

NOTICE OF PUBLIC HEARING BY THE
BELMONT ZONING BOARD OF APPEALS

ON APPLICATION FOR THREE SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, May 18, 2020 at 7:00 PM by remote access through the Zoom app. to consider the application of Robert and Alif Ciamarra, at 43 Old Middlesex Road located in a Single Residence C (SRC) Zoning District for Three Special Permits under §1.5 of the Zoning Bylaw to construct a dormer and two decks. Section 4.2 of the zoning By-Law allows a maximum lot coverage of 25% and minimum side setback of 10.0'. Special Permits, 1.- The existing and proposed lot coverage is 27.1%. 2.- The existing and proposed side setback on the east side is 8.6' and; 3.- The existing and the proposed side setback on the west side is 8.5'.

ZONING BOARD OF APPEALS



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: MARCH 9, 2020

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 43 OLD MIDDLESEX Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for CONSTRUCT A DORMER AND TWO DECKS

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Robert Ciamarra

Print Name

ROBERT CIAMARRA

Address

43 OLD MIDDLESEX RD.

BELMONT, MA 02478

Daytime Telephone Number

(914) 438-1350



OFFICE OF COMMUNITY DEVELOPMENT

TOWN OF BELMONT

19 Moore Street

Homer Municipal Building

Belmont, Massachusetts 02478-0900

Telephone: (617) 998-2650 Fax: (617) 993-2651

Building Division
(617) 998-2664
Engineering Division
(617) 998-2665
Planning Division
(617) 993-2666

February 28, 2020

Robert and Alif Ciamarra
43 Old Middlesex Road
Belmont, MA 02478

RE: Denial to Construct a Dormer and Two Decks

Dear Mr. and Mrs. Ciamarra,


The Office of Community Development is in receipt of your building permit application for your proposal to construct a dormer and two decks at 43 Old Middlesex Road located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2.2 of the Zoning By-Law Dimensional Regulations require a minimum side setback of 10.0' and allow a maximum lot coverage of 25% in the SRC zoning district.

1. The existing and proposed side setback on the east side to the dormer is 8.6'.
2. The existing and proposed side setback on the west side to the second level deck is 8.5'.
3. The existing and proposed lot coverage is 27.1%.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request three (3) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,



Glenn R. Clancy, P.E.
Inspector of Buildings

Request for Special Permit Re: Side yard setback(s) & lot coverage

Submitted by
Rob & Elif Sisli Ciamarra

Owners of
43 Old Middlesex Road, Belmont MA 02478

We propose to add a rear shed dormer and two small gable dormers complying with the Belmont zoning criteria for half story. In order to add these dormers and create code compliant head height we plan to rebuild the existing roof. The new space will include a renovated bedroom, three quarter bathroom, a renovated sitting room and associated closets and mechanical space. We are also removing a portion of shed dormer on the back of the house and replacing it with a roof deck. Last, we would like to add a railing to our existing side roof deck for primarily esthetic and safety purposes. We would like to note that we have spoken with and acquired signatures of support from many of our neighbors and have endeavored to create a design which improves the vernacular of Old Middlesex Road. It is our belief that the proposed addition is in keeping with the character of the neighborhood and not detrimental to the community.

We have lived in our 3-bedroom home for twelve years. The upper floor (attic) is used as a storage space, and in its current form cannot be used as a living space because it is unfinished, ceiling heights and insulation do not meet current building standards and there is no heating system. This is insufficient bedroom and bathroom space for us and our three children. In addition, we are an international family and often have relatives coming for two to three stays. Having this half story space will give our family the comfort and proximity we want during these visits.

We have worked with Keith Miller of Miller Design, a local Belmont architect to sensitively develop options for creating the space we needed. We worked together to design an addition that blended in with the existing architecture of the house and vernacular of the neighborhood. In addition to the layout of the interior spaces we worked to carefully proportion all elevations of the house. We believe that adding the primary dormer at the rear is the best design since it is more sensitive to the neighborhood as it retains the street front appearance and that raising the entire roof (rather than leaving the existing non-conforming section at a lower height) is a much more desirable look. Our goal with the proposed roof deck is to create an outdoor space capturing views of Boston for us and our visiting relatives. Our goal with the railing on the existing side deck is to both blend the look of the house by matching all decks and porches and to create a safe deck that meets code.

The building permit application was declined because the minimum required side setback in the SRC district is 10'0" under section 4.2.2. When the house was built in 1924 the east side was constructed 8.6' from the property line. Our proposed raised roof (raising the ridge 1.87' from 29.79' to 31.66') extends into that area but the

dormer does not. Furthermore, both the height and story count comply with current Belmont zoning. On the west side of the house the existing house was built 8.5' from the setback. We are adding a railing to the existing roof area which is already accessible via an existing door. Our goal is to create a safe roof deck with a railing design that matches the rest of house and create a more uniform look. Last, we are asking for a special permit to maintain the existing non-conforming lot structure. The change in nature of the roof and roof deck design has no impact on water run off or ground absorption and in fact reduces the massing by eliminating the existing rear shed roof and replacing it with a flat deck roof. We are asking the Zoning Board of Appeals to grant us a special permit allowing us to build this small addition to the roof of our home.

ZONING CHART

BELMONT, MASSACHUSETTS

ZONE: SR-C

SUBMISSION: EXISTING

REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	9,000s.f.	5,332±s.f.*	N/C
LOT FRONTAGE	75.0'	62.05'*	N/C
FRONT SETBACK	22.73'	23.6'	N/C
SIDE SETBACK	10.0'	8.5'*	N/C
REAR SETBACK	26.83'	29.9'	N/C
BUILDING HEIGHT	34.0' TO RIDGE	29.79'	31.66'
BUILDING HEIGHT	30.0' TO MD-PT.	25.38'	26.31'
AVERAGE GRADE	-	99.81	99.81
LOT COVERAGE	25.0%	27.1%*	27.1%*
OPEN SPACE	50.0%	62.1%	62.1%

* NON CONFORMING

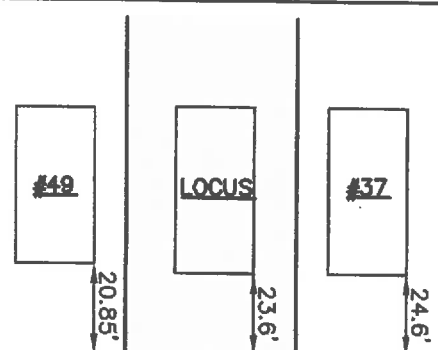
** AVERAGE SETBACK

CELLAR CALCULATION

T.O.C-CELLAR
102.72-95.39=7.33ft.

AVG. GRADE-CELLAR
99.81-95.39=4.42ft.

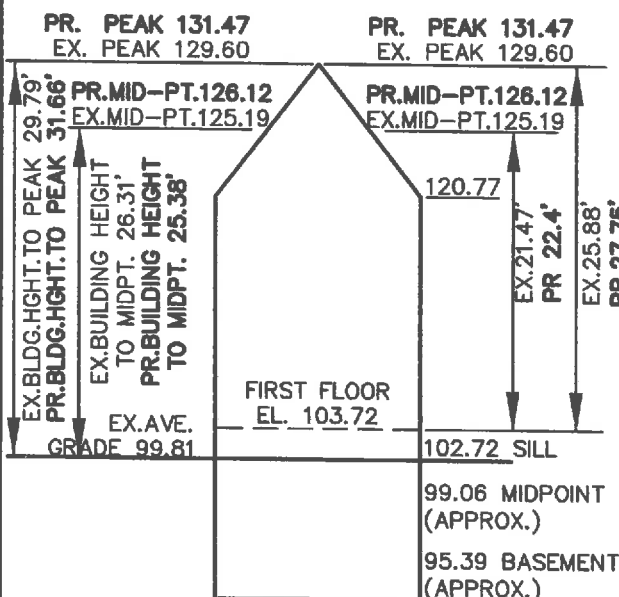
4.42/7.33=0.6030 OR 60.33%



AVERAGE FRONT SETBACK

NOT TO SCALE

20.85' + 24.6' = 45.45' / 2 = 22.73'



BUILDING HEIGHT

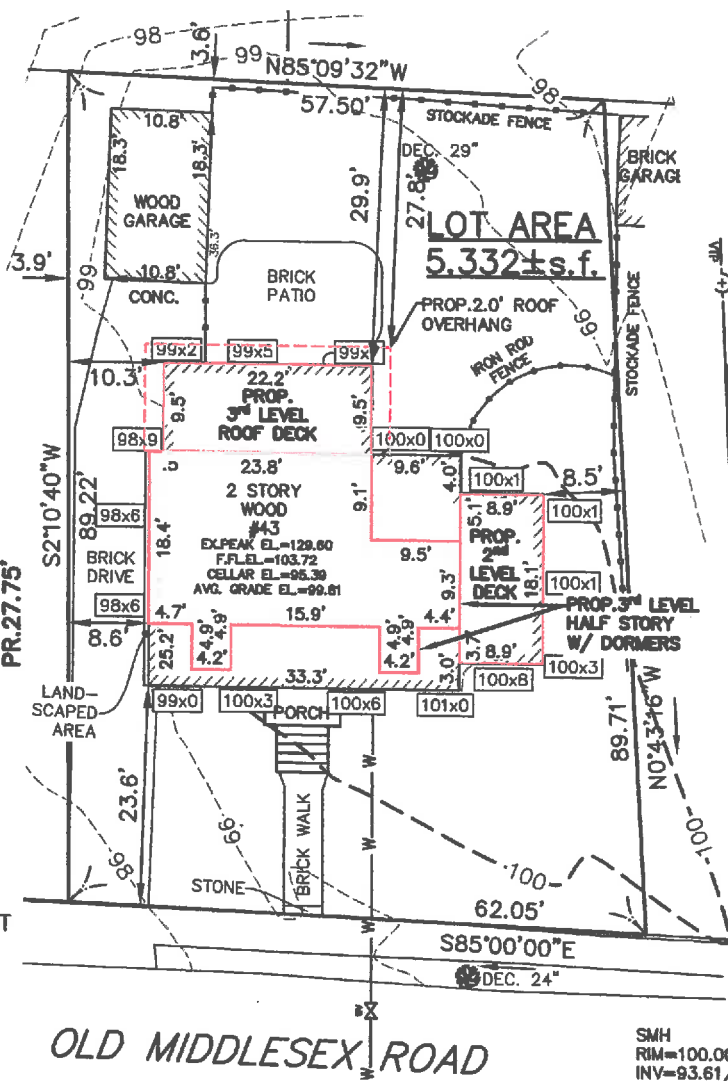
NOT TO SCALE

AVERAGE GRADE CALC.

99.0+98.6+98.6+98.9+99.2+99.5+99.7+
100.0+100.0+100.1+100.1+100.1+100.3+100.8+
101+100.6+100.3=1696.8/17=99.81

OWNER: ROBERT & ELIF SISLI CIAMARRA
LOC. HOUSE NO. #43 OLD MIDDLESEX ROAD
LOT NO. 22

SCALE: 1" = 20'



OLD MIDDLESEX ROAD

SMH
RIM=100.00
INV=93.61

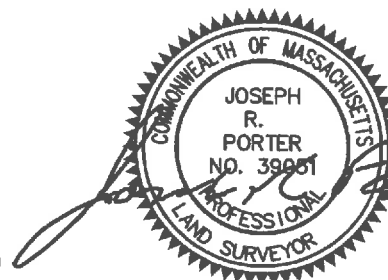
TOPOGRAPHIC SITE PLAN BELMONT, MASSACHUSETTS

SHOWING PROPOSED CONDITIONS AT
#43 OLD MIDDLESEX ROAD

SCALE: 1in.=20ft.

