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TOWN CLERK
BELMONT, MA

2018 SEP -4 PM 2: 53

CASE NO. 18-38

NOTICE OF PUBLIC HEARING BY THE
BELMONT ZONING BOARD OF APPEALS

ON APPLICATION FOR 2 SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday October 1, 2018 at 7:00 PM in the Art Gallery, 3rd floor, Homer Municipal Building, 19 Moore St., to consider the application of Amy A. Brown at 239 Beech Street located in a General Residence (GR) Zoning District for Two Special Permits under Section 1.5 of the Zoning Bylaw to construct a One Story addition and a Porch. Special Permits –1. Maximum allowed lot coverage is 30%, the existing lot coverage is 32.4% and the proposed is 33.4%. 2. Minimum required side setback is 10.0'. The existing and proposed side setback is 7.5'.

ZONING BOARD OF APPEALS



Town of Belmont
Zoning Board of Appeals

RECEIVED
TOWN CLERK
BELMONT, MA

2018 SEP -4 PM 2: 53

APPLICATION FOR A SPECIAL PERMIT

Date: September 4, 2018

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 239 Beech Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for an addition to the back of my home to provide wheelchair accessibility for my son.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner Amy M. Broer
Print Name Amy M. Broer
Address 239 Beech Street
Belmont, MA 02478
Daytime Telephone Number 339-227-0578



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

August 8, 2018

Amy M. Brown
239 Beech Street
Belmont, MA 02478

RE: Denial to Construct a One Story Addition and a Porch.

Dear Ms. Brown,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a one story addition and a porch at 239 Beech Street located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2 of the Zoning By-Laws Dimensional Regulations allow a maximum lot coverage of 30% and requires a minimum side setback of 10.0'.

1. The existing lot coverage is 32.4% and the proposed is 33.4%
2. The existing and proposed side setback is 7.5'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

Amy M. Brown
239 Beech Street
Belmont, MA 02478
Cell: 339-227-0578

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

September 4, 2018

RE: 239 Beech Street, Application for Special Permit

To Whom It May Concern,

I am applying for a special permit to build an addition on the back of my home to provide access for my son who uses a wheelchair.

My son, Brian, is 11 years old and is entering 6th grade at Chenery Middle School. He is your typical happy, friendly young man who enjoys art, reading, and spending time with family and friends. Brian has Duchenne Muscular Dystrophy. Duchenne Muscular Dystrophy is a rare, muscle wasting disease that affects mostly boys. It is the most aggressive form of muscular dystrophy, and it is fatal.

Brian and other boys with Duchenne Muscular Dystrophy cannot produce dystrophin, the protein that creates and repairs muscle tissue. Brian has trouble walking and climbing stairs, and he experiences fatigue trying to perform daily tasks. The disease progresses rapidly robbing most boys of their ability to walk by age 12. The boys also lose their ability to use their arms, to swallow, and eventually to breathe.

This is a horrible disease, and Brian will be dependent on others his entire life. Brian is losing his ability to walk, and his arms are showing signs of weakness. Brian has been fitted for a power wheelchair which I expect to receive early next year. I have received a donated wheelchair lift which has been incorporated into the plans for the addition.

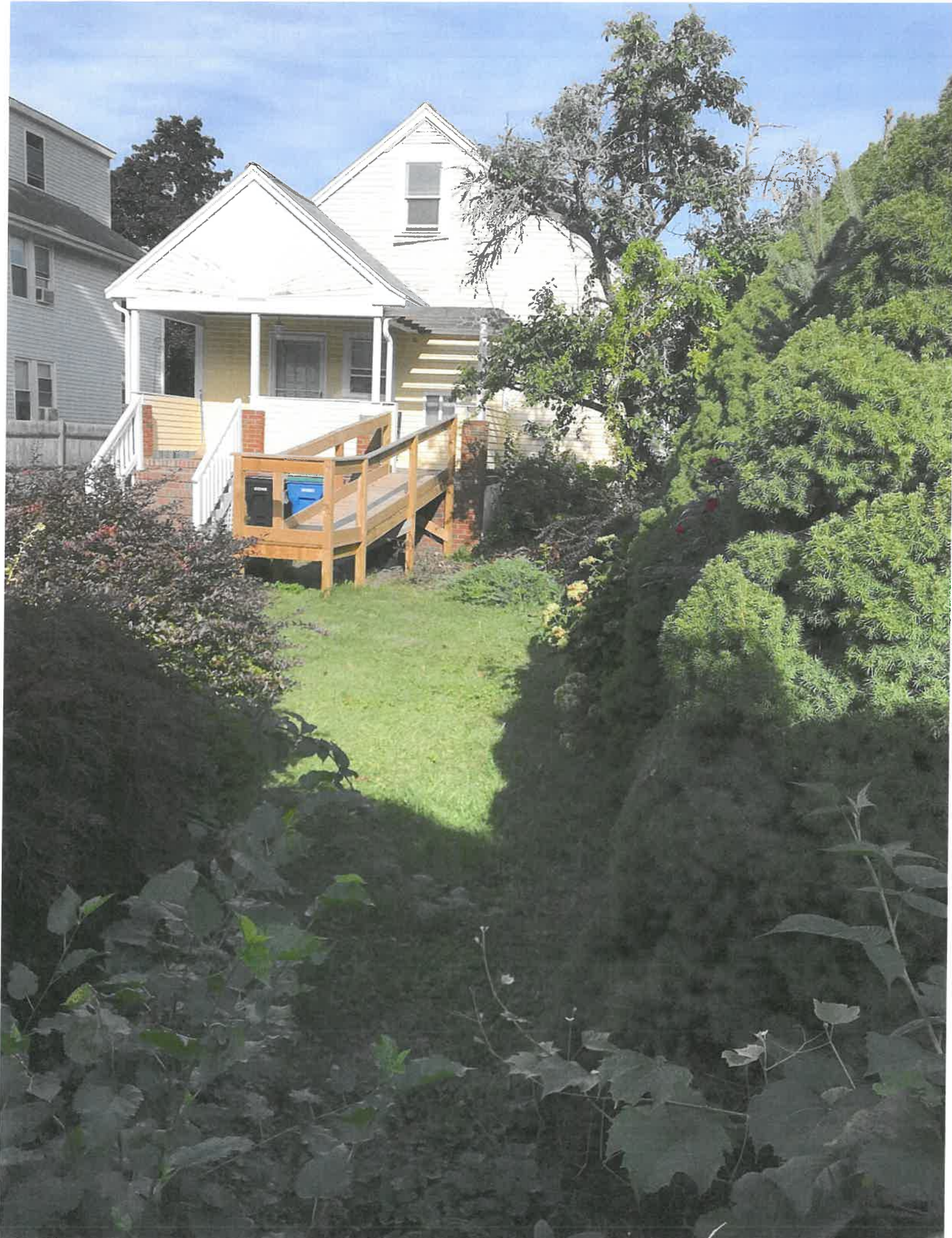
My son and I have lived in Belmont since 2009, renting and staying with family until I was fortunate to buy our current home in 2014. I am a single mother working full-time doing the best I can to provide for my son. I need to expand my home to create wheelchair lift access for Brian; additional porch area to maneuver his wheelchair from the lift into our home; additional interior space to create accessible areas for studying, drawing, and other activities; and additional area for a personal care assistant to stay when helping me care for Brian as the disease progresses.

