

NOTICE OF PUBLIC HEARING BY THE  
ZONING BOARD OF APPEALS

ON APPLICATION FOR ONE SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, April 5, 2021 at 7:00 PM by remote access through the Zoom app. to consider the application of Lisa's Pizzeria, Ashirward Binduhewa, owner, for One Special Permit under §1.5 of the Zoning By-Law to operate a fast food restaurant at 368 Trapelo Road located in LBIII zoning district. Special Permit: 1.- §3.3 of the By-Law allows the operation of fast food restaurants in the LBIII district by a special permit granted by the Board of Appeals.

ZONING BOARD OF APPEALS



Town of Belmont  
Zoning Board of Appeals

**APPLICATION FOR A SPECIAL PERMIT**

Date: 3/3/21

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 368 TRAPELO Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for \_\_\_\_\_

CHANGE of ownership TO operate FAST FROD RESTAURANT

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name ASHWANTO BINDU HWA

Address 2 BANKS PLACE #211

MELROSE, MA. 02176

Daytime Telephone Number 857 526 1190



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT

19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

February 18, 2021

Ashirward Binduhewa  
2 Banks Place  
Melrose, MA 02176

RE: Denial to Operate a Fast Food Restaurant


Dear Mr. Binduhewa,

The Office of Community Development is in receipt of your building permit application for your proposal to Operate a Fast Food Restaurant at 368 trapelo Road located in a Local Business III (LBIII) zoning district.

Your application has been denied because it does not comply with the current Town of Belmont Zoning Bylaws. More specifically, Section 3.3 of the Zoning Bylaws requires a Special Permit form the Zoning Board of Appeals to operate a fast food restaurant in an LBIII zoning district.

You may alter your plans to conform to the current Town of Belmont Zoning Bylaws and resubmit a building permit application, or you may request one (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,



Glenn R. Clancy, P.E.  
Inspector of Buildings



**OFFICE OF COMMUNITY DEVELOPMENT**

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(617) 993-2664  
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**TOWN OF BELMONT**

19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

~~January 19, 2021~~ **MARCH 9, 2021**

Antonio J. Pereira  
11 Willard Street  
Malden, MA 02148

**1 Ashinward Binduhwa  
2 BANKS PLACE APT 311  
MALDEN, MA 02176**

RE: Denial to Operate a Fast Food Restaurant

Dear Mr. Pereira,

The Office of Community Development is in receipt of your building permit application for your proposal to Operate a Fast Food Restaurant at 368 trapelo Road located in a Local Business III (LBIII) zoning district.

Your application has been denied because it does not comply with the current Town of Belmont Zoning Bylaws. More specifically, Section 3.3 of the Zoning Bylaws requires a Special Permit from the Zoning Board of Appeals to operate a fast food restaurant in an LBIII zoning district.

You may alter your plans to conform to the current Town of Belmont Zoning Bylaws and resubmit a building permit application, or you may request one (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.  
Inspector of Buildings

Ashirward Binduhewa  
2 Banks Place,  
Melrose. MA.  
02176

To whom it may concern

Dear Sir/Madam

I Ashirward Binduhewa and my wife Therese Rodrigo would like to introduce our selfs to your community as potential buyers of Lisa's Family Pizzeria of Belmont.

I have 20 years of experience in food and beverage industry and currently owns the School House Pizza in Quincy Mass. prior to that I have worked as a General Manger for Finagle A Bagel for 10 years and 10 years of Pizzeria business.

We are currently lives in Melrose Mass and happy to be part of your wonderful community.

There will be no changes to the business name, menu or structure will be made.

Business will continue to operate as it is and only change will be the ownership.

Thank You,  
Sincerely,

Ashirward Binduhewa.

