

NOTICE OF PUBLIC HEARING BY THE
BELMONT ZONING BOARD OF APPEALS

ON APPLICATION FOR TWO SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, May 18, 2020 at 7:00 PM by remote access through the Zoom app. to consider the application of Michelle Liu, at 182-184 Lexington Street located in a General Residence (GR) Zoning District for Two Special Permits under §1.5 of the Zoning Bylaw to construct a dormer and expand a detached garage. Special Permits, 1.- §4.2.2 of the Zoning By-Law allows a maximum lot coverage of 30%, the existing lot coverage is 34.9% and the proposed is 30.5%, and; 2.- The existing rear setback to the dwelling is 4.0' and the proposed rear setback to the dormer is 9.0'.

ZONING BOARD OF APPEALS



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: February 6, 2020

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 182-184 Lexington Street Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises ~~or the use thereof~~ under the applicable Section of the Zoning By-Law of said Town for _____ the construction of a dormer that is 6.3 feet from the side setback, and the enlargement of the garage by 1.8 feet. The renovations require two special permits under Sections 4.2 and 4.2.2 of the Zoning By-Law.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Joseph M. Noone, Esquire for

Signature of Petitioner

Print Name

Address

Daytime Telephone Number

Michelle Liu

AVERY, DOOLEY & NOONE, LLP

3 Brighton Street, Belmont, MA 02478

(617) 489-5300



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

January 28, 2020

Fushuang Liu
182-184 Lexington Street
Belmont, MA 02478

RE: Denial to Construct a Dormer and to Expand Detached Garage

Dear Fushuang Liu,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a dormer and to expand a detached garage at 182-184 Lexington Street located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2.2 of the Zoning By-Law Dimensional Regulations allows a maximum lot coverage of 30% and a minimum rear setback of 20.0'.

1. The existing lot coverage is 34.9% and the proposed is 30.5%
2. The existing rear setback is 4.0' and the proposed is 6.3'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

**STATEMENT OF APPLICANT, MICHELLE LIU, FOR SPECIAL PERMITS TO
CONSTRUCT A DORMER AND EXPAND DETACHED GARAGE**

The Applicant, Michelle Liu ("Applicant"), seeks two special permits under Sections 4.2 and 4.2.2 of the Zoning By-Law to alter a non-conforming structure at 182-184 Lexington Street in order to construct a dormer and expand a detached garage.

The Applicant purchased the property in 2019. The property is located in a General Residence Zoning District. It is a two-family home and was constructed in 1927. The lot size is 5057 square feet. The existing structure is 26'5" in height.

The Applicant proposes to renovate the dwelling by creating a dormer addition to the rear of the structure. The proposed renovations will reduce the lot coverage by 4.40 percent to 30.5 percent from the existing lot coverage of 34.9 percent. The reduction in lot coverage will result from the removal of two sun rooms and the existing dormer in the front. The rear dormer will be constructed so as to reduce the non-conformity of the side set back from the existing 4.0 feet to 6.3 feet.

The rear dormer will create 146.60 square feet of new living space. The proposed renovated structure will be 2.5 stories and will slightly increase the height of the structure from its existing height of 30 feet, which is below the height permitted in the GR district of 33 feet.

The applicant also seeks to slightly increase the size of the non-attached garage by 1.8 feet. The small expansion of the garage will permit parking of two cars. The slight increase in the size of the garage creates a minor overage on the lot coverage to 30.5 percent. However, as set forth above, the overall renovations reduce the lot coverage by 4.40 percent.

The Applicant respectfully submits that the proposed addition and requested special permits will not be substantially more detrimental to the neighborhood than the existing home, as it will be in character with the neighborhood. Throughout this neighborhood, many homes have similar additions to the second story. The proposed addition has been designed to reflect the architectural character of the neighborhood and is consistent with additions built on the surrounding homes. The addition will enhance the property and increase its value.

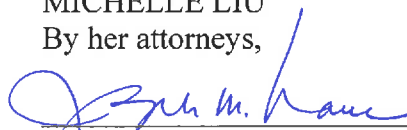
The Applicant has reached out to the abutters, and those that have responded are in favor of the proposal.

The Applicant respectfully requests that the Zoning Board grant the special permits, as the proposed addition is in general harmony and will not be substantially more detrimental than the existing dwelling to the neighborhood. The proposed addition reduces some of the existing non-conformities of the existing structure.

Thank you for your time and consideration.

MICHELLE LIU

By her attorneys,



Joseph M. Noone (BBO #559644)

AVERY, DOOLEY & NOONE, LLP

3 Brighton Street

Belmont, MA 02478

(617) 489-5300

jnoone@averydooley.com

Date: February 6, 2020

Zoning Compliance Check List

(Registered Land Surveyor)

Property Address: 182-184 Lexington Street

Zone: GR

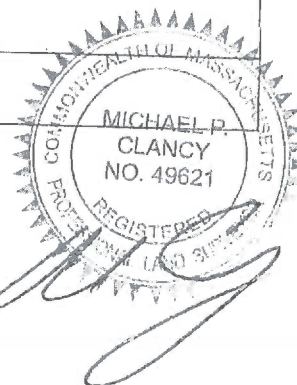
Surveyor Signature and Stamp: *[Signature]* 49621

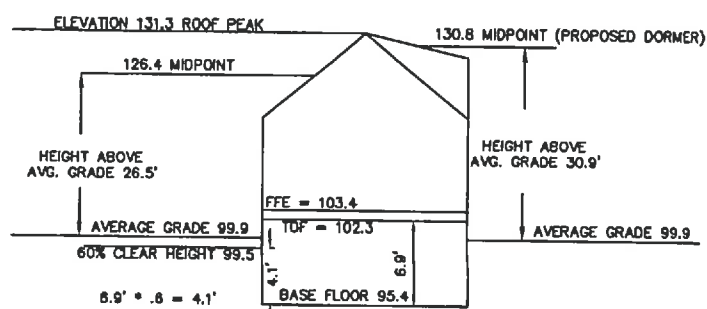
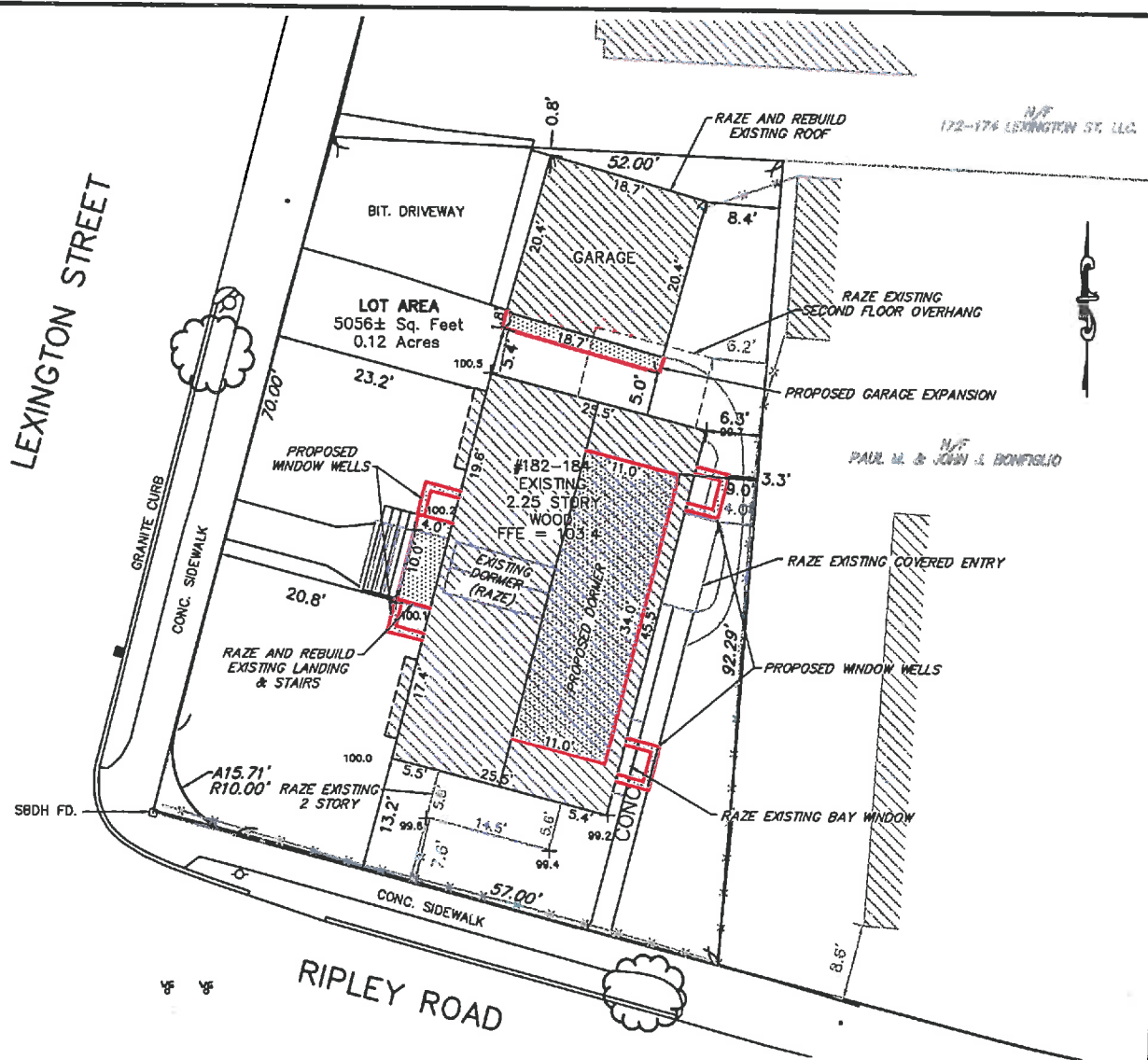
Date: 2-10-2020

