

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 18-39

2018 OCT 16 PM 2:59

NOTICE OF PUBLIC HEARING BY THE
BELMONT ZONING BOARD OF APPEALS

ON APPLICATION FOR 1 SPECIAL PERMIT

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, November 5, 2018 at 7:00 PM in the Art Gallery, 3rd floor, Homer Municipal Building, 19 Moore St., to consider the application of Daniel and Cortney Eldridge at 206-208 Beech Street, located in a General Residence (GR) Zoning District for One Special Permit under Section 1.5 of the Zoning Bylaw to construct a Dormer. Minimum required side setback is 10.0'. Special Permit -1. The existing and proposed side setback on the South side is 7.0'.

ZONING BOARD OF APPEALS



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 998-2650 Fax: (617) 998-2651

Building Division
(617) 998-2664
Engineering Division
(617) 998-2665
Planning Division
(617) 998-2666

May 25, 2018

Daniel and Cortney Eldridge
206-208 Beech Street
Belmont, MA 02478

RE: Denial to Construct a Dormer

Dear Mr. and Mrs. Eldridge,


The Office of Community Development is in receipt of your building permit application for your proposal to construct a dormer at 206-208 Beech Street located in a General Residence Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2.2 of the Zoning By-Law Dimensional Regulations requires a minimum side setback of 10.0'.

1. The existing and proposed side setback is 7.0'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,



Glenn R. Clancy, P.E.
Inspector of Buildings



Town of Belmont
Zoning Board of Appeals

RECEIVED
TOWN CLERK
BELMONT, MA

APPLICATION FOR A SPECIAL PERMIT

Date: 5/25/18

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 206-208 Beech Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for Construct dormer

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner Courtney Eldridge

Print Name Courtney Eldridge

Address 206-208 Beech St
Belmont MA 02478

Daytime Telephone Number (617) 653-9750

December 6, 2005

October 4, 2018

To whom it may Concern:

My wife Cortney and I are applying to add a shed dormer to the south side of our house at 206-208 Beech Street. We are doing so for the following reasons:

- 1) The main staircase to the third floor lacks adequate head clearance, preventing us from using it. There is also no light at the top of the stairs. Raising the ceiling would allow us adequate head clearance and the ability to add a light.
- 2) There is plumbing for a bathroom on the south side of the house, but not enough headroom. Raising the ceiling here would allow us to add a bathroom with a window and ventilation.
- 3) Because of a chimney on the north side of the roof and the steep ceiling pitch, the layout of the bedroom is awkward and difficult to navigate. Adding some extra space to the room opposite the chimney would make the space much more usable.

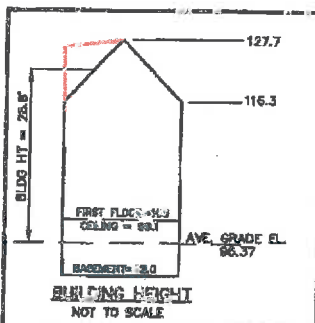
We feel that this dormer would make our living space significantly more habitable and help accommodate our growing family.

Thank you for your time.



Daniel & Cortney Eldridge

206-208 Beech Street



61.5% OF BASEMENT UNDERGROUND
THEREFORE BASEMENT IS NOT A STORY



BEECH STREET

THE PROPERTY IS NOT LOCATED
WITHIN WETLANDS AS SHOWN
ON THE TOWN OF BELMONT
WETLANDS ATLAS.

ZONING DISTRICT: GR (GENERAL RESIDENCE)

	REQ.	EXISTING	PROP.
FRONT SETBACK:	20'	15.0'	22.7'
SIDE SETBACK:	10'	7.0'	7.0'
REAR SETBACK:	16'	19.7'	34.1'
MAXIMUM LOT COVERAGE:	25%	31.9%	-
MINIMUM OPEN SPACE:	50%	37.9%	-
LOT FRONTAGE:	55.00'		

OWNER: DANIEL & COURTNEY ELDRIDGE
L.C. CERT. 257248
ASSESSORS MAP 29 - PARCEL 7

TOTAL LOT AREA: 4,400± S.F.