## GENERAL NOTES

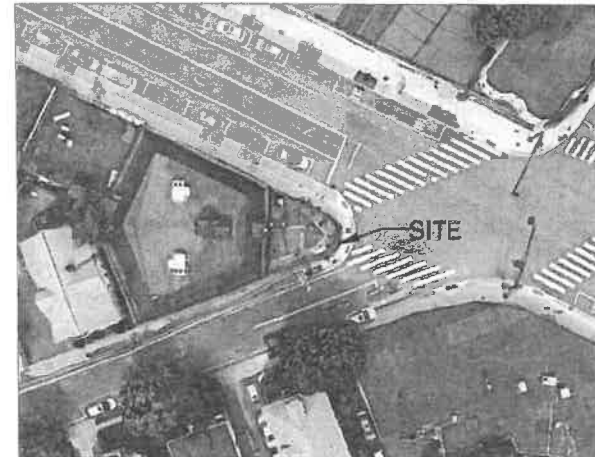
- ALL WORK SHALL BE COMPLETED WITH THE MASSACHUSETTS STATE BUILDING CODE, CURRENT EDITION AND OTHER LOCAL REGULATIONS GOVERNING WORK OF THIS SORT. ALL PERMITS BY G.C.
- THE WORK INCLUDED, BUT NOT LIMITED TO, ALL DEMOLITION, FRAMING, FINISHES (INTERIOR AND EXTERIOR), PLUMBING, ELECTRICAL, HEATING FOR A COMPLETE SYSTEM(S) PROJECT UNLESS NOTED OTHERWISE AS SHOWN ON THE DRAWINGS. PLUMBING / ELECTRICAL / HEATING DESIGN BUILD BY G.C.
- DO NOT SCALE DRAWINGS. USE INDICATED, CALCULATED DIMENSIONS, OR FIELD MEASUREMENTS.
- NO WORK SHALL BE LEFT EXPOSED TO THE OPEN ELEMENTS WHILE G.C. IS OFF SITE. OPENINGS SHALL BE PROTECTED TO PREVENT ACCIDENTAL FALLING/INJURY TO WORKERS, OWNERS, OR VISITORS.
- TO "REMOVE" SHALL MEAN TO REMOVE ALL MATERIALS, CONNECTIONS, ETC. AND DISPOSE OF LEGALLY.
- ALL DEMOLITION MATERIAL AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND DISPOSED OF LEGALLY.
- THE CONTRACTOR SHALL MAINTAIN INSURANCE COVERAGE DURING EXECUTION OF THIS WORK AND SHALL INCLUDE COMPREHENSIVE GENERAL LIABILITY, PROPERTY DAMAGE, AS WELL AS WORKMAN'S COMPENSATION COVERAGE. INSURANCE CERTIFICATES SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK OR DELIVERY OF ANY MATERIAL. AMOUNT SHALL BE \$2,000,000 BODILY INJURY AND \$500,000 PROPERTY DAMAGE CO-INSURED SHALL BE ~~XXXXXXX~~ AND B. GOBA AND ASSOCIATES, P.C.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE APPROPRIATE PROTECTION AND INSURANCE AGAINST THEFT, LOSS OR DAMAGE FOR ALL MATERIALS, EQUIPMENT, ETC. UNTIL OWNER'S ACCEPTANCE OF THE WORK. ON SITE STORAGE OF MATERIALS SHALL BE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL WORK SHALL MEET, MATCH, AND BLEND WITH EXISTING CONDITIONS, UNLESS NOTED OTHERWISE. G.C. TO PATCH AND MATCH ANY EXISTING WORK DAMAGED BY CONSTRUCTION.
- G.C. SHALL BE RESPONSIBLE FOR STRUCTURAL INTEGRITY OF MATERIALS, CONNECTIONS AND ANCHORING OF ALL ROUGH CARPENTRY WORK.
- G.C. SHALL CONFIRM FLOOR FINISHES W/ OWNER PRIOR TO INSTALLATION OF SUBFLOOR.
- ALL WORK SHALL BE GUARANTEED 100% FOR 1 (ONE) YEAR FROM DATE OF ISSUANCE OF CERTIFICATE OF OCCUPANCY BY LOCAL AUTHORITIES.
- TO REMOVE AND/OR DEMOLISH SHALL BE EXTENDED TO MEAN; PROVIDE SHORING AS REQUIRED AND TO DISPOSE OF ALL DEBRIS LEGALLY.
- G.C. SHALL LEAVE NO WORK EXPOSED TO THE WEATHER @ ANYTIME. HE SHALL ADVISE OWNER OF SCHEDULE OF WORK. HE SHALL HAVE PROTECTIVE MATERIAL AVAILABLE ON SITE WHILE THE BUILDING IS EXPOSED TO THE WEATHER.
- NO WORK SHALL BE COVERED UP UNTIL SIGNED OFF BY THE APPROPRIATE INSPECTORS.
- ALL COLORS/FINISHES TO BE APPROVED BY OWNERS.
- G.C. SHALL COORDINATE THEIR WORK WITH ANY OF THE OWNERS SUB CONTRACTORS.
- THIS DRAWING IS FOR ARCHITECTURAL FINISH AND EQUIPMENT LAYOUT. EQUIPMENT, CONNECTION, PROVIDED BY OWNER. ALL ENGINEERING BY OTHERS.