	REQUIRED	EXISTING	PROPOSED
Lot Area	5,000 SF	5056+/- SF	5056+/- SF
Lot Frontage	50'	70'	70'
Floor Area Ratio	-	-	-
Lot Coverage	30	34.9	30.5
Open Space	40	56.6	59.6
Front Setback	20	20.8	20.8
Front Setback	20 or average	7.6	13.2
Side Setback	10	.8 Garage	.8 Garage
Rear Setback	20	4.0	6.3
Building Height	33	26.5	30.9
Stories	2.5	2.5	2.5
1/2 Story Calculation See architects calculation			

NOTES:

GR LOT AREA 3,500 PER DWELLING UNIT POPOSED 2528 PER DU





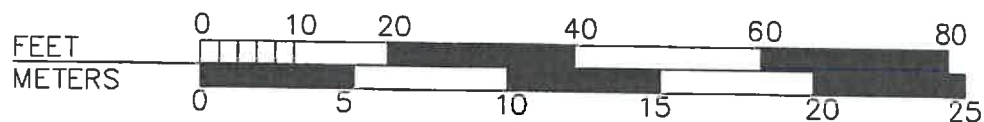
- NOTES:
1. ZONING CLASSIFICATION — GENERAL RESIDENCE
 2. PLAN REFERENCES:
MIDDLESEX REGISTRY OF DEEDS BOOK 4775 END
 3. LOCUS DEED:
MIDDLESEX REGISTRY OF DEEDS BK. 73262 PAGE 142
 4. LOCUS LIES IN ZONE X AS SHOWN ON FIRM MAP COMMUNITY
PANEL #250182 0414 E, DATED JUNE 4, 2010

PLOT PLAN
FOR
182-184 LEXINGTON STREET
IN
BELMONT, MASS.
SCALE: 1"=20' AUGUST 9, 2019

C & G SURVEY COMPANY
37 JACKSON ROAD
SCITUATE, MA. 02066
1-877-302-8440

REQUIREMENTS:	UNITS	REQUIRED	CURRENT	PROPOSED
MINIMUM LOT AREA	S.F.	5,000	5,056±	5,056±
PER UNIT		3,500		
MINIMUM LOT FRONTAGE	FT.	50.0	70.0	70.0
FRONT SETBACK	FT.	20.0	20.8	20.8
FRONT SETBACK	FT.	20.0 (OR AVERAGE)	7.6	13.2
SIDE SETBACK	FT.	20.0	4.0	6.3
BUILDING HEIGHT	FT.	33.0	26.5	30.9
NUMBER OF STORIES	STORIES	2.5(MAX)	2.5	2.5
MINIMUM OPEN SPACE	%	40.0	56.6	59.6
LOT COVERAGE	%	30.0	34.9	30.5

OWNER:	FUSHUANG LIU
LOC. HOUSE NO. 182-184 LEXINGTON ST.	
LOT NO.	15-195
APP. NO.	
REVISED DATE	11-07-19
SCALE	1" = 20'



CODE SUMMARY

APPLICABLE CODES

BUILDING CODE	:	INTERNATIONAL RESIDENTIAL CODE, ED. 2015; & MA AMENDMENT CMR 780 9TH EDITION
ACCESSIBILITY CODE	:	521 CMR
PLUMBING CODE	:	248 CMR 10.00; UNIFORM STATE PLUMBING CODE
MECHANICAL CODE	:	INTERNATIONAL MECHANICAL CODE, ED. 2015
ELECTRICAL CODE	:	NATIONAL ELECTRICAL CODE, ED. 2002
FIRE PROTECTION	:	NFPA1, ED. 2015; & 527 CMR 1.00 MASSACHUSETTS COMPREHENSIVE FIRE CODE
ENERGY	:	INTERNATIONAL ENERGY CONSERVATION CODE, ED. 2015

PROJECT NARRATIVE

THIS PROJECT IS A INTERIOR RENOVATION TO AN EXISTING 2-FAMILY RESIDENTIAL BUILDING. SCOPE OF WORK INCLUDED INTERIOR CONSTRUCTION, DEMOLISH EXISTING FRONT AND SIDE PORCHES, CONSTRUCT DORMERS IN ATTIC AND NEW SIDING, DOORS AND WINDOWS. THE PROPOSED SCOPE OF WORK DOES NOT AFFECT THE HEIGHT OF THE EXISTING BUILDING.

DESCRIPTION	CODE REFERENCE	REQUIREMENT	EXISTING	PROPOSED
GENERAL				
USE GROUP	: 303	: R3	: R3 (2-UNIT)	: R3 (2-UNIT)
CONSTRUCTION TYPE	: TABLE 602	: 5B	: 5B	: 5B
				(NO CHANGE)
NO. OF STORIES (BUILDING)	: TABLE 503	: -	: 2.5 + BASEMENT	: 2.5 + BASEMENT
HIGH RISE?	: 403.1	: NO	: NO	: NO
COVERED MALL	: 402.0	: NO	: NO	: NO
SPRINKLERED	: 903.2.1.2	: NO	: NO	: NO
MANUAL FIRE ALARM SYSTEM	: 907.2.7	: NO	: NO	: NO
AUTOMATIC FIRE ALARM SYSTEM	: PER MECHANICAL CODE	: NO	: NO	: NO
SEPARATIONS				
DEMISING WALL SEPARATION	: TABLE 508.4	: 1HR	: -	: 1HR FIRE RATED

DOCUMENT LIST

A0.1	TITLE SHEET	SHEET	1
A1.1	EXISTING FLOOR PLAN	SHEET	2
A1.2	PROPOSED FLOOR PLAN	SHEET	3
R-1	AREA CALCULATION	SHEET	4
A2.1	EXISTING ELEVATION	SHEET	5
A2.2	PROPOSED ELEVATIONS	SHEET	6
A2.3	GARAGE FLOOR PLAN & ELEVATIONS	SHEET	7

AREA CALCULATION

	EXISTING	PROPOSED
ATTIC @5' CLEAR HEIGHT	552 SF	685 SF
2ND FLOOR	1,145 SF	1,145 SF
2ND FL. ENCLOSED PORCH	195 SF	-
1ST FLOOR	1,214 SF	1,145 SF
1ST FLOOR ENCLOSED PORCH	39 SF	-
FINISHED BASEMENT	-	1,145 SF
GROSS LIVING AREA	3,145 SF	4,122 SF
1ST FLOOR OPEN PORCH	79 SF	150 SF