CLIFFORD E. ROGER, PLS

DATE

PROPOSED PLOT PLAN
#206-208 BEECH STREET

IN
BELMONT, MA
(MIDDLESEX COUNTY)

SCALE: 1" = 20' DATE: 1/3/2013



ROBER SURVEY
1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
DWG. NO. 5102PP1.DWG

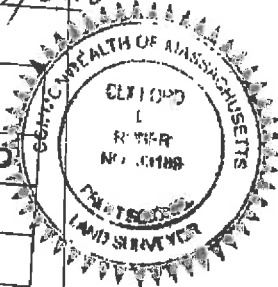
Zoning Compliance Check List

Properties Located within the GR Zoning Districts
(To be Completed by a Registered Land Surveyor)

Property Address: 206-208 Beech Street

Surveyor Signature and Stamp: [Signature]

Date: 1/3/2018



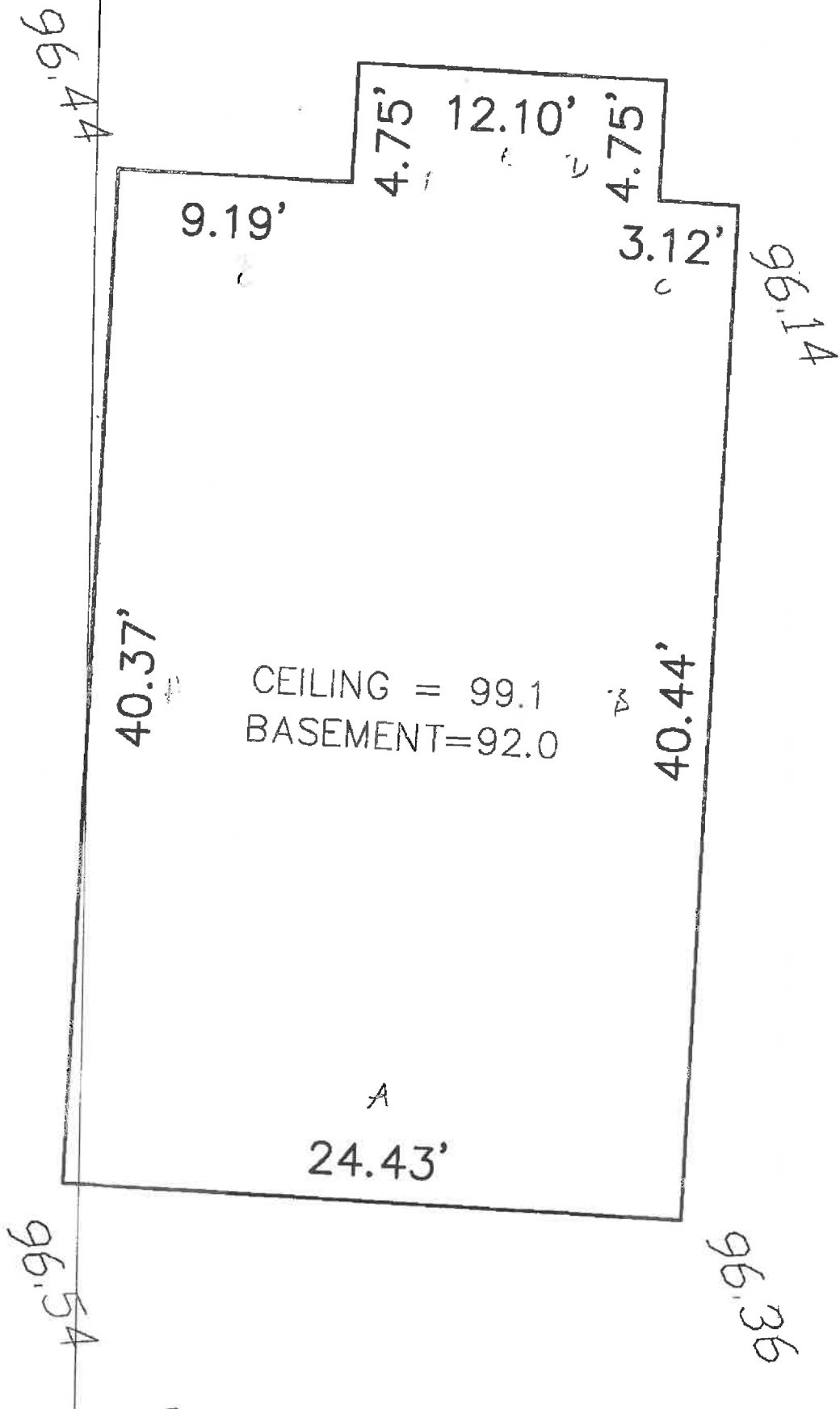
Per §4.2 of the Zoning By-Laws

	REQUIRED	EXISTING	PROPOSED
Lot Area (sq. ft.)	5,000	4,400	
Lot Frontage (feet)	50'	55'	
Lot Area/Unit (sq. ft./d.u.)			
Lot Coverage (% of lot)	30%	31.9%	
Open Space (% of lot)	40%	37.9%	
Setbacks: (feet)	➤ Front	20'	15'
	➤ Side/Side	10' 10'	7' 23.5'
	➤ Rear	16'	19.7'
Building Height:	➤ Feet	33'	25.6'
	➤ Stories	2 1/2	2 1/2
1/2 Story (feet) (Per §1.4)	➤ Perimeter		
	➤ Area		
	➤ Length		

Per §6D of the Zoning By-Laws

	REQUIRED	EXISTING	PROPOSED