## STANDARD ABBREVIATIONS

&.: AND  
 @: AT  
 A.F.F.: ABOVE FINISH FLOOR  
 ALUM.: ALUMINUM  
 APPROX.: APPROXIMATELY  
 BD.: BOARD  
 BOT.: BOTTOM  
 BSMT.: BASEMENT  
 CAB. CABINET  
 CL: CENTER LINE  
 CLG.: CEILING  
 CMU: CONCRETE MASONRY UNIT  
 C.O.: CASED OPENING  
 COL.: COLUMN  
 CONC.: CONCRETE  
 CONT.: CONTINUOUS  
 D.S.: DOWNSPOUT  
 DBL.: DOUBLE  
 DIA.: DIAMETER  
 DIM.: DIMENSION  
 DN.: DOWN  
 DTL.: DETAIL  
 DWG.: DRAWING  
 E. or EXIST.: EXISTING  
 EA.: EACH  
 EL.: ELECTRICAL  
 ELEV.: ELEVATION  
 EQ.: EQUAL  
 EXIST.: EXISTING  
 EXT.: EXTERIOR  
 FIN.: FINISH  
 FLR.: FLOOR  
 G.C.: GENERAL CONTRACTOR  
 GL.: GLASS or GLAZING  
 G.W.B.: GYPSUM WALL BOARD

HORIZ.: HORIZONTAL  
 HP.: HARD PINE  
 I.D.: INSIDE DIAMETER  
 INSUL.: INSULATION  
 JST.: JOIST  
 LBS.: POUNDS  
 LOC.: LOCATION  
 LTG.: LIGHTING  
 LVL.: LAMINATED VENEER LUMBER  
 M.C.: MEDICINE CABINET  
 M.O.: MASONRY OPENING  
 MAX.: MAXIMUM  
 MECH.: MECHANICAL  
 MIN.: MINIMUM  
 MISC.: MISCELLANEOUS  
 MTD.: MOUNTED  
 N.T.S.: NOT TO SCALE

NO. or #: NUMBER  
 O.C.: ON CENTER  
 P.S.I.: POUNDS PER SQUARE INCH  
 P.T.: PRESSURE TREATED  
 PT.: PAINT  
 PTD.: PAINTED  
 REBAR: REINFORCEMENT BARS  
 REF.: REFRIGERATOR  
 R.O.: ROUGH OPENING  
 R.W.L.: RAIN WATER LETDOWN  
 S.F.: SQUARE FEET  
 T&G: TONGUE AND GROOVE  
 TYP.: TYPICAL  
 UN.C.: UNLESS NOTED OTHERWISE  
 V.I.F. VERIFY IN FIELD  
 W.C.: WATER CLOSET  
 W/ WITH  
 W/O WITHOUT  
 WD.: WOOD

