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BELMONT, MA

2018 NOV 16 AM 11:50

CASE NO. 18-46

NOTICE OF PUBLIC HEARING BY THE
BELMONT ZONING BOARD OF APPEALS

ON APPLICATION FOR 3 SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, December 3, 2018 at 7:00 PM in the Art Gallery, 3rd floor, Homer Municipal Building, 19 Moore St. to consider the application of Daniel and Christine McLaughlin for Three Special Permits under Section 1.5 of the Zoning By-Law to construct a rear addition and a room over the attached garage at 16 Broad Street located in a Single Residence C (SRC) Zoning District. The By-Laws allow two and a half (2.5) story buildings and requires a minimum side setback of 10.0'. Special Permits – 1.- The existing garage is three stories and the proposed addition is a third story addition. 2.- The existing side setback on the North side is 8.0, and the proposed is 8.9'. 3.- The existing and proposed side setback on the South side is 8.1'.

ZONING BOARD OF APPEALS



Town of Belmont
Zoning Board of Appeals

RECEIVED
TOWN CLERK
BELMONT, MA

2018 NOV 16 AM 11:51

APPLICATION FOR A SPECIAL PERMIT

Date: 10/31/18

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 16 Broad Street Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

a rear one story addition and a
second floor addition above an existing
structure.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

[Handwritten Signature]
Christine E. McLaughlin

Print Name

Daniel + Christine McLaughlin

Address

16 Broad Street
Belmont, MA

Daytime Telephone Number

617-680-2228



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

October 18, 2018

Daniel and Christine McLaughlin
16 Broad Street
Belmont, MA 02478

RE: Denial to Construct a Rear Addition and a Room Over the Attached Garage.

Dear Mr. and Mrs. McLaughlin,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a rear addition at 16 Broad Street located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning Bylaws. More specifically, Section 4.2 of the Zoning Bylaws Dimensional Regulations requires a minimum side setback of 10.0' and allows 2.5 Story structures.

1. The existing side setback on the North side is 8.0' and the proposed is 8.9'.
2. The existing and the proposed side setback on the South side is 8.1'.
3. The existing structure is 3.5 Stories, the foundation walls of the lowest level of the building is 75% exposed and is considered a story. The proposed addition above the garage is a 3rd story addition.

You may alter your plans to conform to the current Town of Belmont Zoning Bylaws and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

On behalf of, Glenn R. Clancy, P.E., Inspector of Buildings,

Ara Yogurtian
Assistant Director
Office of Community Development

Belmont Special Permit Application Statement 16 Broad Street

Dan and Chris McLaughlin, of 16 Broad Street, seek three special permits – a side setback on the North, side setback on the South, and story count, in order to construct a rear family room addition and a second floor master bathroom on an existing non-conforming center entrance colonial.

Dan was born and raised in Belmont and attended Belmont Public Schools. Dan and Chris are long-time Belmont residents and have lived at their Broad Street home for 15 years. Dan has coached a variety of sports in Belmont for the past 20 years and Chris has been very active at the Winn Brook School. They have five children who all attended Belmont Schools. Their twin daughters are currently students at Belmont High School and their youngest son is at Chenery. They need this additional space in order to comfortably house their large family and stay in this town.

The side yard setback on the North side is currently at 8.0 in the front corner (10.0 allowed). The one story rear addition is proposed to align with the existing structure, and would therefore involve a setback of 8.9' at the rear corner. This is slightly further from the property line due to the house not being exactly perpendicular. Due to mature landscaping, the rear addition is largely screened from the street and therefore not significantly detrimental to the neighborhood.

The side yard setback on the South side is currently at 8.1 in the rear corner (10.0 allowed). The second story bathroom addition is proposed to extend directly above the existing structure. The design of the bathroom addition includes several features intended to minimize its massing. For example, the bathroom is set back 7'-10 ½" from the front of the structure below and 12'-0" back from the front of the main house. And the ridge of the proposed bathroom is 2'-9 ½" lower than the ridge of the main house to further minimize its impact (28'-10 ½" to proposed ridge, 31'-8" to existing ridge). These design features create a discreet and appropriately scaled addition. For these reasons, the proposed bathroom addition is not significantly detrimental to the neighborhood.

The current basement is less than 60% below grade and therefore counts as a story according to zoning guidelines. Therefore, the current story count is 3 ½ stories (2 ½ stories allowed). This impacts the proposed bathroom addition. However, it is worth noting that the existing structure is several feet lower than the allowable height (31'-8" to ridge existing and 34'-0" allowed, 26'-10" to midpoint existing and 30'-0" allowed), and furthermore, the ridge for the proposed bathroom is, as previously stated, 2'-9 ½" lower than the main house, putting it at 5'-1 ½" lower than the allowable. Due to its small size and dimensional conformity, the proposed bathroom height is not significantly detrimental to the neighborhood.

In conclusion, the proposed additions **do not pose any substantial detriment** to the neighborhood and **do not nullify or substantially derogate** the intent of the by-law. Rather, it is very reasonably sized and in line with the neighbors.

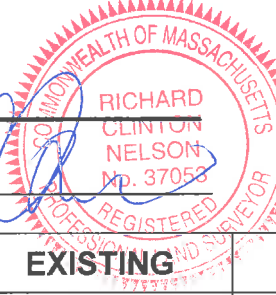
Zoning Compliance Check List

(Registered Land Surveyor)