Front Doors:	➤ Face Street		
	➤ Setback		
Curb Cut			
HVAC:	➤ Front Yard		
	➤ Side/Rear Setbacks		

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated



Segment	Segment From Existing Grade	Segment From New Grade	Segment To Existing Grade	Segment To New Grade	Segment Length	Avg Existing	Avg New	Difference	Ceiling Height:	
a	96.54	96.54	96.36	96.36	24.43	2356.274	2356.274	0.00	6.71	
b	96.36	96.36	96.14	96.14	40.44	3892.35	3892.35	0.00	Basement Floor Elevation	92.37
c	96.14	96.14	96.14	96.14	3.12	299.9568	299.9568	0.00	Ceiling Elevation	99.08
d	96.14	96.14	96.14	96.14	4.75	456.665	456.665	0.00	Perimeter Total Length	139.15
e	96.14	96.14	96.44	96.44	12.1	1165.109	1165.109	0.00	Total Perimeter Square Foot	933.70
f	96.44	96.44	96.44	96.44	4.75	458.09	458.09	0.00	Average Existing Grade	96.37
g	96.44	96.44	96.44	96.44	9.19	886.2836	886.2836	0.00	New Average Grade	96.37
h	96.44	96.44	96.54	96.54	40.37	3895.301	3895.301	0.00	Difference in Grade in feet	2.10
					139.15	13410.03	13410.03	0%		
									% Covered using Avg Grade	59.63%