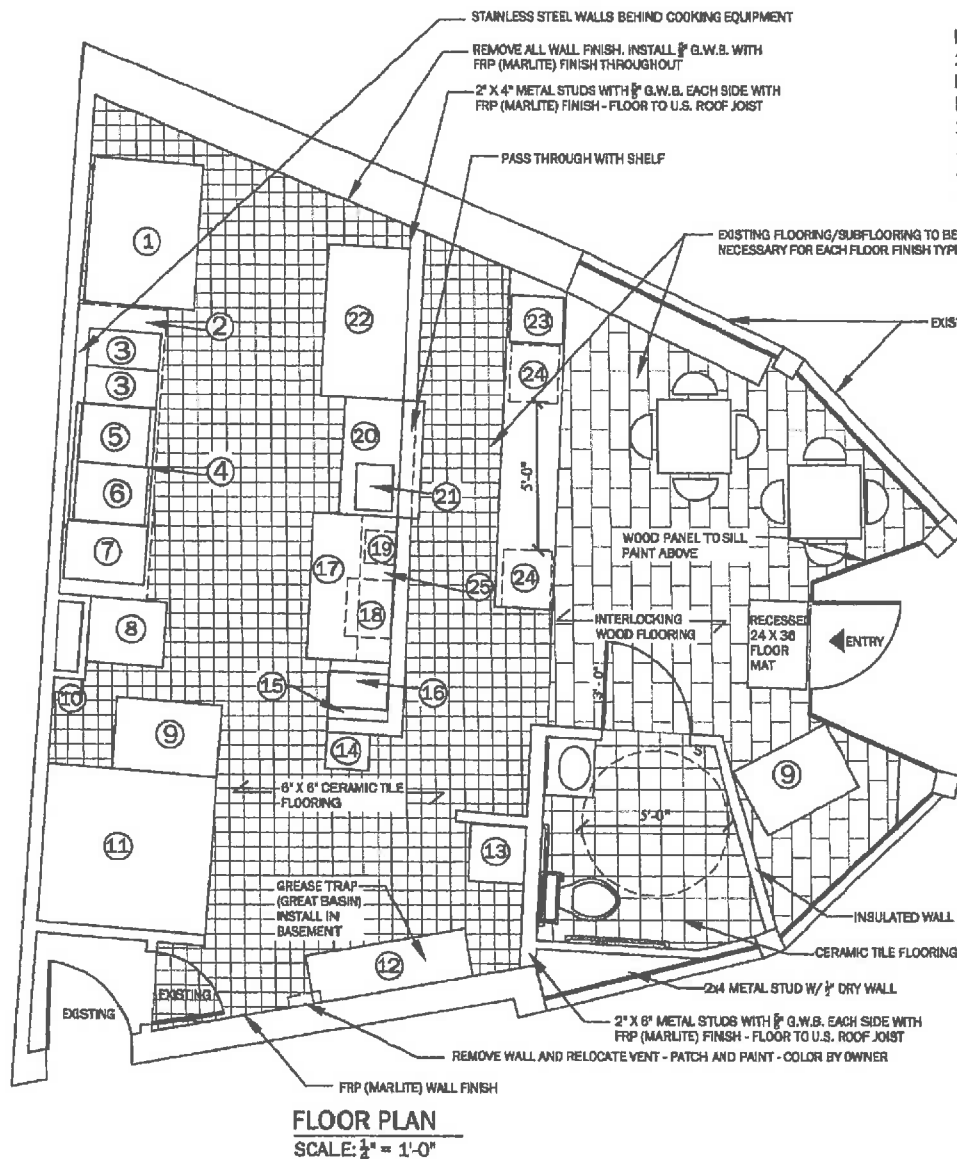


**LOCUS PLAN**  
 SCALE: NTS

## DRAWING LIST

CS	COVER SHEET
A1	FLOOR PLAN
A2	REFLECTED CEILING PLAN
A3	HCP BATHROOM

<b>B. Goba &amp; Associates P.C. Architects</b> 92 High Street Suite 1-41 B Belmont, MA 02155 Ph: 781 559 2827 BGA@bga.com	
REVISIONS AUGUST 27, 2019	
LISA'S BEDROOM 368 TRAPELO ROAD BELMONT MA	
DATE PLOTTED: AUGUST 22, 2019	
COVER SHEET SCALE: NTS	CHECKED BY: [ ] DRAWN BY: [ ]
<b>CS</b>	



#### NOTES:

1. CUT/REMOVE ALL ELECTRICAL, WATER SUPPLY, AND WASTE. PROVIDE NEW ELECTRICAL, PLUMBING TO MEET ALL BUILDING AND HEALTH REQUIREMENT CODE. ALL WORK/ DESIGN/ INSTALLATION BY OWNER/G.C.
2. G.C. TO VERIFY DIMENSION BEFORE BEGIN WORK
3. PERMITS AND OPERATING LICENSES - BY OWNER
4. ALL EQUIPMENTS / FURNITURE SHOWN IS BY OWNER. EQUIPMENT SHOWN IF FOR TYPE AND PLACEMENT ONLY

1. PIZZA DECK OVEN - BLODGETT - MODEL 1048
2. 10'-0" HOOD
3. FRYER - VULCAN - 1VEG35M
4. 48" CHEF BASES - NORTH AMERICAN REFRIGERATION - ACB-48
5. 24" GRIDDLE - PRECISION - RCB-24
6. 24" FLAT TOP - PRECISION - MG-24
7. 24" RANGE - COOK RITE - ATO-4B
8. SINGLE STANDING FREEZER  