Property Address: 16 Broad Street

Zone: SRC

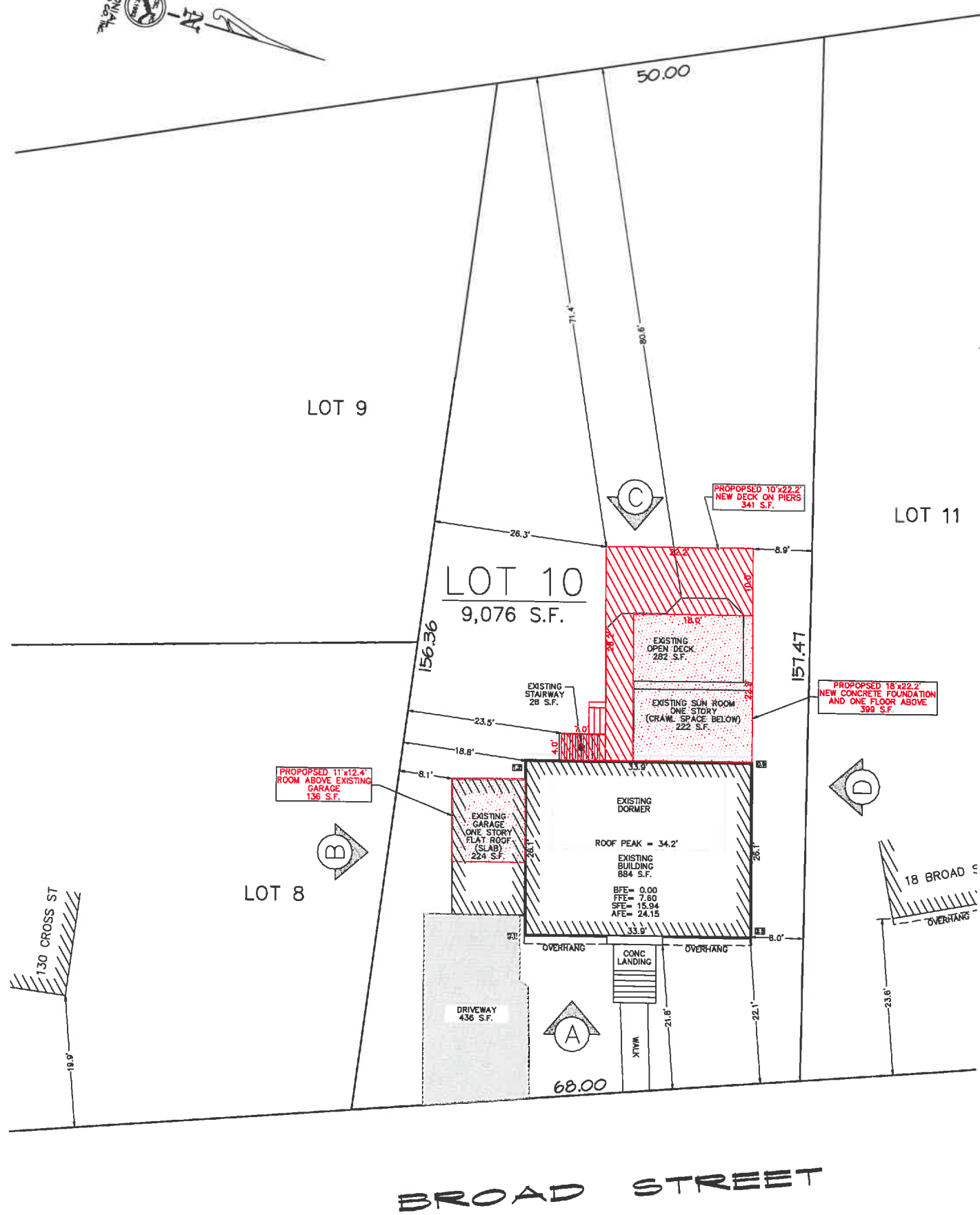
Surveyor Signature and Stamp: 



Date: 06-14-2018

	REQUIRED	EXISTING	PROPOSED
Lot Area	9000	9076	9076
Lot Frontage	75	68.00'	68.00'
Floor Area Ratio	---	---	---
Lot Coverage	25%	18.1%	20.4%
Open Space	50%	77.1%	74.8%
Front Setback	21.8'	21.8'	21.8'
Side Setback	10.0'	8.0'	8.0'
Side Setback	10.0'	8.1'	8.1'
Rear Setback	30.0'	80.6'	71.4'
Building Height (Midpoint)	30.0'	26' 10"	26' 10"
Building Height (Ridge)	34.0'	31' 8"	31' 8"
Stories	2-1/2	3-1/2	3-1/2
1/2 Story Calculation			

NOTES:



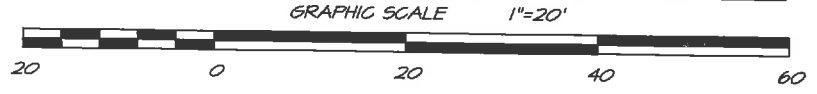
ZONING DISTRICT SC (SINGLE RESIDENCE C)			
	REQ.	EXISTING	PROPOSED
FRONT SETBACK: *	21.8'	21.8'	21.8'
SIDE SETBACK:	10'	8.0'/8.1'	8.0'/8.1'
REAR SETBACK:	30'	80.6'	71.4'
MAXIMUM LOT COVERAGE:	25%	18.1%	20.4%
MINIMUM OPEN SPACE:	50%	71.1%	74.8%

TOTAL LOT AREA: 9,076 S.F.
FLOOD BOUNDARY ZONE: C
*SEC 4.2.2 A.4 APPLIED

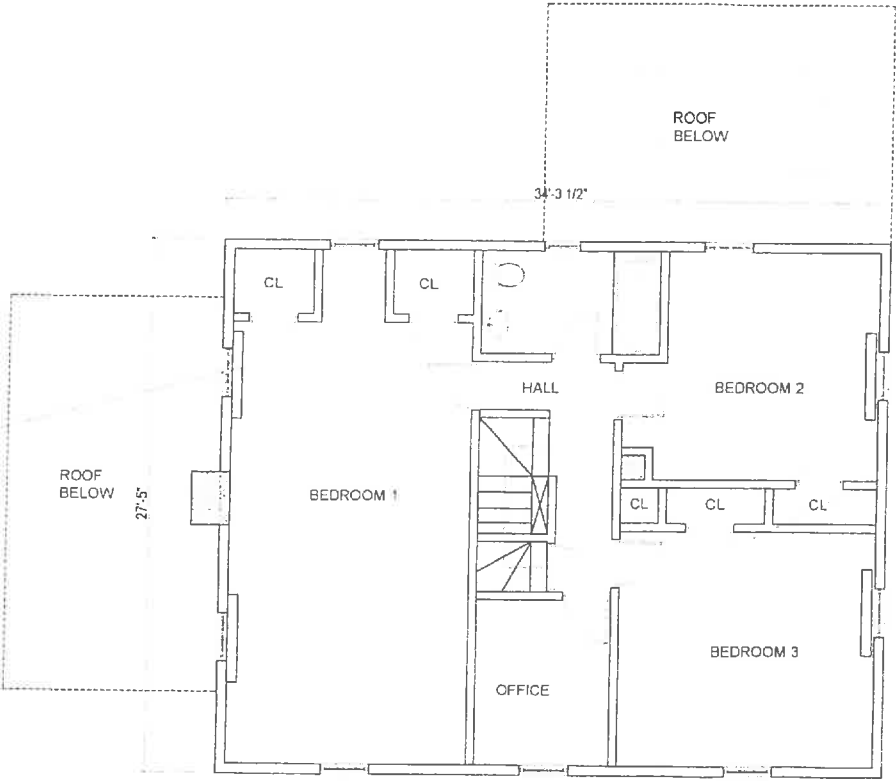
Colonial Surveying Co., Inc.
3 OXFORD AVE
BELMONT, MA 02478
(617) 489-0880
www.colonialsurvey.com



Owner: Daniel and Christine McLaughlin
Loc. House No. 16 Broad Street
Lot No. 10
App. No. _____
Date Jun 14, 2018
Scale 1" = 20'



RADIATOR TO BE RELOCATED.
EXACT LOCATION TO BE COORDINATED
WITH HVAC SUB



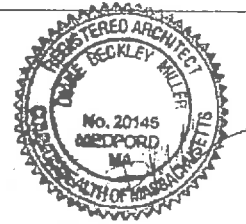
TONE INDICATES EXTENT OF GROSS FLOOR AREA
OF EXISTING STRUCTURE
940 sq ft