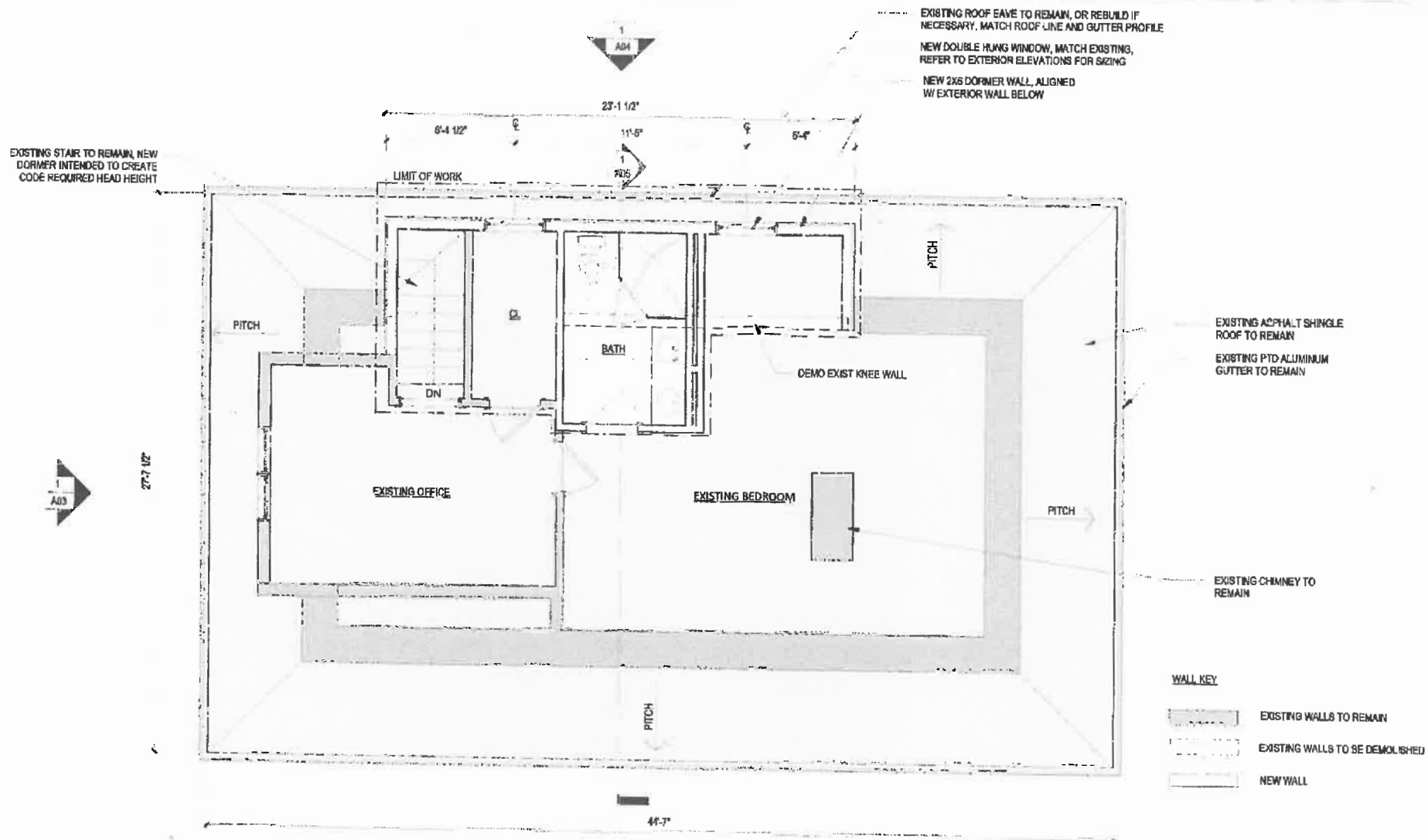
RS102

it		Ceiling Elevation	Elevation From	Elevation To	Ceiling Length	Ceiling Height	Square Footage	Exposed Square Footage	% Covered
a	s	99.1	96.54	96.36	24.43	7.1	173.45	64.74	62.68%
b	e	99.1	96.36	96.14	40.44	7.1	287.12	115.25	59.86%
c	n	99.1	96.14	96.14	3.12	7.1	22.15	9.24	58.31%
d	e	99.1	96.14	96.14	4.75	7.1	33.73	14.06	58.31%
e	n	99.1	96.14	96.44	12.10	7.1	85.91	34.00	60.42%
f	w	99.1	96.44	96.44	4.75	7.1	33.73	12.64	62.54%
g	n	99.1	96.44	96.44	9.19	7.1	65.25	24.45	62.54%
h	w	99.1	96.44	96.54	40.37	7.1	286.63	105.37	63.24%
		99.1			139.15	7.1	987.97	379.74	61.56%

Ceiling Height:	7.1	<- enter
Basement Floor Elevation	92	<- enter
Ceiling Elevation	99.1	
Perimeter Total Length	139.15	
Total Perimeter Square Foot	987.97	
Exposed Square Footage	379.74	
% Covered	61.56%	<- result

North	South	East	West
0.00	24.43	0.00	0.00
0.00	0.00	40.44	0.00
3.12	0.00	0.00	0.00
0.00	0.00	4.75	0.00
12.10	0.00	0.00	0.00
0.00	0.00	0.00	4.75
9.19	0.00	0.00	0.00
0.00	0.00	0.00	40.37
24.41	24.43	45.19	45.12

