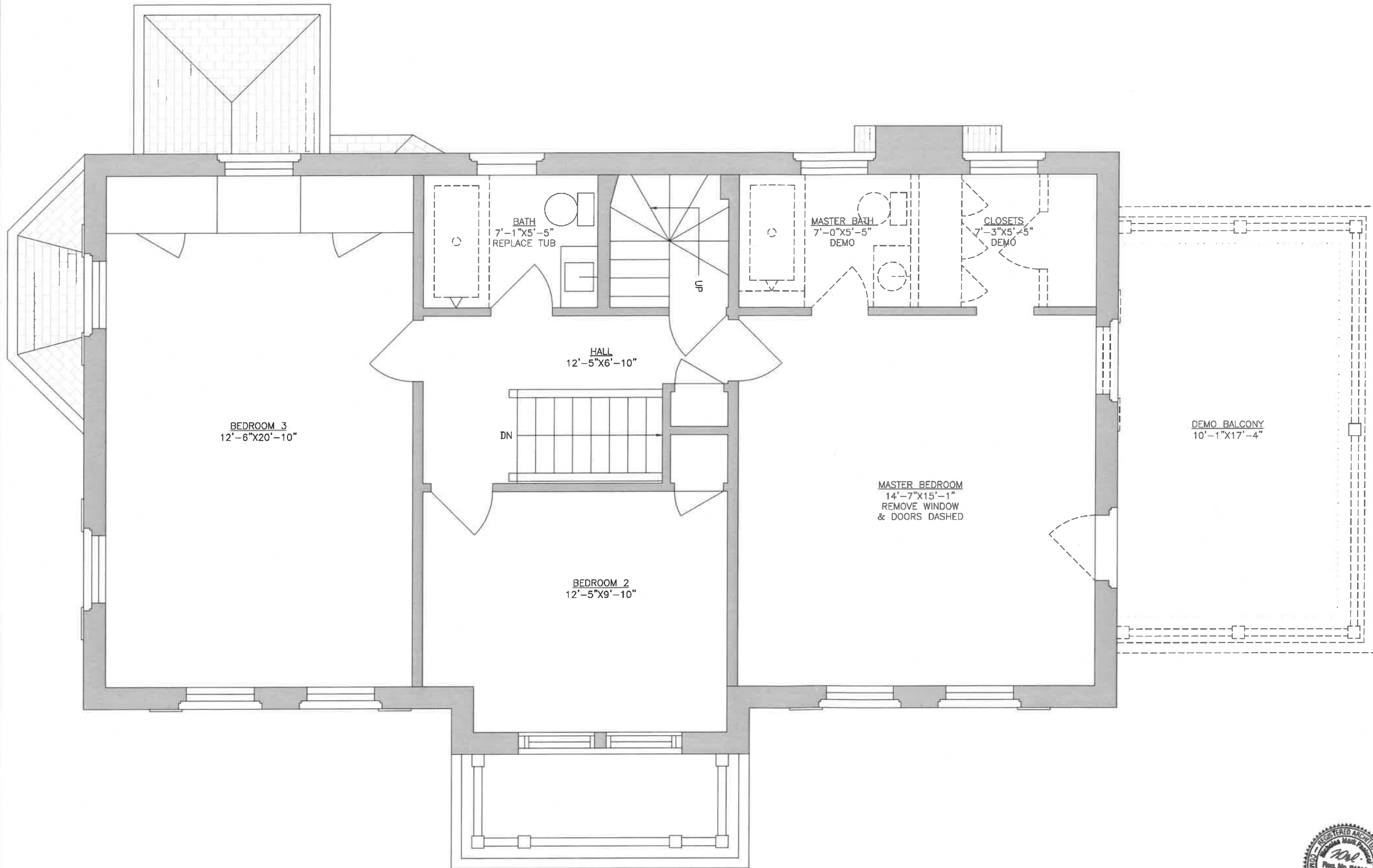


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ADDITION TO SINGLE FAMILY



Project	CUMBO RESIDENCE	Sheet	1
Date	2-12-21	EXISTING 1ST FLOOR PLAN	
Scale	1/2"=1'-0"		
	1/4"=1'-0" FOR 11X17 SHEET		



