

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 18-32

2018 AUG 28 AM 10: 23

NOTICE OF PUBLIC HEARING BY THE
BELMONT ZONING BOARD OF APPEALS

ON APPLICATION FOR 2 SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday September 10, 2018 at 7:00 PM in the Art Gallery, 3rd floor, Homer Municipal Building, 19 Moore St., to consider the application of Ravi Montenegro at 60 Hull Street, located in a General Residence (GR) Zoning District for Two Special Permits under Section 1.5 of the Zoning Bylaw to construct Two Dormers. Minimum required side setback is 10.0'. Special Permits –1. The existing side setback on the East side is 4.8' and the proposed is 6.4' and 2. The existing side setback on the West side 7.6' and the proposed is 7.4'.

ZONING BOARD OF APPEALS



Town of Belmont
Zoning Board of Appeals

RECEIVED
TOWN CLERK
BELMONT, MA

2018 AUG 28 AM 10:23

APPLICATION FOR A SPECIAL PERMIT

Date: 7/2/2018

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 60 Hull Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for construction of two dormers

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

Ravi Montenegro

Address

60 Hull St #2

Belmont, MA 02478

Daytime Telephone Number

978-761-0649



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

June 8, 2018

Ravi Montenegro
60 Hull Street
Belmont, MA 02478

RE: Denial to Construct Two (2) Dormers

Dear Mr. Montenegro,

The Office of Community Development is in receipt of your building permit application for your proposal to construct two (2) dormers at 60 Hull Street located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2.2 of the Zoning By-Law Dimensional Regulations requires a minimum side setback of 10.0'.

1. The existing side setback on the East side is 4.8' and the proposed is 6.4'.
2. The existing and proposed side setback on the West side is 7.6'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

Homeowner's Narrative Statement

Ravi Montenegro and Emily Ross
60 Hull Street
Belmont, MA 02478

We, the owners of the two-family house at 60 Hull Street, request special permits for two 21'0" dormers (20' interior). The existing and proposed side setbacks are 6.4' and 7.6' (10' required). The special permits will allow the dormers to match the width of the house, instead of requiring them to stop 2.4' - 3.6' from the side of the house.

Purpose

60 Hull St is a two-family house. The first floor is rented out and we live on the second floor. We plan to expand our 2nd floor unit to make a larger 2nd/3rd floor unit for our growing family. The dormers will contain three bedrooms for children and a bathroom. The undormered space will be used as a small playroom.

Comparison to Existing Plans

We have a "by right" building permit for dormers with space for three bedrooms, a bathroom, and playroom. However, in order to satisfy side setbacks the permit has very long dormers. This will dramatically alter the appearance of the house, to the detriment of the neighborhood. The special permits will make it possible to add the same 3 bedrooms, but with much less impact on the neighborhood. In particular, the proposed plans leave the front 22' of the house in its original form, including the existing front hipped roof with small hipped dormer.

Proposed Project

Scope of project:

- *Dormers:* Two 21'0" dormers (20'0" interior), one on each side of the house.
Dormers begin 3.5' from the rear of the house and end at the sides of the existing structure.
Room(s): Three bedrooms for children and a bathroom will be contained in the dormered space.
The undormered space will be used for a small play space.
- *Other changes:* Rear hip roof replaced by gable dormer. This does not require a special permit.
- *Half-story square-footage:*
Existing: 441 sq-ft (unfinished); Proposed: 733.4 sq-ft; Max allowed: 823 sq-ft max for half-story

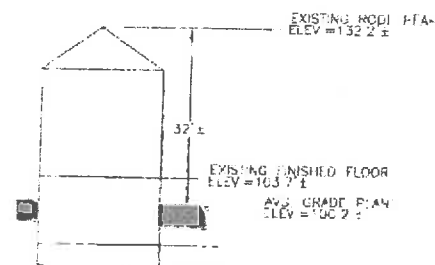
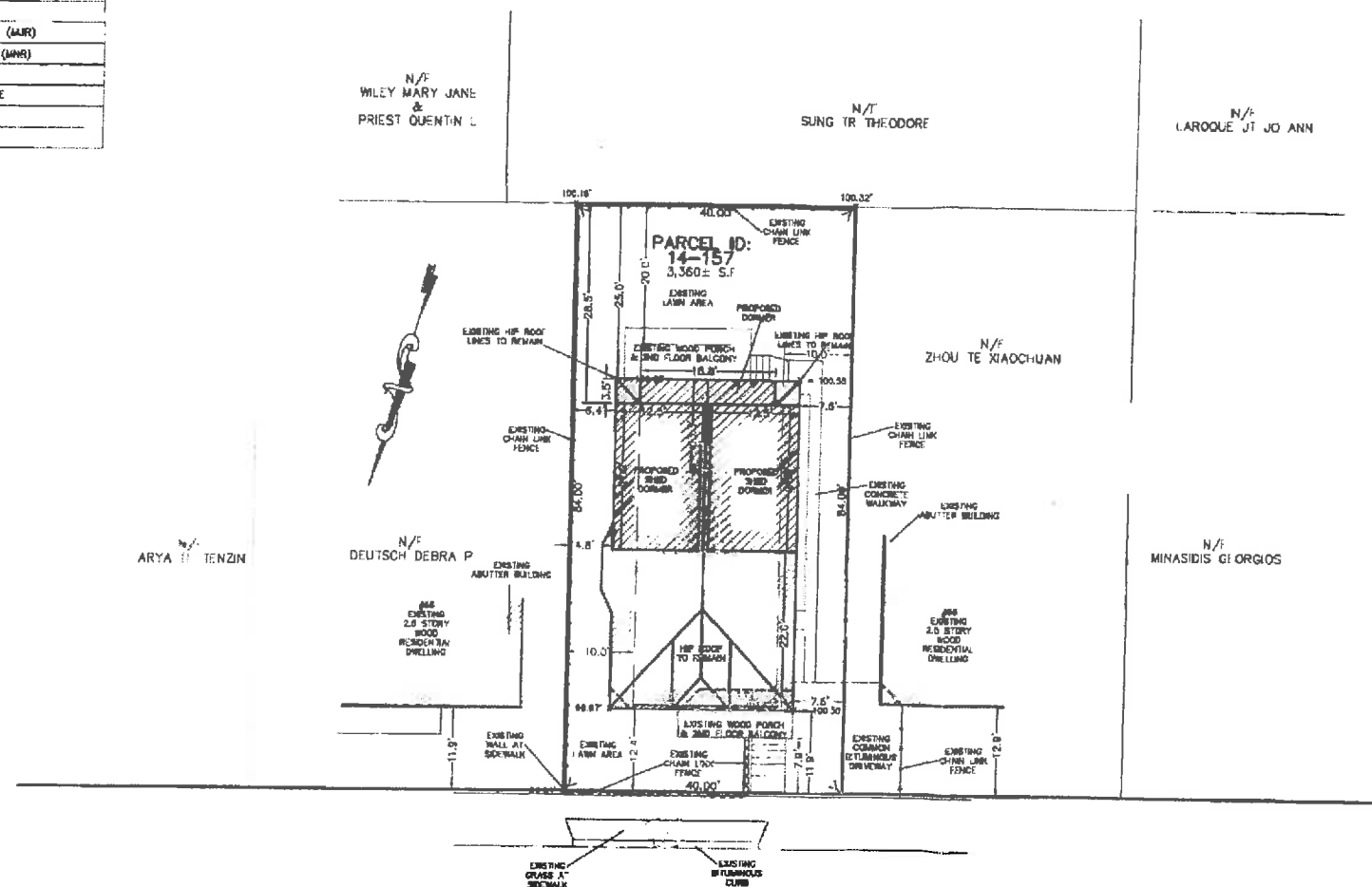
EXISTING LEGEND	
	SEWER LINE
	SEWER MANHOLE
	WATER LINE
	GAS LINE
	UTILITY POLE
	GAS VALVE
	OVERHEAD ELECTRIC SERVICE
	WATER VALVE
	CATCH BASIN
	FENCE
	CONTOUR LINE (MUR)
	CONTOUR LINE (MNR)
	SPOT GRADE
	DRAIN MANHOLE
	HYDRANT
	TREE

ZONING LEGEND				
ZONING DISTRICT: GENERAL RESIDENCE				
	REQUIRED	EXISTING	PROPOSED	COMPLIANCE
MIN. AREA	7,000 S.F.	3,360 S.F.	3,360 S.F.	EXISTING NON-COMPLYING
MIN. YARD FRONT (PORCH)	8.4'	7.9'	7.9'	EXISTING NON-COMPLYING
FRONT (HOUSE)	12.4'	11.9'	11.9'	EXISTING NON-COMPLYING
SIDE (RIGHT)	10'	7.6'	7.6'	EXISTING NON-COMPLYING
SIDE (LEFT)	10'	4.8'	4.8'	EXISTING NON-COMPLYING
REAR	20'	25'	25'	YES
MAX. LOT COVERAGE	30%	36.4%	36.4%	EXISTING NON-COMPLYING
MIN. OPEN SPACE	40%	54%	54%	YES
MIN. FRONTAGE	70'	40'	40'	EXISTING NON-COMPLYING
MIN. LOT AREA PER DWELLING UNIT	3,500 S.F.	1,880± S.F.	1,880± S.F.	EXISTING NON-COMPLYING
BUILDING HEIGHT	33'	26.2'	26.2'	YES

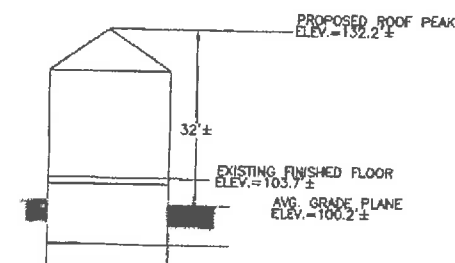
* IN SINGLE RESIDENCE AND GENERAL RESIDENCE DISTRICTS, UNENCLOSED PORCHES, EXCEPT ON MULTI-FAMILY DWELLINGS, MAY BE BUILT FIVE FEET NEARER THE STREET LINE THAN THE REQUIRED SETBACK.
 ** FRONT YARD SETBACK (PORCH) = (7.8' & 8.7') ÷ 2 = 8.4'
 *** NOTWITHSTANDING THE FRONT SETBACK REQUIREMENT LISTED IN SECTION 4.2.2, THE FRONT SETBACK FOR THE OR EXISTING SHALL NOT EXCEED THE AVERAGE OF THE FRONT SETBACKS OF THE BUILDINGS ON THE LOTS CONTIGUOUS THEREON ON EITHER SIDE.
 *** AVERAGE OF ADJACENT HOUSES = (11.8' & 12.8') ÷ 2 = 12.4'

NOTES:

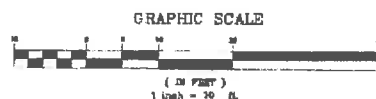
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 12/18/2015 & 3/10/2017.
2. DEED REFERENCE BOOK 64911 PAGE 180, MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 2501700418E, PARK, NUMBER 0418E, COMMUNITY NUMBER: 250208, DATED JUNE 4, 2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. ZONING: ZONING DISTRICT = GENERAL RESIDENCE.