R5102



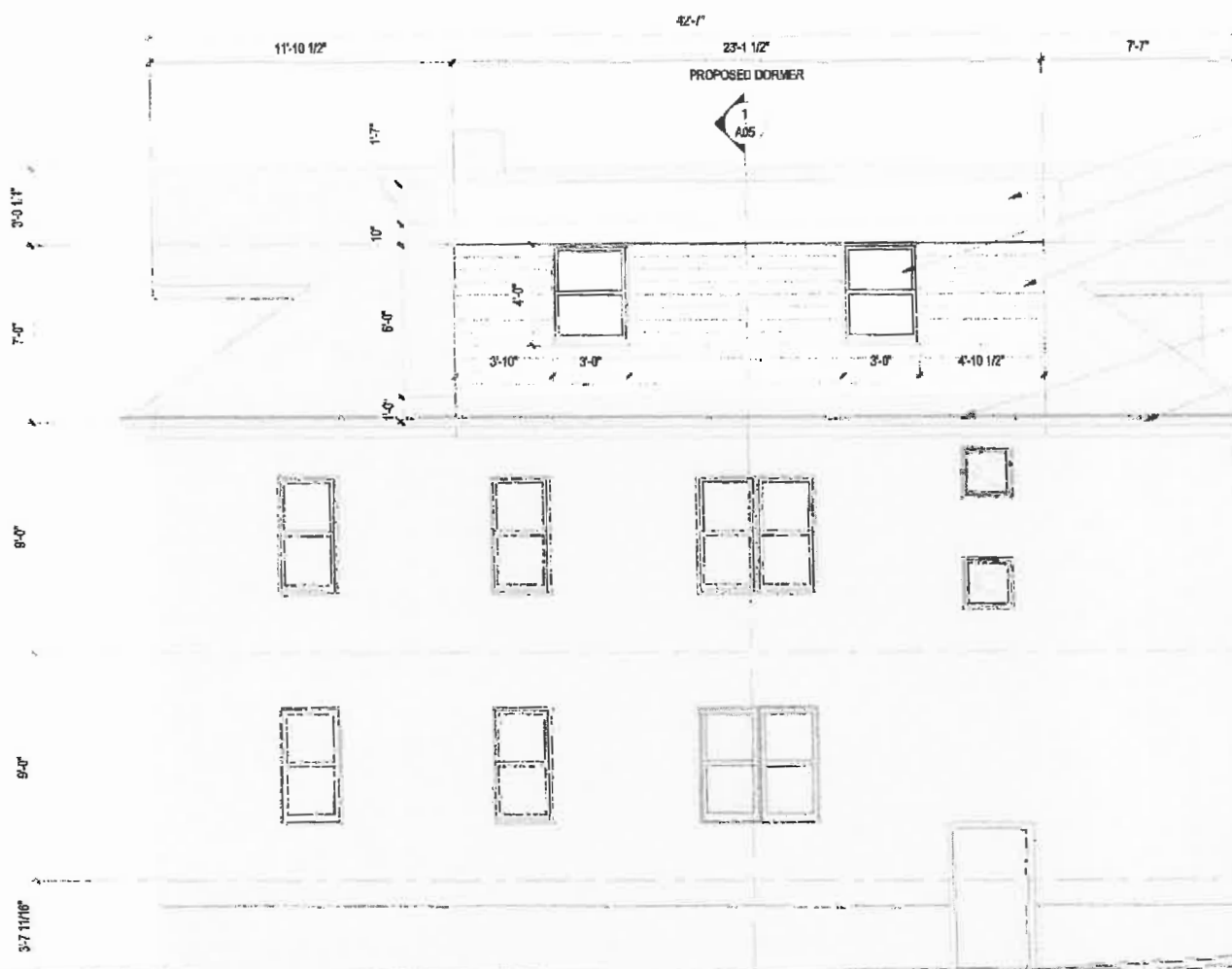
1 ATTIC PLAN
SCALE: 1/4" = 1'-0"

206 BEECH STREET
BELMONT, MA

A01



206 BEECH STREET
BELMONT, MA · **A03**



- NEW ASPHALT SHINGLES, TO MATCH EXISTING
- NEW DOUBLE HUNG WINDOWS, TO MATCH EXISTING
- NEW VINYL SIDING, MATCH EXPOSURE OF EXISTING SIDING
- R/O Ceiling
EL: 123'-4"
- KEEP ROOF EAVE AND GUTTER IF POSSIBLE,
REPLACE AND MATCH EXISTING IF NECESSARY
- EXISTING PTD ALUM GUTTER TO REMAIN

R/O Ceiling
EL: 123'-4"

Asc
EL: 118'-4"

Second Floor
EL: 109'-0"

First Floor
EL: 100'-0"

AVERAGE GRADE
EL: 99'-4 5/16"