I respectfully request your approval for the special permit to construct an addition to my home to provide accessibility for my son.

Thank you for your consideration.

Sincerely,









CLIFFORD E. ROBER, PLS

DATE 4

Zoning Compliance Check List

Properties Located within the GR Zoning Districts

(To be Completed by a Registered Land Surveyor)

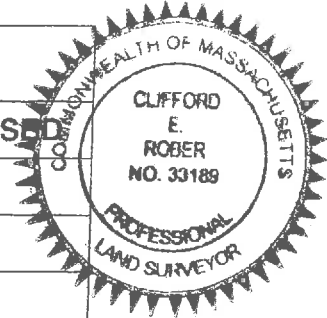
Property Address: 239 Beech Street

Surveyor Signature and Stamp: 

Date: 8/30/2018

Per §4.2 of the Zoning By-Laws

	REQUIRED	EXISTING	PROPOSED
Lot Area (sq. ft.)	5,000	5,903	-
Lot Frontage (feet)	50'	48'	-
Lot Area/Unit (sq. ft./d.u.)	3,500		
Lot Coverage (% of lot)	30%	30.9%	32.9%
Open Space (% of lot)	40%	46.2%	44.0%
Setbacks: (feet)	➤ Front	20'	15.3'
	➤ Side/Side	10' 10'	7.5' 14.9'
	➤ Rear	20'	63.7'
Building Height:	➤ Feet	33'	16.7'
	➤ Stories	2 1/2	1 1/2
1/2 Story (feet) (Per §1.4)	➤ Perimeter		
	➤ Area		
	➤ Length		



Per §6D of the Zoning By-Laws

	REQUIRED	EXISTING	PROPOSED
Front Doors:	➤ Face Street		
	➤ Setback		
Curb Cut			
HVAC:	➤ Front Yard		
	➤ Side/Rear Setbacks		