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3 ESSEX ROAD
BELMONT, MA
ADDITION TO SINGLE FAMILY

Project
CUMBO RESIDENCE

Date
2-12-21

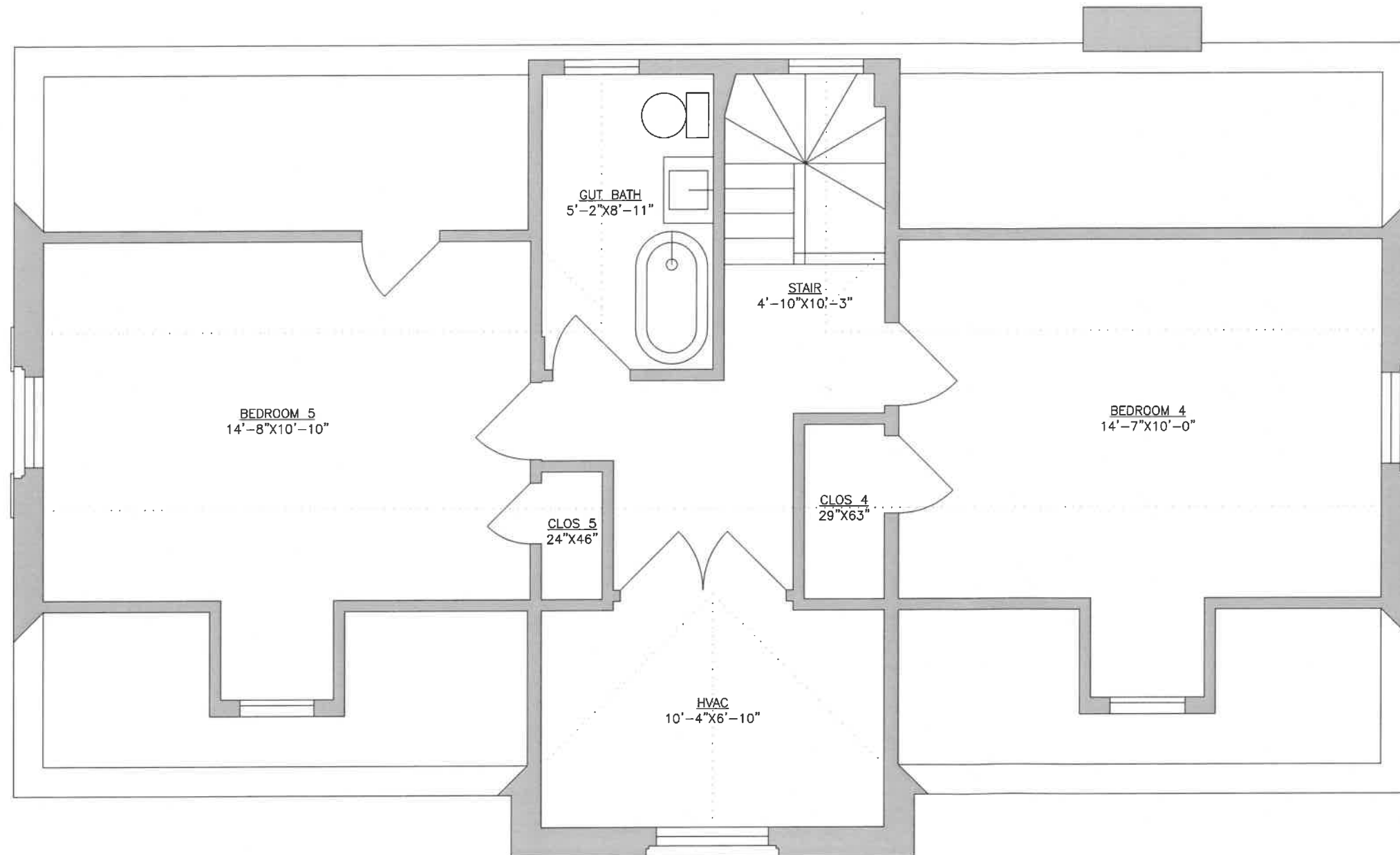
Scale
1/2"=1'-0"

1/4"=1'-0" FOR 11X17 SHEET

Sheet

2

EXISTING 2ND
FLOOR PLAN



General Notes

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3 ESSEX ROAD
BELMONT, MA
ADDITION TO SINGLE FAMILY



Project
CUMBO RESIDENCE

Date
2-12-21

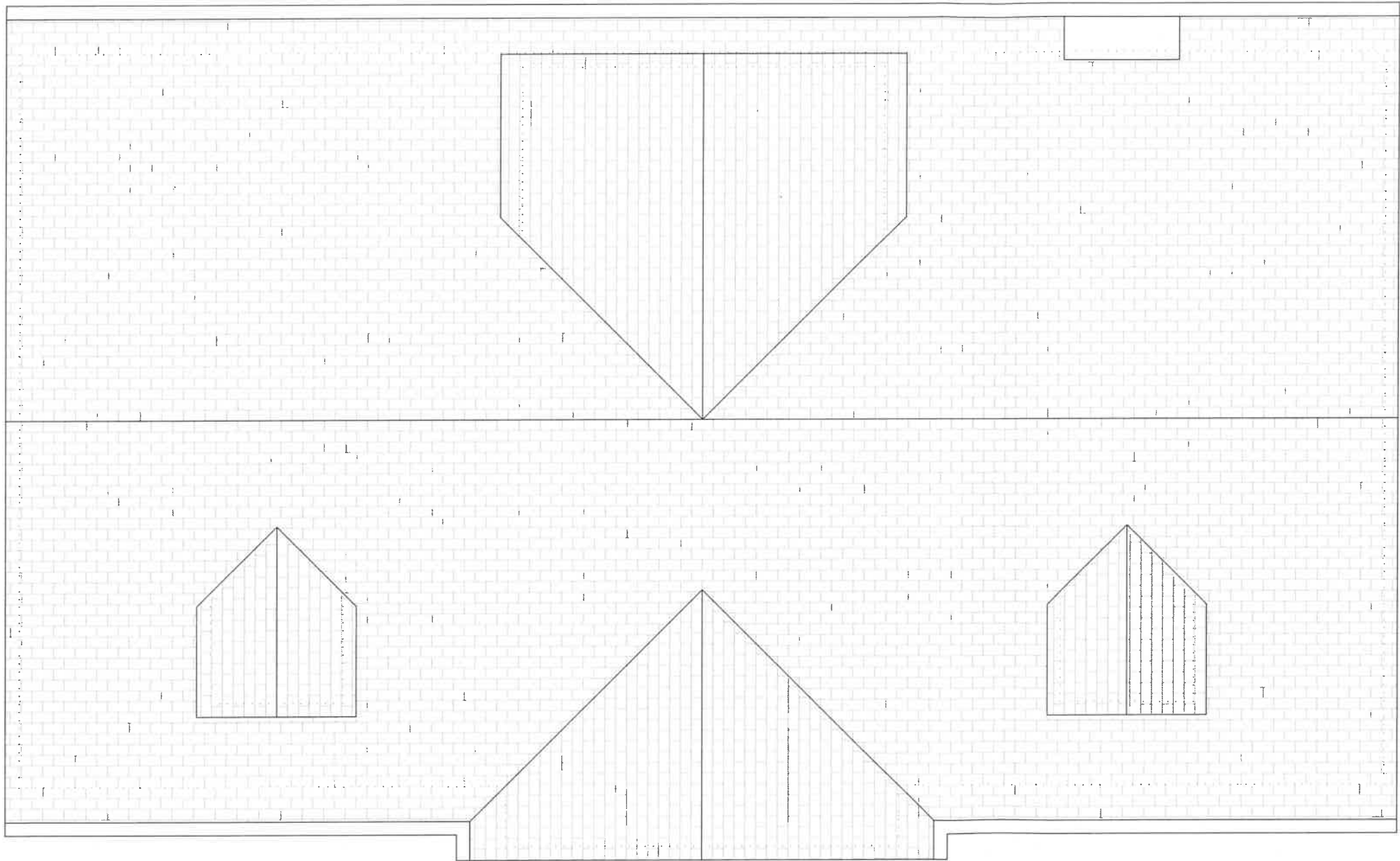
Scale
1/2"=1'-0"