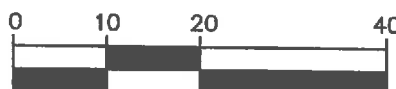
DATE: JANUARY 13, 2020;
REVISED JANUARY 24, 2020

PROJECT: 211228



VTP
ASSOCIATES
INC.

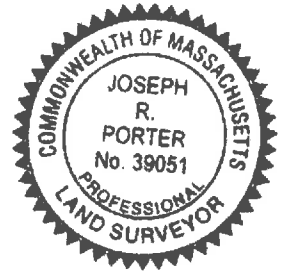
LAND SURVEYORS - CIVIL ENGINEERS, 132
ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271



SCALE: 1"=20'

Zoning Compliance Check List

(Registered Land Surveyor)



Property Address: 43 Old Middlesex Road

Zone: SR-C

Surveyor Signature and Stamp:

Joseph R. Porter

Date: 3/4/20

	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000SF	5,332sf	5,332sf
Lot Frontage	75.0'	62.05'	62.05'
Floor Area Ratio			(see architecturals)
Lot Coverage	25.0%	27.1%	27.1%
Open Space	50.0%	62.1%	62.1%
Front Setback	22.73'	23.6'	23.6'
Side Setback	10.0'	8.5'	8.5'
Side Setback	10.0'	8.6'	8.6'
Rear Setback	30.0'	29.9'	29.9'
Building Height	34'	25.38'	26.31'
Stories	2.5	2	2.5
1/2 Story Calculation $620/1045 = .59$ (.60 ALLOWED)			

NOTES:



HALF STORY/DORMER CALCULATION

SECOND FLOOR (EXIST)	1,045 SF
PROPOSED HALF STORY OVER 5'-0"	620 SF
1,045 SF X 60% = 627 SF ALLOWED > 620 SF	COMPLIES

PERIMETER DORMER CALCULATION

SECOND FLOOR	135'-8"
DISTANCE WITH RAFTERS AT 3'-0" OR GREATER	63'-11"
135'-8" X 50% = 67'-10" ALLOWED > 63'-11"	COMPLIES

DORMER LENGTH CALCULATION

EXISTING ROOF LINE	33'-3"
SOUTH DORMER (PROPOSED)	22'-3"
2 NORTH DORMERS @ 4'-2" (PROPOSED)	8'-4"
33'-3" X 75% = 24'-11" MAXIMUM	[COMPLIES]

GROSS AREA CALCULATIONS

CELLAR FLOOR AREA	0 SF
FIRST FLOOR AREA	1,205 SF
SECOND FLOOR AREA	1,045 SF
HALF STORY GROSS (ABOVE 6'-0")	163 SF
TOTAL EXISTING GROSS AREA=	2,413 SF
ADDITIONAL HALF STORY GROSS AREA=	368 SF
368 SF / 2,413 SF = 15.25% INCREASE	[COMPLIES]

BELMONT ZBA
SUBMISSION
JANUARY 13, 2020

PROJECT DESCRIPTION:
NEW DORMER W/DEN, BEDROOM, BATHROOM AND ROOF DECKS

DRAWING LIST

- A1 COVER SHEET
- A2 BASEMENT PLAN
- A3 FIRST FLOOR PLAN
- A4 SECOND FLOOR PLAN
- A5 ATTIC DEMO PLAN
- A6 ROOF DEMO PLAN
- A7 DEMO ELEVATIONS
- A8 DEMO ELEVATIONS SECTION
- A9 NEW SECOND FLOOR
- A10 NEW HALF STORY
- A11 NEW ROOF PLAN
- A12 NEW ELEVATIONS
- A13 NEW ELEVATIONS SECTION
- A14 STRUCTURAL SECTION

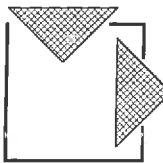
SYMBOL LEGEND

- Wall To Be Demolished
- Existing Wall To Remain
- New Wall
- Section
- Door Tag
- Window Tag
- Recessed Can Light
- Wall Mounted Sconces
- Ceiling Mounted Light

PROJECT INFORMATION: PER ZONING AMENDMENTS DATED 11/13/2018
BELMONT ZONING DISTRICT SR-C:

FRONT YARD SETBACK: 23'-7" (UNCHANGED CONFORMING)
REAR YARD SETBACK: 29'-11" (EXISTING UNCHANGED - NONCONFORMING)
SIDE YARD SETBACK: 8'-6" (EXISTING UNCHANGED - NONCONFORMING)
SIDE YARD SETBACK: 8'-9" (EXISTING UNCHANGED - NONCONFORMING)
FRONTAGE: 62'-1" (EXISTING UNCHANGED - NONCONFORMING)
LOT AREA: 5,332 SF (EXISTING UNCHANGED - NONCONFORMING)
MAX HEIGHT: 29'-9"/2.5 STORIES (UNCHANGED CONFORMING)
CELLAR CALCULATION: 60.33% ((UNCHANGED CONFORMING))
LOT COVERAGE (MAX): 27.1% (EXISTING UNCHANGED - NONCONFORMING)
OPEN AREA (MIN): 62.1% (UNCHANGED CONFORMING)

MILLER
DESIGN LLC



80 CLARK STREET
BELMONT, MA 02478
TEL: 617.993.3157

Architect:
Miller Design LLC
80 Clark Street
Belmont MA 02478
617-993-3157

Date: Issued for:

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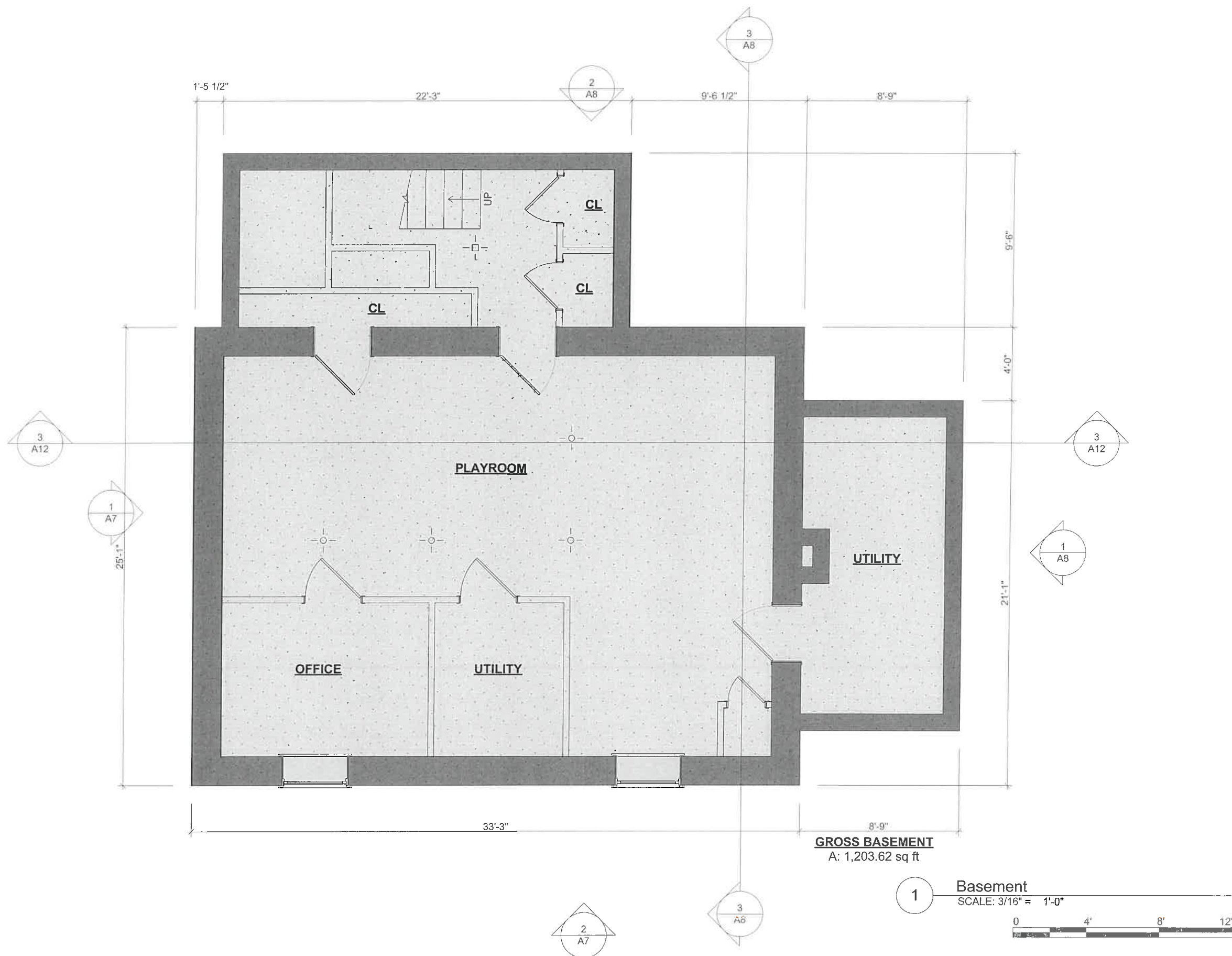


CIAMARRA RESIDENCE
43 OLD MIDDLESEX ROAD
BELMONT, MA 02487

COVER SHEET

Sheet
Number:

A1

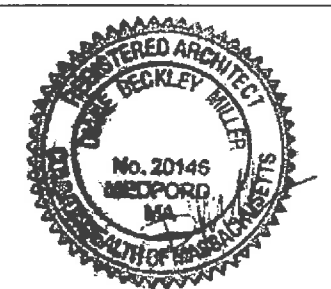


**MILLER
DESIGN LLC**

80 CLARK STREET
BELMONT, MA 02478
TEL: 617.993.3157

Architect:
Miller Design LLC
80 Clark Street
Belmont, MA 02478
617-993-3157

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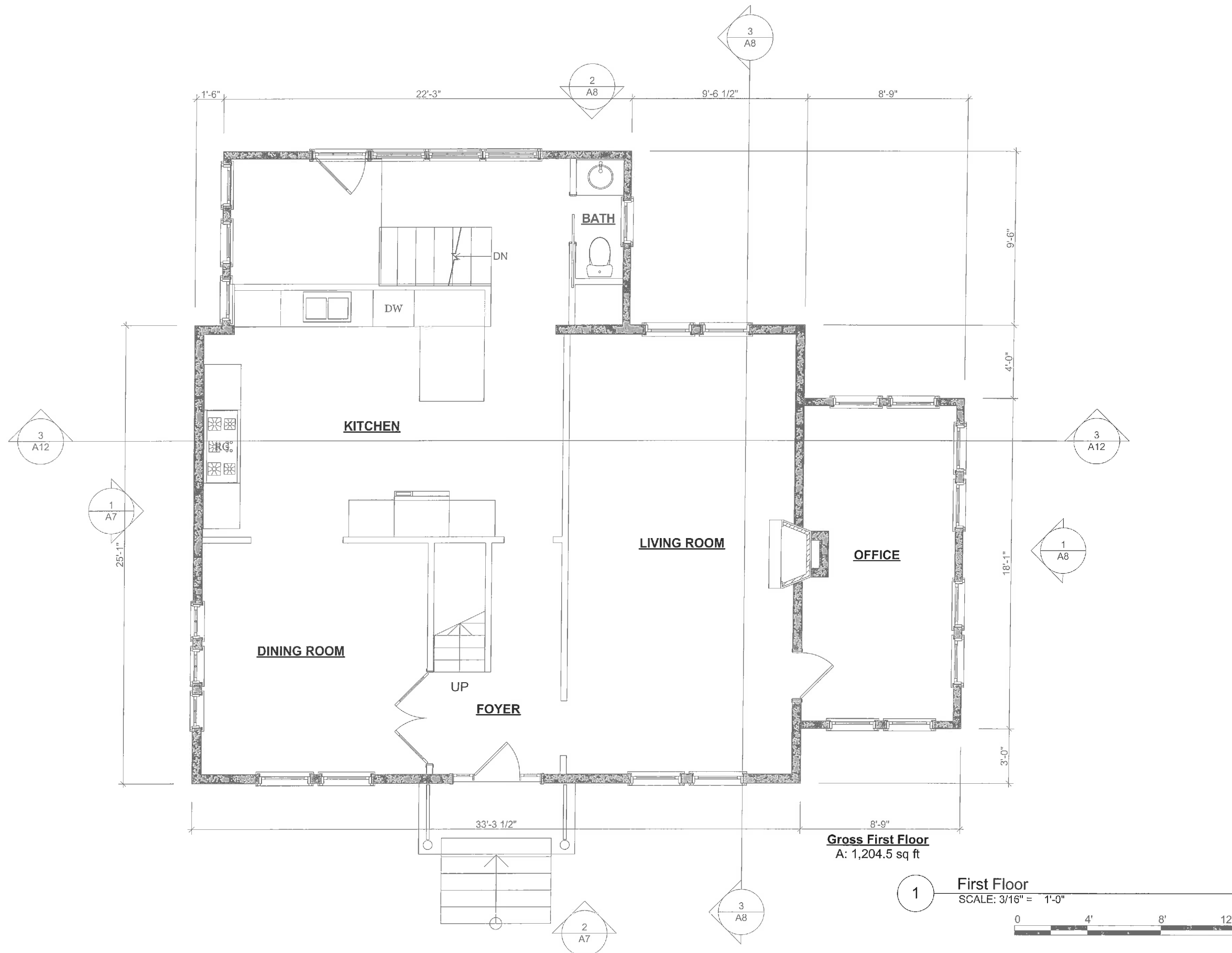


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43 OLD MIDDLESEX ROAD
BELMONT, MA 02487

BASEMENT PLAN

Sheet
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A2

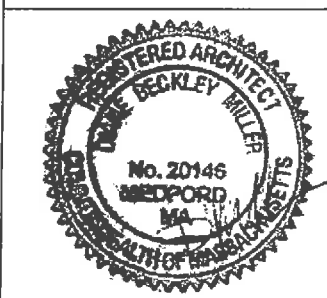


**MILLER
DESIGN LLC**

80 CLARK STREET
BELMONT, MA 02478
TEL: 617.993.3157

Architect:
Miller Design LLC
80 Clark Street
Belmont MA 02478
617-993-3157

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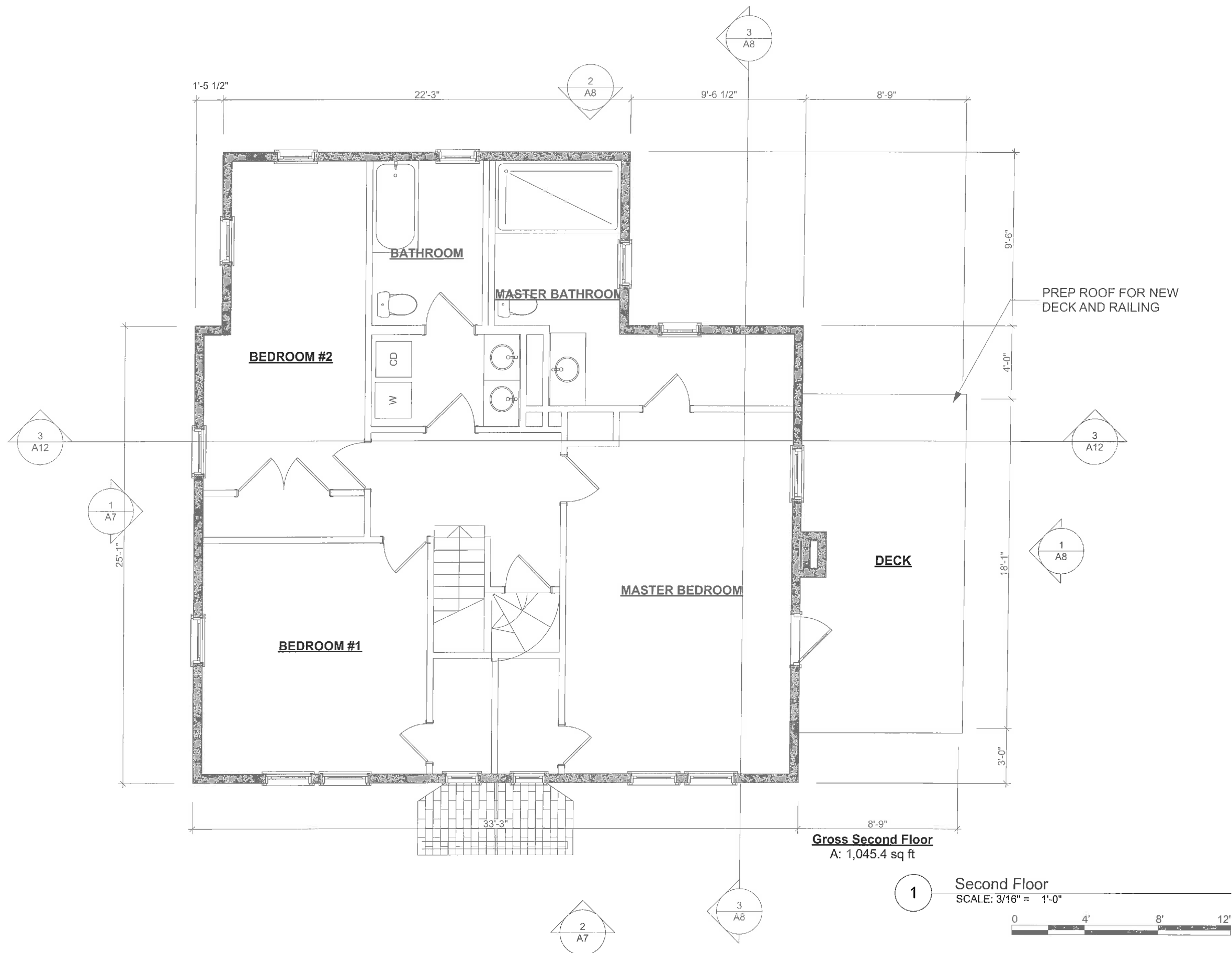


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FIRST FLOOR PLAN

Sheet:
Number:

A3



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DESIGN LLC**

80 CLARK STREET
BELMONT, MA 02478
TEL: 617.993.3157

Architect:
Miller Design LLC
80 Clark Street
Belmont, MA 02478
617-993-3157

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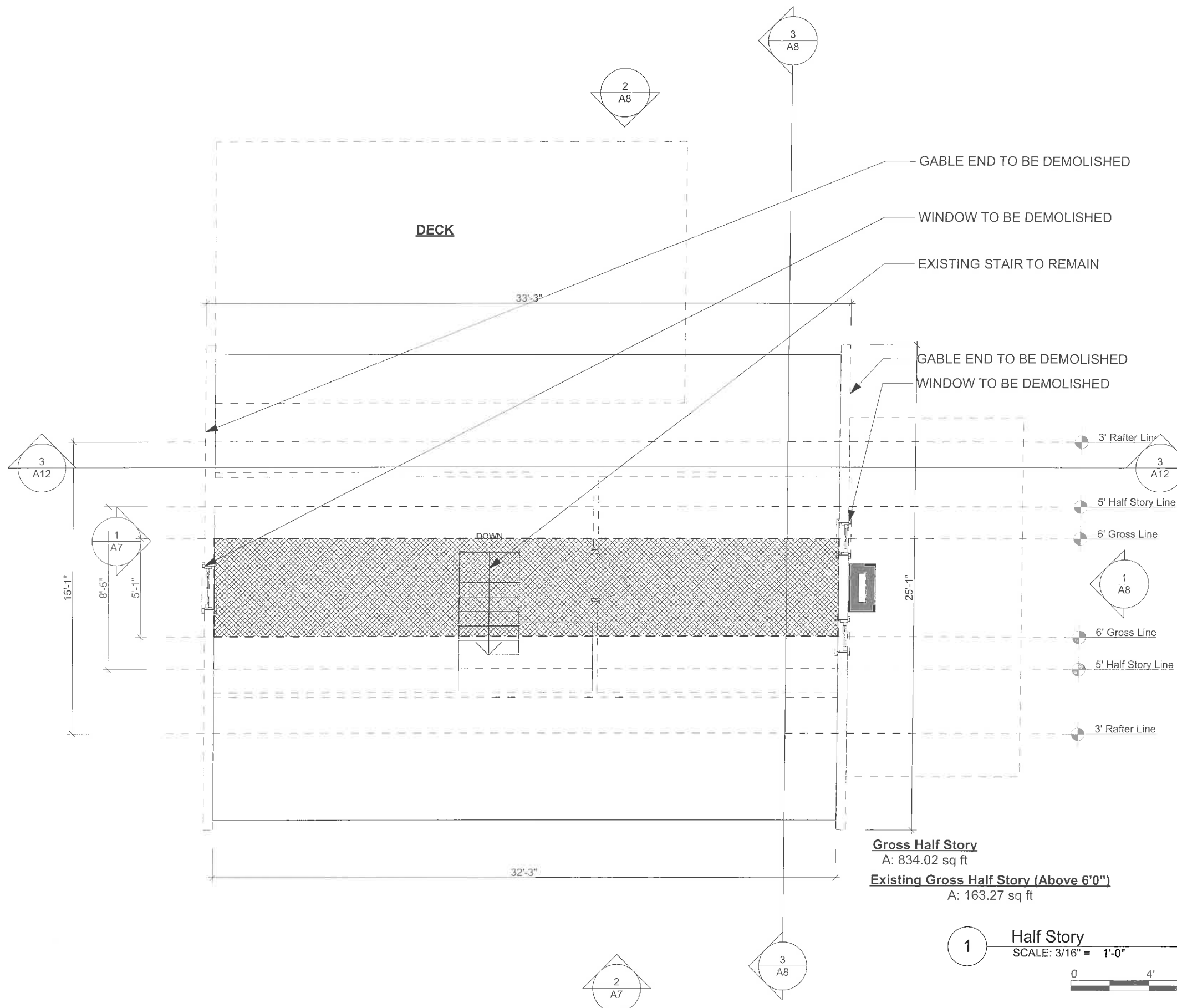