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated

239
BEECH STREET
BELMONT MA
02478

ADDITION

PRELIMINARY
DESIGN

No.	Revisions	Date

Job: 2843
Date: 08/28/2018
Scale: AS NOTED
Drawn: KMC
Checked: ATR

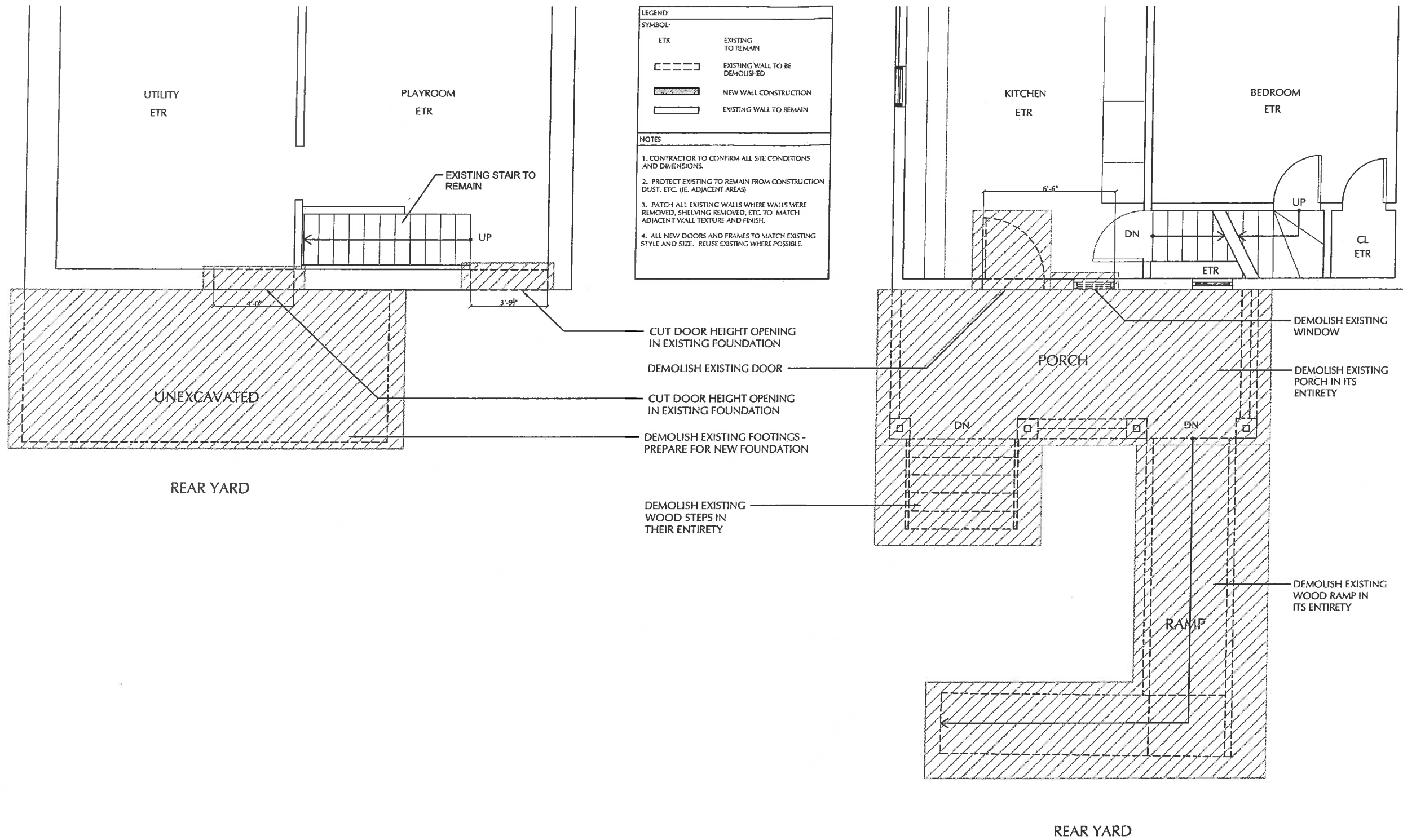
CELLAR AND
FIRST FLOOR
DEMOLITION
PLANS

Rojas Design, Inc.
Architecture
1500 Soldiers Field Road
BIM
Brighton
Interior Design
Massachusetts, 02135
Landscape Architecture
T - 617.720.4100

Rojas

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D-01



239
BEECH STREET
BELMONT MA
02478

ADDITION

PRELIMINARY
DESIGN

No.	Revisions	Date

Job: 2843
Date: 08/28/2018
Scale: AS NOTED
Drawn: KMC
Checked: ATR

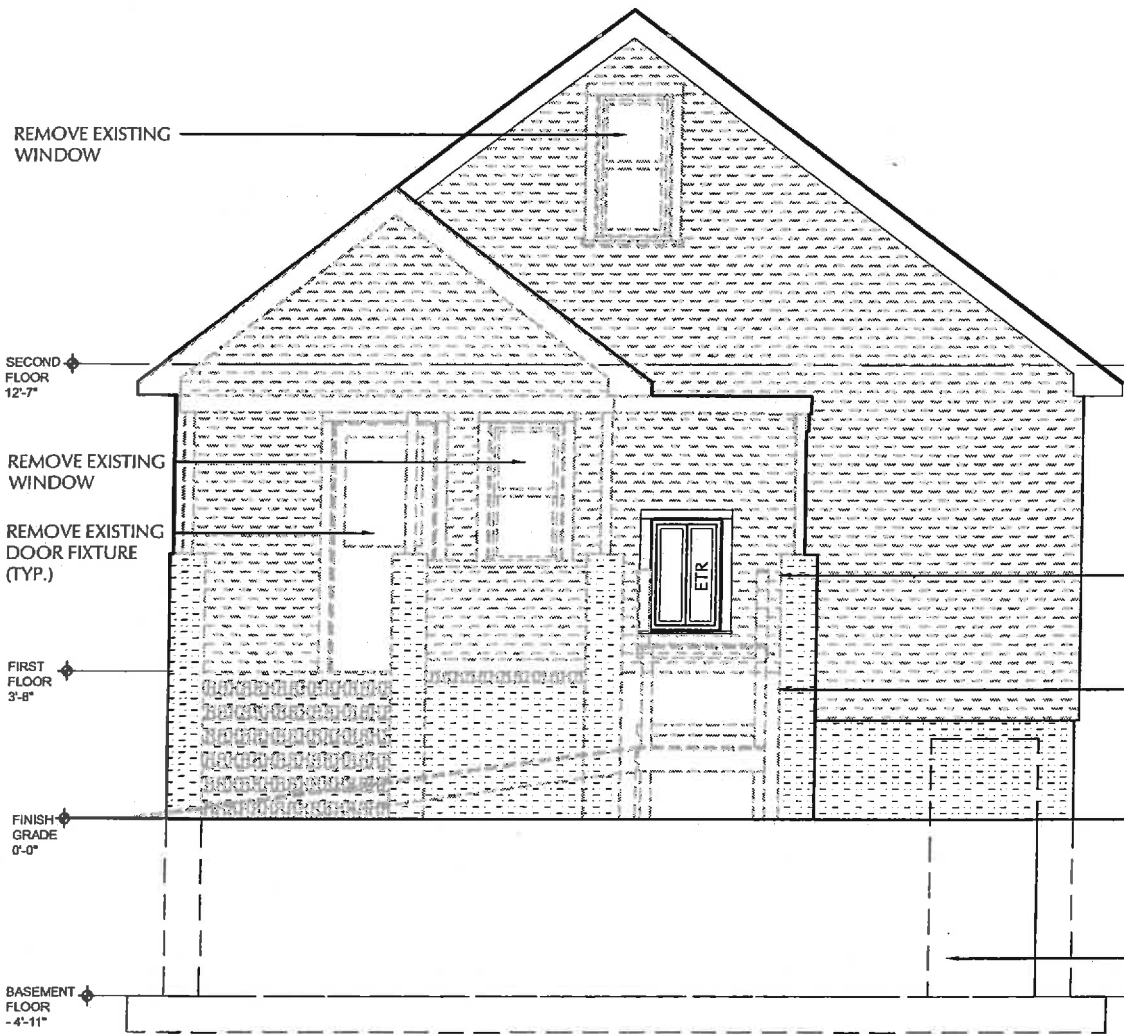
REAR ELEVATION
AND ATTIC
DEMOLITION PLAN

Rojas Design, Inc.
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1500 Soldiers Field Road
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D-02