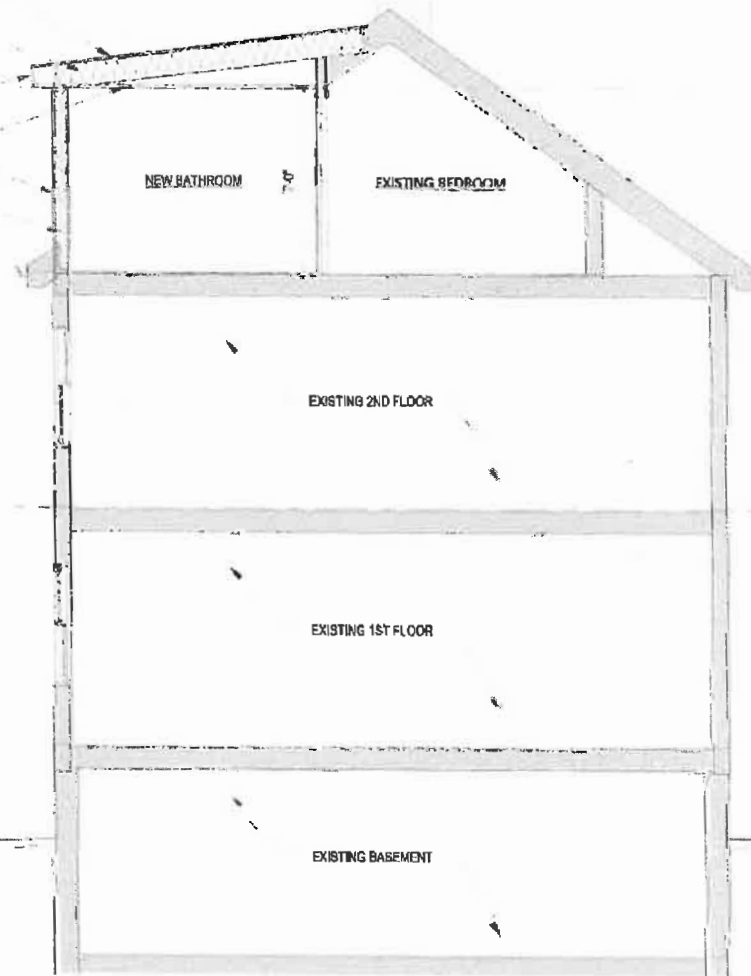
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

BASEMENT
EL: 92'-0"

206 BEECH STREET
BELMONT, MA

A04

RUBBERIZED ROOF MEMBRANE
 OVER CONT. ICE AND WATER SHIELD
 NEW 2X10 ROOF JOISTS W/
 FULL DEPTH BATT INSULATION
 PTD WOOD FASCIA AND SOFFIT, TO
 MATCH EXISTING PROFILES
 PTD GWB CEILING
 5/8" PLYWOOD SHEATHING W/ BUILDING
 WRAP & VYNAL SIDING TO MATCH EXISTING
 2X6 WALL FRAMING W/ FULL
 CAVITY INSULATION



B.O. Ceiling
 EL: 123'-4"

1st Floor
 EL: 116'-4"

Second Floor
 EL: 125'-0"

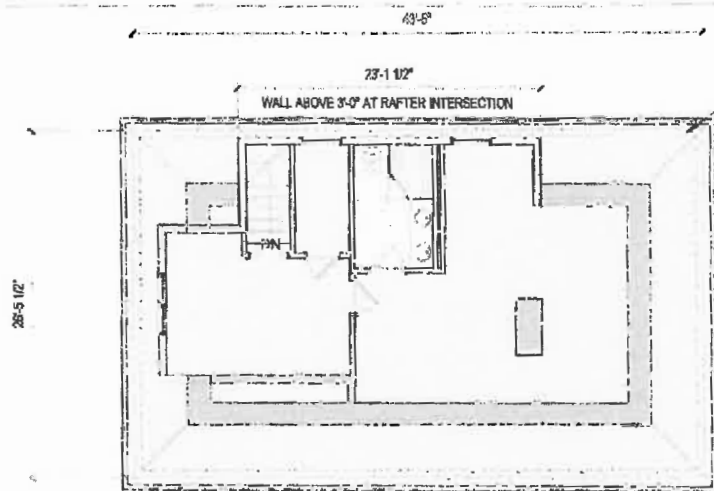
First Floor
 EL: 106'-0"
 T.O. FOUNDATION
 EL: 92'-0"

BASEMENT
 EL: 92'-0"

1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

206 BEECH STREET
 BELMONT, MA

A05



DASHED LINE REPRESENTS
2ND FLOOR PERIMETER WALL

A- PERIMETER DIAGRAM

SCALE: 1/8" = 1'-0"

PERIMETER CALC:

SECOND FLOOR TOTAL PERIMETER	139'-6"
RAFTERWALL INTERSECTION > 3'-0"	23'-1 1/2"
PERCENT OVER 3'-0"	16.55%



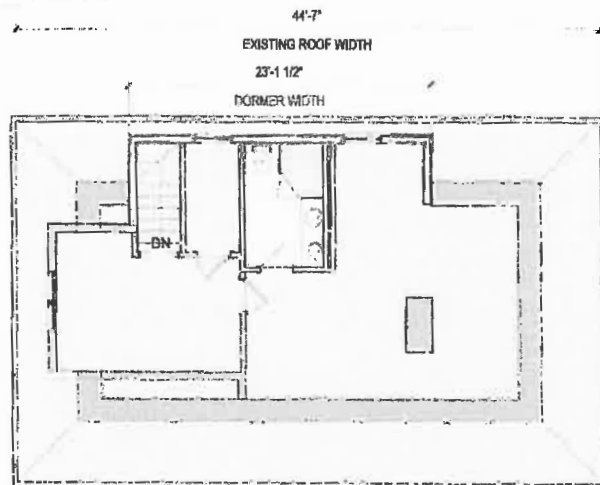
SECTION CUT AT 5'-0"
CEILING HEIGHT

B-AREA DIAGRAM

SCALE: 1/8" = 1'-0"

5'-0" CEILING HEIGHT CALCULATION

SECOND FLOOR AREA-	1,091 SF
ATTIC FLOOR AREA @ 5' CLEAR-	505 SF
ATTIC AREA > 5'-0" IN HEIGHT	46.28%



C- DORMER WIDTH DIAGRAM

SCALE: 1/8" = 1'-0"

DORMER WIDTH CALC:

DORMER WIDTH	23'-1 1/2"
OVERALL ROOF WIDTH	44'-7"
PERCENT OF DORMER	51.87%

BELMONT ZONING BY-LAW:

Proposed Design:

- a) Allowed Max= 60%
Proposed Design= 16.55%
- b) Allowed Max= 60%
Proposed Design= 46.28%
- c) Allowed Max= 75%
Proposed Design= 51.87%
- d) N/A

Half Story: A space under a sloping roof where:

- a) the line of intersection of the rafter bottoms and the interior wall surface is not more than three (3) feet above floor level on at least half the perimeter of the second floor,
- b) the potential space having headroom of five (5) feet more is not more than 60% as large as the second floor,
- c) Provided that the length of any dormer does not exceed 75% of the length of the roofline of the side of the structure where the dormer is constructed, and
- d) For the purposes of this calculation, when the height of the second floor is indeterminate, the height of the second floor (from finished floor to finished ceiling) shall be equal to 12 feet, the remaining portion of the wall shall be factored into the half-story calculation.

206 BEECH STREET
BELMONT, MA

A06

07/23/18

Statement of Notification and Acceptance

206 Beech Street, Belmont, MA 02478

We the undersigned acknowledge that our neighbors Daniel and Cortney Eldridge have informed us of their plans to add a shed dormer to the south side of their house at 206 Beech Street in Belmont. They have shared with us the intended scope of the work and the projected time frame for its completion.

At this time we have no objections to this project.

Adrian
211 Beech Street

[Signature] HADANI
208 Beech St

Paul Choia 213 Beech St.

Grace Mawla 205 Beech St

[Signature] 202 Beech St

The following page is an aerial view of our neighborhood. The houses with shed dormers are shaded dark grey, and our home is circled in red. There are 17 existing shed dormers in this snapshot, and more if we expand the area in view. Our immediate neighbors to the right, left, and behind each have a shed dormer on their house. Adding a shed dormer to our house does not change the ultimate shape of our neighborhood, and is in line with current neighborhood feel and design.