1 PLAN
SCALE: 1/8" = 1'

Architect
Miller Design LLC
52 Staller Road
Belmont MA 02478
617-993-3157

Date Issued for:

2/19/18 SCHEMATIC DESIGN
2/28/18 DESIGN DEVELOPMENT
4/11/18 CONSTRUCTION DOCS



MCLAUGHLIN RESIDENCE
16 BROAD STREET
BELMONT MA 02478

EXISTING SECOND
FLOOR PLAN

Sheet
Number

A4

TWO SMALL WINDOWS TO BE REMOVED - WALLS
TO BE PATCHED AND REPAIRED

TONE INDICATES EXTENT OF GROSS FLOOR AREA
OF EXISTING ATTIC WITH CEILING OF 6'-0" HIGH
OR GREATER (FOR 30% CALC - SEE COVERSHEET)

501 sq ft

TONE INDICATES EXTENT OF GROSS FLOOR AREA
OF EXISTING ATTIC WITH CEILING OF 5'-0" HIGH
OR GREATER (FOR HALF STORY CALC):

563 sq ft

HALF STORY AREA CALCULATIONS:

SECOND FLOOR AREA = 940 SF

ALLOWABLE: MAX 564 SF W/ CEILING HEIGHT OF 5' OR
GREATER (BASED ON 60% OF 940 SF SECOND FLOOR)

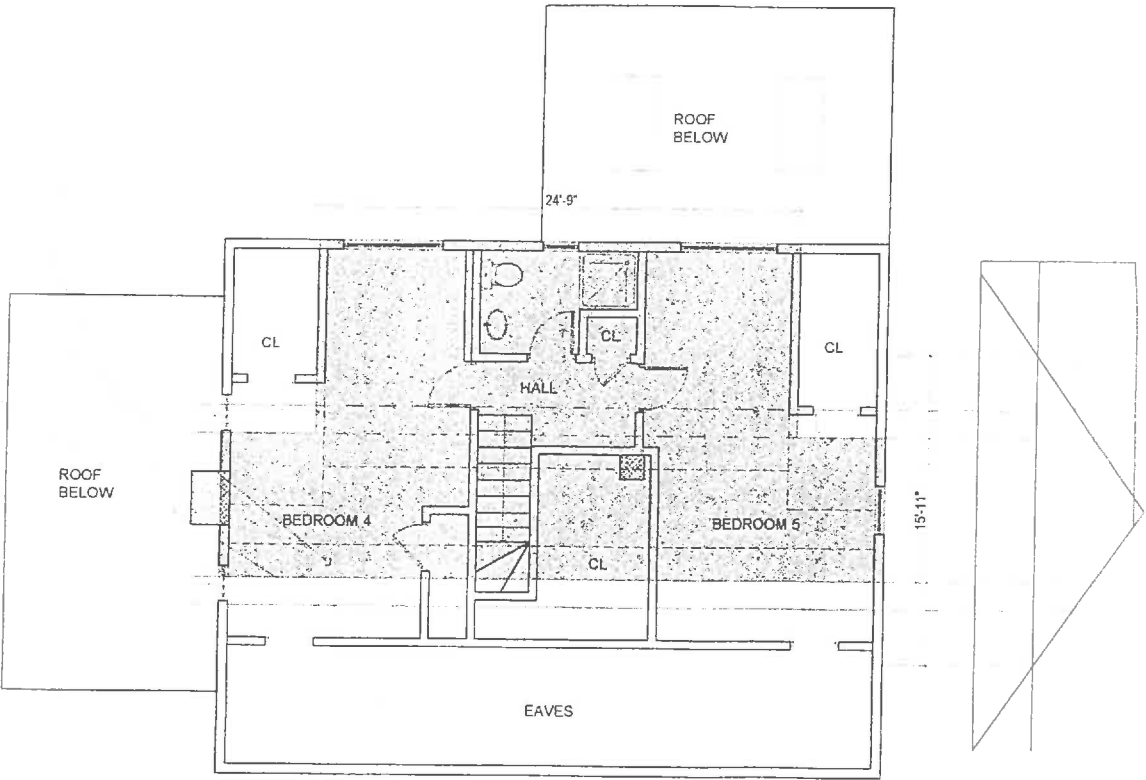
ACTUAL: 563 SF
(AREA W/ CEILING HEIGHT OF 5' OR GREATER IS DESIGNATED
BY TONE)

HALF STORY PERIMETER CALCULATIONS:

SECOND FLOOR PERIMETER = 123'-5"

ALLOWABLE: MAX 61'-8 1/2" W/ RAFTER BOTTOMS AT 3' OR
GREATER (BASED ON 50% OF 123'-5" PERIMETER)

ACTUAL: 56'-7"