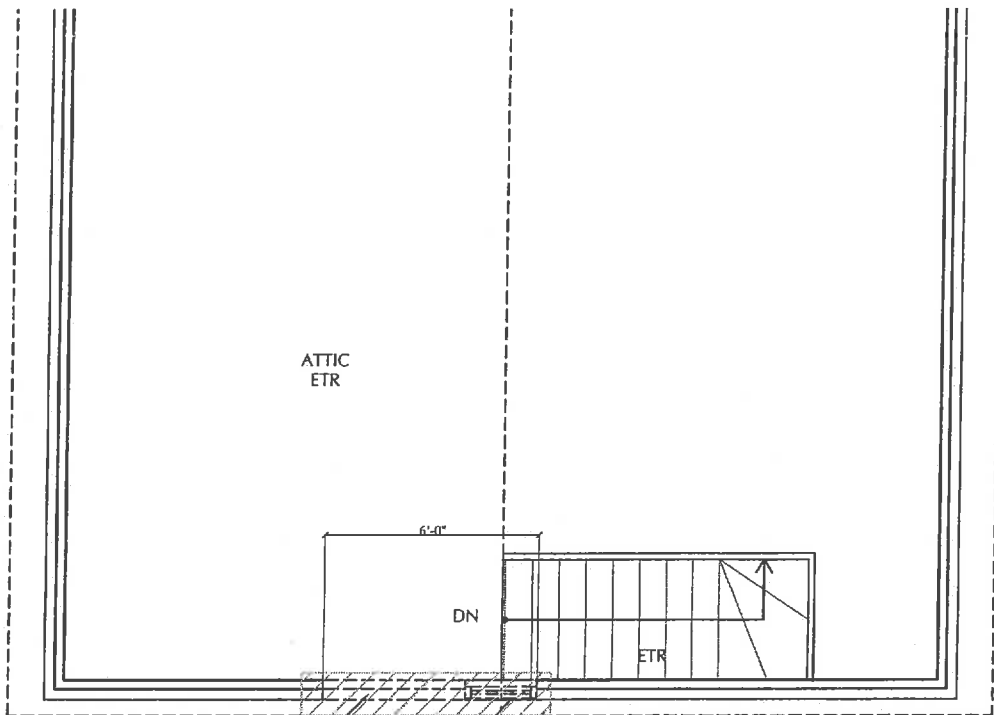
LEGEND

SYMBOL:

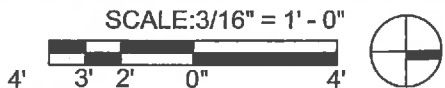
ETR	EXISTING TO REMAIN
---	EXISTING WALL TO BE DEMOLISHED
	NEW WALL CONSTRUCTION
---	EXISTING WALL TO REMAIN

NOTES

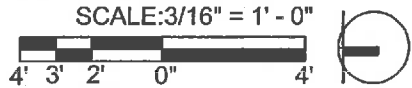
1. CONTRACTOR TO CONFIRM ALL SITE CONDITIONS AND DIMENSIONS.
2. PROTECT EXISTING TO REMAIN FROM CONSTRUCTION DUST, ETC. (IE. ADJACENT AREAS)
3. PATCH ALL EXISTING WALLS WHERE WALLS WERE REMOVED, SHELVING REMOVED, ETC. TO MATCH ADJACENT WALL TEXTURE AND FINISH.
4. ALL NEW DOORS AND FRAMES TO MATCH EXISTING STYLE AND SIZE. REUSE EXISTING WHERE POSSIBLE.



1 REAR ELEVATION - DEMOLITION PLAN



2 ATTIC - DEMOLITION PLAN



239
BEECH STREET
BELMONT MA
02478

ADDITION

PERMIT SET

No.	Revisions	Date

Job: 2843
Date: 08/28/2018
Scale: AS NOTED
Drawn: KMC
Checked: ATR

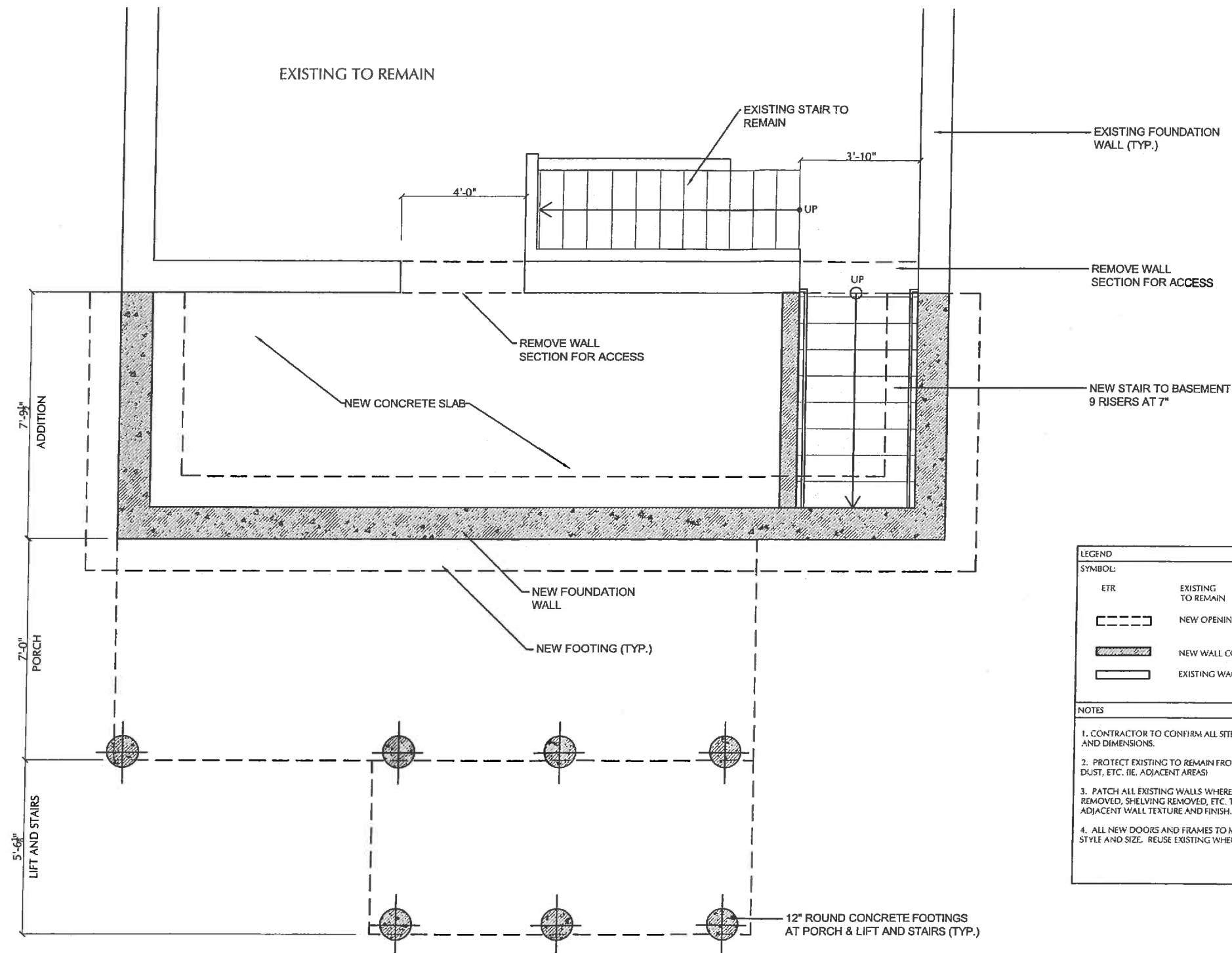
PROPOSED LOWER LEVEL PLAN - OPTION 4

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A-1



1 PROPOSED LOWER LEVEL PLAN - OPTION 4

239
BEECH STREET
BELMONT MA
02478

ADDITION

PERMIT SET

LEGEND

SYMBOL:

ETR	EXISTING TO REMAIN
---	NEW OPENING IN WALL
▨	NEW WALL CONSTRUCTION
—	EXISTING WALL TO REMAIN

NOTES

1. CONTRACTOR TO CONFIRM ALL SITE CONDITIONS AND DIMENSIONS.
2. PROTECT EXISTING TO REMAIN FROM CONSTRUCTION DUST, ETC. (I.E. ADJACENT AREAS)
3. PATCH ALL EXISTING WALLS WHERE WALLS WERE REMOVED, SHELVING REMOVED, ETC. TO MATCH ADJACENT WALL TEXTURE AND FINISH.
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Job: 2843
Date: 08/28/2018
Scale: AS NOTED
Drawn: KMC
Checked: ATR

PROPOSED FIRST
FLOOR PLAN -
OPTION 4

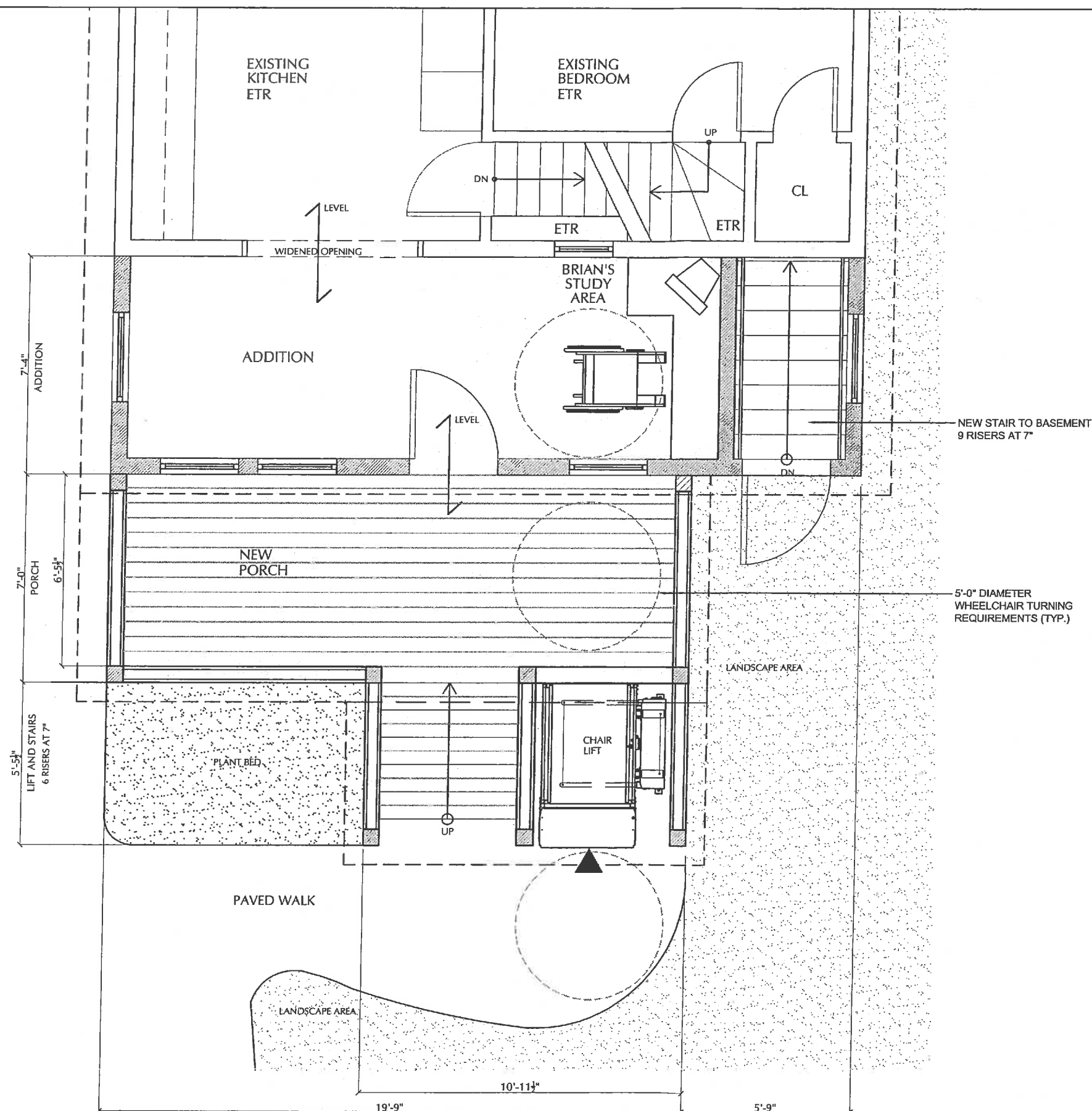
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A-2



1 PROPOSED FIRST FLOOR PLAN - OPTION 4

SCALE : 1/4" = 1' - 0"

2' 1' 0' 4'

239
BEECH STREET
BELMONT MA
02478

ADDITION

PERMIT SET

No.	Revisions	Date

Job: 2843
Date: 08/28/2018
Scale: AS NOTED
Drawn: KMC
Checked: ATR

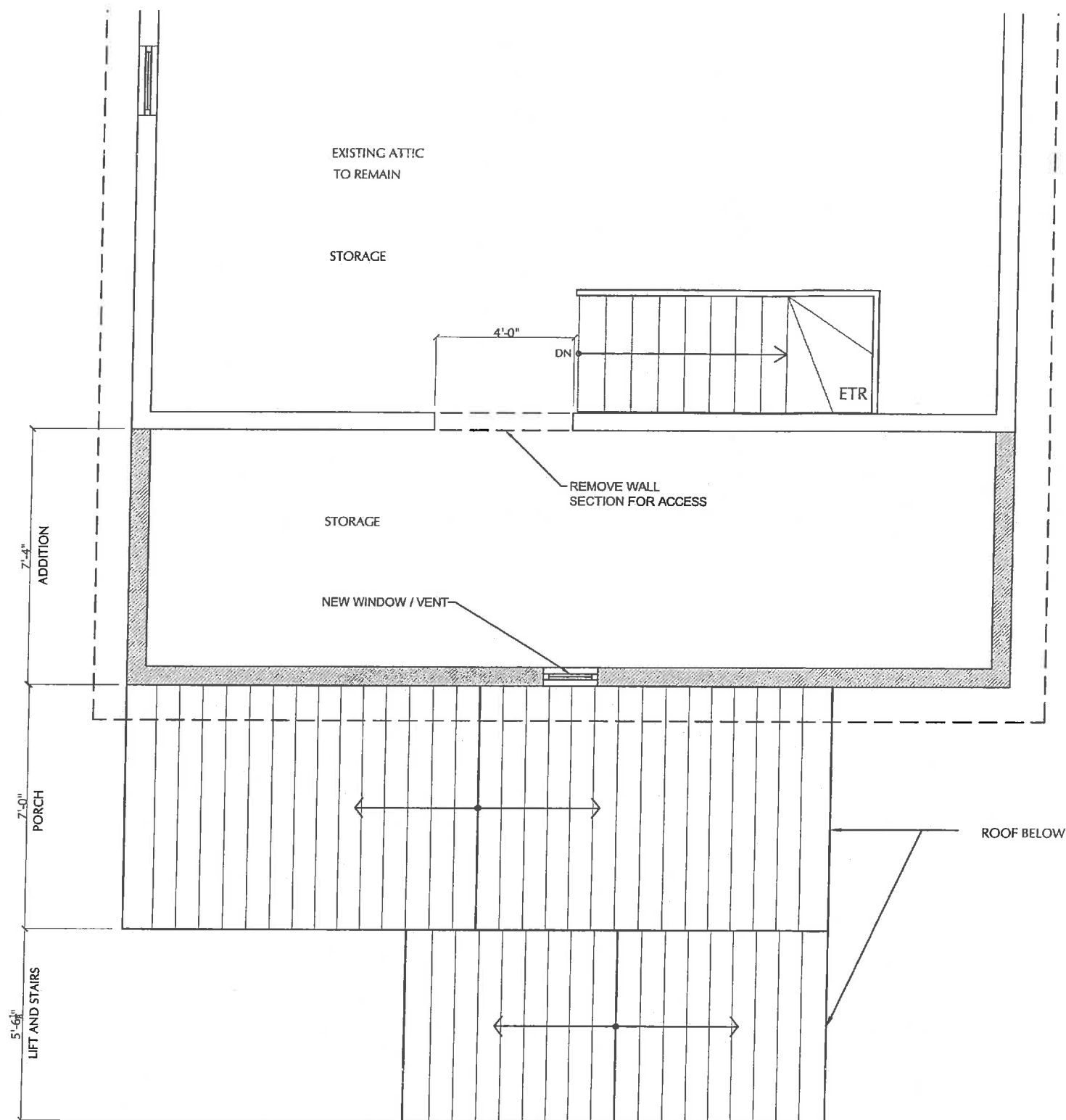
PROPOSED ATTIC
PLAN -
OPTION 4

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A-3



LEGEND	
SYMBOL:	
ETR	EXISTING TO REMAIN
---	NEW OPENING IN WALL
---	NEW WALL CONSTRUCTION
---	EXISTING WALL TO REMAIN
NOTES	
1. CONTRACTOR TO CONFIRM ALL SITE CONDITIONS AND DIMENSIONS.	
2. PROTECT EXISTING TO REMAIN FROM CONSTRUCTION DUST, ETC. (IE. ADJACENT AREAS)	
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4. ALL NEW DOORS AND FRAMES TO MATCH EXISTING STYLE AND SIZE. REUSE EXISTING WHERE POSSIBLE.	