EXISTING PROFILE
NOT TO SCALE



PROPOSED PROFILE
NOT TO SCALE



SCALE 1"=10'	DATE 5/29/2018	REV DATE	REVISON	BY
SHEET 1	PLAN NO 1.0-1	60 HULL STREET BELMONT MASSACHUSETTS PROPOSED PLOT PLAN		
DRAWN BY PUN	CHKD BY PUN			
APPD BY PUN	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 807 CHAMBER STREET, SUITE 100 BOSTON MA 02135 PHONE: 617 691 7478/617 782 1535 FAX: 617 202 5691 EMAIL: pnolan@pnqsurveyors.com			
SHEET NO.				1

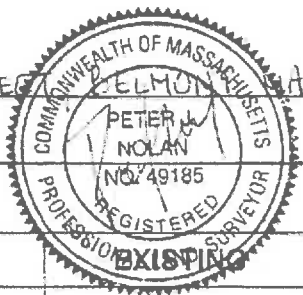
Zoning Compliance Check List
(Registered Land Surveyor)

Property Address: 60 HULL STREET BELMONT MA

Zone: GENERAL RESIDENCE

Surveyor Signature and Stamp: _____

Date: 03/13/17



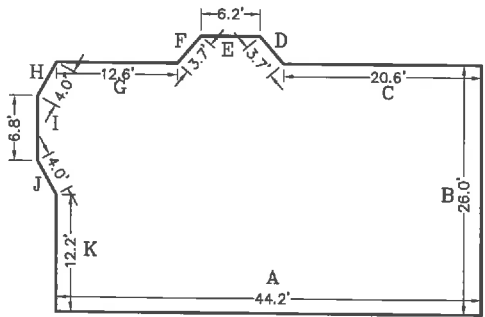
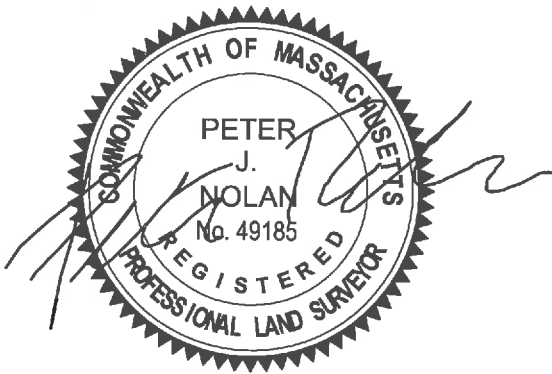
	REQUIRED	EXISTING	PROPOSED
Lot Area	5,000 S.F.	3,360 S.F.	3,360 S.F.
Lot Frontage	50'	40'	40'
Floor Area Ratio	—	—	—
Lot Coverage	30%	36.4%	36.4%
Open Space	40%	54%	54%
Front Setback	8.4'	7.9'	7.9'
Side Setback	10'	7.6'	7.6'
Side Setback	10'	4.8'	4.8'
Rear Setback	16.3'	25'	25'
Building Height	33'	26.2'	26.2'
Stories	2.5	2.5	2.5
½ Story Calculation			

NOTES:


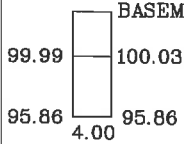
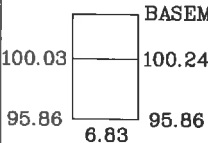
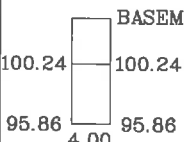
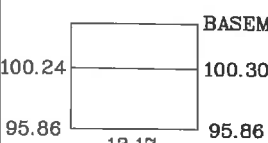
#60 HULL STREET
BELMONT
MASSACHUSETTS



PETER NOLAN & ASSOCIATES LLC
LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS
697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135
PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691
EMAIL: pnolan@pnasurveyors.com



AREA ABOVE GRADE	TOTAL AREA	
A 102.90-100.30=2.6 102.90-100.55=2.35 (2.6+2.35)/2x44.17=109.32	 102.90-95.86=7.04 102.90-96.25=6.65 (7.04+6.65)/2x44.17=302.3	<div><div>BASEMENT CEILING=102.90</div><div><div>100.30</div><div>100.55</div><div>95.86</div><div>96.25</div></div><div>44.17</div></div>
B 102.90-100.55=2.35 102.90-100.07=2.83 (2.35+2.83)/2x26.0=67.34	 102.90-96.25=6.65 102.90-96.25=6.65 (6.65+6.65)/2x26.0=172.90	<div><div>BASEMENT CEILING=102.90</div><div><div>100.55</div><div>100.07</div><div>96.25</div><div>96.25</div></div><div>26.00</div></div>
C 102.90-100.07=2.83 102.90-100.07=2.83 (2.83+2.83)/2x20.58=58.24	 102.90-96.25=6.65 102.90-96.00=6.90 (6.65+6.90)/2x20.58=139.43	<div><div>BASEMENT CEILING=102.90</div><div><div>100.07</div><div>100.07</div><div>96.25</div><div>96.00</div></div><div>20.58</div></div>
D 102.90-100.07=2.83 102.90-99.90=3.00 (2.83+3.00)/2x3.75=10.93	 102.90-96.00=6.90 102.90-95.98=6.92 (6.90+6.92)/2x3.75=25.92	<div><div>BASEMENT CEILING=102.90</div><div><div>100.07</div><div>99.90</div><div>96.00</div><div>95.98</div></div><div>3.75</div></div>
E 102.90-99.90=3.00 102.90-99.85=3.05 (3.00+3.05)/2x6.17=18.66	 102.90-95.98=6.92 102.90-95.98=6.92 (6.92+6.92)/2x6.17=42.70	<div><div>BASEMENT CEILING=102.90</div><div><div>99.90</div><div>99.85</div><div>95.98</div><div>95.98</div></div><div>6.17</div></div>
F 102.90-99.85=3.05 102.90-100.03=2.87 (3.05+2.87)/2x3.75=11.10	 102.90-95.98=6.92 102.90-95.98=6.92 (6.92+6.92)/2x3.75=25.96	<div><div>BASEMENT CEILING=102.90</div><div><div>99.85</div><div>100.03</div><div>95.98</div><div>95.98</div></div><div>3.75</div></div>

AREA ABOVE GRADE	TOTAL AREA	
G 102.90-100.03=2.87 102.90-99.99=2.91 (2.87+2.91)/2x12.581=36.36	102.90-95.86=7.04 102.90-95.86=7.04 (7.04+7.04)/2x12.581=88.57	 BASEMENT CEILING=102.90
H 102.90-99.99=2.91 102.90-100.03=2.87 (2.91+2.87)/2x4.00=11.56	102.90-95.86=7.04 102.90-95.86=7.04 (7.04+7.04)/2x4.00=28.16	 BASEMENT CEILING=102.90
I 102.90-100.03=2.87 102.90-100.24=2.66 (2.87+2.66)/2x6.83=18.88	102.90-95.86=7.04 102.90-95.86=7.04 (7.04+7.04)/2x6.83=48.08	 BASEMENT CEILING=102.90
J 102.90-100.24=2.61 102.90-100.24=2.66 (2.61+2.66)/2x4.00=10.64	102.90-95.86=7.04 102.90-95.86=7.04 (7.04+7.04)/2x4.00=28.16	 BASEMENT CEILING=102.90
K 102.90-100.24=2.66 102.90-100.30=2.60 (2.66+2.60)/2x13.17=34.64	102.90-95.86=7.04 102.90-95.86=7.04 (7.04+7.04)/2x13.17=92.72	 BASEMENT CEILING=102.90

TOTAL ABOVE GRADE =109.32+67.34+58.24+10.93+18.66+11.10+36.36+11.56+18.88+10.64+34.64=387.97
 TOTAL AREA =302.3+172.90+139.43+25.92+42.70+25.96+88.57+28.16+48.08+28.16+92.72=994.9

PERCENTAGE ABOVE GRADE = $\frac{387.67}{994.9}$ =38.97% OF FOUNDATION IS ABOVE GRADE

AVERAGE GRADE CALCULATION:

$$\begin{aligned}
 &\frac{A}{\frac{100.3+100.55}{2} \times 44.17} + \frac{B}{\frac{100.55+100.07}{2} \times 26.00} + \frac{C}{\frac{100.07+100.07}{2} \times 20.58} + \frac{D}{\frac{100.07+99.90}{2} \times 3.75} + \frac{E}{\frac{99.90+99.95}{2} \times 6.17} + \\
 &+ \frac{F}{\frac{99.95+100.03}{2} \times 3.75} + \frac{G}{\frac{100.03+99.99}{2} \times 12.58} + \frac{H}{\frac{99.99+100.03}{2} \times 4.00} + \frac{I}{\frac{100.03+100.29}{2} \times 6.83} + \frac{J}{\frac{100.29+100.29}{2} \times 4.00} + \\
 &+ \frac{K}{\frac{100.29+100.30}{2} \times 13.17} = 14533.3/145= 100.23
 \end{aligned}$$

DIMENSIONS FOR HALF STORY

PERIMETER OF 2ND FLOOR

REAR WALL & PORCH: $1'-2.5'' + 7'-3'' + 17'-8'' + 7'-3'' + 7'-6''$

RIGHT WALL: $+ 46'-9''$

FRONT: $+ 26'-3.5''$

LEFT WALL: $+ 13'-6'' + 3'-8'' + 6'-2'' + 3'-8'' + 20'-7''$

TOTAL: 161'6"

ROOF RAFTER BOTTOMS AND THE INTERIOR WALL SURFACE IS 3'0" OR GREATER:

$161'6'' * 50\% = 80'9''$ LINEAR FEET MAX ALLOWED PER HALF STORY DEFINITION.

3RD FLOOR PROPOSED INTERSECTION WITH RAFTER BOTTOMS 36" OR GREATER ABOVE FLOOR

SIDE DORMER LENGTH: 19'11" * 2 dormers

EXISTING FRONT HIP: $+ 5'-2''$

PROPOSED REAR HIP: $+ 16'-6''$

TOTAL: 61'-6"

AREA OF 2ND FLOOR

CENTER RECTANGLE OF HOUSE: $26'-3.5'' * 46'-9''$

REAR PORCH: $+ 7'-3'' * 17'-8''$

BAY WINDOW: $+ (12'-8'' + 6'-2'')/2 * 1'-7''$

TOTAL: 1372.0 SQ-FT (Refer to Drawing A1.0 for all wall dimensions)

$1372.0 * 60\% = 823.3$ SQ-FT MAX ALLOWED PER HALF STORY DEFINITION.

3RD FLOOR PROPOSED POTENTIAL 5'0" CLEAR

REAR DORMER: 3'5" long * 10'11" wide

SIDE DORMERS: $+ 19'11''$ long * 24'9" wide

UNDORMERED: $+ 15'0''$ long * 10'11" wide

FRONT DORMER: $+ 7'7.5''$ long * 5'2" wide

TOTAL: 733.4 SQ-FT (Refer to Drawing A1.0 for dimensions)

LENGTH OF ROOFLINE

LEFT ROOFLINE: 46'-9"

LEFT DORMER LENGTH: 21'0"

MAX ALLOWED PER HALF STORY DEFINITION: $46'9'' * 0.75 = 35'0.75''$

RIGHT ROOFLINE: 46'-9"

RIGHT DORMER LENGTH: 21'0"

MAX ALLOWED PER HALF STORY DEFINITION: $46'9" * 0.75 = 35'0.75"$

REAR ROOFLINE: 26'0"

REAR DORMER WIDTH: 18'10"

MAX ALLOWED PER HALF STORY DEFINITION: $26'0" * 0.75 = 19'5"$

FRONT ROOFLINE: 26'0"

FRONT DORMER WIDTH: 6'0"

MAX ALLOWED PER HALF STORY DEFINITION: $26'0" * 0.75 = 19'5"$

DIMENSIONS FOR SPECIAL PERMIT

3RD FLOOR EXISTING POTENTIAL 5'0" CLEAR

CENTER RECTANGLE: 32'8.5" deep * 12'5" wide

FRONT DORMER: + 6'9.25" * 5'-2" wide

TOTAL: 441.1 SQ- FT (Refer to Drawing D1.2 for dimensions)

3RD FLOOR PROPOSED POTENTIAL 5'0" CLEAR

REAR DORMER: 3'5" long * 10'11" wide

SIDE DORMERS: + 19'11" long * 24'9" wide

UNDORMERED: + 15'0" long * 10'11" wide

FRONT DORMER: + 7'7.5" long * 5'2" wide

TOTAL: 733.4 SQ-FT (Refer to Drawing A1.0 for dimensions)