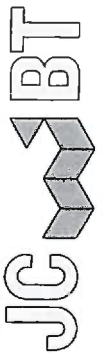
GENERAL NOTES

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE AND COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK.
- PRIOR TO BUILDING, ALL CONTRACTORS MUST THOROUGHLY EXAMINE THE DRAWINGS AND SPECIFICATIONS AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DIFFICULTIES AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK UNDER THIS CONTRACT. THE FAILURE OF ANY CONTRACTORS TO RECEIVE OR EXAMINE ANY FORM OF INSTRUMENT OR DOCUMENT OR TO VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION WITH RESPECT TO THIS WORK. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.
- CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
- INFORMATION ON THESE PLANS ARE SCHEMATIC. INDIVIDUAL ROOF MANUFACTURES HAVE DIFFERENT DETAILS AND THESE MAY VARY DEPENDING ON WHICH MANUFACTURING SYSTEM IS SELECTED. CONTRACTOR SHOULD VISIT SITE TO ENSURE THAT HE IS FAMILIAR WITH THE PROJECT REQUIREMENT TO DO A COMPLETE ATTENTION SHOULD BE MADE AT THE MECHANICAL EQUIPMENT WITH RESPECT TO DISCONNECTION, MOVING, ROOF INSTALLATION AND RE-INSTALLING.
- ALL EXISTING CONDITIONS AND PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE CONTRACTING OFFICER OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH AFFECTED PART OF THE WORK.
- THE GENERAL CONTRACTOR MUST RECONFIRM THE DIMENSIONS OF THE DEMISING PARTITIONS AND COLUMN LOCATIONS.
- THE GENERAL CONTRACTOR SHALL UPON INITIAL SITE VISIT VERIFY ALL EXISTING CONDITIONS (I.E., OVERALL DIMENSIONS, CONDITION OF CONCRETE SLAB, LOCATION OF SERVICES, STRUCTURE, CLEARANCES, ETC.) AND REPORT ANY DISCREPANCIES, OMISSIONS, OR OBSTRUCTIONS THAT WILL AFFECT THE LAYOUT OR DESIGN OF THE SPACE IMMEDIATELY TO THE OWNER OR OWNER'S PROJECT MANAGER.
- CONTRACTOR SHALL LAY OUT PARTITION LINES ON FLOOR AT BEGINNING OF JOB AND NOTIFY ARCHITECT OF ANY OMISSIONS OR DISCREPANCIES IN THE CONTRACT DOCUMENTS IMMEDIATELY.
- G.C. TO PATCH AND REPAIR EXISTING WALLS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WITH LIKE CONSTRUCTION MATERIALS TO MATCH EXISTING.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT ADJOINING PROPERTY AND STRUCTURES FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER.
- IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC., OF THIS SYSTEM. HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE AND IN STRICT CONFORMANCE WITH ALL APPLICABLE INTERNATIONAL CODE AND STATE BUILDING CODE REGULATIONS.
- CONTRACTOR SHALL ADHERE TO A SCHEDULE FOR ALL WORK WHICH DOES NOT INTERFERE WITH NORMAL OPERATIONS OF THE FACILITY.
- CONTRACTOR SHALL ENSURE THAT MEMBRANE ROOFING MANUFACTURE'S REPRESENTATIVE IS PRESENT ON SITE DURING INSTALLATION OF THE ENTIRE ROOF.
- ROOF SLOPES AS NOTED ON DRAWINGS ARE BASED ON AVAILABLE EXISTING INFORMATION. CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND SLOPES AND SUBMIT TO DESIGNER ALL EXISTING ELEVATIONS PRIOR TO INSTALLATION OF INSULATION. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE MINIMUM SLOPES TOWARDS ROOF FRAMING AS NOTED. USE TAPERED INSULATION AT FLAT AREAS AS REQUIRED TO ACHIEVE POSITIVE SLOPES.
- COMPLETE SYSTEM WARRANTIES INCLUDING ROOFING, INSULATION AND OTHER RELATED ITEMS ARE REQUIRED FOR THIS PROJECT. REFER TO MANUFACTURER'S SPECIFICATION.
- DO NOT PUT DISSIMILAR METALS IN CONTACT WITH EACH OTHER.
- UNLESS SPECIFICALLY NOTED AS EXISTING, ALL ITEMS ARE NEW.
- USE ONLY MASONRY MATERIALS FOR MASONRY PATCHING AND USE ONLY ROOFING MATERIALS FOR ROOF WORK.

GRAPHIC SYMBOLS

	OWNER FURN. ITEM		FINISH DESIGNATOR
	COMPONENT NUMBER		MATERIAL TYPE
	ENLARGED DETAIL		FINISH NUMBER
	REFERENCE NUMBER		TEXT NOTE INDICATOR
	SHEET NUMBER		TEXT NOTE NUMBER
	SECTION DETAIL		DATUM POINT
	REFERENCE I.D.		LOCATION
	SHEET NUMBER		ELEVATION
	ELEVATION		MATCH LINE
	REFERENCE I.D.		SHEET NUMBER
	SHEET NUMBER		REVISION INDICATOR
	INTERIOR ELEVATION		REVISION NUMBER
	ELEVATION NUMBER		PARTITION INDICATOR
	SHEET NUMBER		PARTITION TYPE
	REFERENCE I.D.		
	DOOR/WINDOW SYMBOL		
	REFERENCE NUMBER		
	CEILING HEIGHT KEY		
	HEIGHT		SMOKE DETECTOR
	MATERIAL TYPE		CARBON MONOXIDE DETECTOR
	EXISTING PARTITION		HEAT DETECTOR
	DEMOLITION PARTITION		
	NEW PARTITION		
	1-HOUR FIRE RATED PARTITION		