1 PROPOSED ATTIC PLAN - OPTION 4

SCALE : 1/4" = 1' - 0"



239
BEECH STREET
BELMONT MA
02478

ADDITION

PERMIT SET

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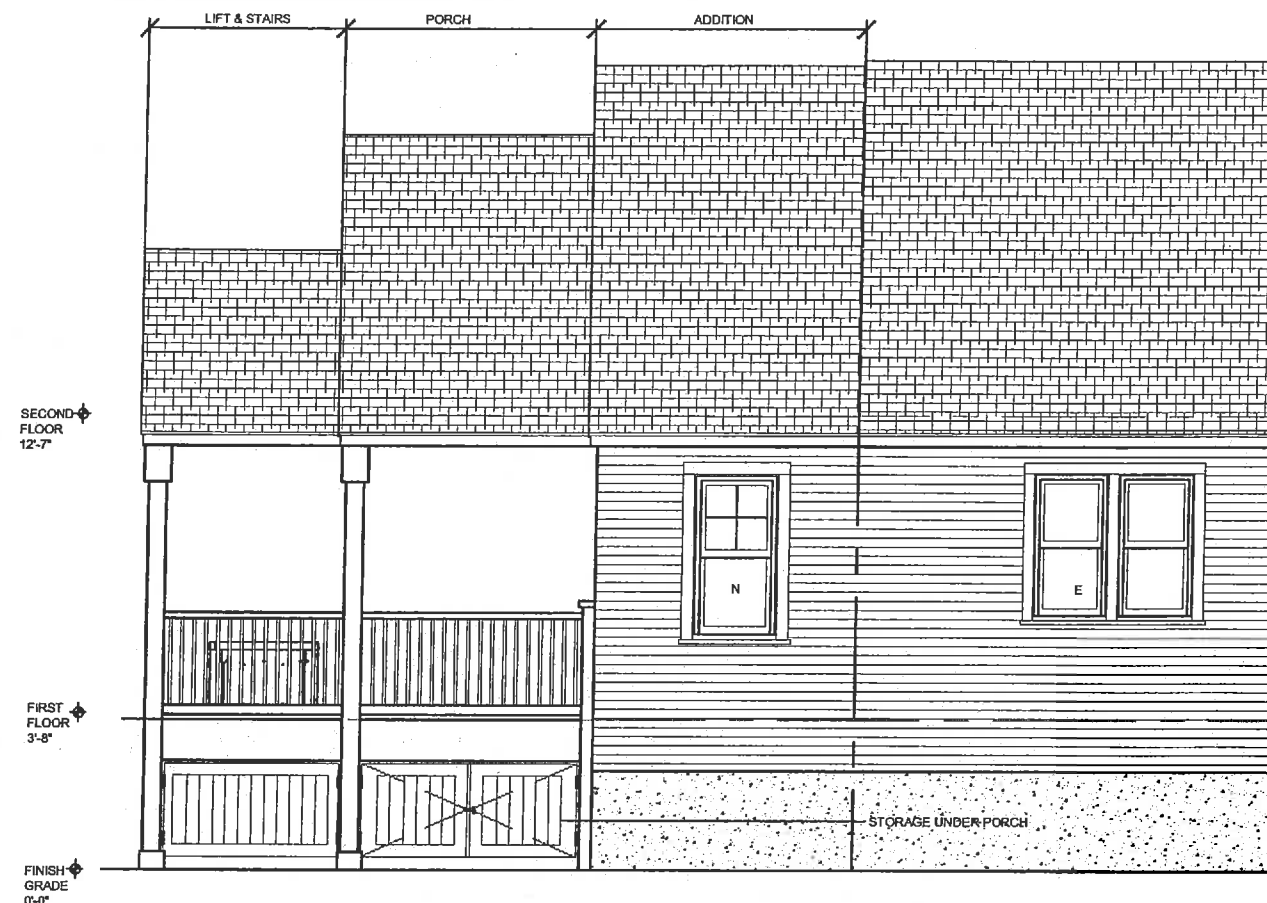
PROPOSED ELEVATIONS - OPTION 4