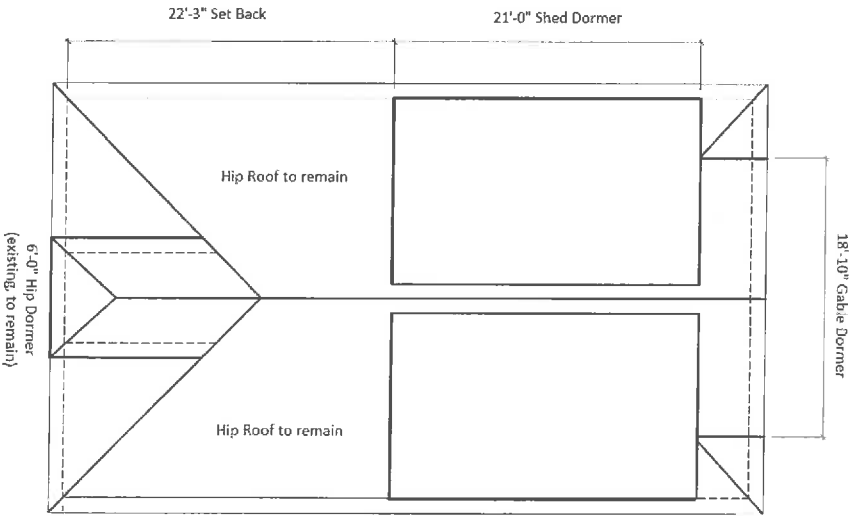
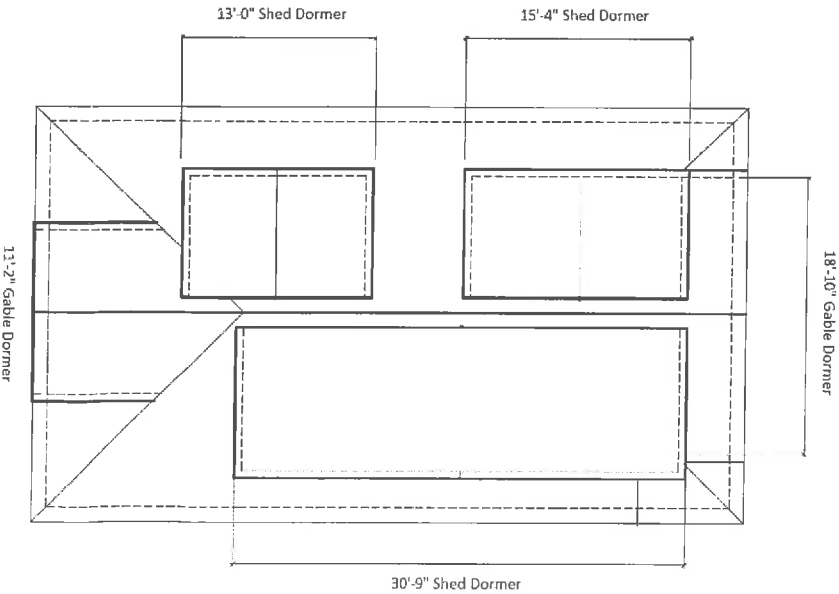
CHANGE in SQUARE FOOTAGE AT 5'0" CLEAR

$733.6 - 441.1 = 292.5$ SQ-FT

Current Permit



Proposed Special Permit



Montenegro and Ross Residence
3rd Floor Conversion and
Dormer Additions
60 Hull Street
Belmont, MA 02478



ARCHITECT:
Adam J. Glassman, R.A.
2 Worthington St
Cambridge, MA 02138
Tel (617) 412-8450



STRUCTURAL ENGINEER:
JOHN MARTIN, P.E.
342 LEXINGTON STREET
WATERTOWN, MA 02472
Tel (617) 412-8450

SURVEYOR:
Peter Nolan
697 Cambridge, St
Brighton, MA 02135
Tel (857) 891-7478

SUBMITTED FOR PERMITTING
26 JUNE 2018



60 HULL STREET STREET - STREET VIEW



60 HULL STREET STREET - STREET VIEW



60 HULL STREET -LOCUS MAP



60 HULL STREET STREET - STREET VIEW

GENERAL DEMOLITION NOTES:

1. THE DEMOLITION PLAN DESCRIBES THE GENERAL SCOPE OF WORK TO BE PERFORMED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL SCOPE WITH FIELD CONDITIONS AND THE REQUIREMENTS SET FORTH IN THE CONTRACT DOCUMENTS.
2. SELECTIVE DEMOLITION SHALL INCLUDE FURNISHING OF ALL MATERIAL, LABOR, EQUIPMENT AND SUPPLIES, AND THE PERFORMANCE OF ALL OPERATIONS REQUIRED TO COMPLETE THE INDICATED SCOPE OF WORK.
3. THE DEMOLITION PLAN DESCRIBES THE GENERAL SCOPE OF THE WORK. THE CONTRACTOR SHALL COORDINATE THE ACTUAL WORK SCOPE WITH FIELD CONDITIONS AND DESIGN PLAN REQUIREMENTS.
4. THE SELECTIVE DEMOLITION SCOPE OF WORK IS INDICATED ON THE DRAWINGS AND SHALL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:
 - DEMOLITION OF INDICATED ITEMS PER THE DRAWINGS;
 - PROTECTION FROM DAMAGE OF ALL EXISTING ITEMS TO REMAIN;
 - SALVAGE AND STORAGE OF ALL INDICATED ITEMS PER THE DRAWINGS;
 - COMPLETE REMOVAL FROM THE PREMISES AND THE LEGAL DISPOSAL THEREOF OF ALL REMOVED OR DEMOLISHED MATERIALS, OTHER THAN THOSE ITEMS EITHER DIRECTED BY THE ARCHITECT OR INDICATED ON THE DRAWINGS TO BE SALVAGED.
 - LANDFILL DUMPING SLIPS SHALL BE RETAINED BY THE CONTRACTOR AND GIVEN TO THE OWNER UPON REQUEST.
5. THE CONTRACTOR SHALL USE DUE CARE IN CUTTING INTO AND WORKING ADJACENT TO EXISTING CONDITIONS WHICH ARE TO REMAIN. ALL CUTTING OF EXISTING MATERIALS SHALL BE HELD TO THE ABSOLUTE MINIMUM AS REQUIRED TO PROPERLY PERFORM THE WORK, AND SHALL BE SUBJECT AT ALL TIMES TO THE ARCHITECT'S APPROVAL.
6. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF THE SELECTIVE DEMOLITION PROCESS REVEALS PRE-EXISTING AND UNFORESEEN LATENT CONDITIONS OR DEFECTS REQUIRING IMMEDIATE REMEDIAL REPAIRS, TEMPORARY SUPPORT, OR OTHER ATTENTION.
7. WHERE WORK INVOLVES LOAD BEARING STRUCTURES, PROVIDE TEMPORARY BRACING OR SHORING AS REQUIRED TO SAFELY TRANSFER REQUIRED LOAD. DO NOT PROCEED WITH WORK UNLESS ALL SHORING IS IN PLACE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS WORK, AND ARRANGING FOR ANY REQUIRED INSPECTIONS.

GENERAL CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE MASSACHUSETTS RESIDENTIAL BUILDING CODE 8TH ADDITION AND THE RULES AND REGULATIONS OF ALL GOVERNING BODIES
2. THE CONTRACTOR SHALL APPLY FOR AND MAINTAIN IN GOOD ORDER ALL REQUIRED PERMITS AND SHALL COORDINATE WITH OFFICIALS ALL REQUIRED INSPECTIONS AND CERTIFICATIONS
3. THE CONTRACTOR SHALL DETERMINE EXISTING CONDITIONS WHERE REQUIRED AND VERIFY ALL FIELD CONDITIONS FOR CLEARANCES, DIMENSIONS, AND ELEVATIONS SHOWN ON DRAWINGS. ANY DISCREPANCIES SHALL BE MARKED ON A PRINT OF THE RELEVANT DRAWING AND FORWARDED IMMEDIATELY TO THE ARCHITECT.
4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ARCHITECT ALL REQUIREMENTS FOR INSTALLATION OF REQUIRED FURNISHINGS, WINDOWS, FIXTURES AND EQUIPMENT
5. HVAC, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK WILL BE PROCURED BY THE OWNER FROM THE CONTRACTOR ON A DESIGN/BUILD BASIS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THIS WORK AND FOR CONFORMING THE WORK TO ARCHITECTURAL REQUIREMENTS. CONTRACTOR RESPONSIBLE FOR ALL MEP TO CODE.
6. DIMENSIONS ARE FINISH TO FINISH, UNLESS OTHERWISE NOTED
8. ALL NEW WINDOWS, BY OWNER, TO BE ENERGY STAR RATED, MAX U FACTOR .30
9. ALL NEW EXTERIOR DOORS, BY OWNER, TO BE ENERGY STAR RATED, MAX U FACTOR .27
10. GC TO INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS
11. HARDWIRED SMOKE DETECTORS, HEAT DETECTORS & CO2 DETECTORS WILL BE INSTALLED PER CODE THROUGHOUT THE ENTIRE HOUSE INCLUDING BASEMENT. (CO2 WITHIN 10'-0" OF EVERY BEDROOM) ALL FINAL LOCATIONS TO BE APPROVED BY THE BELMONT FIRE DEPARTMENT.
12. ALL NEW ROOF INSULATION TO BE R-49 MIN
13. ALL NEW EXTERIOR WALL INSULATION TO BE R-21 MIN
14. ALL INTERIOR BATHROOM AND BEDROOM WALLS TO HAVE ACOUSTIC BATT INSULATION
15. SECOND AND THIRD FLOOR ASSEMBLIES TO HAVE ROXUL SAFE'N'SOUND INSULATION OR EQUAL

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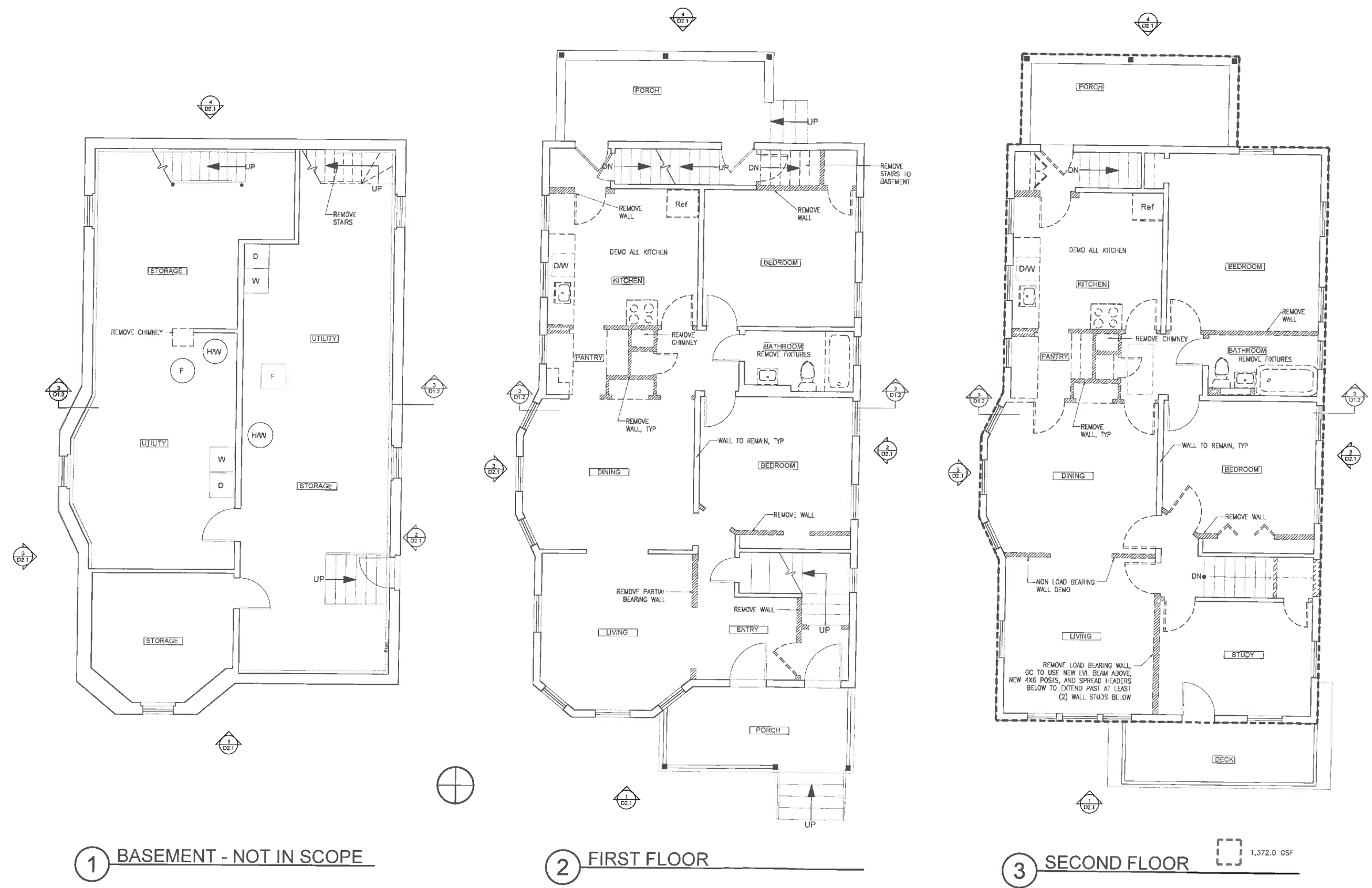
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ajglassman.ra@gmail.com
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Drawing Title:
**Existing
Plans Rev-2**
Scale: As Noted Drawing No.
Job No.: A107.00
Date: 15 May 2018 **D1.1**

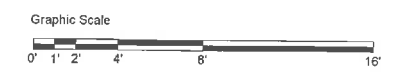


1 BASEMENT - NOT IN SCOPE

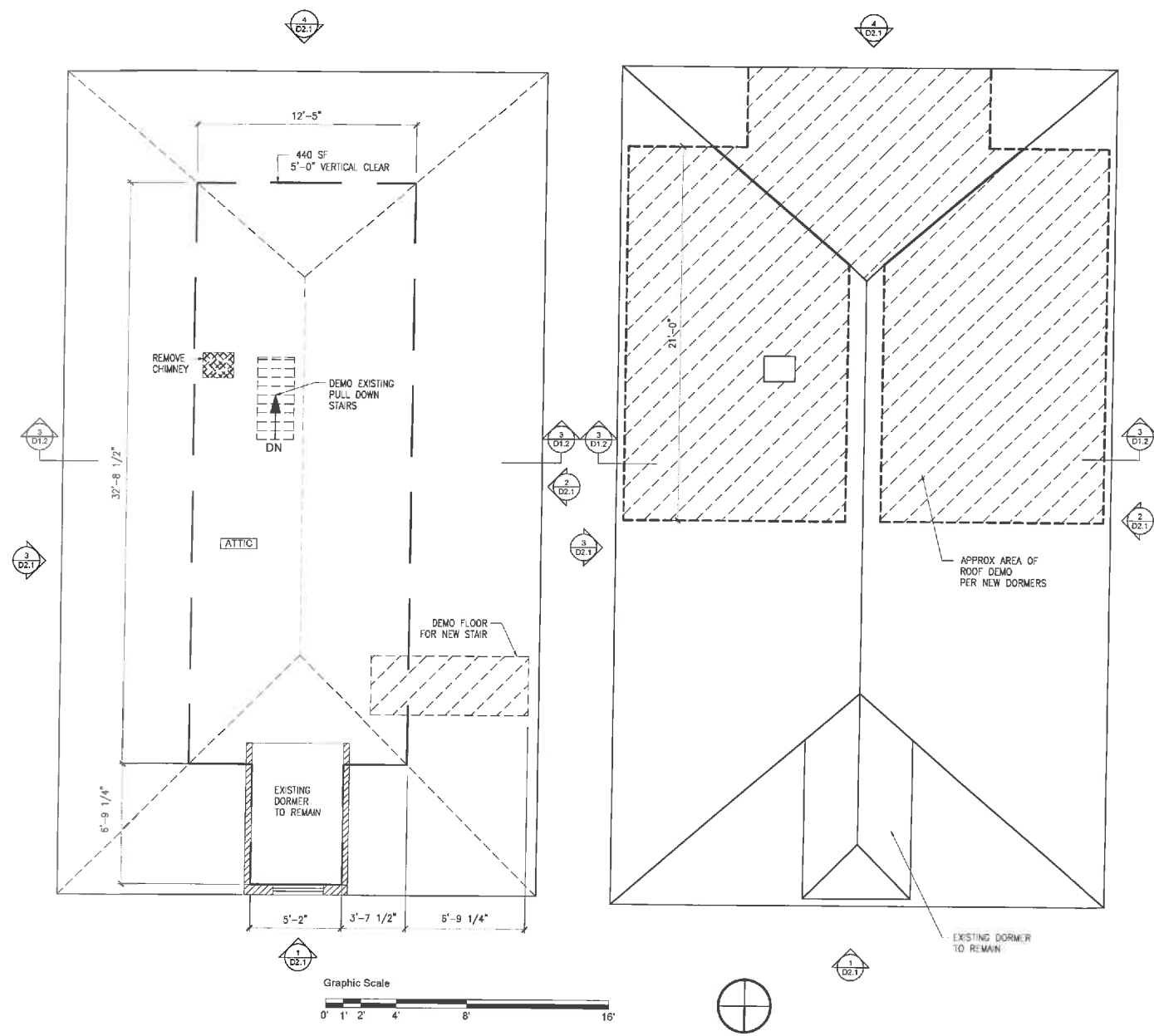
2 FIRST FLOOR

3 SECOND FLOOR 1,372.0 CSF

NOTE: 1ST AND 2ND FLOOR DEMO SCOPE
COMPLETED UNDER A SEPARATE PERMIT
SHOWN HERE FOR REFERENCE



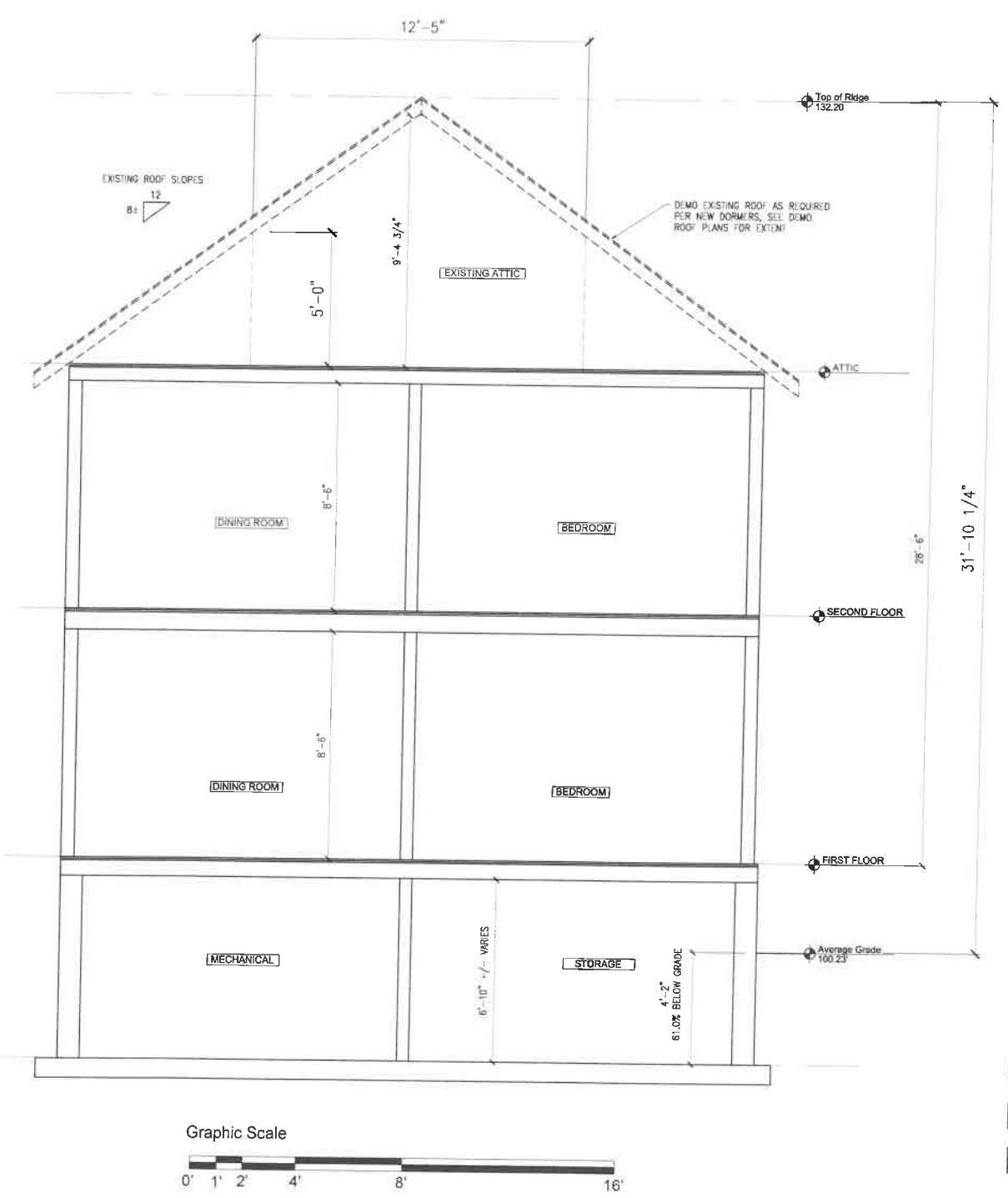
SCALE = 1/4" = 1'-0"



1 EXISTING ATTIC DEMO PLAN

2 EXISTING ROOF DEMO PLAN

SCALE = 1/4" = 1'-0"



3 EXISTING SECTION

SCALE = 3/8" = 1'-0"

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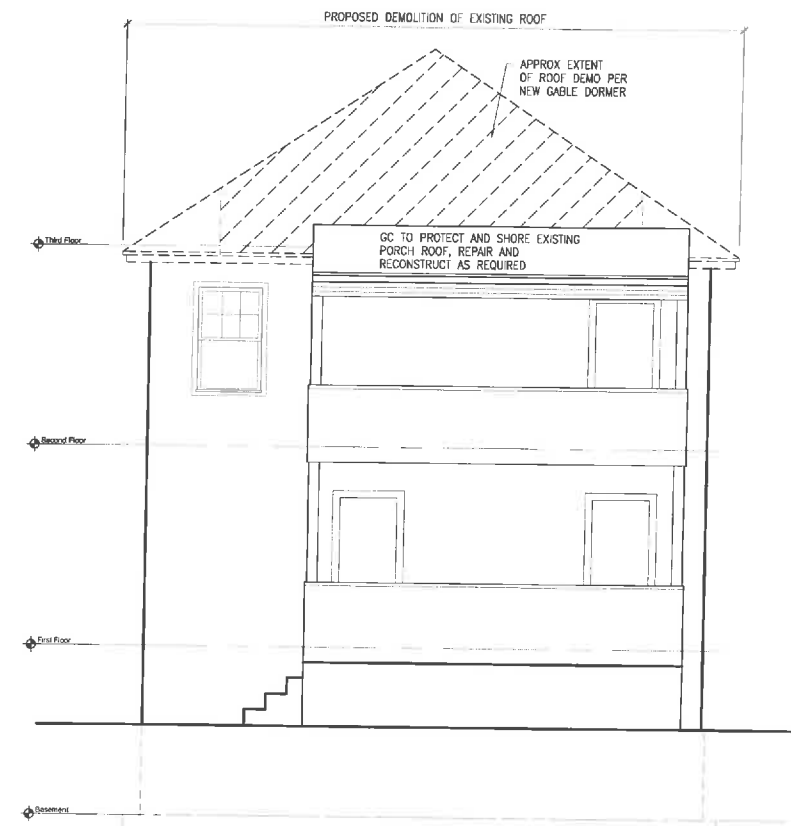
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Drawing Title:
**Existing
 Plans**

Scale: As Noted Drawing No.
 Job No.: A107.00
 Date: 15 May 2018 **D1.2**



3 SIDE ELEVATION - EAST

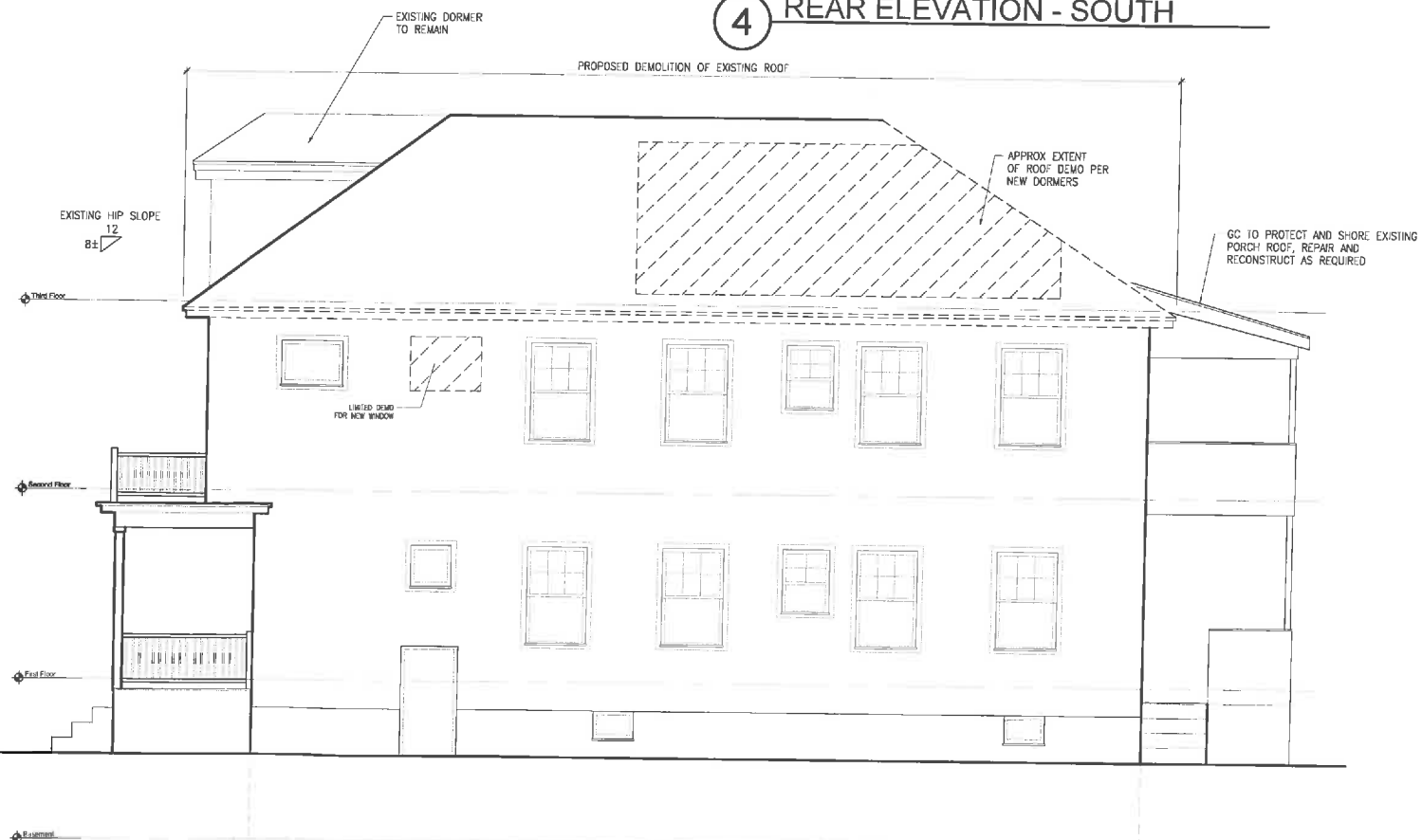


4 REAR ELEVATION - SOUTH

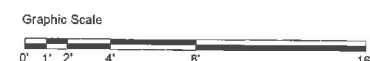


1 FRONT ELEVATION - NORTH

NOTE: DEMO SCOPE LIMITED TO EXISTING HIP ROOF AND DORMER



2 SIDE ELEVATION - WEST

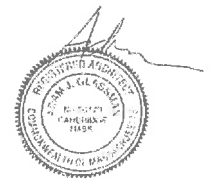


SCALE = $\frac{1}{4}" = 1'-0"$

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Elevations

Scale: As Noted

Drawing No.

Job No.: A107.00

Date: 15 May 2018

D2.1

KEY



2ND FLOOR AREA = 1,372.00 GSF CALCULATIONS: MAIN HOUSE: 46'-9" X 26'-3" = 1,227 SF

PORCH: 17'-8" X 7'-3" = 128 SF

BAY WINDOW: = 17 SF

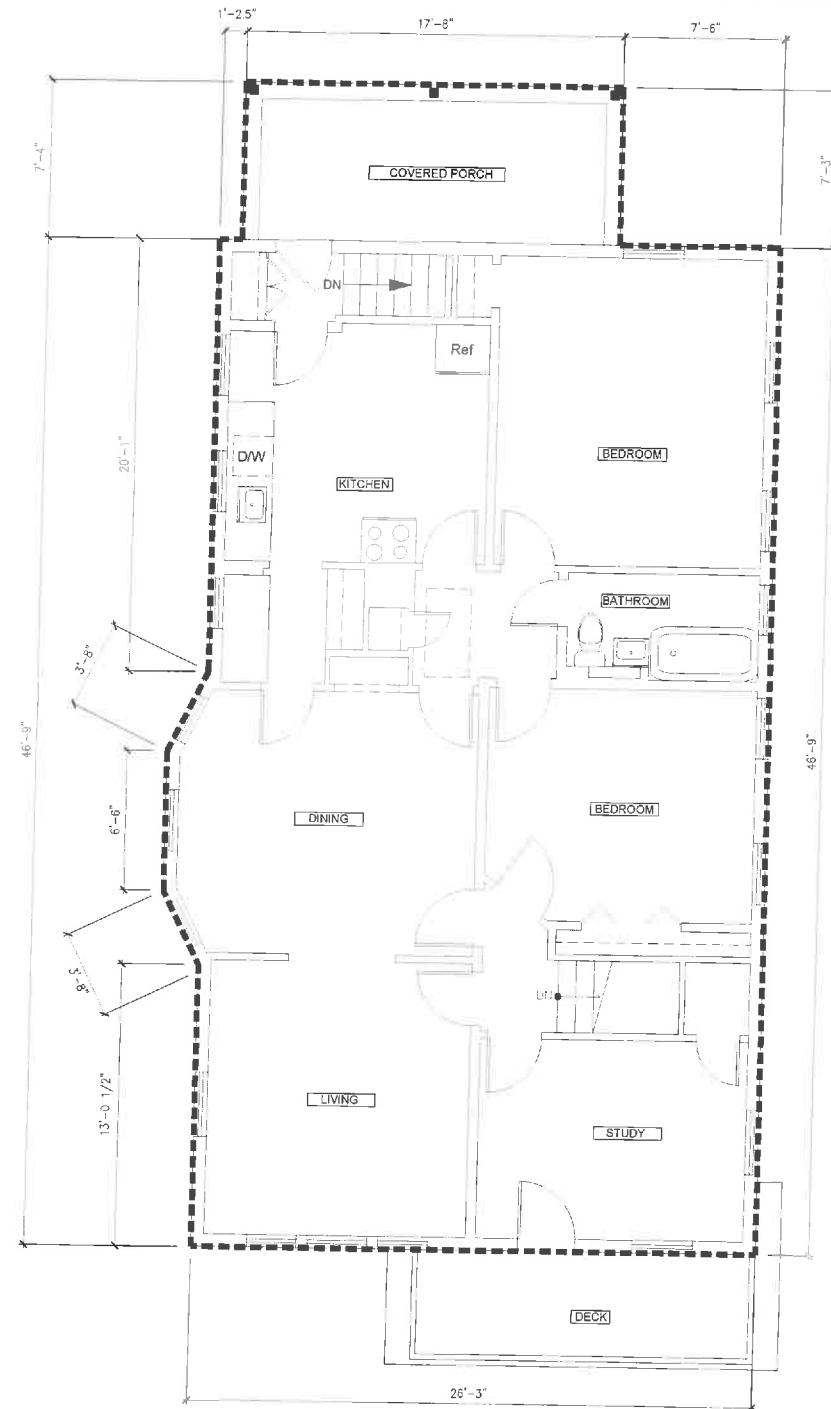
TOTAL 2ND FLOOR AREA = 1,372 SF



3RD FLOOR PROPOSED SPACE WITH THE POTENTIAL TO BE 5'-0" OR HIGHER = 733.0 SF / 1,372 SF = .534
2ND FLOOR 1,372.00 GSF TOTAL x .60 = 823.30 SF MAX ALLOWED PER HALF STORY DEFINITION

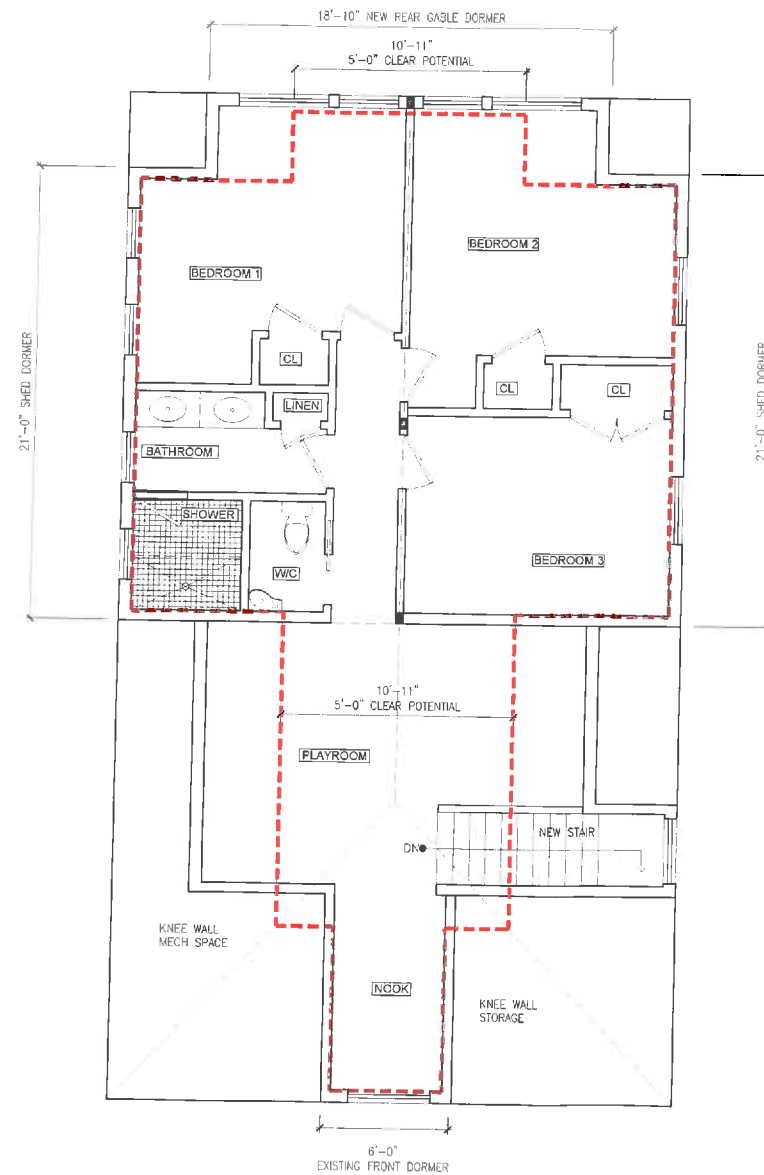


62'-10" TOTAL EXTERIOR WALL SPACE WHERE THE INTERSECTION OF ROOF RAFTER BOTTOMS AND INTERIOR WALL SURFACE IS 3'-0" OR GREATER ABOVE FLOOR LEVEL. MAX ALLOWABLE IS 80'-9".

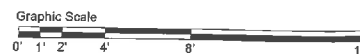


2ND FLOOR AREA = 1,372.00 GSF (1,372.0 x .60 = 823.2 SF)

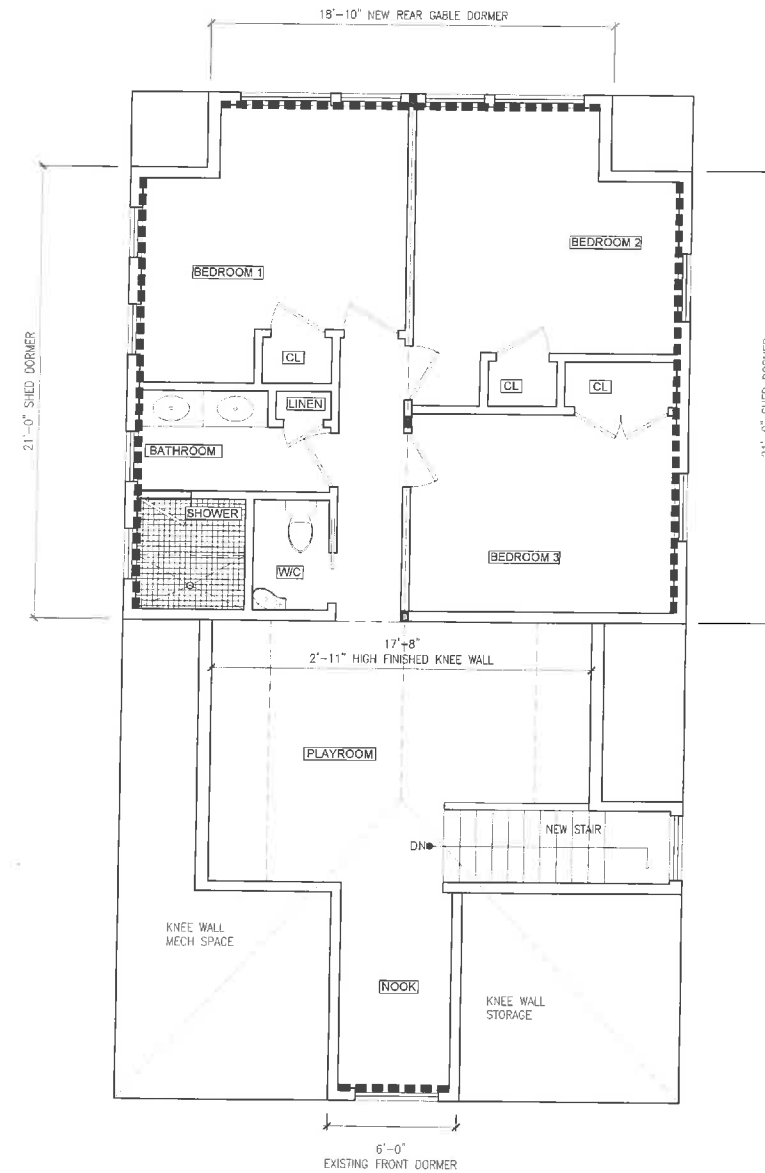
1 EXISTING SECOND FLOOR GSF



POTENTIAL FOR 5'-0" OR GREATER
FLOOR TO CEILING = 733.0 SQUARE FEET



2 PROPOSED THIRD FLOOR



SPACE WHERE THE INTERSECTION OF
ROOF RAFTER BOTTOMS AND
INTERIOR WALL SURFACE IS 3'-0"
OR GREATER ABOVE FLOOR LEVEL.

3 PROPOSED THIRD FLOOR

SCALE = $\frac{3}{8}$ " = 1'-0"

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Drawing Title:

Zoning Plans
for Half Story

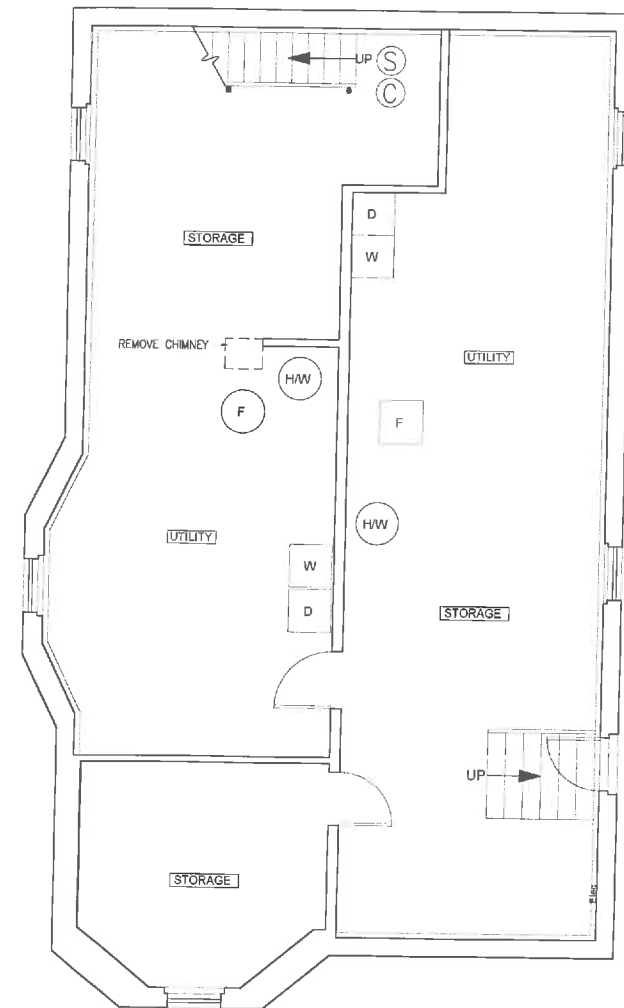
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Drawing No.

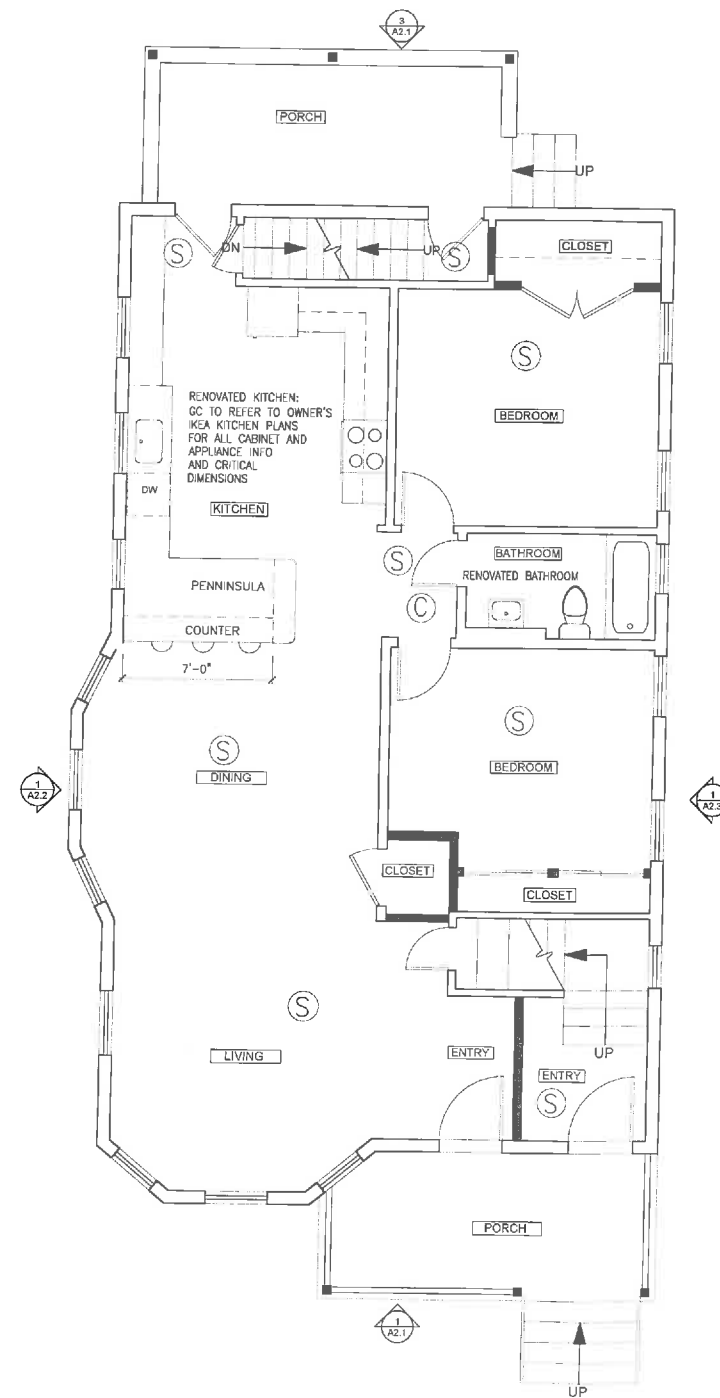
Job No.: A107.00

Date: 15 May 2018

A1.0

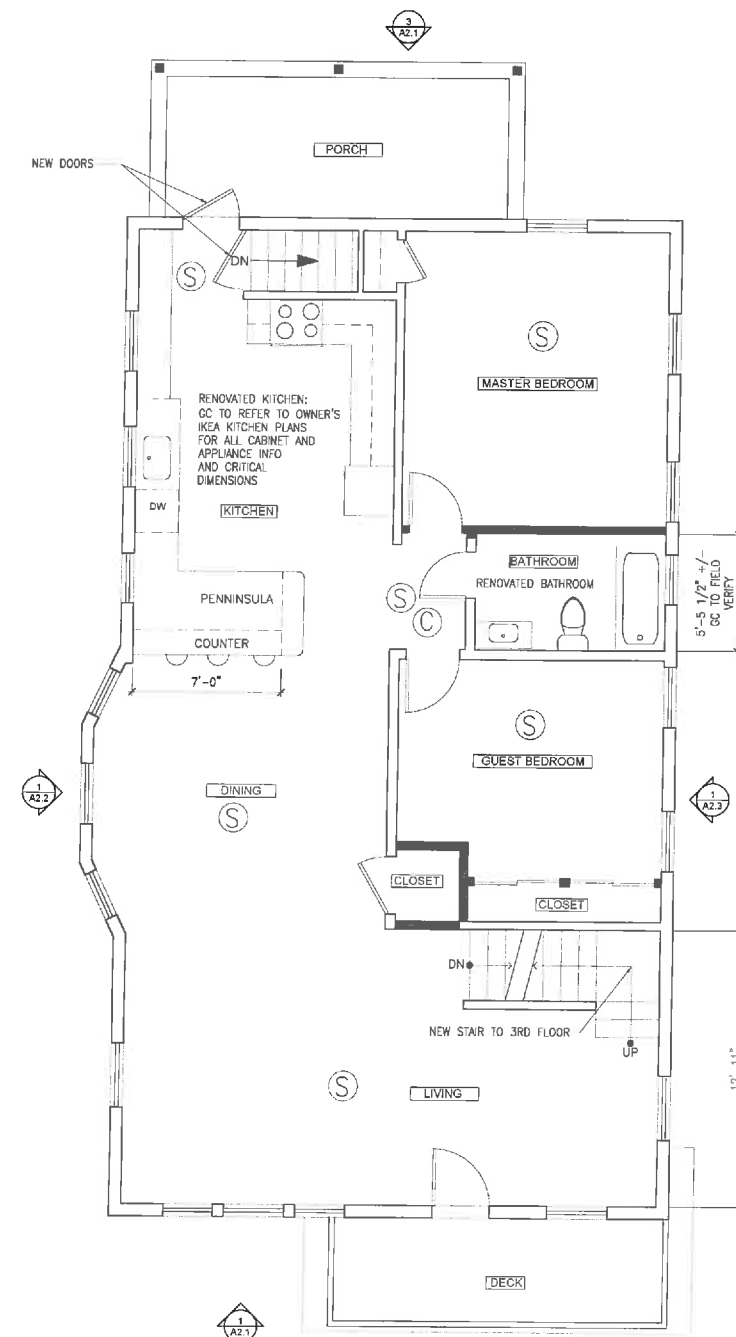


1 BASEMENT - NOT IN SCOPE



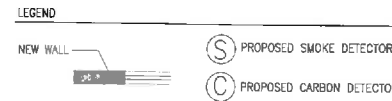
2 PROPOSED FIRST FLOOR

NOTE: 1ST AND 2ND FLOOR RENOVATION SCOPE COMPLETED UNDER A SEPARATE PERMIT SHOWN HERE FOR REFERENCE



3 PROPOSED SECOND FLOOR

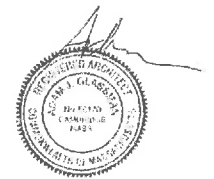
SCALE = 1/4" = 1'-0"



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Drawing Title:

Proposed Plans Rev-2

Scale: As Noted

Drawing No.

Job No.: A107.00

Date: 15 May 2018

A1.1

A. INSULATION NOTES:

- B. NEW CONVERTED THIRD FLOOR FRAMING NOTES:

- C. PROPOSED DORMER AND GABLE END FRAMING NOTES:

- D. PROPOSED GABLE END ROOF NOTES:

GC TO USE:

- E. PROPOSED SHED DORMER ROOF:

GC TO USE:

- F. NEW EXTERIOR WALLS:

- G. NEW WINDOWS:

- LEGEND

PROPOSED WALL

PROPOSED WINDOW

PROPOSED SMOKE DETECTOR

☐ PROPOSED COMBO CARBON / SMOKE DETECTOR.



Graphic Scale



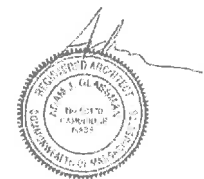
SCALE = $\frac{1}{4}" = 1'-0"$

PROJECT:

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Drawing Title:

Proposed Plans

Scale: As Noted

Drawing No.

Job No.: A107.00

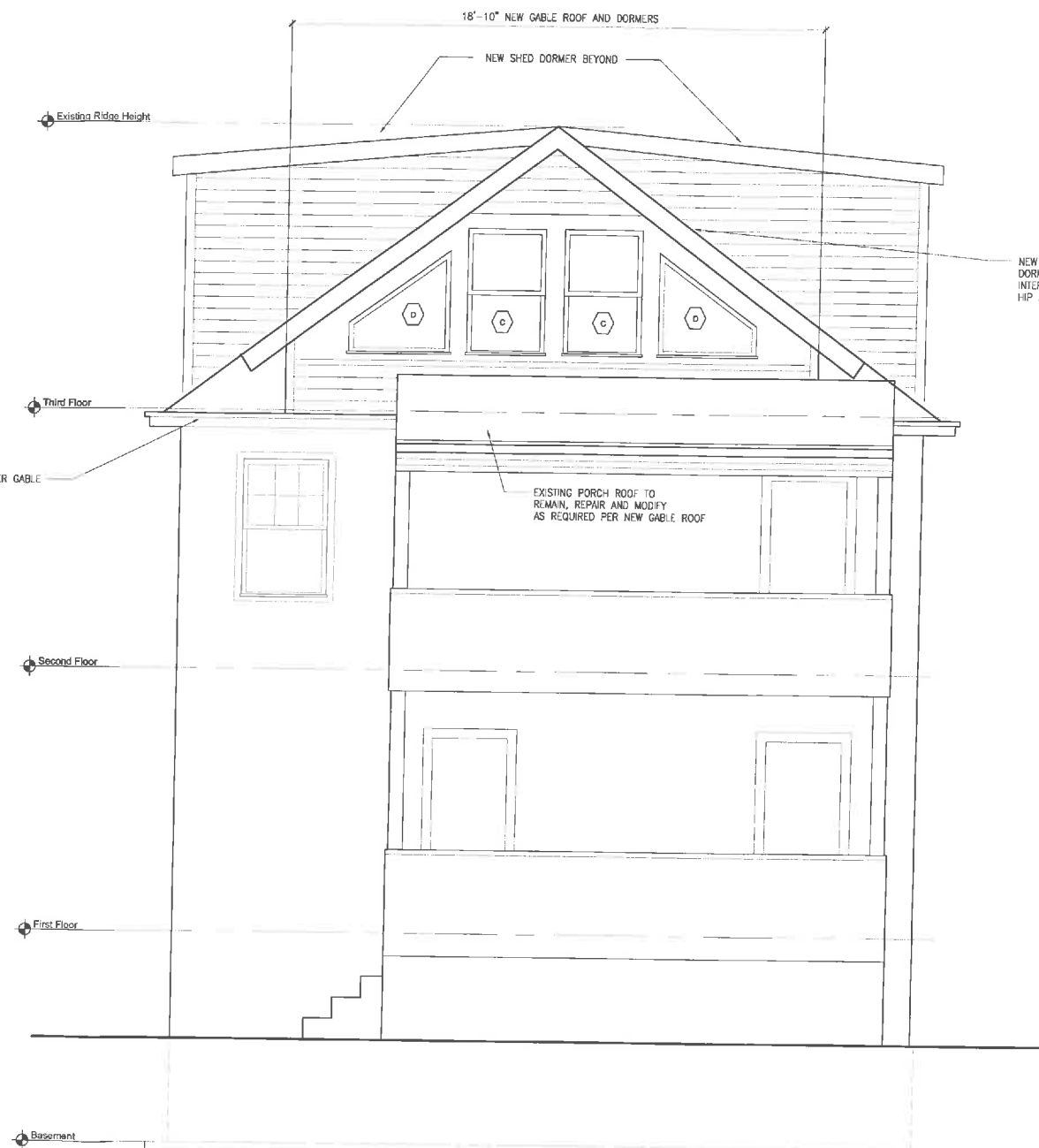
Date: 15 May 2018

A1.2

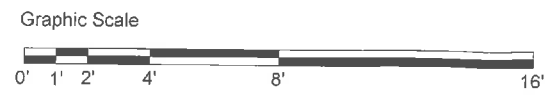


① FRONT ELEVATION - NORTH

NOTE: ALL NEW SIDING TO BE VINYL TO MATCH EXISTING SHINGLE SIDING



② REAR ELEVATION - SOUTH



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Drawing Title:
**Proposed
 Elevations**

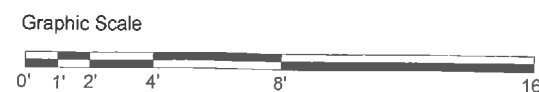
Scale: As Noted Drawing No.
 Job No.: A107.00
 Date: 15 May 2018

A2.1

SCALE = 3/8" = 1'-0"



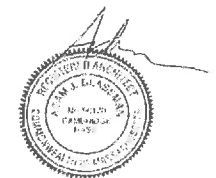
1 SIDE ELEVATION - EAST



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Drawing Title:

Proposed
Elevations and

Scale: As Noted

Drawing No.

Job No.: A107.00

Date: 15 May 2018

A2.2

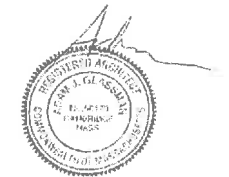
SCALE = $\frac{3}{8}" = 1'-0"$



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Drawing Title:

**Proposed
 Elevations**

Scale: As Noted

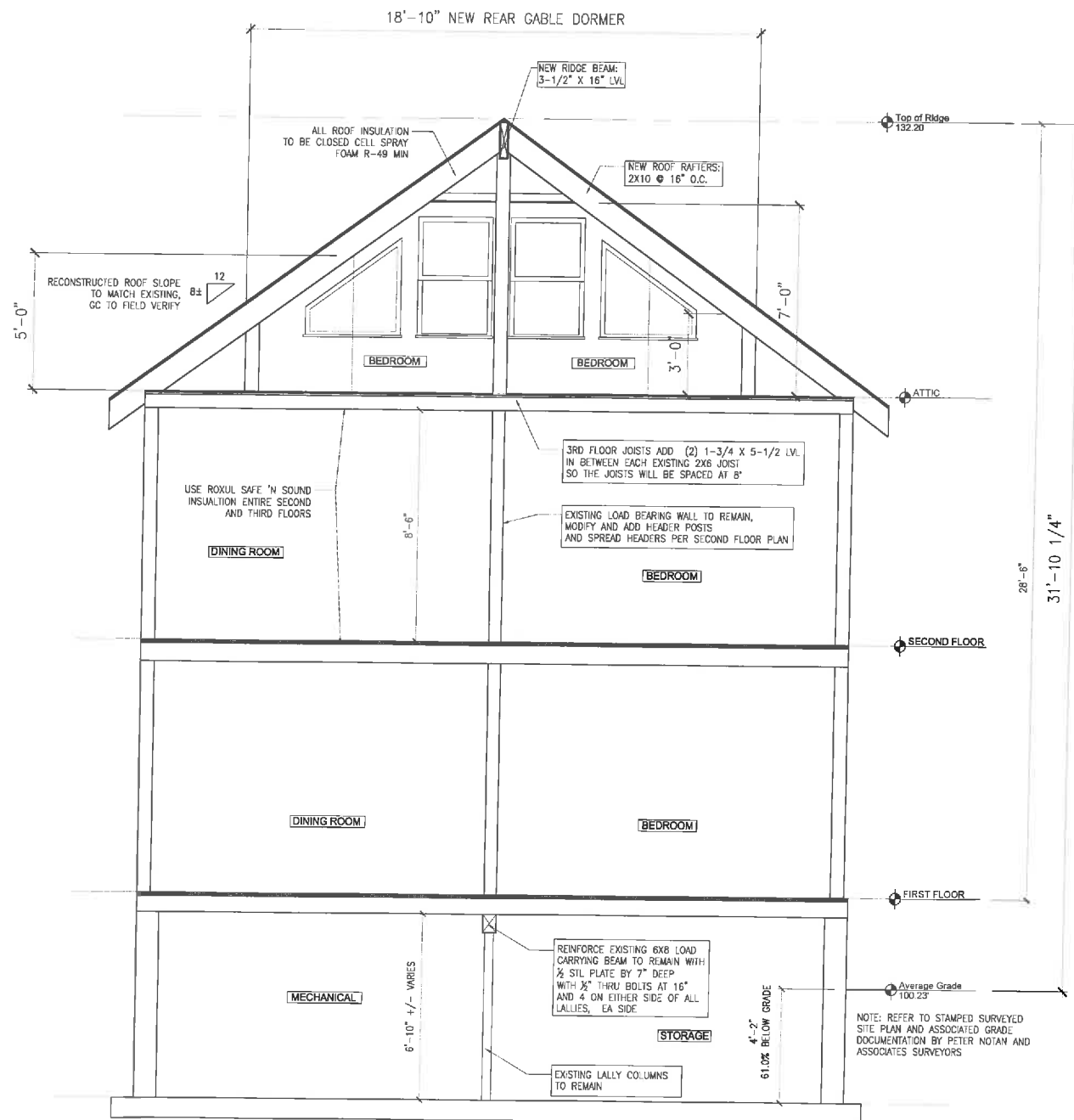
Drawing No.

Job No.: A107.00

Date: 15 May 2018

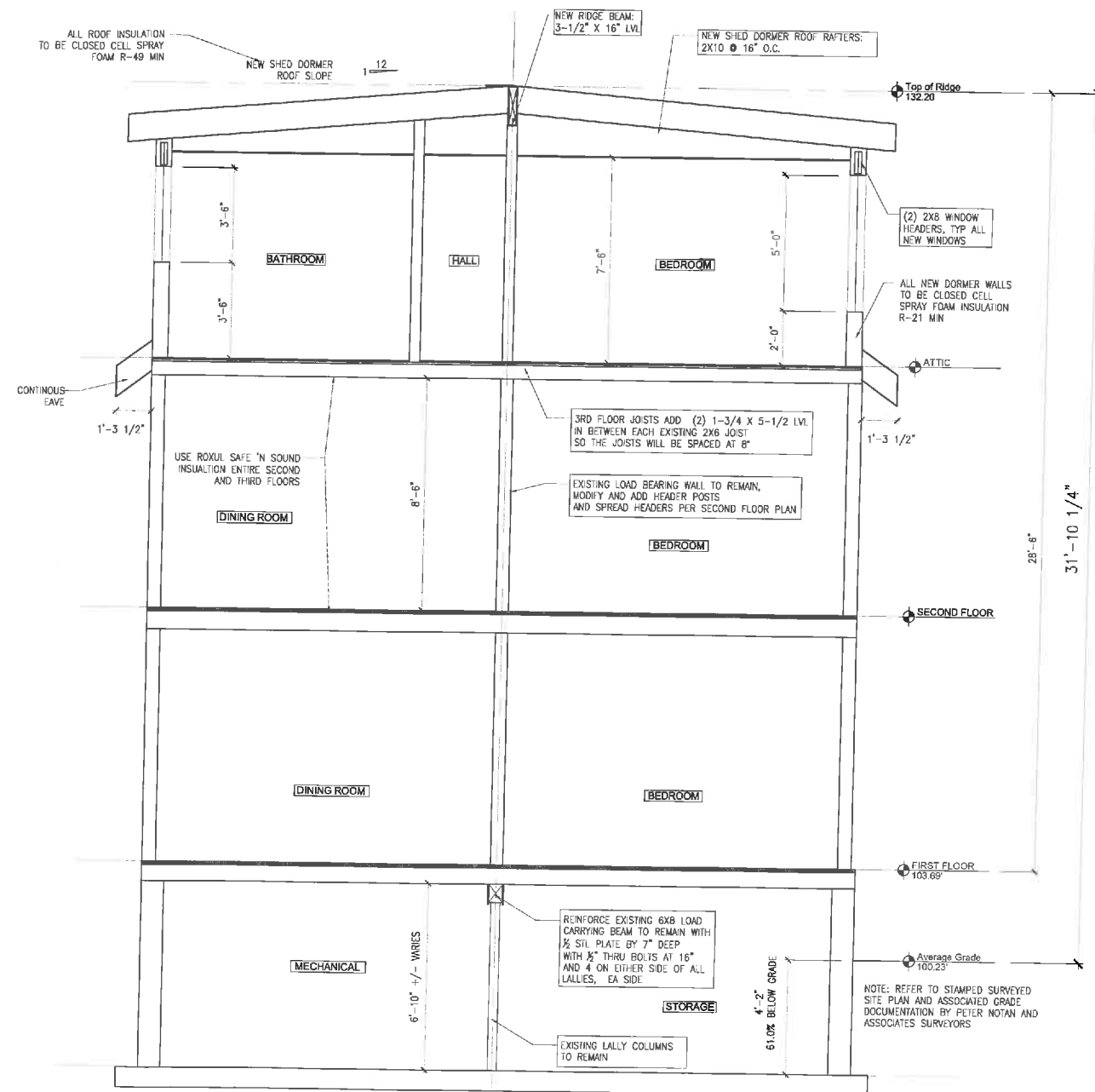
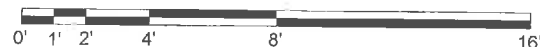
A2.3

SCALE = $\frac{3}{8}" = 1'-0"$



② BUILDING SECTION THRU NEW REAR GABLE END

Graphic Scale

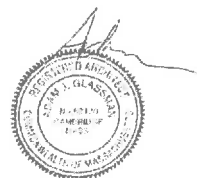


① BUILDING SECTION THRU NEW SHED DORMERS

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Drawing Title:

Proposed
Sections

Scale: As Noted

Drawing No.

Job No.: A107.00

Date: 15 May 2018

SCALE = $\frac{3}{8}" = 1'-0"$

A3.1

STRUCTURAL GENERAL NOTES:

CONCRETE

1. REINFORCED CONCRETE IS DESIGNED BY THE ALTERNATE METHOD IN ACCORDANCE WITH THE ACI BUILDING CODE ACI 318-2012.
2. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN 28 DAYS.
3. CONCRETE SHALL BE CURED FOR NOT LESS THAN 7 DAYS.
4. ALL CONCRETE SHALL BE PLACED IN THE DRY.

REINFORCING STEEL

1. REINFORCING STEEL SHALL BE GRADE 60, NEW BILLET STEEL CONFORMING TO ASTM A615 (FS = 24,000 PSI)
2. PROVIDE A MINIMUM CONCRETE COVER OF 3" FOR FOOTINGS.

STRUCTURAL STEEL

1. ANCHOR BOLTS SHALL BE ASTM A-307 THREADED RODS.
2. BEARING PLATES SHALL BE ASTM A-572 FY=50KSI
3. PIPE COLUMNS SHALL BE ASTM A-36 STEEL

TIMBER

DIMENSION LUMBER SHALL BE STRESS RATED, 19% MAX. M.C., WITH THE FOLLOWING GRADES AND PROPERTIES.

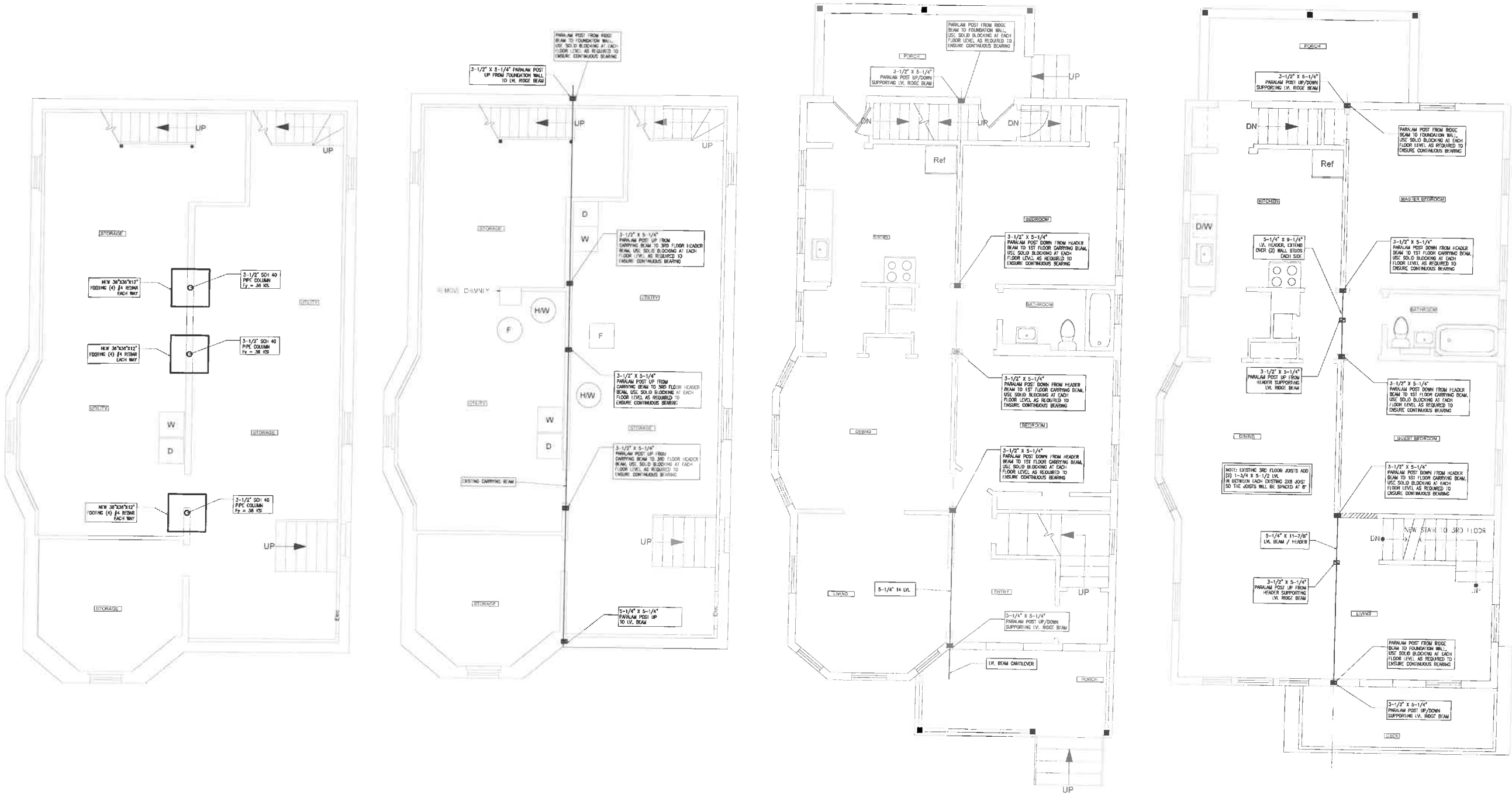
JOISTS AND PLANKS - HEM FIR #2
Fb = 1000 PSI, Fv = 75 PSI, E = 1,400,000 PSI

STUDS - HEM FIR, STUD
Fc = 500 PSI, Fv = 75 PSI, E = 1,200,000 PSI

BEAMS AND STRINGERS, DOUGLAS FIR-LARCH #1
Fb = 1,350 PSI, Fv = 85 PSI, E = 1,600,000 PSI

PARA LAM POSTS
Fb = 2,400 PSI, Fc = 2,500 PSI, E = 1,600,000 PSI

MICROLAM LVL BEAMS
Fb = 2925PSI, Fv = 285 PSI, E = 1,900,000 PSI



1 NEW WORK FOOTING PLAN

2 NEW WORK 1ST FLOOR FRAMING

3 NEW WORK 2ND FLOOR FRAMING

4 NEW WORK 3RD FLOOR FRAMING

SCALE = 1/4" = 1'-0"

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STRUCTURAL ENGINEER:

JOHN MARTIN, P.E
342 LEXINGTON STREET
WATERTOWN, MA 02472
Tel (617) 412-8450



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Drawing Title:

**New Work
Framing Plans**

Scale: As Noted

Drawing No.

Job No.: A107.00

Date: 15 May 2018

S1.1