NORTH AMERICAN REFRIGERATION - A1DC
9. STANDING FRIDGE - TRUE - GDM-37
10. ANSUL SYSTEM
11. 66" X 70" EXISTING WALK-IN FRIDGE WITH NEW DIAMOND PLATE FLOORING NORLAKE - KOLD LOCKER WALK-INS
12. 66" 3 BAY SINK WITH DRAIN BOARD ON EACH END  
REGENCY - 600S31014216
13. SINGLE BAY PREP SINK - ADVANCE TABCO - FE-1-1812
14. 17" X 15" HANK SINK - REGENCY - WALL MOUNTED
15. 24" X 24" PREP TABLE - REGENCY - 600T2424G
16. STEAM TABLE - NEMCO - 6055A FULL SIZE
17. 60" SANDWICH PREP TABLE  
NORTH AMERICAN REFRIGERATION - ASP-60-24
18. MICROWAVE - SHARP - R651ZS STAINLESS STEEL
19. TOASTER - HATCO - TPT-120
20. 24"X48" PREP TABLE - EAGLE GROUP - T2448STB-L1
21. 15" X 9 1/4" PANINI PRESS - WARING - WPG300
22. 67" PIZZA PREP TABLE  
NORTH AMERICAN REFRIGERATION - P-67
23. HOT DISPLAY CABINET - HATCO - FDWD-2X
24. PURPOSED AREA FOR POINT OF SALE (POS)
  1. TOUCH DYNAMIC - BREEZE ALL-IN-ONE POS
  2. TELEPHONE
  3. CREDIT CARD PROCESSING MACHINE
25. WIRE WALL SHELF - EAGLE - GWB1436C



B. Gots &  
Associates P.C.  
Architects  
61 Elgin Street  
Suite 7-A1-B  
Medford, MA 02155  
Ph: 781.369.2827  
BGA@bga.com