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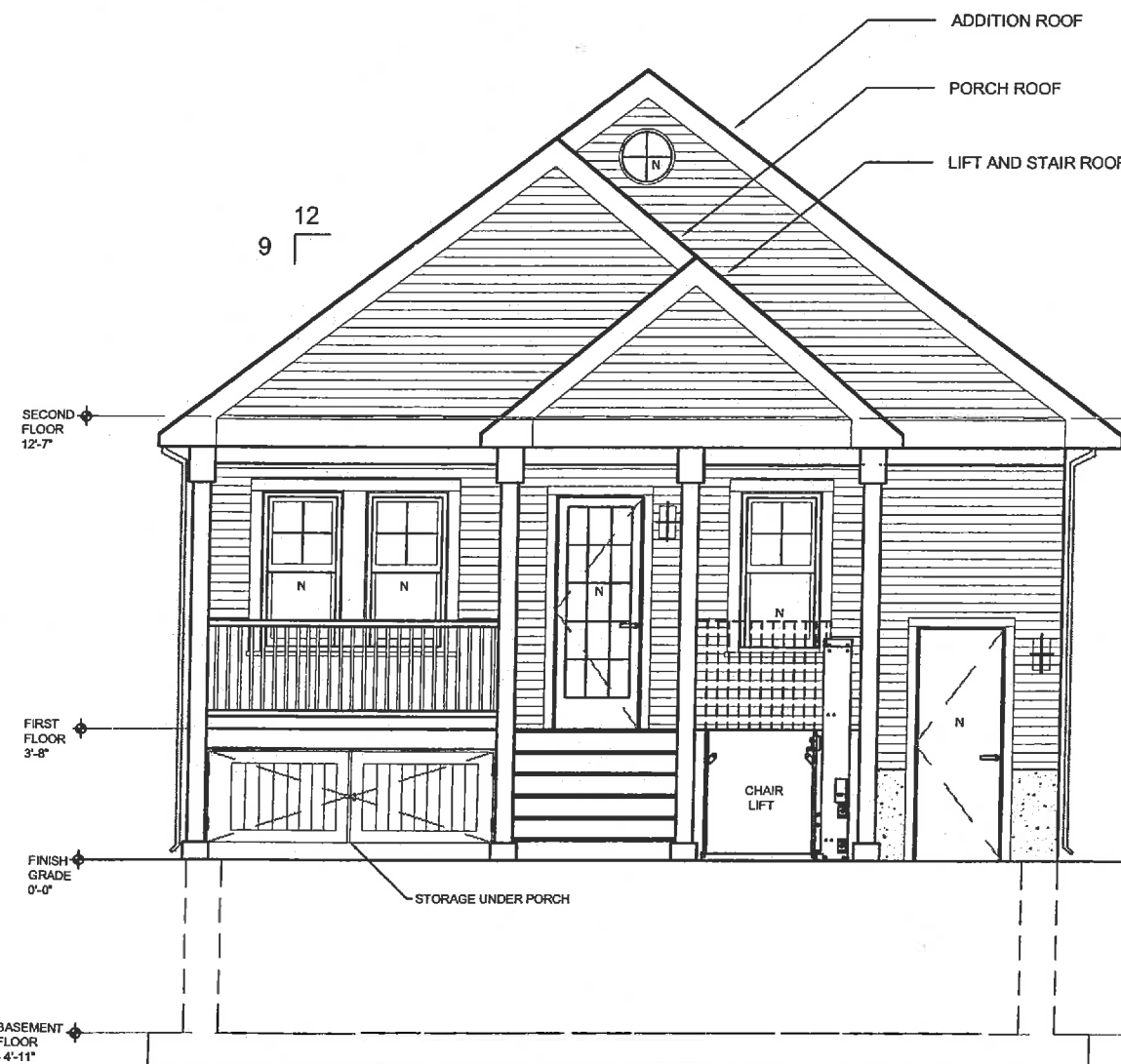
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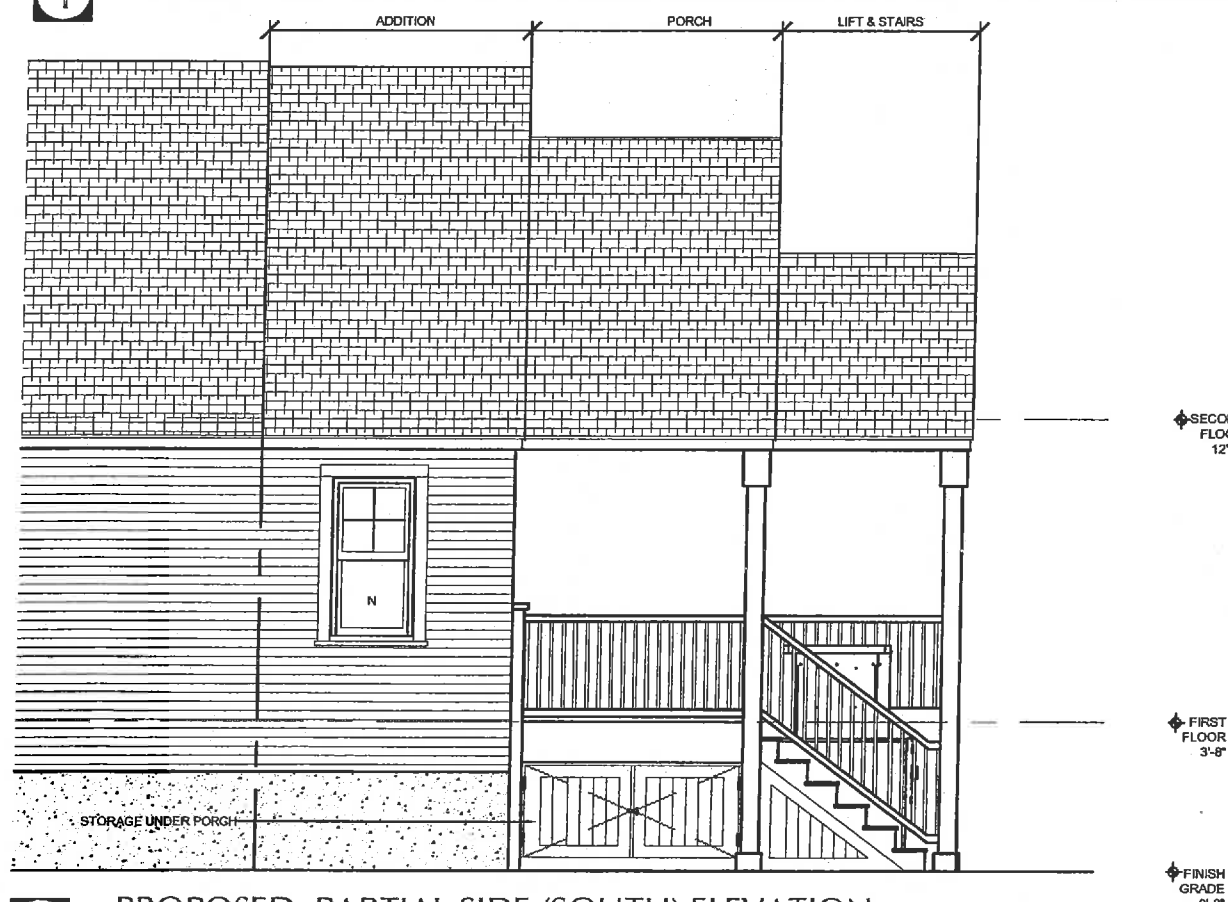
A-4



1 PROPOSED PARTIAL SIDE (NORTH) ELEVATION



2 PROPOSED EAST ELEVATION



3 PROPOSED PARTIAL SIDE (SOUTH) ELEVATION

SCALE: 3/16" = 1' - 0"