Sheet

3

EXISTING 3RD
FLOOR PLAN

1/4"=1'-0" FOR 11X17 SHEET



General Notes

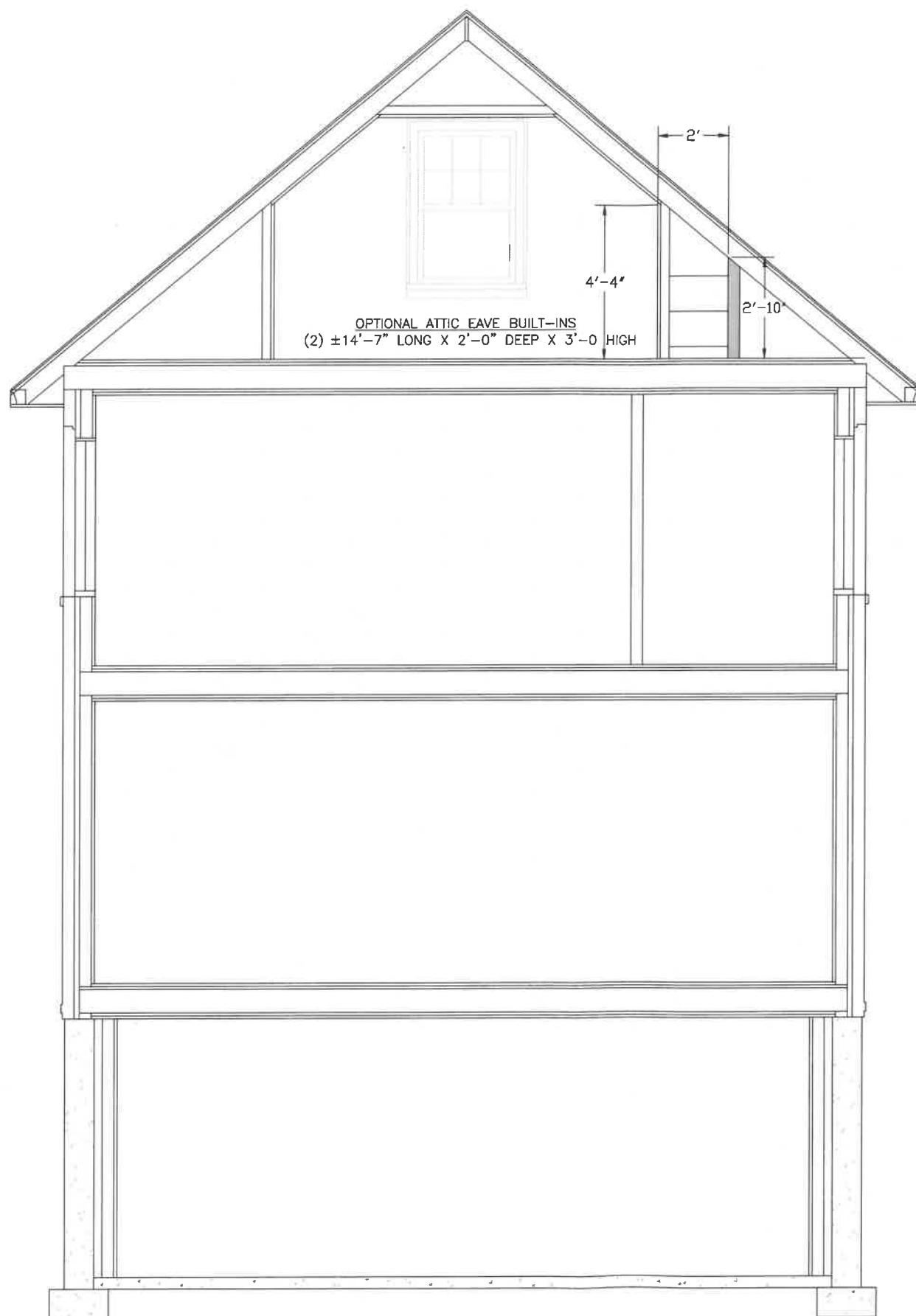
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BELMONT, MA
ADDITION TO SINGLE FAMILY

Project CUMBO RESIDENCE	Sheet 4
Date 2-12-21	EXISTING ROOF PLAN
Scale 1/2"=1'-0"	
1/4"=1'-0" FOR 11X17 SHEET	



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Project Name and Address
CUMBO RESIDENCE
3 ESSEX ROAD
BELMONT, MA
ADDITION TO SINGLE FAMILY



Project
CUMBO RESIDENCE

Date
2-12-21

Scale
1/2"=1'-0"

1/4"=1'-0" FOR 11X17 SHEET

Sheet

5

EXISTING
BUILDING
SECTION



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Project Name and Address

CUMBO RESIDENCE
3 ESSEX ROAD
BELMONT, MA
ADDITION TO SINGLE FAMILY

Project
CUMBO RESIDENCE

Date
2-12-21

Scale
1/2"=1'-0"

Sheet

6

EXISTING
SOUTH SIDE
ELEVATION

1/4"=1'-0" FOR 11X17 SHEET



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BELMONT, MA
ADDITION TO SINGLE FAMILY

Project CUMBO RESIDENCE	Sheet 7
Date 2-12-21	EXIST FRONT ELEVATION (WEST)
Scale 1/2"=1'-0"	
1/4"=1'-0" FOR 11X17 SHEET	



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Project
CUMBO RESIDENCE

Date
2-12-21

Scale
1/2"=1'-0"

1/4"=1'-0" FOR 11X17 SHEET

Sheet

8

**EXISTING REAR
ELEVATION
(EAST)**



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WWW.MASSARCHITECT.COM
401-316-3525

Project Name and Address
CUMBO RESIDENCE
3 ESSEX ROAD
BELMONT, MA
ADDITION TO SINGLE FAMILY

Project
CUMBO RESIDENCE

Date
2-12-21

Scale
1/2"=1'-0"

1/4"=1'-0" FOR 11X17 SHEET

Sheet

9

EXISTING
NORTH SIDE
ELEVATION



General Notes

1. DRAWINGS ILLUSTRATE THE DESIGN INTENT OF THE FINAL APPEARANCE OF THE BUILDING ONLY
2. ALL CONSTRUCTION IS TO CONFORM TO THE IRC, MASSACHUSETTS STATE BUILDING CODE SUPPLEMENT, AND ALL APPLICABLE LAWS & REGULATIONS
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Date
2-12-21

Scale
1/2"=1'-0"

1/4"=1'-0" FOR 11X17 SHEET

Sheet

10
PROPOSED
SOUTH SIDE
ELEVATION



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BELMONT, MA
ADDITION TO SINGLE FAMILY

Project
CUMBO RESIDENCE

Date
2-12-21

Scale
1/2"=1'-0"

1/4"=1'-0" FOR 11X17 SHEET

Sheet

1 1

PROPOSED
FRONT
ELEVATION



General Notes

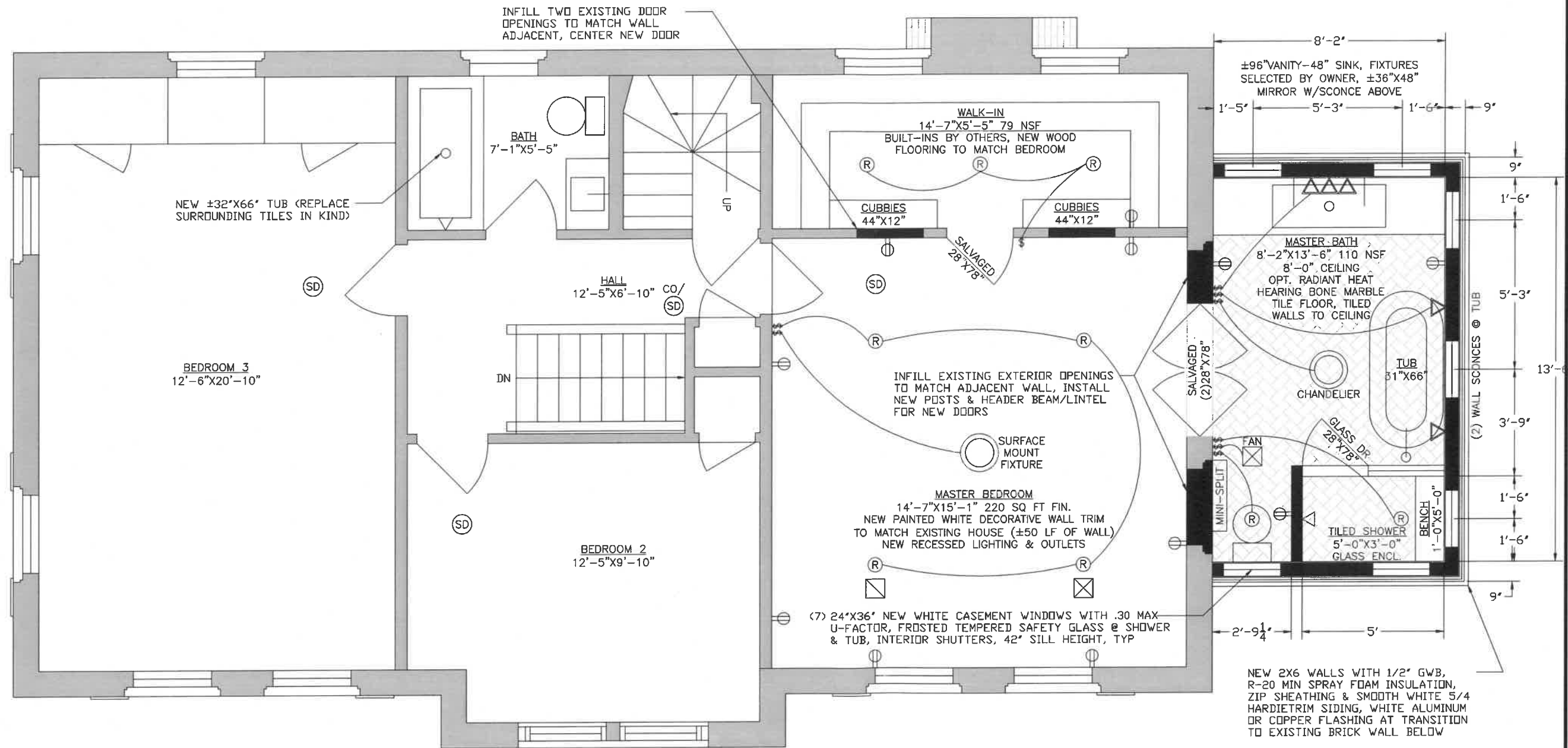
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Project Name and Address
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Project	CUMBO RESIDENCE	Sheet	12
Date	2-12-21		PROPOSED
Scale	1/2"=1'-0"		REAR
	1/4"=1'-0" FOR 11X17 SHEET		ELEVATION



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ADDITION TO SINGLE FAMILY

Project
CUMBO RESIDENCE

Date
2-12-21

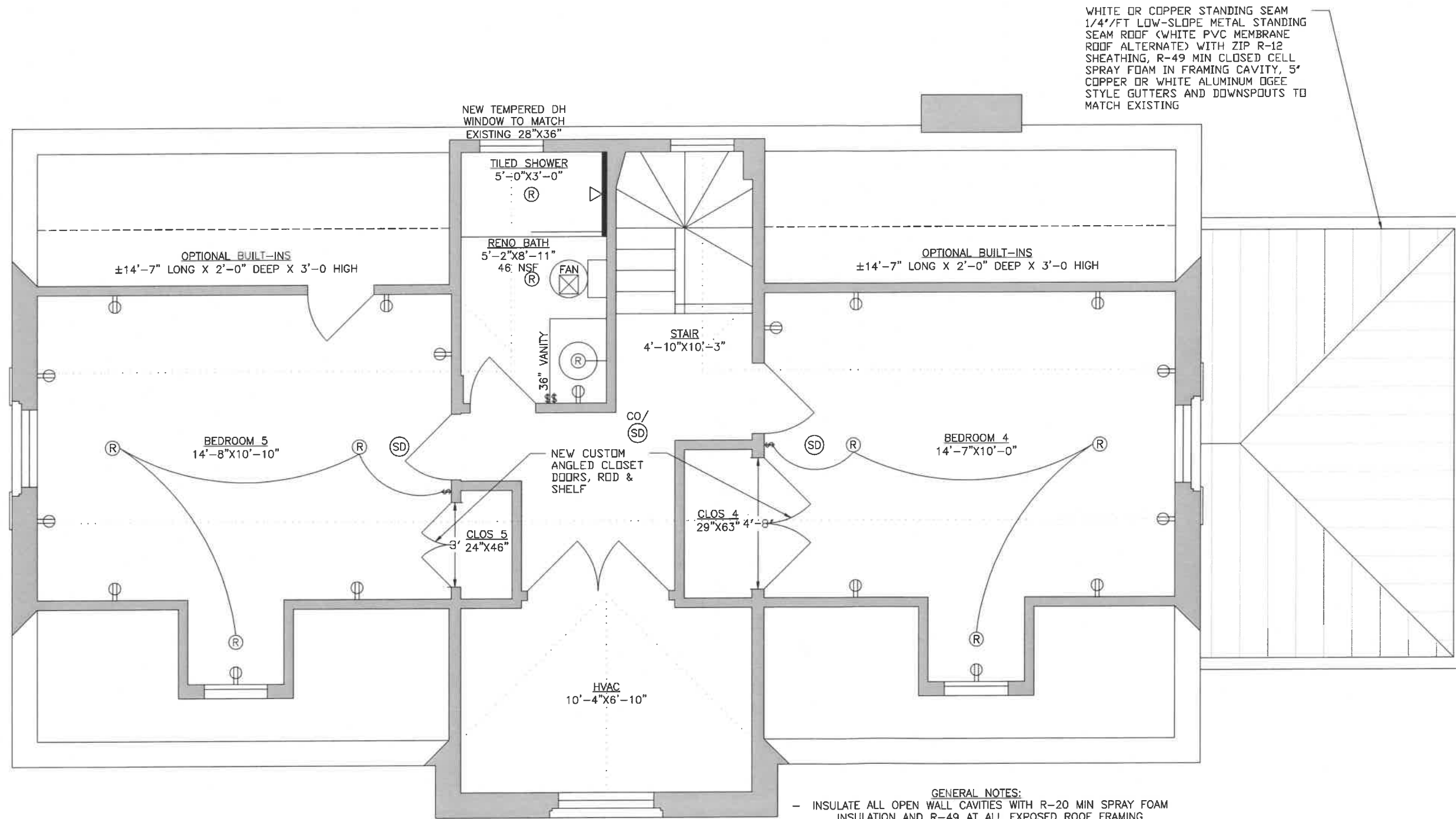
Scale
1/2"=1'-0"

Sheet
13

PROPOSED
2ND FLOOR
PLAN

1/4"=1'-0" FOR 11X17 SHEET





General Notes

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Project	CUMBO RESIDENCE	Sheet	14
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Scale	1/2"=1'-0"	PLAN	
1/4"=1'-0" FOR 11X17 SHEET			