REVISIONS

AUGUST 27, 2016

1545 BELMONT  
368 TRAPPELO ROAD  
BELMONT, MA

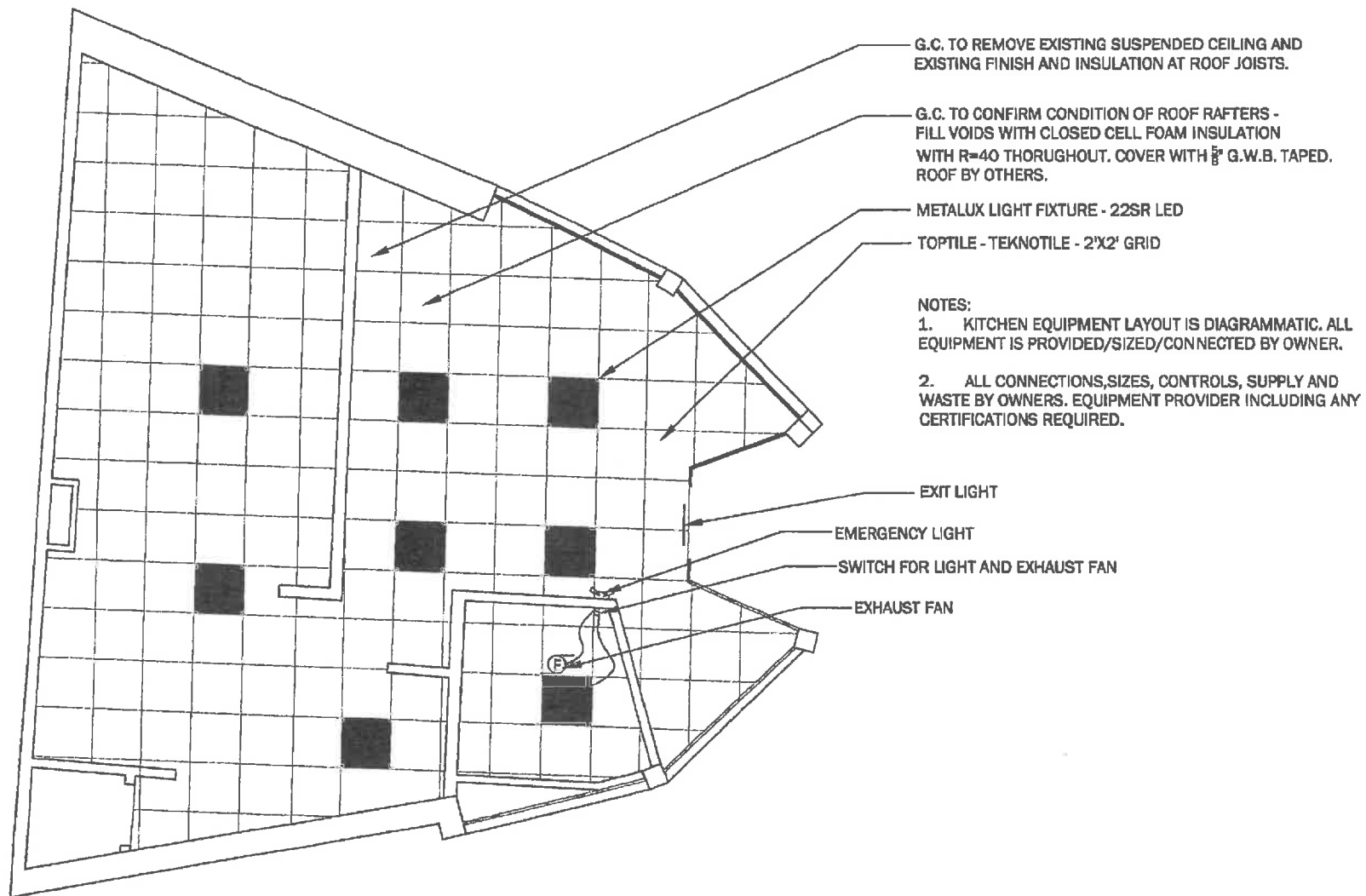


DATE PLOTTED  
AUGUST 13, 2016

ISSUED BY: BGA

FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
ISSUED BY: BGA

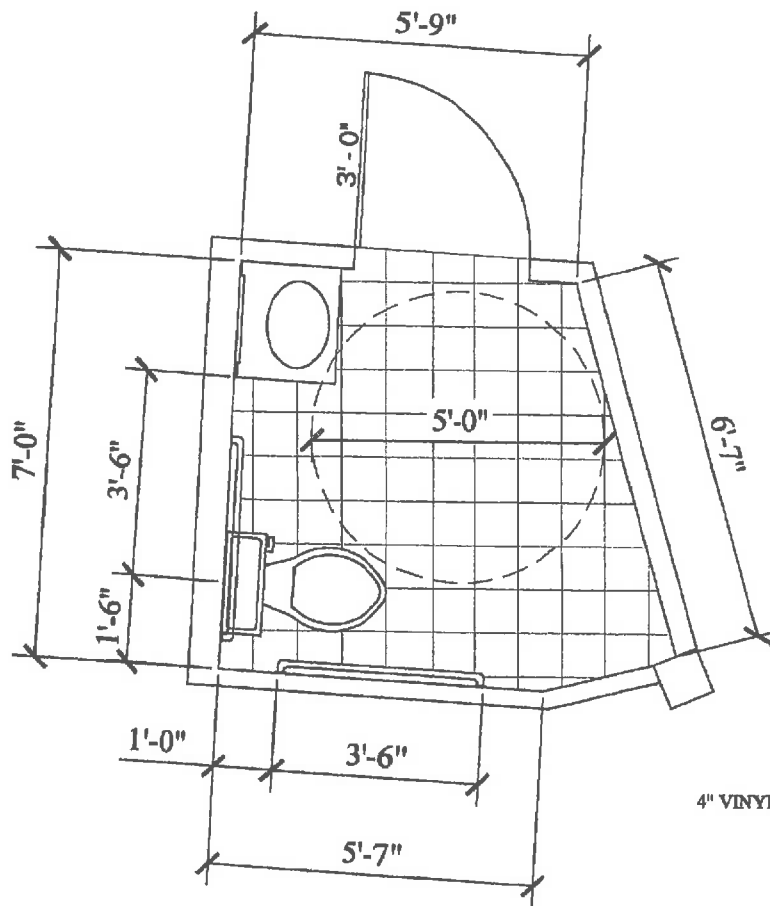
A-1



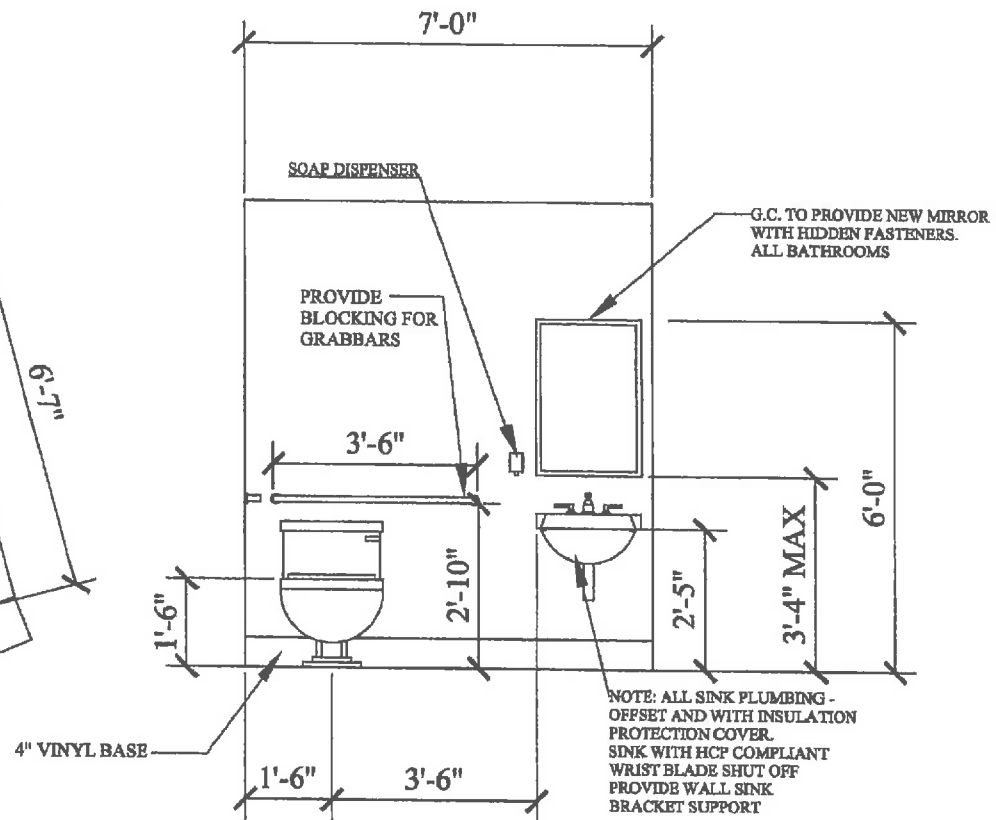
**REFLECTED CEILING PLAN**  
SCALE:  $\frac{1}{4}" = 1'-0"$

<b>B. Goba &amp; Associates P.C.</b> Architects 92 High Street Suite T-41 B Medford, MA 02155 Ph: 781.955.3827 BGA@bga.com	
REVISIONS AUGUST 27, 2018	
1545 BELMONT 38 TRAPELO ROAD BELMONT MA	
DATE PLOTTED: AUGUST 13, 2018	
REFLECTED CEILING PLAN SCALE: $\frac{1}{4}" = 1'-0"$	DRAWN BY: PG CHECKED BY: BG