585 WASHINGTON STREET, QUINCY, MA 02169
ADMIN@JC3BTARCHITECT.COM
TEL: (617) 404-8182

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
1	BT	REVISION #1	10-31-19

PROJECT

EXISTING 2-FAMILY RENOVATION

182 LEXINGTON ST
BELMONT, MA

PROJECT NO. 19016

SHEET TITLE

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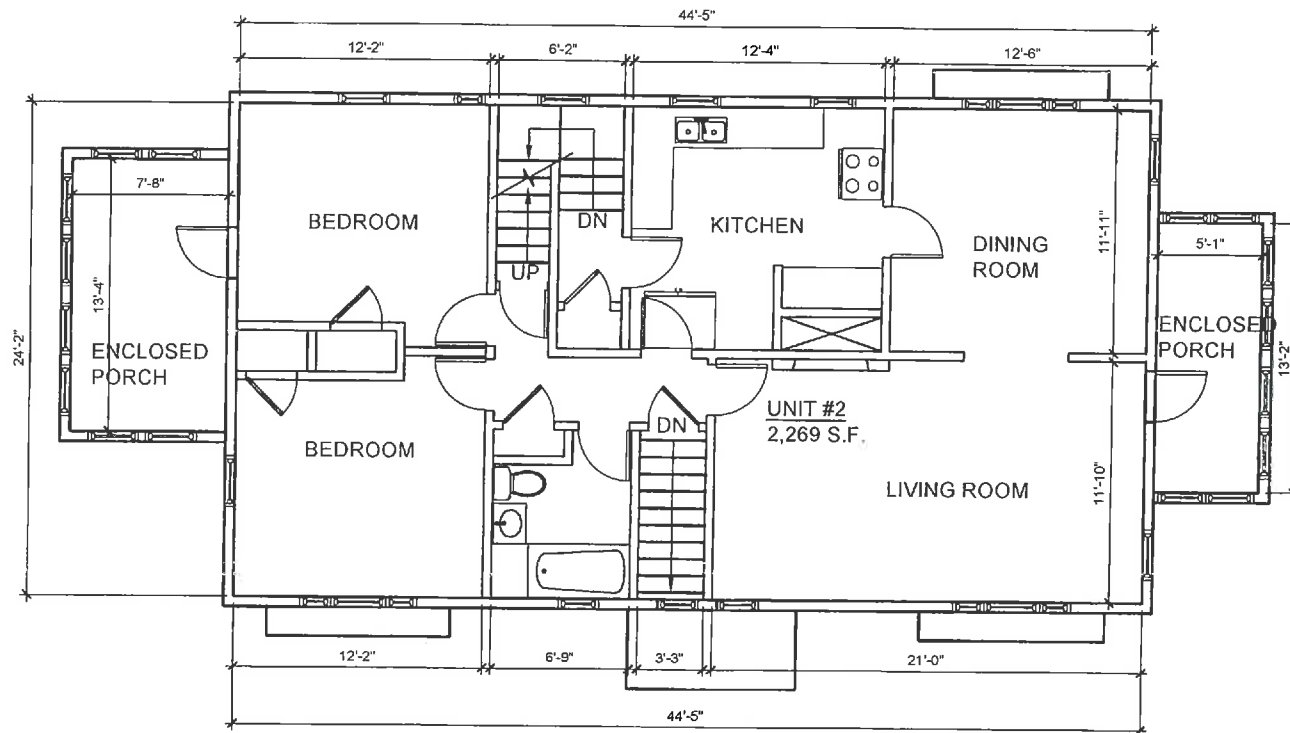
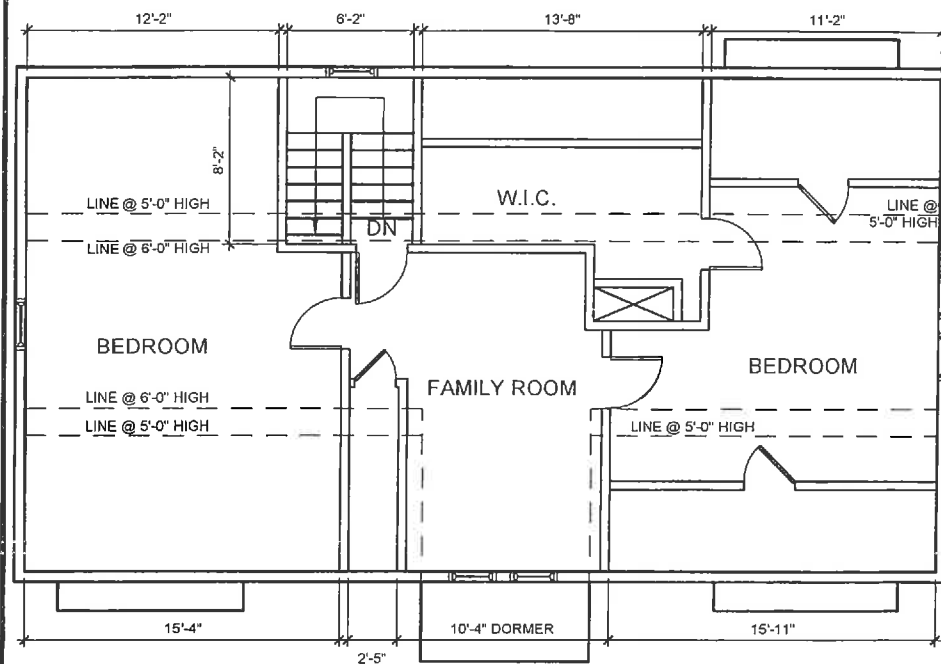
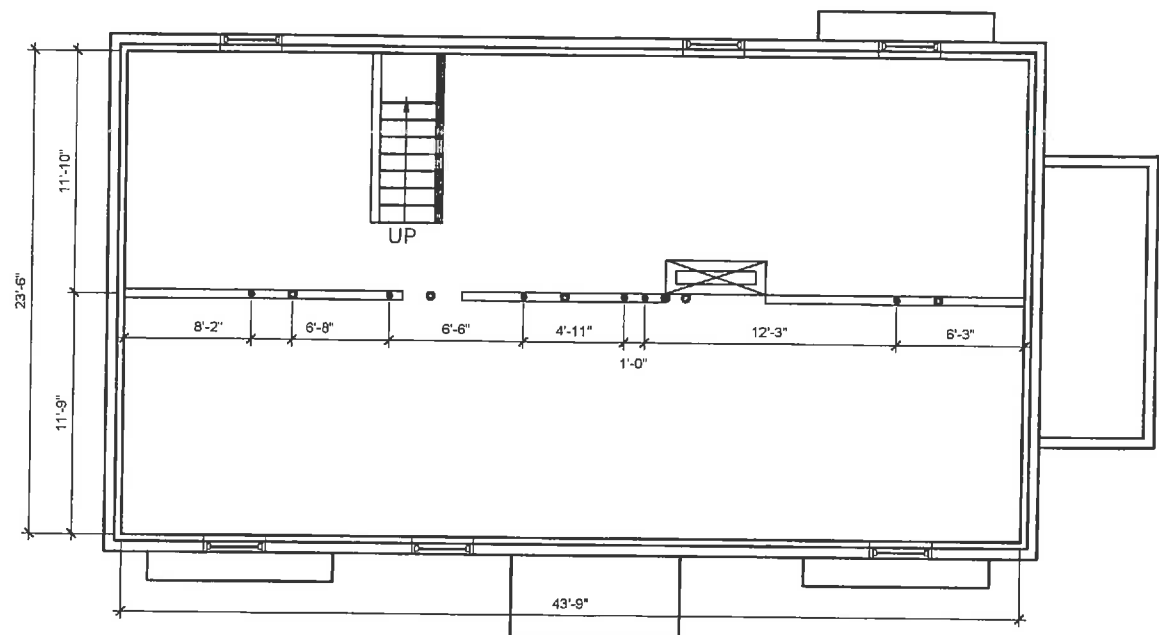
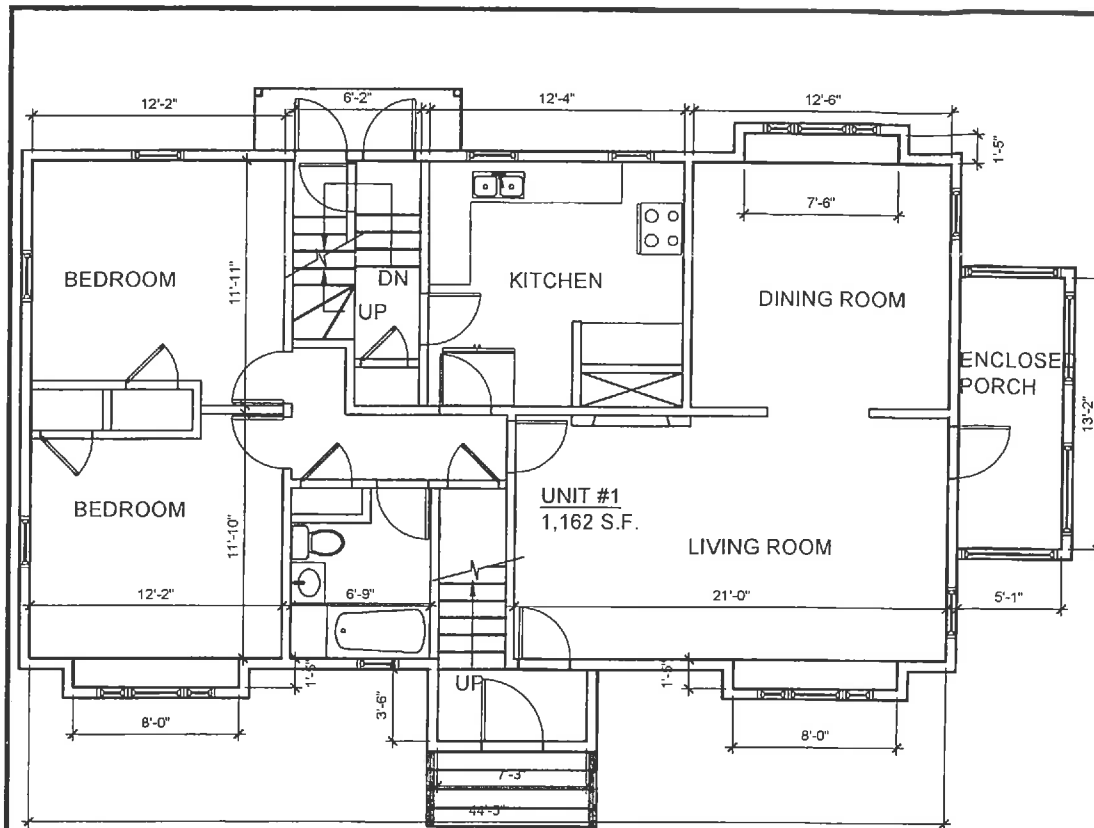
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A0.1