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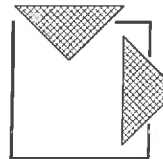
SECOND FLOOR PLAN

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A4




**WILLER
DESIGN LLC**



80 CLARK STREET
BELMONT, MA 02478
TEL: 617.993.3157

Architect:
Miller Design LLC
80 Clark Street
Belmont MA 02478
617-993-3157

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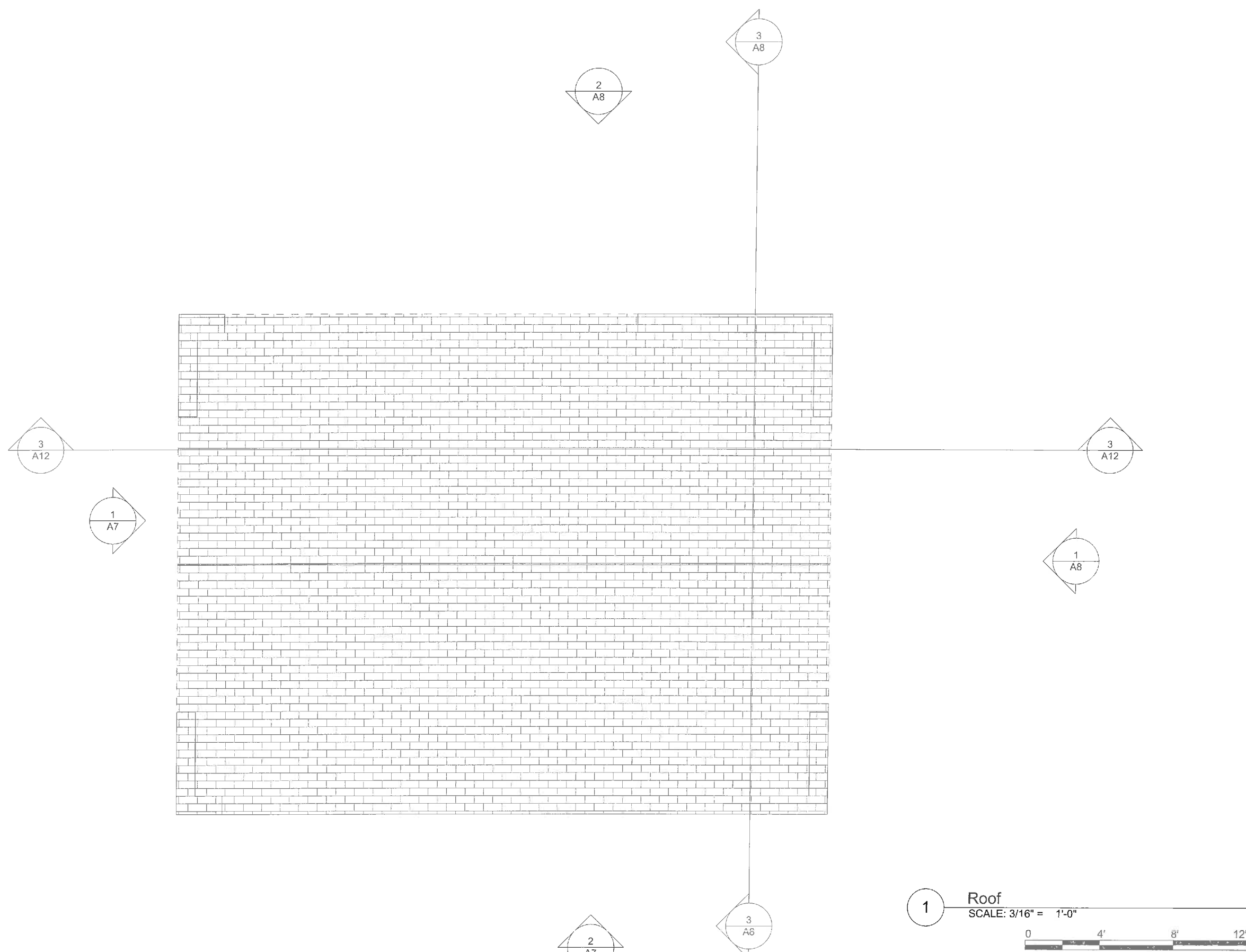


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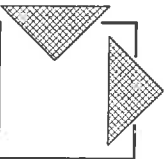
ATTIC DEMO PLAN

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A5



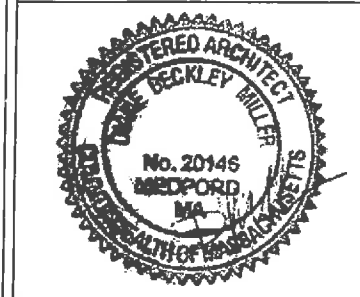
**MILLER
DESIGN LLC**



80 CLARK STREET
BELMONT, MA 02478
TEL: 617.993.3157

Architect:
Miller Design LLC
80 Clark Street
Belmont MA 02478
617-993-3157

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ROOF DEMO PLAN

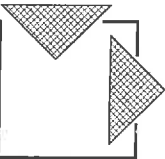
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A6

1 Roof
SCALE: 3/16" = 1'-0"



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DESIGN LLC**



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BELMONT, MA 02478
TEL: 617.993.3157

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Belmont MA 02478
617-993-3157

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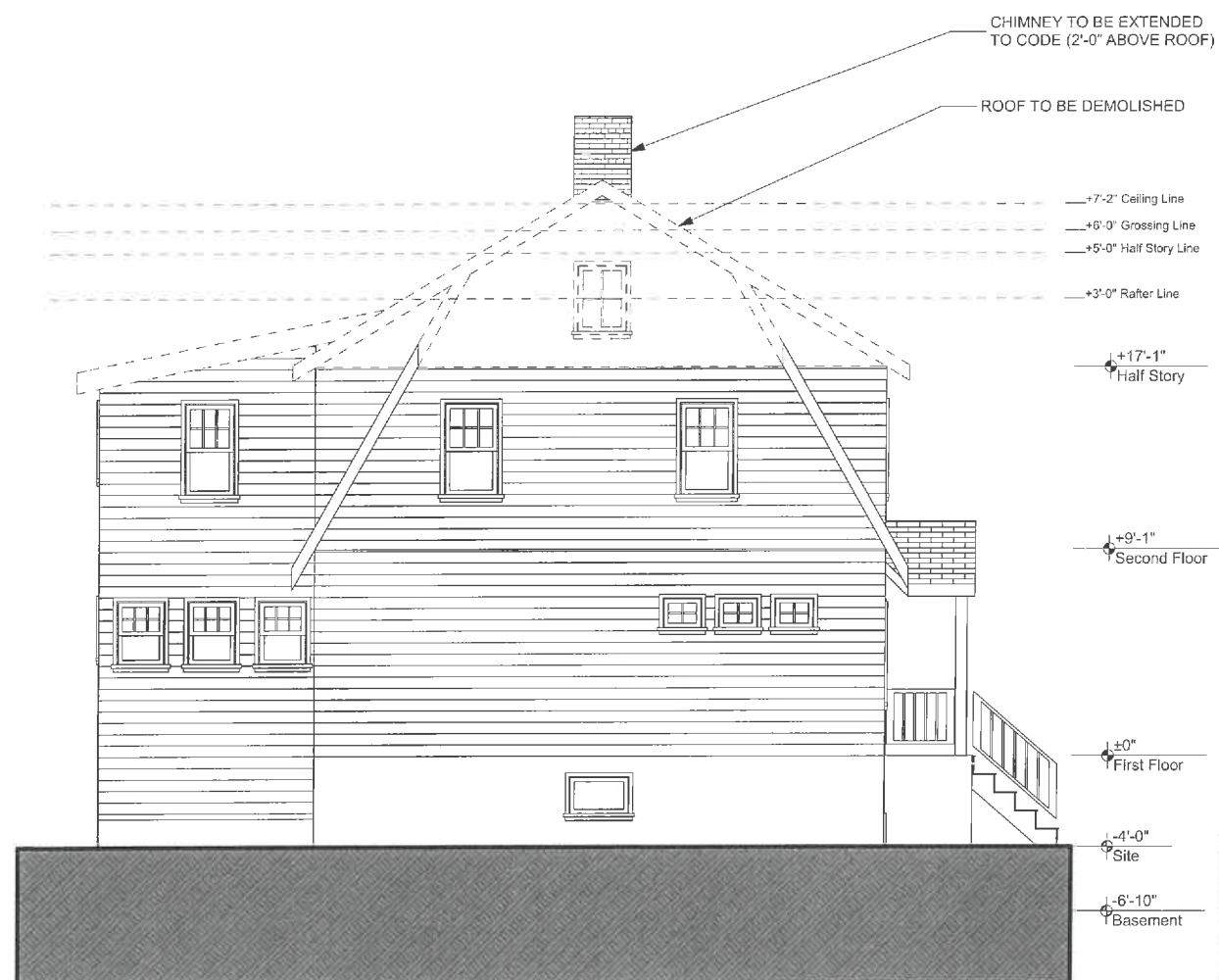


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DEMO ELEVATIONS

Sheet
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A7

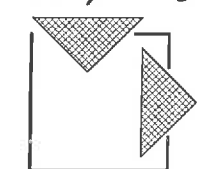


1 East Elevation
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



2 North Elevation
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

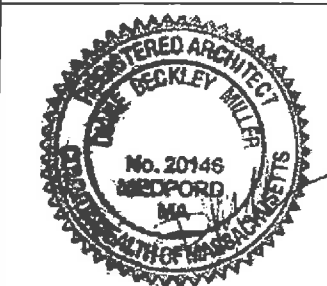
MILLER
DESIGN LLC



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BELMONT, MA 02478
TEL: 617.993.3157

Architect:
Miller Design LLC
80 Clark Street
Belmont, MA 02478
617-993-3157

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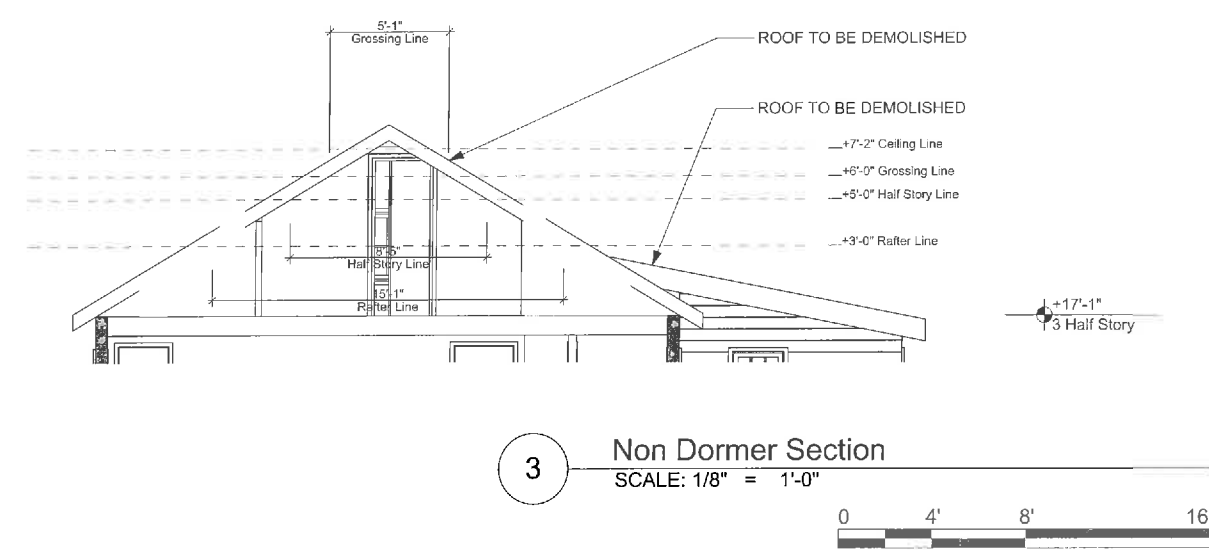


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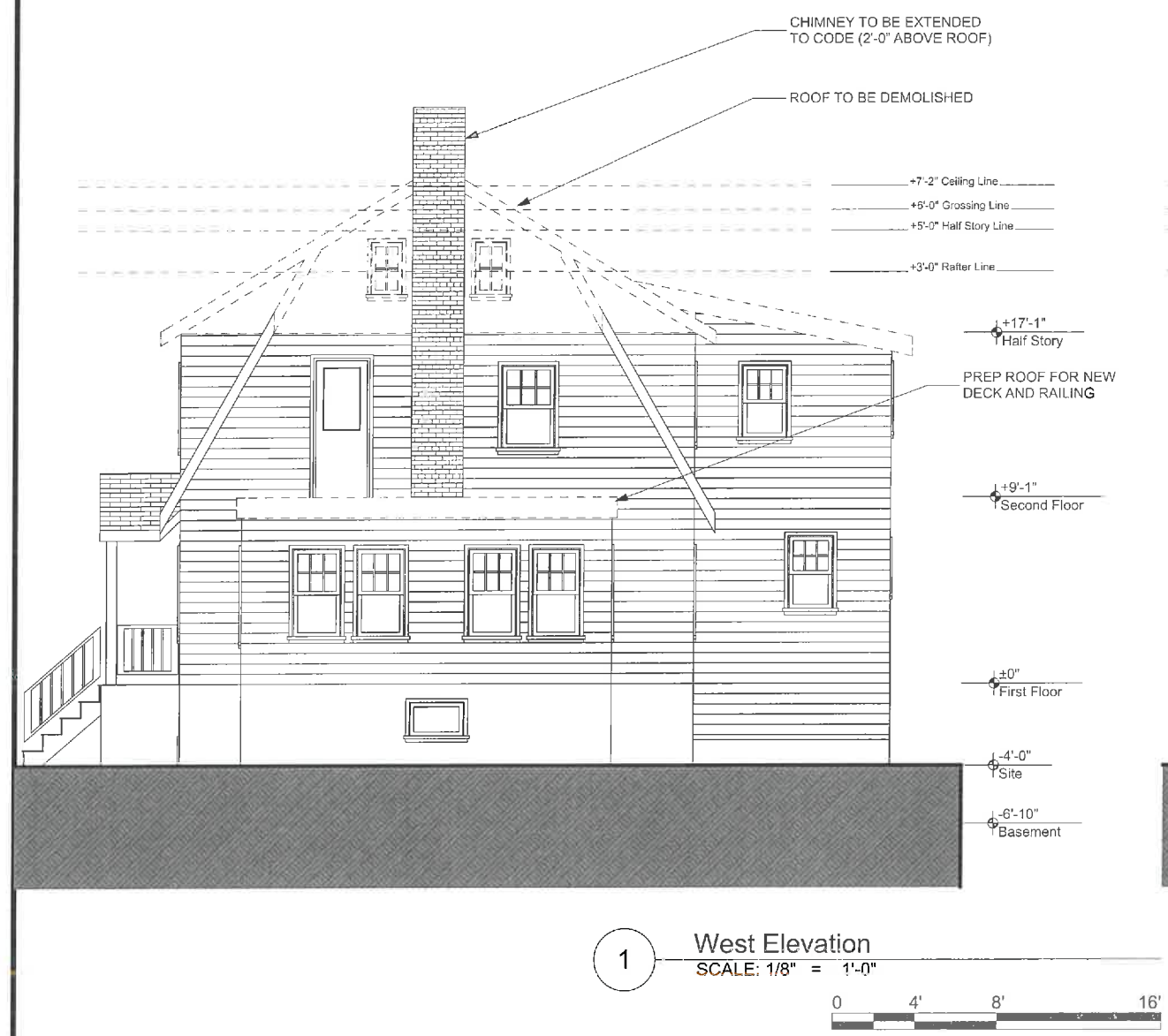
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SECTION

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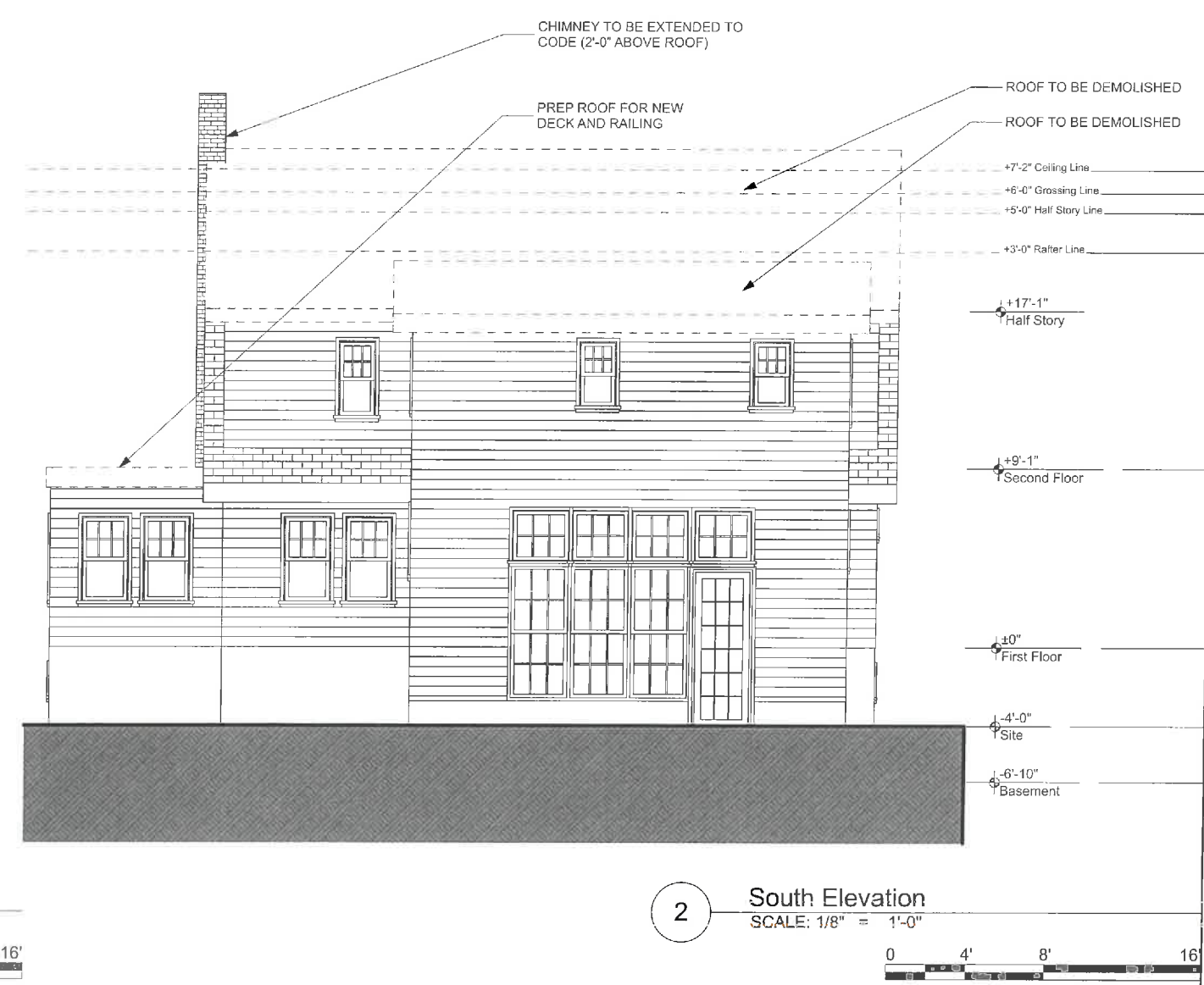
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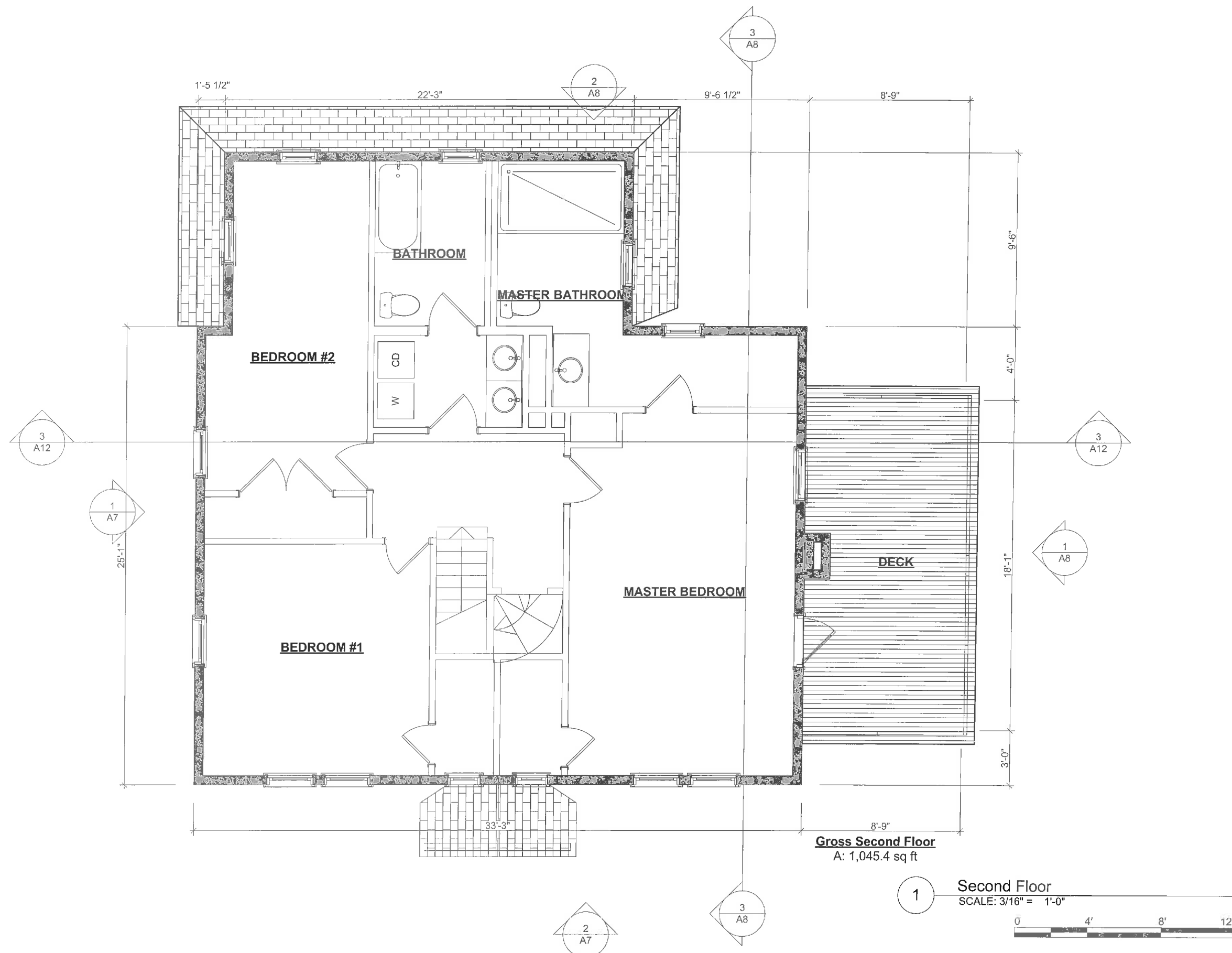
3 Non Dormer Section
SCALE: 1/8" = 1'-0"



1 West Elevation
SCALE: 1/8" = 1'-0"



2 South Elevation
SCALE: 1/8" = 1'-0"

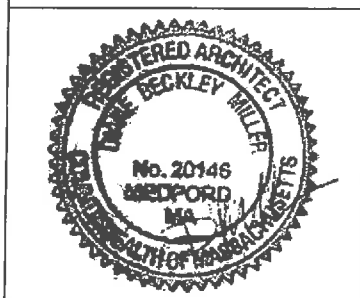


**MILLER
DESIGN LLC**

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BELMONT, MA 02478
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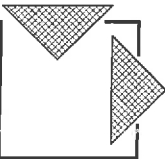
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43 OLD MIDDLESEX ROAD
BELMONT, MA 02487

NEW SECOND FLOOR

Sheet
Number:

A9


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DESIGN LLC**



80 CLARK STREET
BELMONT, MA 02478
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Miller Design LLC
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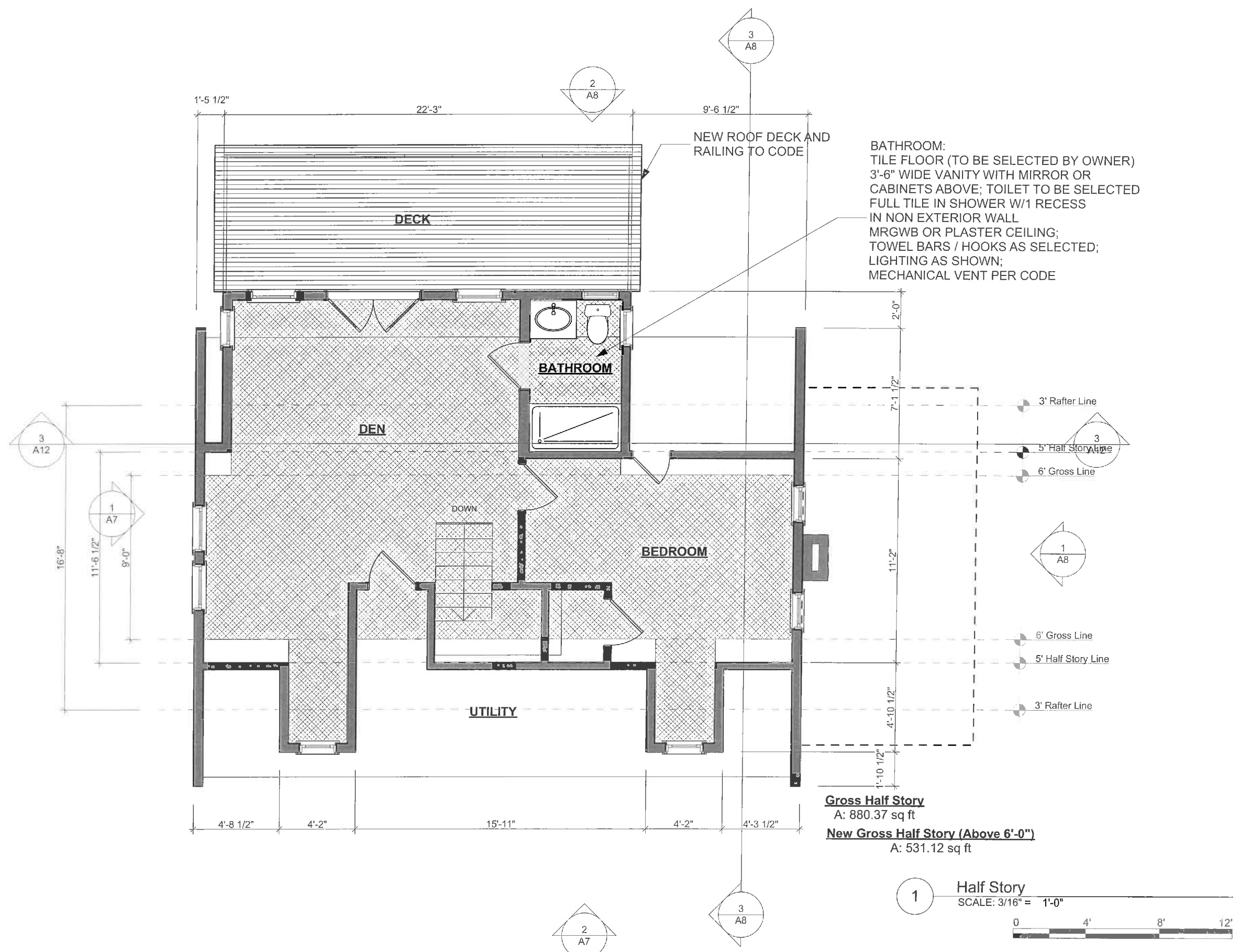


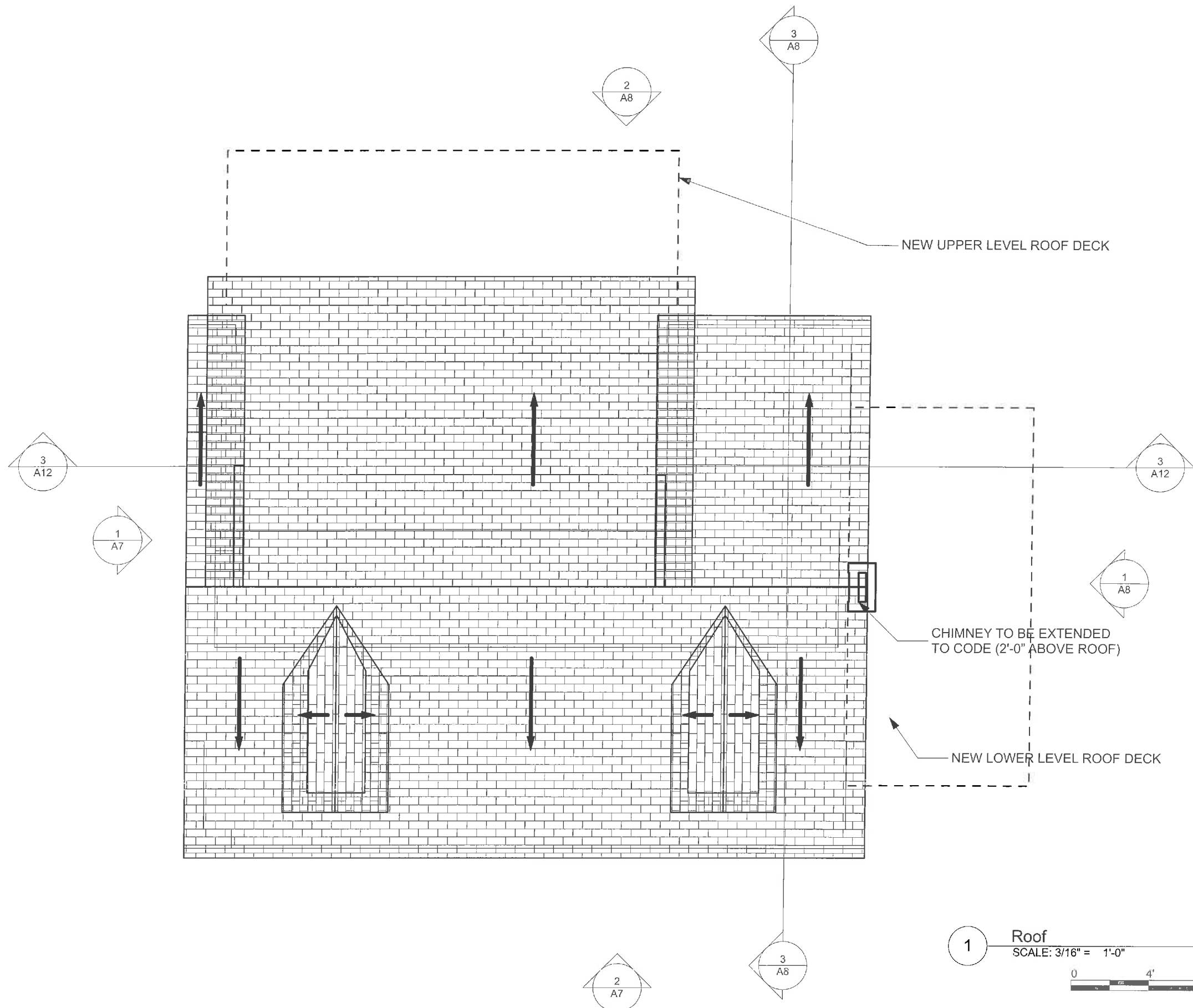
CIAMARRA RESIDENCE
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BELMONT, MA 02487

NEW HALF STORY

Sheet
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A10



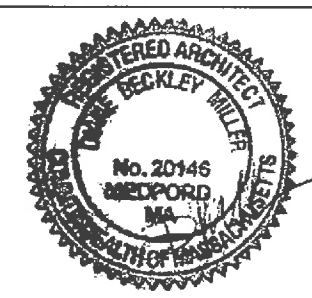


**MILLER
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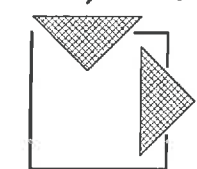


CIAMARRA RESIDENCE
43 OLD MIDDLESEX ROAD
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NEW ROOF PLAN

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A11

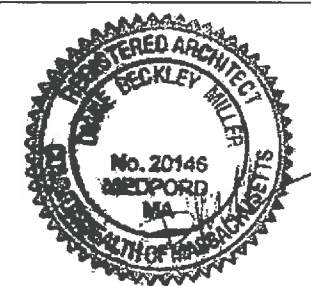
MILLER
DESIGN LLC



80 CLARK STREET
BELMONT, MA 02478
TEL: 617.993.3157

Architect:
Miller Design LLC
80 Clark Street
Belmont MA 02478
617-993-3157

Date:	Issued for:
01/13/20	ZBA REVIEW SET



CIAMARRA RESIDENCE
43 OLD MIDDLESEX ROAD
BELMONT, MA 02487

NEW ELEVATIONS

Sheet
Number:

A12

CEILING / ROOF ASSEMBLY:
FULLY ADHERED 60 MIL. EPDM RUBBER
ROOF MEMBRANE (INSTALLED PER MFGR SPECS)
CDX PLYWOOD SHEATHING
SEE FRAMING DRAWINGS FOR RAFTERS(2X10)
1" STRAPPING AT 16" O.C.
MIN R49 PROSEAL CLOSED CELL
ICYNENE SPRAYED INTO ALL CAVITIES
1/2" GWB

+7'-2" Ceiling Line
+6'-0" Grossing Line
+5'-0" Half Story Line
+3'-0" Rafter Line
+17'-1"
3 Half Story

WALL ASSEMBLY:
SIDING TO MATCH EXISTING
#15 ASPHALT IMPREGNATED FELT PAPER TAPED GREENBOARD
2X6 WOOD STUDS @ 16" O.C.
ICYNENE INSULATION SPRAYED IN ALL CAVITIES (R20)
SEE GENERAL NOTES ON COVERSHEET
6 MIL. POLY VAPOR BARRIER
1/2" GWB ON INTERIOR

3 Dormer Section
SCALE: 1/8" = 1'-0"



FULLY ADHERED 60 MIL. EPDM RUBBER
ROOF MEMBRANE (INSTALLED PER MFG
CDX PLYWOOD SHEATHING
SEE FRAMING DRAWINGS FOR RAFTERS
1" STRAPPING AT 16" O.C.
MIN R49 PROSEAL CLOSED CELL
ICYNENE SPRAYED INTO ALL CAVITIES
1/2" GWB

CHIMNEY TO BE EXTENDED TO

+7'-2" Ceiling Line
+6'-0" Grossing Line
+5'-0" Half Story Line
+3'-0" Rafter Line
+17'-1"
Half Story

NEW DORMERS

+9'-1"
Second Floor

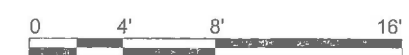
NEW ROOF DECK AND RAILING

+0"
First Floor

+4'-0"
Site

+6'-10"
Basement

2 North Elevation
SCALE: 1/8" = 1'-0"



CHIMNEY TO BE EXTENDED TO
CODE (2'-0" ABOVE ROOF)
CEILING / ROOF ASSEMBLY:
FULLY ADHERED 60 MIL. EPDM RUBBER ROOF MEMBRANE
(INSTALLED PER MFGR SPECS), CDX PLYWOOD SHEATHING,
SEE FRAMING DRAWINGS FOR RAFTERS(2X10), 1" STRAPPING
AT 16" O.C. MIN R49 PROSEAL CLOSED CELL, ICYNENE
SPRAYED INTO ALL CAVITIES, 1/2" GWB

+7'-2" Ceiling Line
+6'-0" Grossing Line
+5'-0" Half Story Line
+3'-0" Rafter Line
+17'-1"
Half Story

WALL ASSEMBLY:
SIDING TO MATCH EXISTING, #15 ASPHALT
IMPREGNATED FELT PAPER TAPED GREENBOARD
SHEATHING, 2X6 WOOD STUDS @ 16" O.C., ICYNENE
INSULATION SPRAYED IN ALL CAVITIES (R20), SEE
GENERAL NOTES ON COVERSHEET, 6 MIL. POLY
VAPOR BARRIER, 1/2" GWB ON INTERIOR