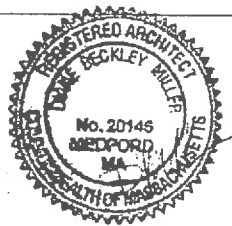


1 PLAN
SCALE: 1/8" = 1'

Architect
Miller Design LLC
52 Statter Road
Belmont MA 02478
617-993-3157

Date Issued for

2/19/18 SCHEMATIC DESIGN
2/28/18 DESIGN DEVELOPMENT
4/11/18 CONSTRUCTION DOCS

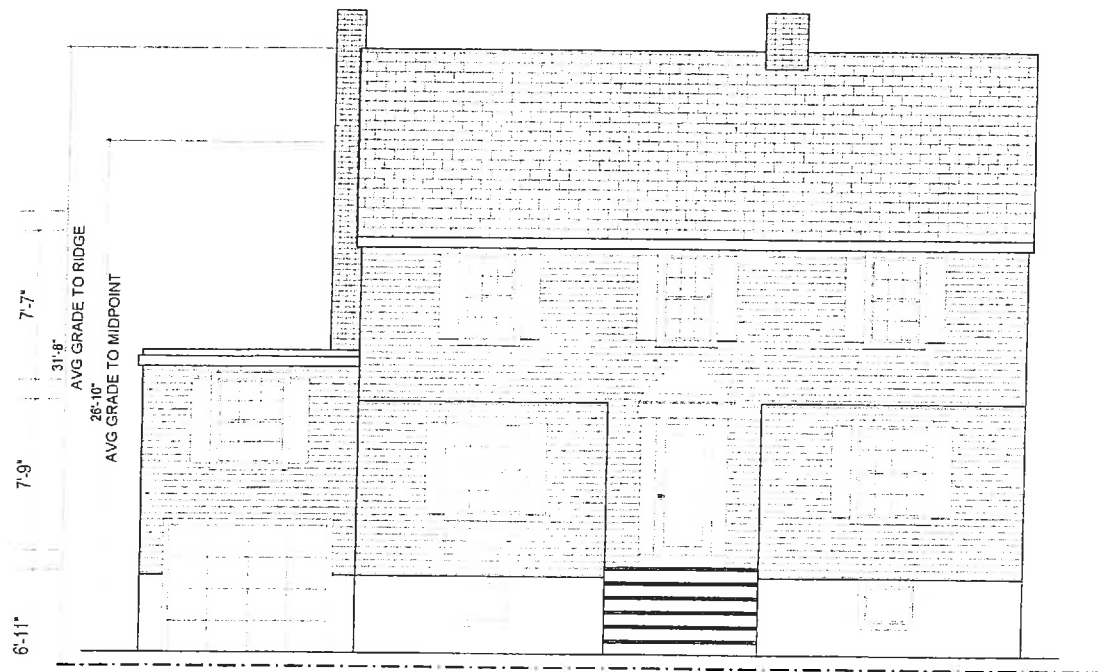


MCLAUGHLIN RESIDENCE
16 BROAD STREET
BELMONT MA 02478

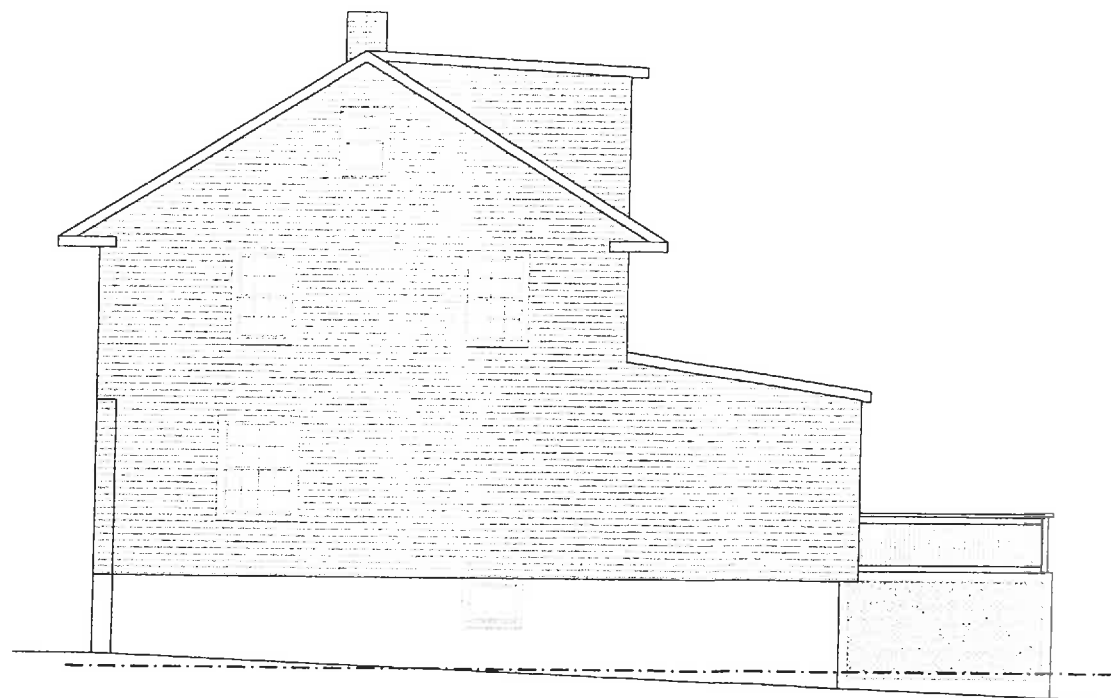
EXISTING THIRD
FLOOR PLAN

Sheet
Number

A5



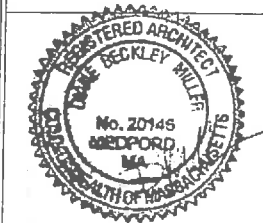
1 FRONT ELEVATION
SCALE 1/8" = 1'



2 SIDE ELEVATION
SCALE 1/8" = 1'

Architect:
Miller Design LLC
52 Statler Road
Belmont MA 02478
617-993-3157

Date	Issued for
2/19/18	SCHEMATIC DESIGN
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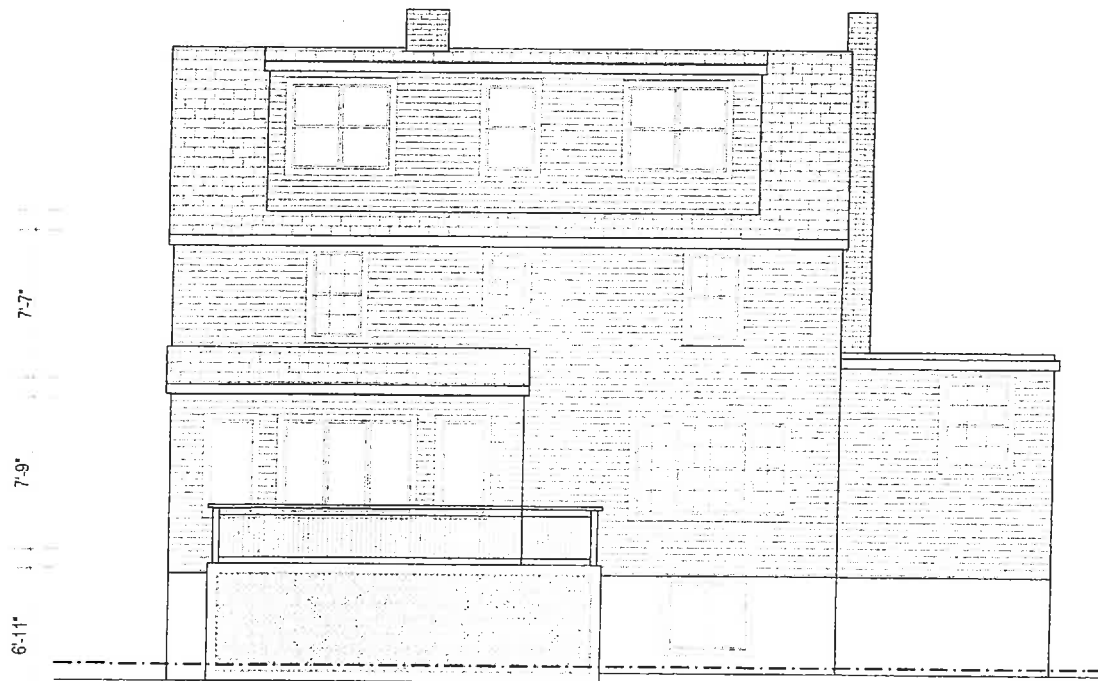