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REVISIONS

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PROJECT

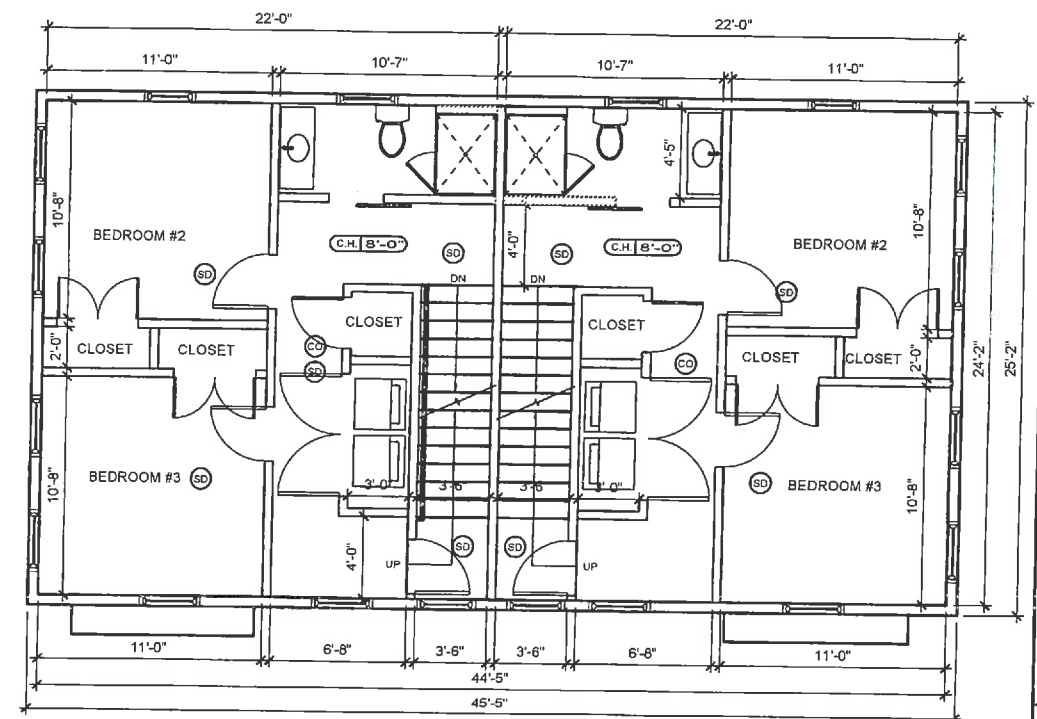
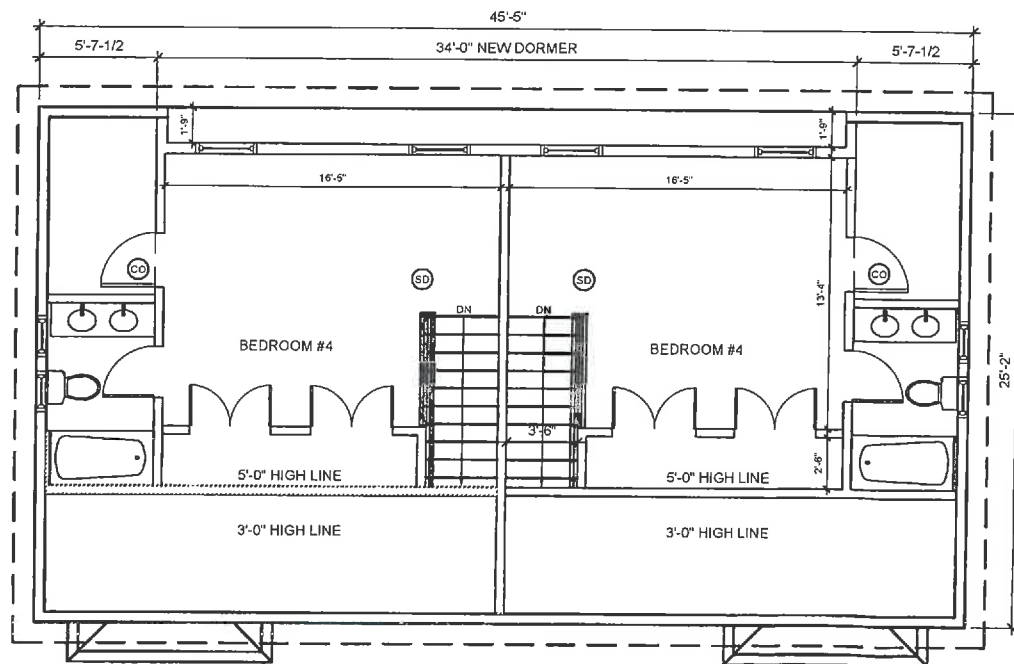
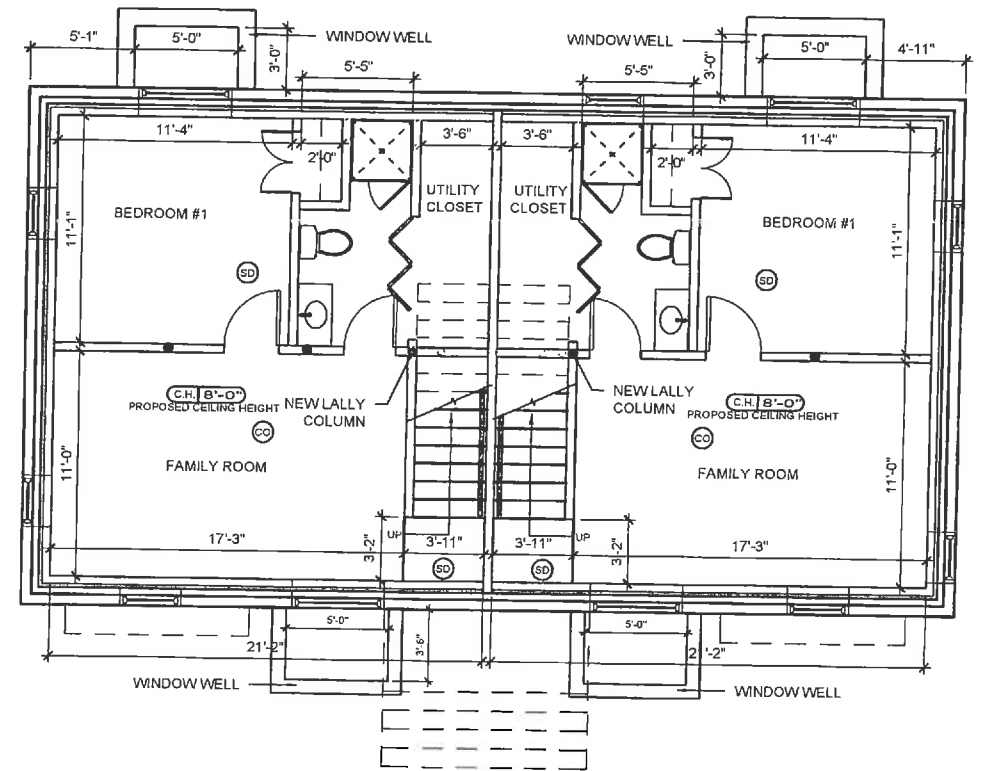
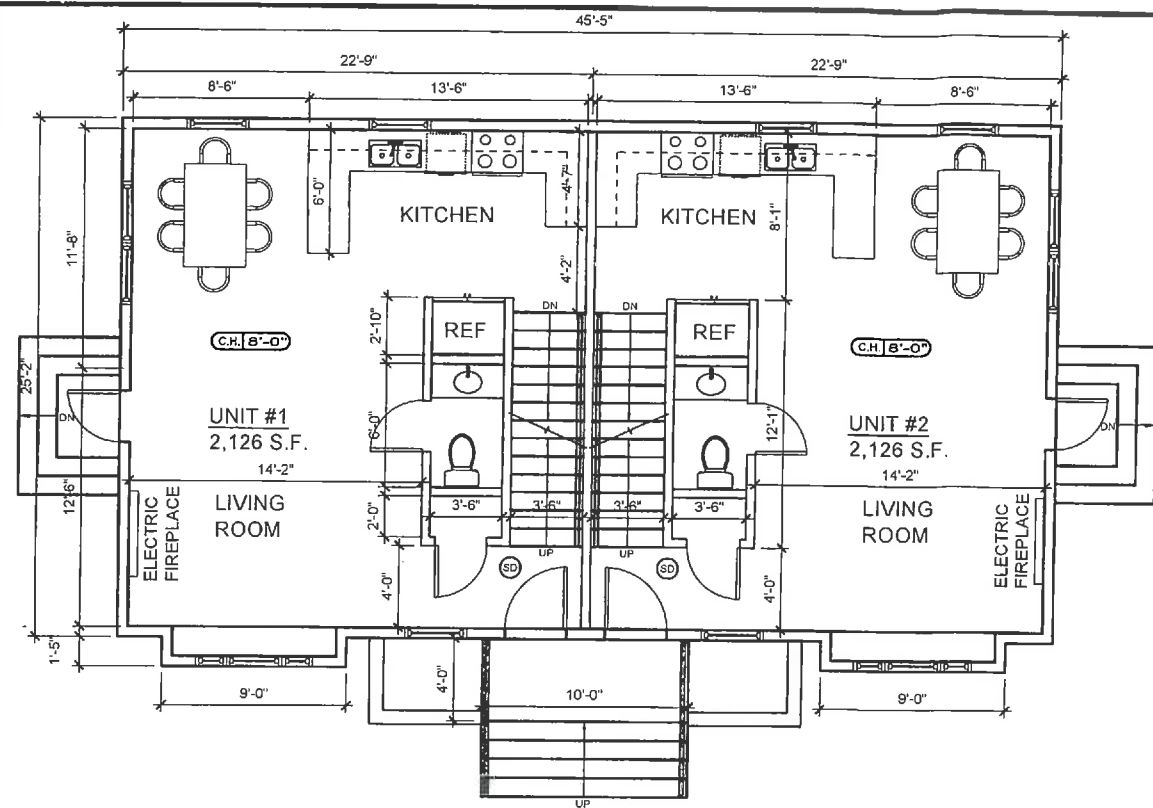
EXISTING 2-FAMILY RENOVATION
182 LEXINGTON ST
BELMONT, MA

PROJECT NO. 19016

SHEET TITLE

EXISTING FLOOR PLAN

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SHEET	2 OF	



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1	BT	REVISION #1	10-31-10
2	BT	REVISION #2	2-15-20

PROJECT

EXISTING 2-FAMILY
RENOVATION
182 LEXINGTON ST
BELMONT, MA

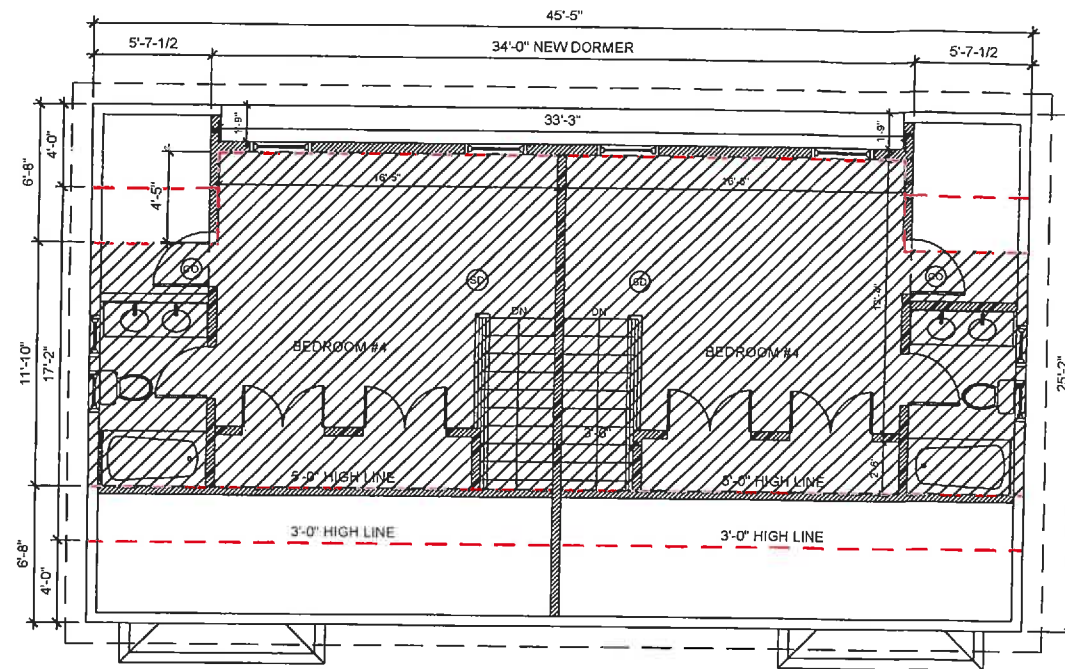
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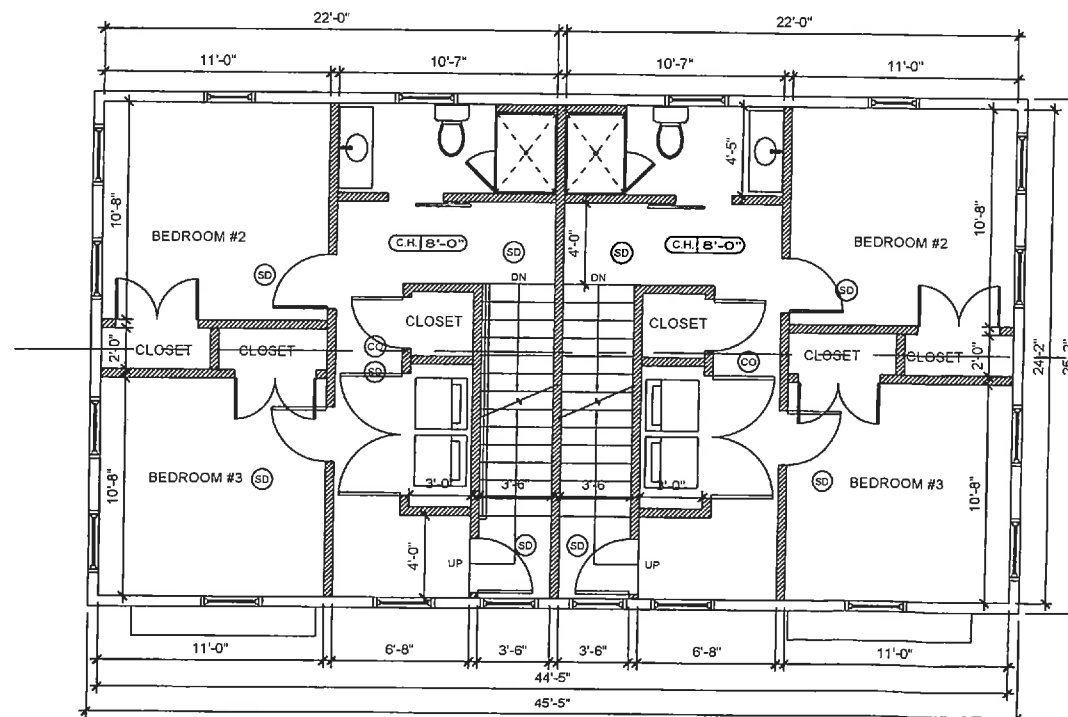
PROPOSED
FLOOR PLAN

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SHEET 3 OF		

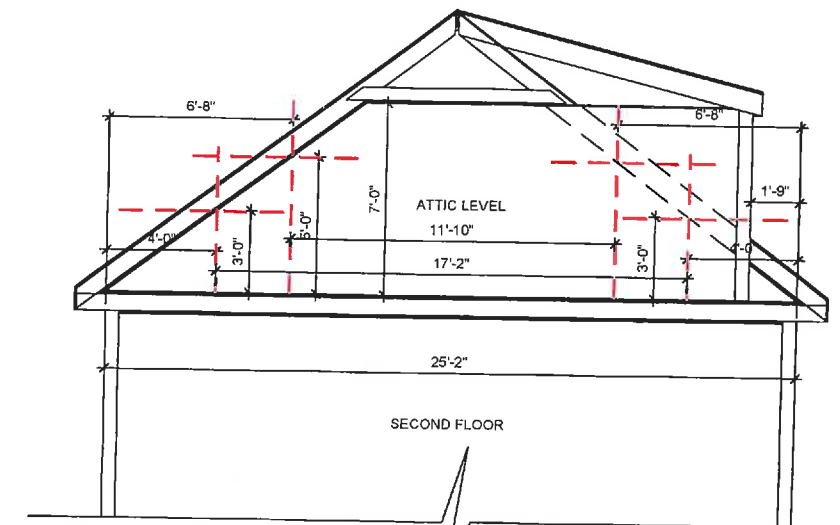
A1.2



1 PROPOSED ATTIC FLOOR PLAN
3/16" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN
3/16" = 1'-0"



3 ROOF SECTION DIAGRAM
1/4" = 1'-0"

HALF STORY CALCULATION; A SPACE UNDER THE ROOF WHERE:

A) THE LINE OF INTERSECTION OF THE RAFTER BOTTOMS AND THE INTERIOR WALL SURFACE IS NOT MORE THAN THREE FEET ABOVE FLOOR LEVEL ON AT LEAST HALF THE PERIMETER OF THE SECOND FLOOR.

SECOND FLOOR PERIMETER: $25'-2" + 45'-5" + 25'-2" + 45'-5" = 141'-2"$ OR $(141.14')$
 $141.14' \times 50\% = 70.57$

ATTIC FLOOR PERIMETER GREATER THAN 3 FEET:
 $(17'-2" \times 2) + 34'-0" = 68'-4"$ OR $(68.33')$

COMPLY: $68.33' < 70.57'$

B) THE POTENTIAL SPACE HAVING HEADROOM OF FIVE FEET OR MORE IS NOT MORE THAN 60% AS LARGE AS THE SECOND FLOOR.

SECOND FLOOR AREA: $25'-2" \times 45'-5" = 1,145$ SF
ATTIC FLOOR AREA (5'-0" OR MORE): $11'-10" \times 45'-5" = 538.4$ SQ.FT.
 $4'-5" \times 33'-3" = 146.8$ SQ.FT
TOTAL 5'-0" OR MORE = 685 SQ.FT

SECOND FLOOR AREA: $1,145$ SF $\times 60\% = 687$ SQ.FT.

COMPLY: 685 SQ.FT. < 687 SQ.FT.

C) PROVIDED THAT THE LENGTH OF ANY DORMER DOES NOT EXCEED 75% OF THE LENGTH OF THE ROOFLINE OF THE SIDE OF THE STRUCTURE WHERE THE DORMER IS CONSTRUCTED.

PROPOSED DORMER LENGTH: $34'-0"$

OVERALL ROOF LENGTH: $45'-5"$

$34'-0" / 45'-5" = 74.8\%$

COMPLY: $74.8\% < 75\%$

JC BT
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TEL: (617) 404-9182

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
1	BT	REVISION #1	10-31-19
2	JC	REVISION #2	01/22/2020

PROJECT

EXISTING 2-FAMILY
RENOVATION

182 LEXINGTON ST
BELMONT, MA

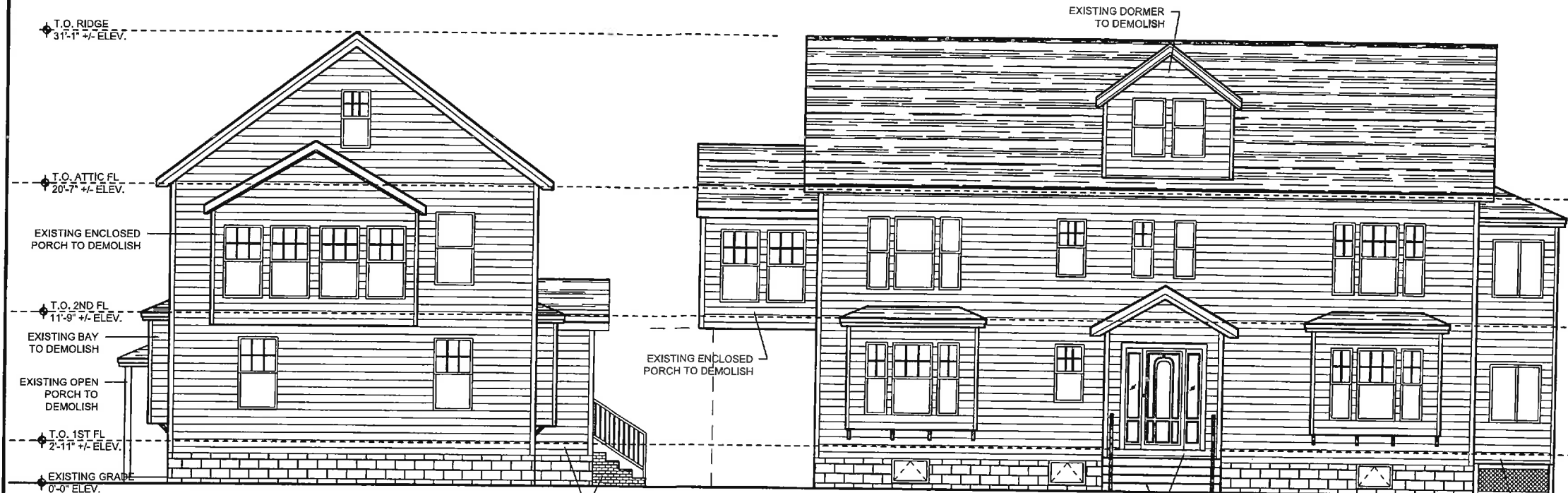
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SHEET TITLE