+9'-1"
Second Floor

NEW ROOF DECK AND
RAILING TO CODE

NEW PENT ROOF

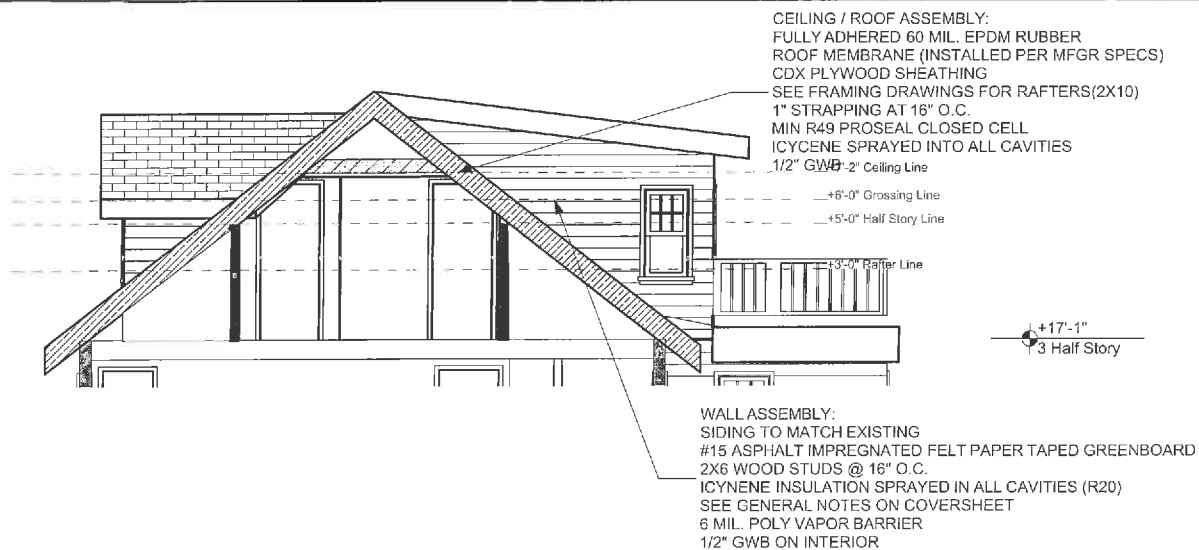
+0"
First Floor

+4'-0"
Site

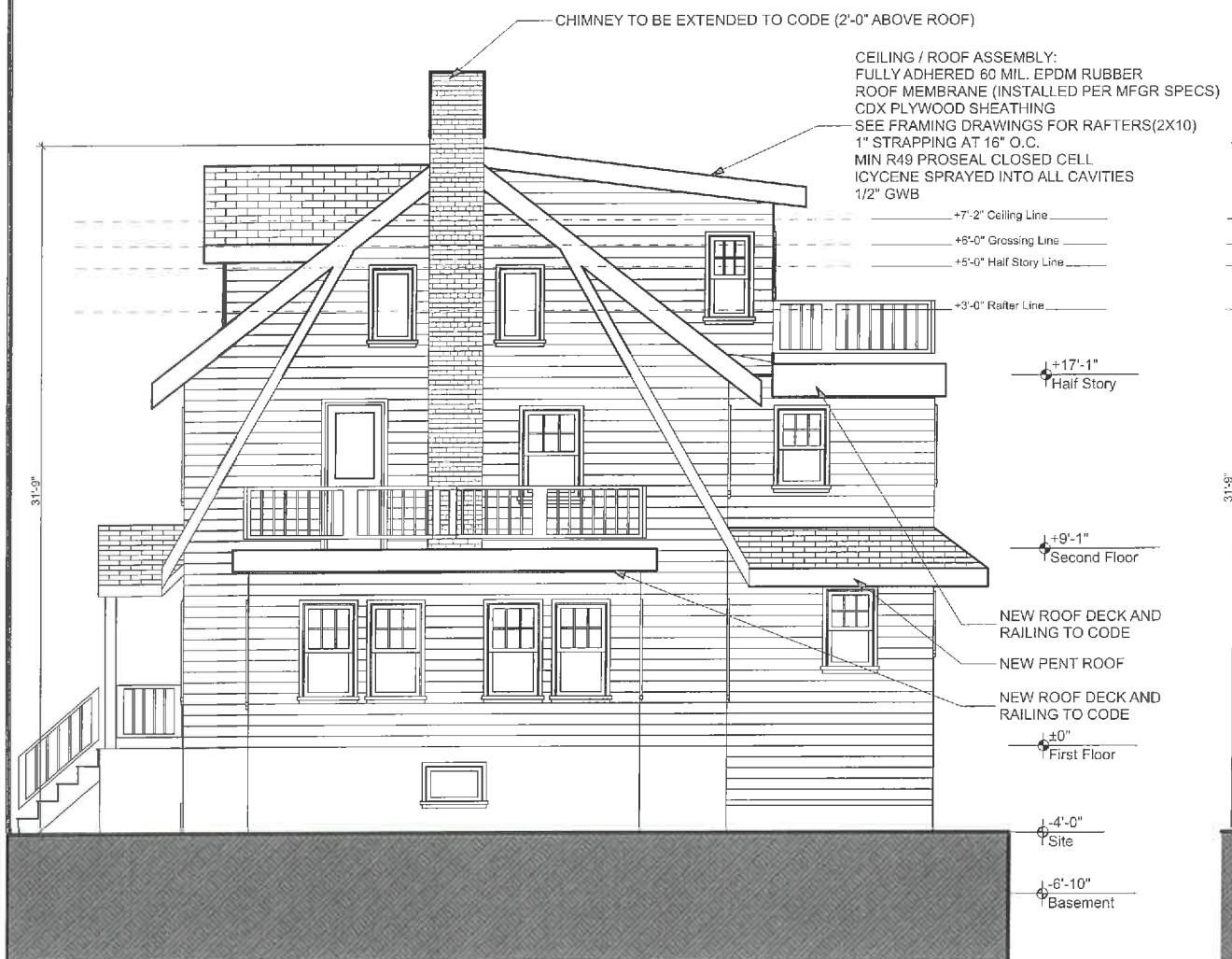
+6'-10"
Basement

1 East Elevation
SCALE: 1/8" = 1'-0"

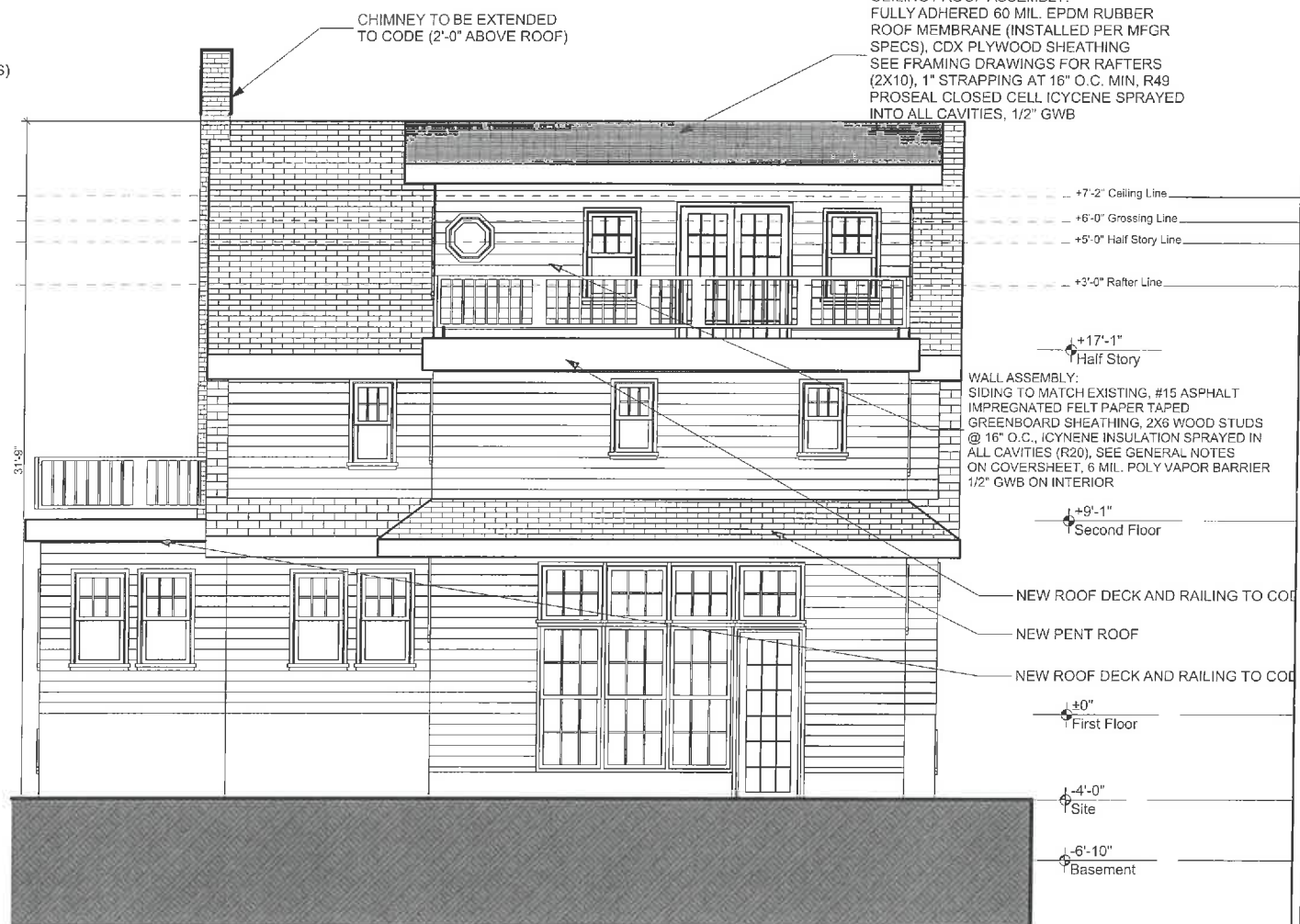




3 Non Dormer Section
 SCALE: 1/8" = 1'-0"



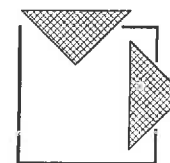
1 West Elevation
 SCALE: 1/8" = 1'-0"



2 South Elevation
 SCALE: 1/8" = 1'-0"



MILLER
 DESIGN LLC

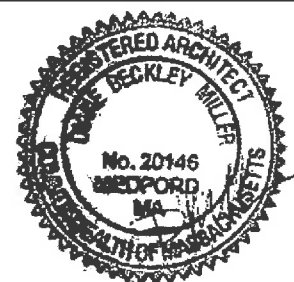


80 CLARK STREET
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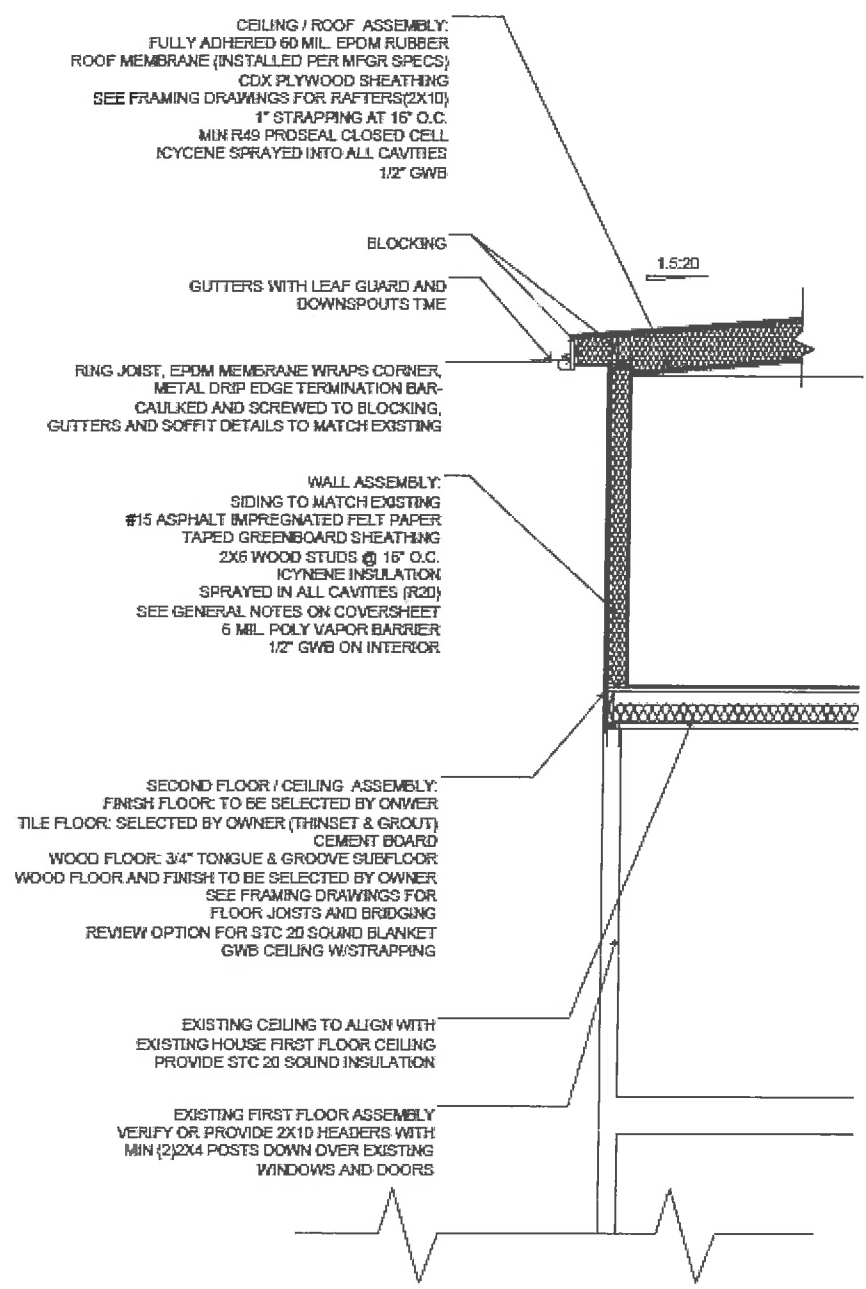


CIAMARRA RESIDENCE
 43 OLD MIDDLESEX ROAD
 BELMONT, MA 02487

NEW ELEVATIONS
 SECTION

Sheet:
 Number:

A13




MILLER
DESIGN LLC



80 CLARK STREET
BELMONT, MA 02478
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CIAMARRA RESIDENCE
43 OLD MIDDLESEX ROAD
BELMONT, MA 02487

STRUCTURAL
SECTION

Sheet
Number:

A14

15 Essex Road



BACKYARD NEIGHBOR
(front dormers / deck railings)

42 Benton Road



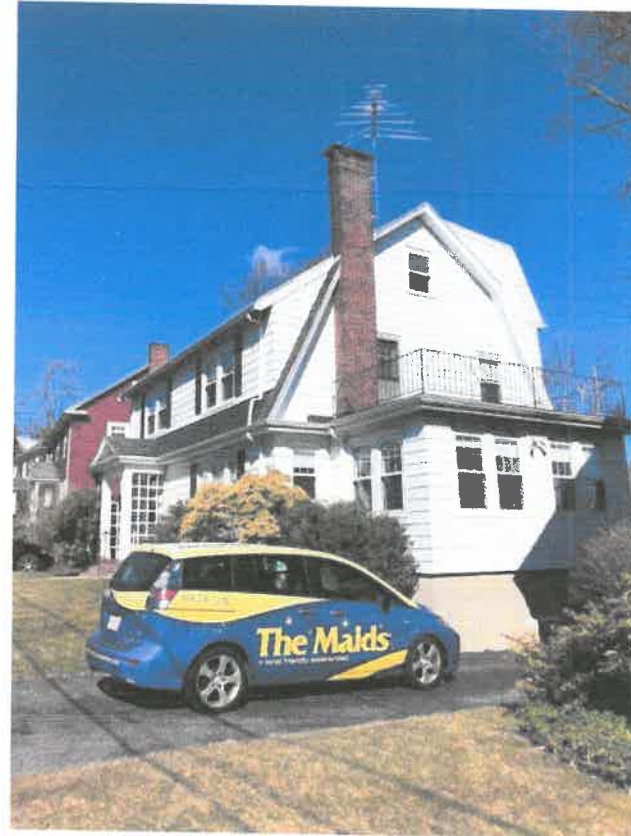
BACKYARD NEIGHBOR
(rear shed dormer)

19 Benton Road



NEIGHBORHOOD
(front formers and rear shed dormer)

74 Old Middlesex Road



NEIGHBOR (STREET)
(rear shed dormer and side porch)

58 Old Middlesex Road



STREET NEIGHBOR
(rear dormer and side deck)

80 Old Middlesex Road



STREET NEIGHBOR
(front and rear dormer and side deck)

29 Preble Garden Road




NEIGHBOR
(rear shed dormer & side porch)


65 Oakley Road

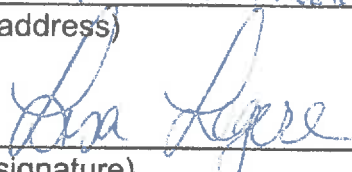



NEIGHBOR
(front dormer)


We, the neighbors of Rob and Elif Ciamarra of 41 Old Middlesex Road, Belmont MA have reviewed their plans to add a dormered half-story addition and side porch railings on the existing roof deck at the above mentioned address. Furthermore, we support their petition for a special permit allowing them to proceed with this addition.


1.  Vincenzo Bolletino
(signature) (name)
49 Old Middlesex Rd. Belmont, MA 02478
(address)

2.  Marcie Hirsch
(signature) (name)
64 Old Middlesex Rd. Belmont, MA 02478
(address)

3.  Lisa Legere
(signature) (name)
48 Benton Rd Belmont, MA 02478
(address)

4.  Christine Kloss
(signature) (name)
34 Old Middlesex Rd. Belmont
(address)

5.  Linda R. Dietrich
(signature) (name)
48 Old Middlesex Rd. Belmont, MA 02478
(address)

6.  Amy Natias
(signature) (name)
41 Old Middlesex Rd, Belmont, MA 02478
(address)

7. Jane Slavin Jane Slavin
(signature) (name)

80 Old Middlesex Road
(address)

8. David Pomer DAVID POMER
(signature) (name)

15 Essex Rd, Belmont
(address)

9. C. Pomer Christine Pomer
(signature) (name)

15 Essex Rd Belmont
(address)

10. ~~David Pomer~~ Belmont
(signature) (name)

g Essex Rd
(address)

11. David Jerison DAVID JERISON
(signature) (name)


48 OLD MIDDLESEX RD
(address)

12. Kerin McLuskey Kerin McLuskey
(signature) (name)

58 Old Middlesex Rd Belmont
(address)

13. Chad Antreichuk Chad Antreichuk
(signature) (name)

58 Old Middlesex Rd Belmont, MA
(address)

14.  Peter Scott
(signature) (name)
42 Benton Rd
(address)

15. _____
(signature) (name)

(address)

16. _____
(signature) (name)

(address)

17. _____
(signature) (name)

(address)

18. _____
(signature) (name)

(address)