MCLAUGHLIN RESIDENCE
16 BROAD STREET
BELMONT MA 02478

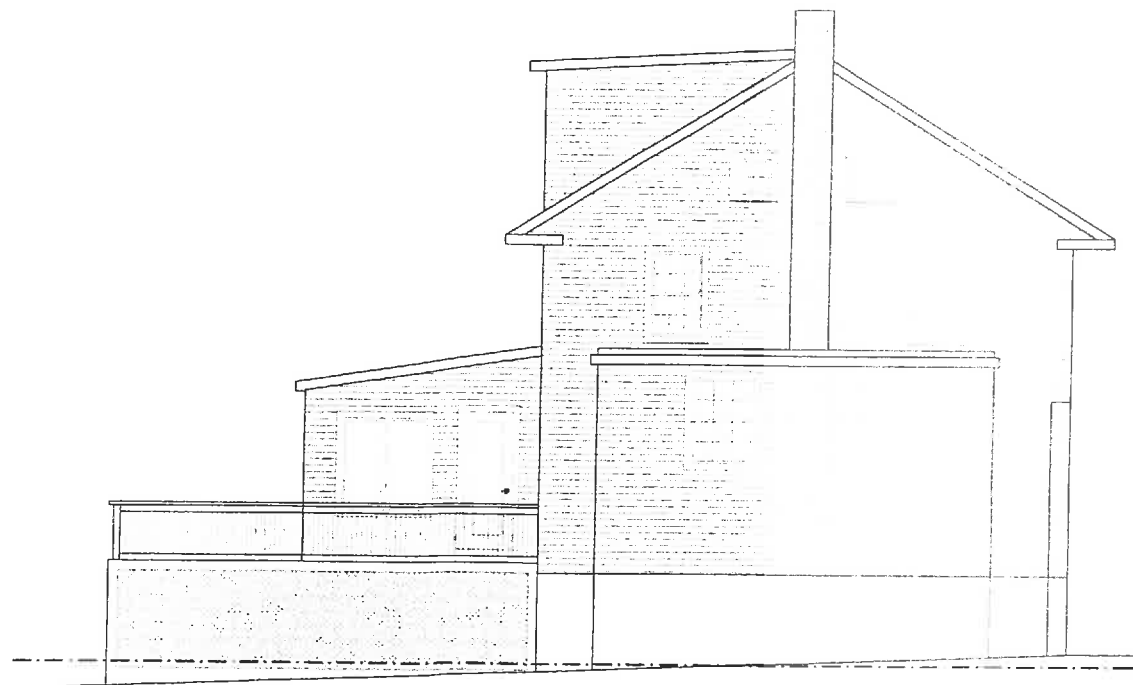
EXISTING
ELEVATIONS

Sheet
Number:

A6



1 REAR ELEVATION
SCALE: 1/8" = 1'

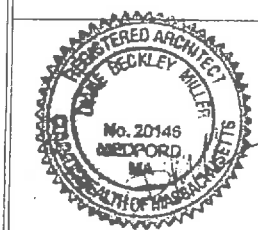


2 SIDE ELEVATION
SCALE: 1/8" = 1'

Architect:
Miller Design LLC
52 Staller Road
Belmont MA 02478
617-993-3157

Date Issued for

2/19/18	SCHEMATIC DESIGN
2/28/18	DESIGN DEVELOPMENT
4/11/18	CONSTRUCTION DOCS



MCLAUGHLIN RESIDENCE
16 BROAD STREET
BELMONT MA 02478

EXISTING
ELEVATIONS

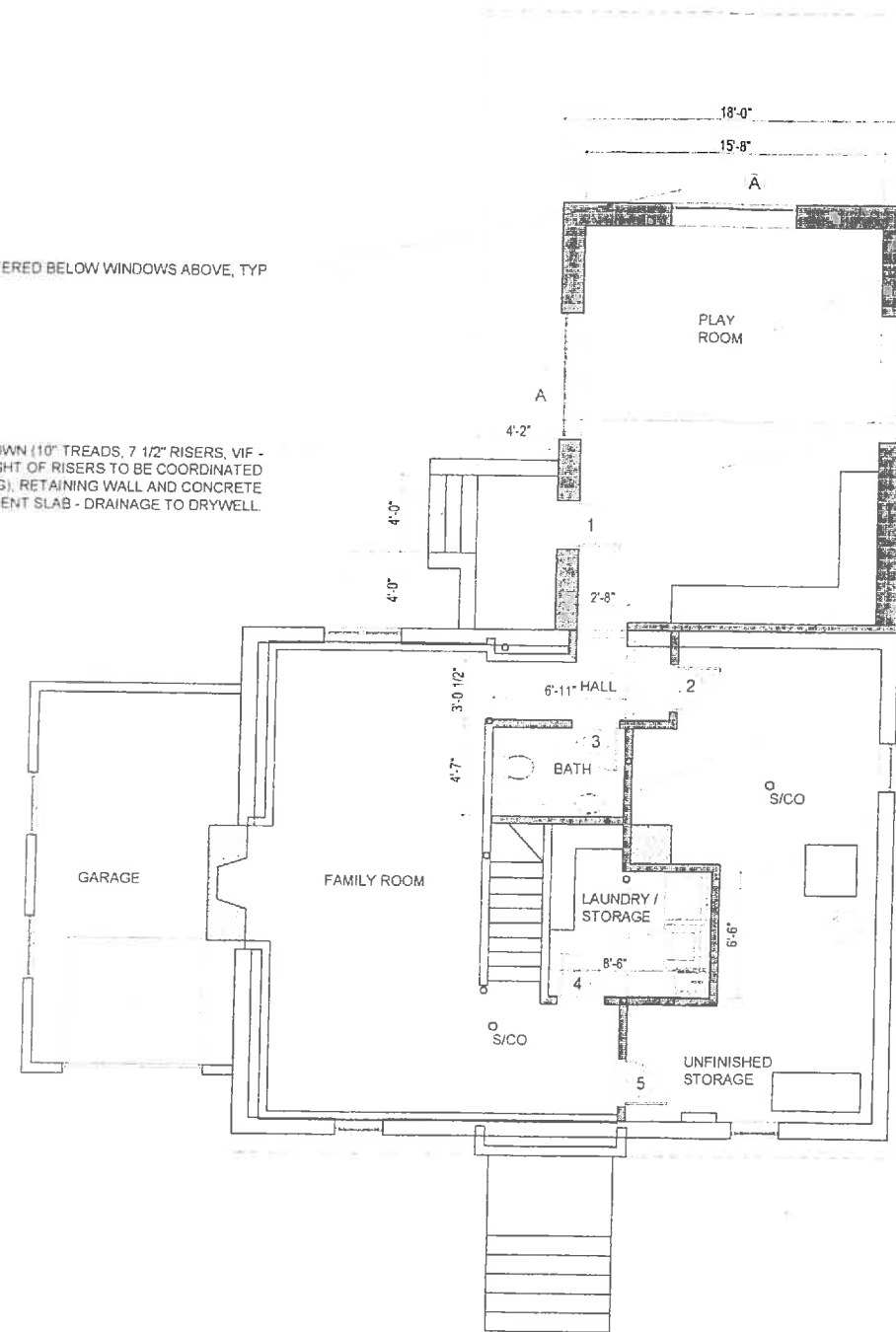
Sheet
Number

A7

BASEMENT WINDOWS TO BE CENTERED BELOW WINDOWS ABOVE, TYP

CONCRETE STEPS DOWN (10" TREADS, 7 1/2" RISERS, VIF - NUMBER AND HEIGHT OF RISERS TO BE COORDINATED WITH GRADING), RETAINING WALL AND CONCRETE LANDING AT 5" BELOW BASEMENT SLAB - DRAINAGE TO DRYWELL.