PROPOSED
FLOOR PLAN
(AREA CALCULATION)

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SCALE	NOTED		
DATE	9-12-19		
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SHEET	4 OF		

R-1



EXISTING NORTH (LEFT) ELEVATION
SCALE: 3/16"=1'-0"

EXISTING WEST (FRONT) ELEVATION
SCALE: 3/16"=1'-0"

EXISTING SOUTH (RIGHT) ELEVATION
SCALE: 3/16"=1'-0"

EXISTING EAST (REAR) ELEVATION
SCALE: 3/16"=1'-0"



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REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

EXISTING 2-FAMILY
RENOVATION

182 LEXINGTON ST
BELMONT, MA

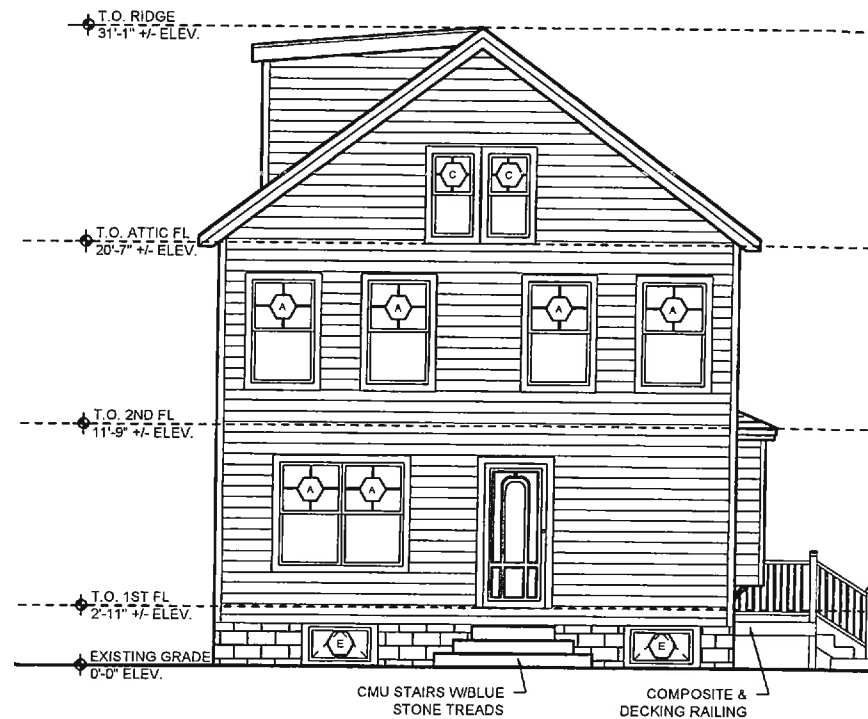
PROJECT NO. 19018

SHEET TITLE

EXISTING
ELEVATIONS

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DATE	9-12-19	
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SHEET 5 OF		

A2.1

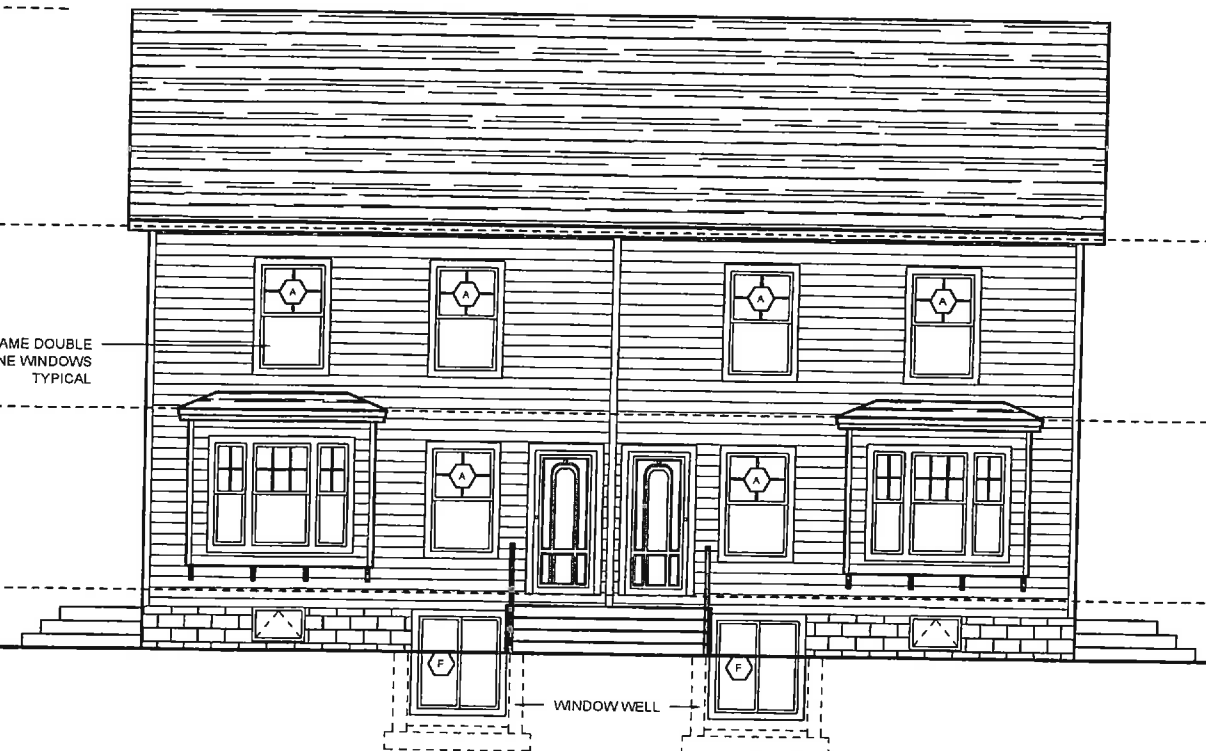


PROPOSED NORTH (LEFT) ELEVATION

SCALE: 3/16"=1'-0"

1
A2.2

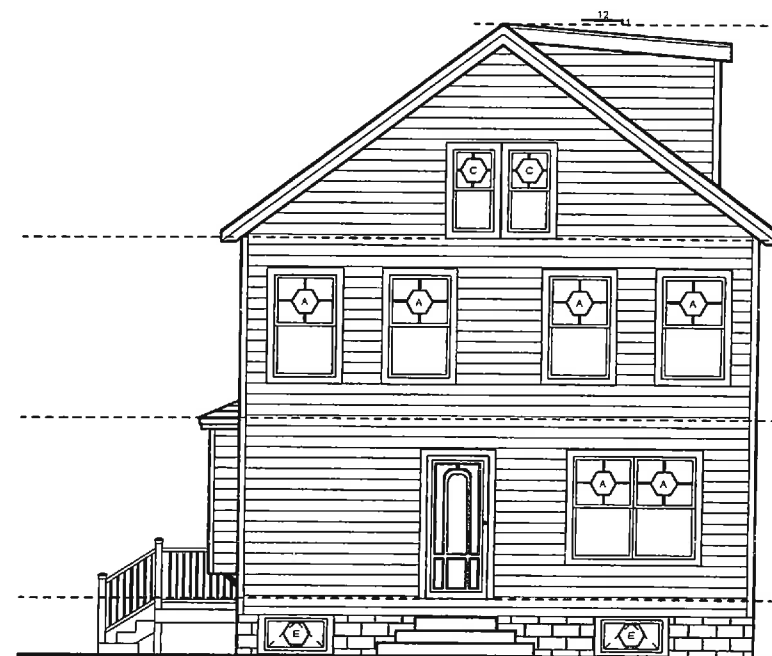
VINYL FRAME DOUBLE
PANE WINDOWS
TYPICAL



PROPOSED WEST (FRONT) ELEVATION

SCALE: 3/16"=1'-0"

2
A2.2



PROPOSED SOUTH (RIGHT) ELEVATION

SCALE: 3/16"=1'-0"

3
A2.2

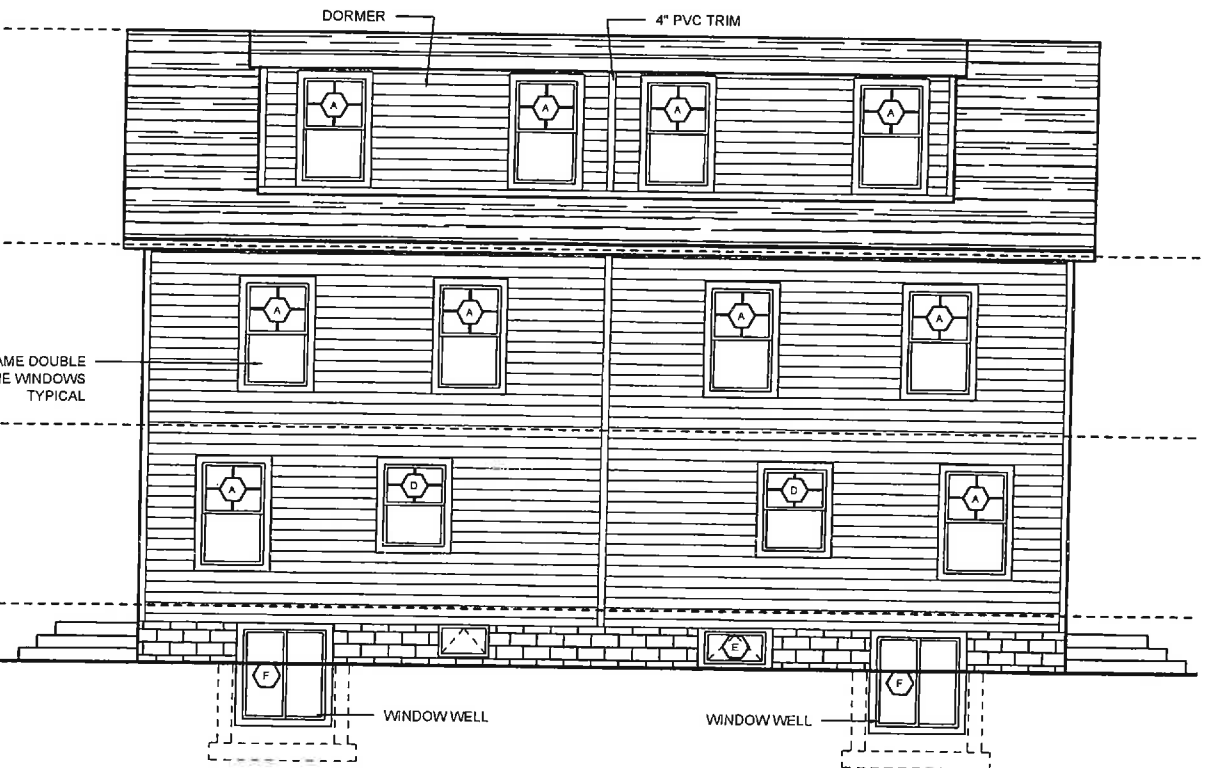
T.O. ATTIC FL.
20'-7" +/- ELEV.

T.O. 2ND FL.
11'-9" +/- ELEV.

T.O. 1ST FL.
2'-11" +/- ELEV.

EXISTING GRADE
0'-0" ELEV.

VINYL FRAME DOUBLE
PANE WINDOWS
TYPICAL



PROPOSED EAST (REAR) ELEVATION

SCALE: 3/16"=1'-0"

4
A2.2



NEW HARDIE LAP
SIDING



NEW 35YR
ROOF SHINGLE



EXISTING CMU
FOUNDATION WALL



EXISTING BRICK

JC BT
ARCHITECT

565 WASHINGTON STREET, QUINCY, MA 02169
ADMIN@JCBTARCHITECT.COM
TEL: (617) 404-9182

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
1	BT	REVISION #1	10-31-19
2	BT	REVISION #2	3-10-20

PROJECT

EXISTING 2-FAMILY
RENOVATION
182 LEXINGTON ST
BELMONT, MA

PROJECT NO. 19016

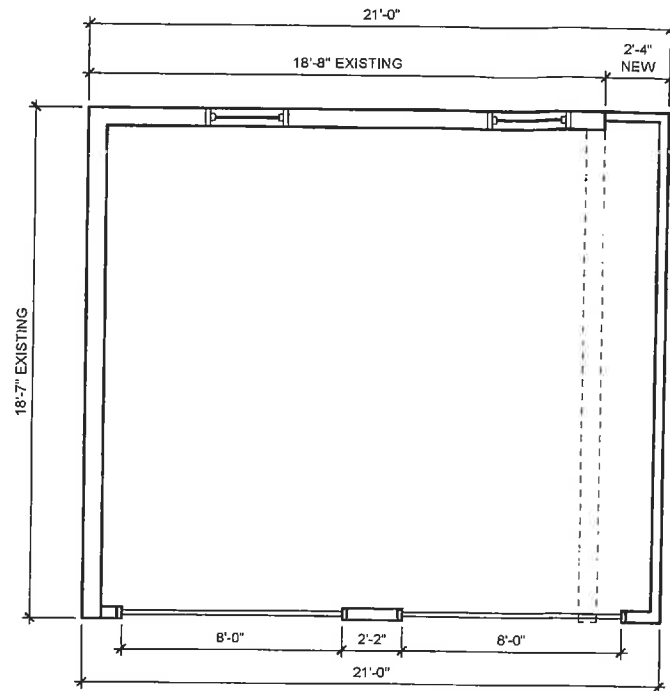
SHEET TITLE

PROPOSED
ELEVATIONS

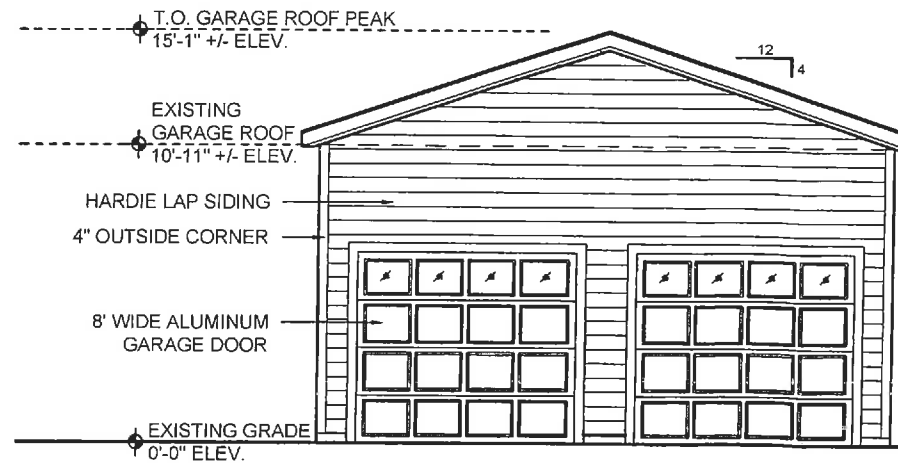
DRAWN BYT
SCALE NOTED
DATE 9-12-19
CHECKED
SHEET 6 OF

DRAWING NO.

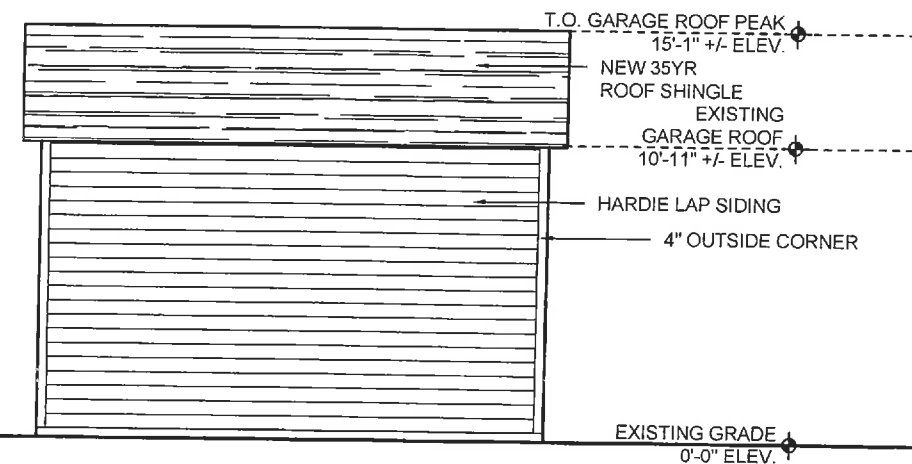
A2.2



PROPOSED GARAGE FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED SIDE ELEVATION
SCALE: 1/4"=1'-0"

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
1	BT	REVISION #1	10-31-19

PROJECT

EXISTING 2-FAMILY RENOVATION
182 LEXINGTON ST
BELMONT, MA

PROJECT NO. 19016

SHEET TITLE

PROPOSED ELEVATIONS

DRAWN	BYT	DRAWING NO.
SCALE	NOTED	
DATE	9-12-19	
CHECKED		
SHEET 7 OF		A2.3