<b>A-2</b>	





**HCP BATHROOM FLOOR PLAN**  
 SCALE:  $\frac{1}{2}" = 1'-0"$



**ELEVATION**  
 SCALE:  $\frac{1}{2}" = 1'-0"$

B. Goba & Associates P.C. Architects 52 High Street Suite T-41 B Needham, MA 02155 Tel: 781.545.2527 BGCA@bgoa.com	
REVISIONS AUGUST 27, 2018	
1 KAS RELEVANT 867 TRAPLO ROAD RELEVANT MA	
DATE PLOTTED AUGUST 27, 2018	
HCP BATHROOM SCALE: $\frac{1}{2}" = 1'-0"$ DRAWN BY: PC CHECKED BY: BP	
A-3	



February 22<sup>nd</sup>, 2021

Town of Belmont  
Office of Community Development  
Homer Municipal Building  
19 Moore St.  
Belmont, MA 02478

RE: Lisa's Family Pizzeria Transfer of Ownership Consent

To Whom It May Concern:

My name is Dane Helsing and I serve as the Pastor of Beacon Community Church in Belmont, MA. Our church owns the property located at 368-380 Trapelo Rd. in Belmont. Lisa's Family Pizzeria, owned by Antonio J. Pereira, is our tenant at 368 Trapelo Rd. I am writing to confirm our consent of the ownership transfer of Lisa's Family Pizzeria from Antonio J. Pereira to Ashirward Vishwaka Binduhewa.

If you have additional questions, please feel free to contact me.

Sincerely,

A handwritten signature in cursive script that reads "Dane Helsing".

Dane Helsing  
Pastor  
Beacon Community Church  
376 Trapelo Rd.  
Belmont, MA 02478  
dane@beaconcommunitychurch.org  
724-513-9248 (cell)