PLUMBING FOR NEW BATHROOM TO BE COORDINATED WITH EXISTING FAMILY ROOM, VIF



TONE INDICATES EXTENT OF GROSS FLOOR AREA OF NEW ADDITION
202 sq ft

NEW HALL AND PLAY ROOM FINISHES TO BE SELECTED BY OWNER
BUILT IN STORAGE CABINETS

NEW HALF BATH TOILET, VANITY, ACCESSORIES AND FINISH FLOOR TO BE SELECTED BY OWNER

TONE INDICATES NEW WALLS, TYP

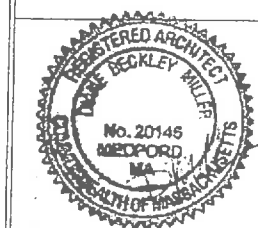
NEW LAUNDRY ROOM FINISH FLOOR TO BE SELECTED BY OWNER, WASHER, DRYER (VENTED PER CODE) AND UTILITY SINK, BUILT IN STORAGE SHELVES

NEW DIRECT VENT FURNACE AND HOT WATER HEATER, EXACT LOCATION TO BE VIF, VENTING TO MEET CODE

1 PLAN
SCALE: 1/8" = 1'

Architect
Miller Design LLC
52 Staller Road
Belmont MA 02478
617-993-3157

Date	Issued for
2/19/18	SCHEMATIC DESIGN
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MCLAUGHLIN RESIDENCE
16 BROAD STREET
BELMONT MA 02478

NEW BASEMENT
FLOOR PLAN

Sheet
Number

A8

LINEN CLOSET WITH FIXED SHELVES

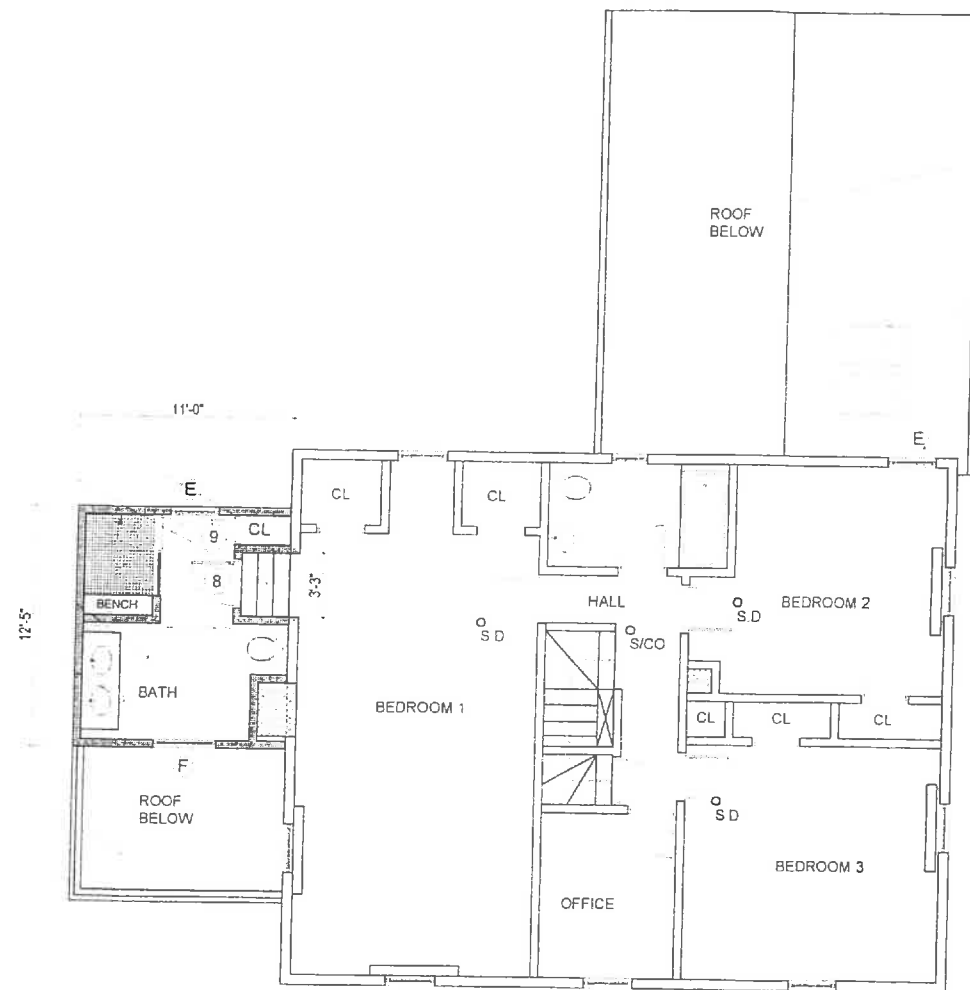
3'-3" WIDE HARDWOOD STAIRS:
10" TREADS, 7 3/4" RISERS (M.F.),
HANDRAIL TO MEET CODE

TONE INDICATES EXTENT OF GROSS
FLOOR AREA OF NEW ADDITION.
137 sq ft

NEW BATH ROOM
TILE SHOWER WITH GLASS ENCLOSURE,
GRANITE CURB AND CAP, SHAMPOO NICHE AND BENCH,
5'W VANITY WITH TWO SINKS, TOILET, TILE FLOOR,
MECHANICAL VENT PER CODE,
HIGH CEILING FASTENED TO UNDERSIDE OF RAFTERS

EXISTING FLAT ROOF ASSEMBLY TO REMAIN -
CONTRACTOR TO PATCH AND REPAIR AS
NEEDED TO ACCOMMODATE NEW ADDITION

NEW RAILING SYSTEM



SEE SECTION ON SHEET A13 FOR ROOF ASSEMBLY

NEW SKYLIGHTS TO BE INSTALLED PER MFGR SPECS

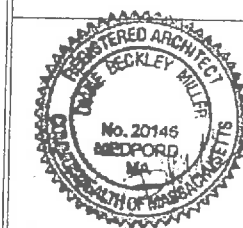
NEW WINDOW LOCATION AND SIZE TO BE COORDINATED
WITH NEW ROOF BELOW

1 PLAN
SCALE: 1/8" = 1'

Architect:
Miller Design LLC
52 Staller Road
Belmont MA 02478
617-993-3157

Date: Issued for:

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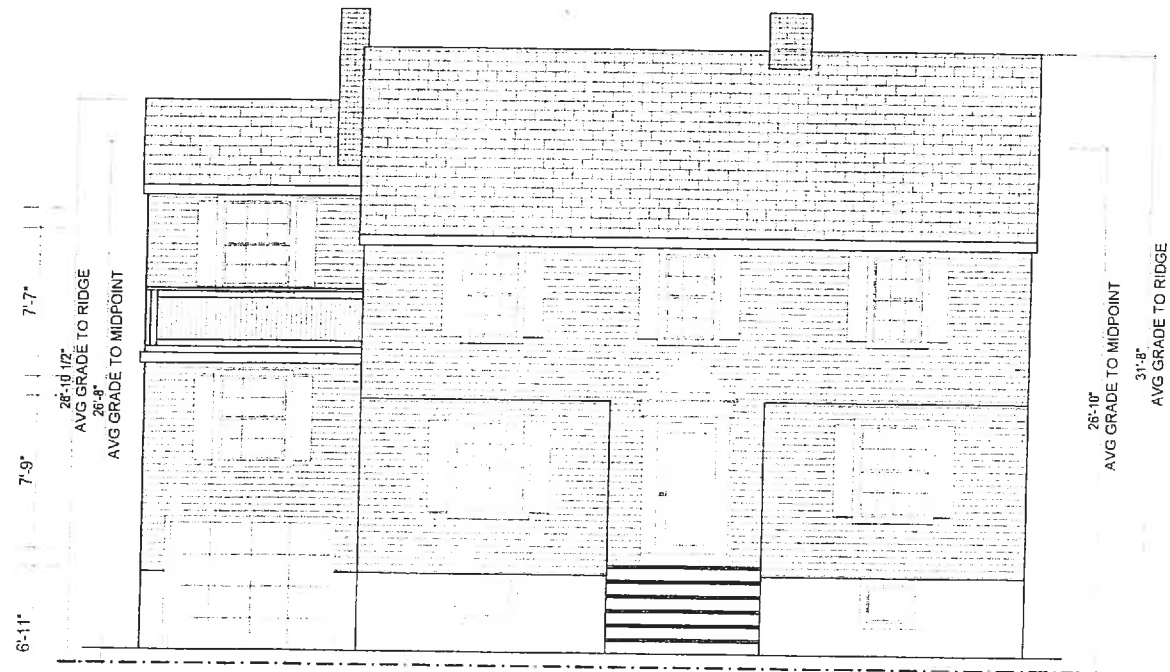


MCLAUGHLIN RESIDENCE
16 BROAD STREET
BELMONT MA 02478

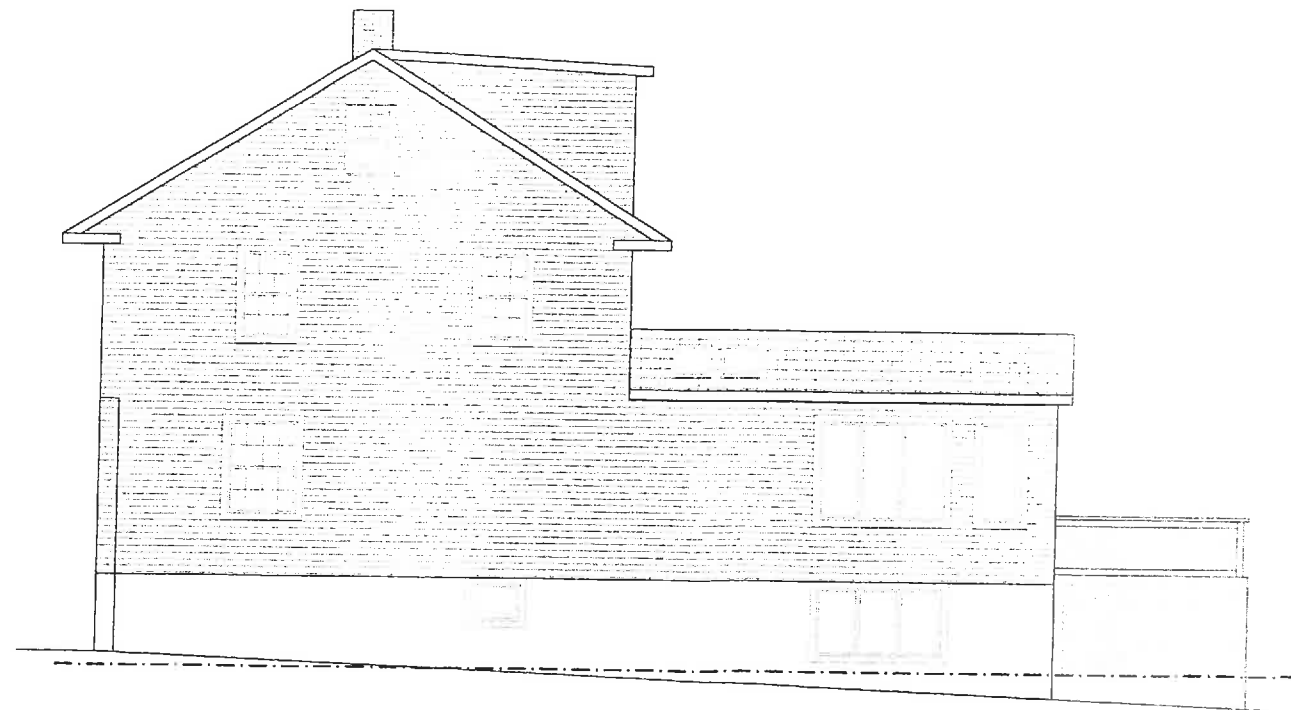
NEW SECOND
FLOOR PLAN

Sheet
Number:

A10



1 FRONT ELEVATION
SCALE 1/8" = 1'

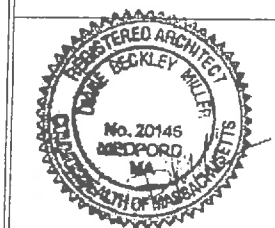


2 SIDE ELEVATION
SCALE 1/8" = 1'

Architect:
Miller Design LLC
52 Staller Road
Belmont MA 02478
617-993-3157

Date Issued for

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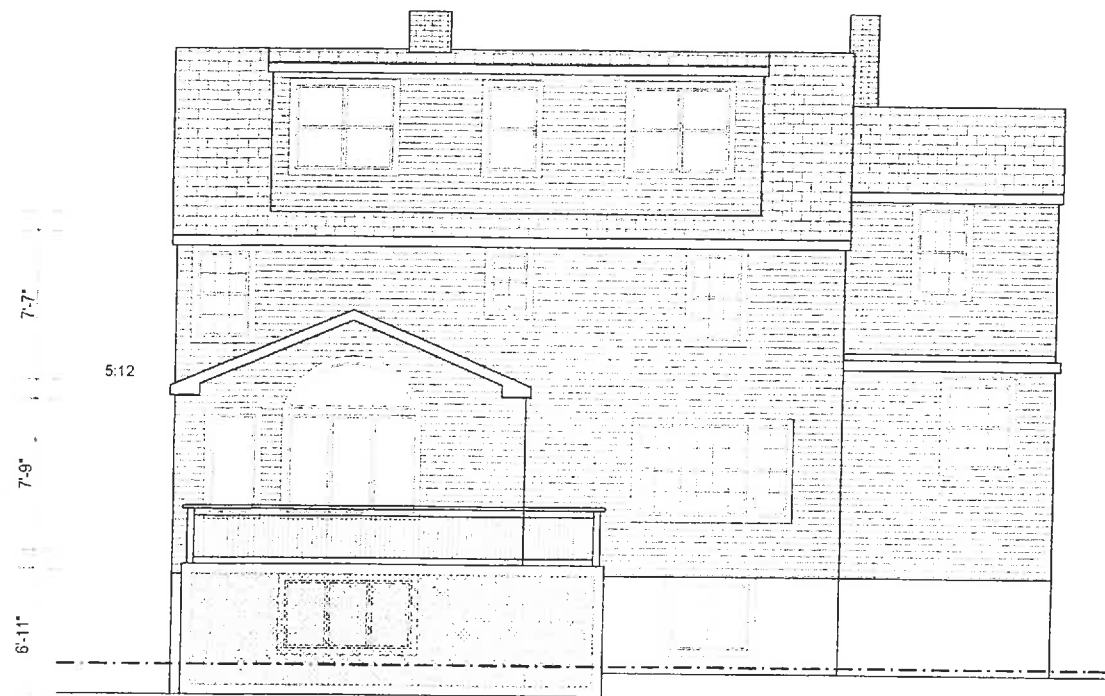


MCLAUGHLIN RESIDENCE
16 BROAD STREET
BELMONT MA 02478

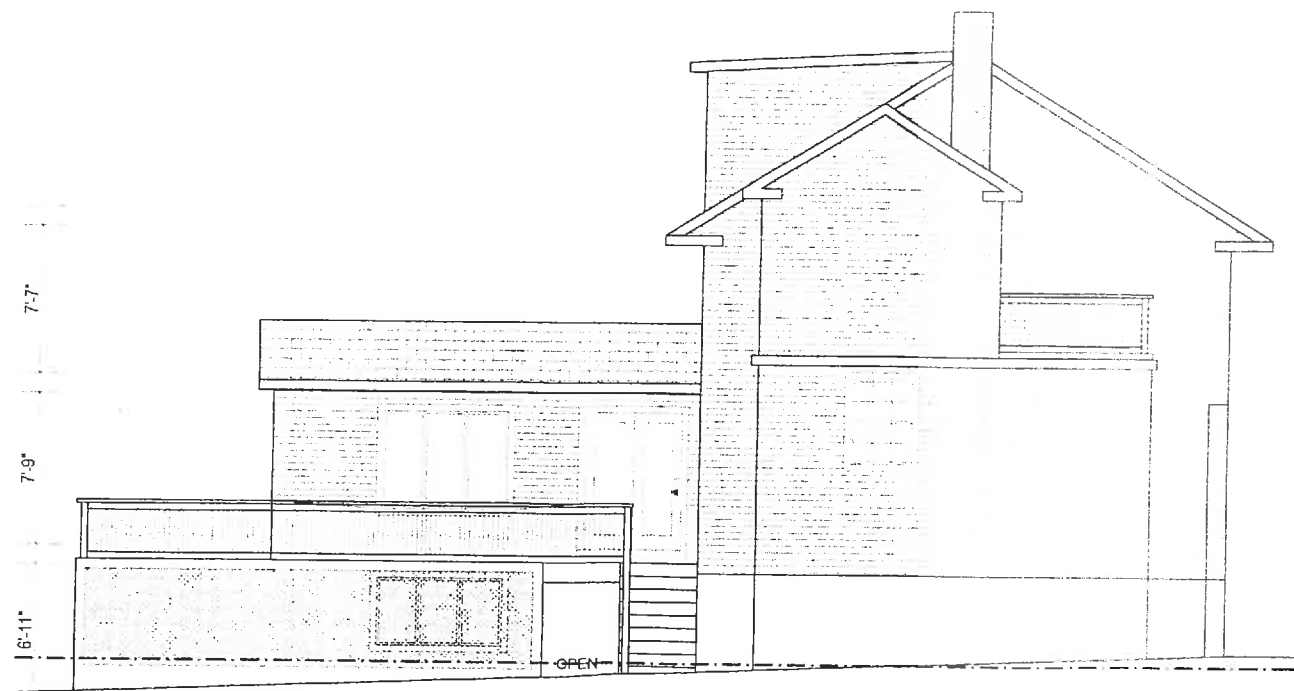
NEW
ELEVATIONS

Sheet
Number:

A11



1 REAR ELEVATION
SCALE: 1/8" = 1'

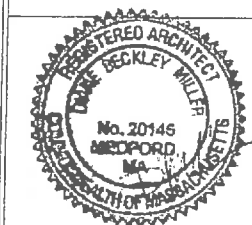


2 SIDE ELEVATION
SCALE: 1/8" = 1'

Architect:
Miller Design LLC
52 Starker Road
Belmont MA 02478
617-993-3157

Date Issued for.

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2/28/18 DESIGN DEVELOPMENT
4/11/18 CONSTRUCTION DOCS



MCLAUGHLIN RESIDENCE
16 BROAD STREET
BELMONT MA 02478

NEW
ELEVATIONS

Sheet
Number

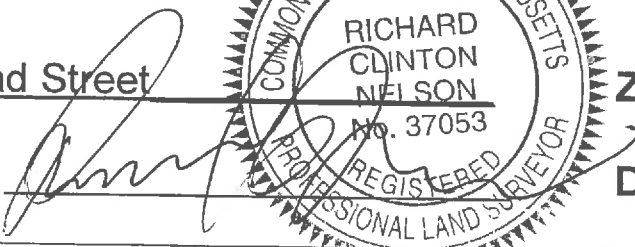
A12

Zoning Compliance Check List
(Registered Land Surveyor)

Property Address: 16 Broad Street

Zone: SRC

Surveyor Signature and Stamp:



Date: 06-14-2018

	REQUIRED	EXISTING	PROPOSED
Lot Area	9000	9076	9076
Lot Frontage	75	68.00'	68.00'
Floor Area Ratio	---	---	---
Lot Coverage	25%	18.1%	20.4%
Open Space	50%	77.1%	74.8%
Front Setback	21.8'	21.8'	21.8'
Side Setback	10.0'	8.0'	8.0'
Side Setback	10.0'	8.1'	8.1'
Rear Setback	30.0'	80.6'	71.4'
Building Height (Midpoint)	30.0'	26' 10"	26' 10"
Building Height (Ridge)	34.0'	31' 8"	31' 8"
Stories	2-1/2	3-1/2	3-1/2
1/2 Story Calculation			

NOTES: