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TOWN CLERK
BELMONT, MA

CASE NO. 18-22

2018 JUN -4 AM 10:38

NOTICE OF PUBLIC HEARING BY THE
ZONING BOARD OF APPEALS

ON APPLICATION FOR A SPECIAL PERMIT

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public Hearing on MONDAY, June 18, 2018 at 7:00 PM in the Art Gallery, 3rd floor, Homer Municipal Building, 19 Moore St., to consider the application of Joseph DeStefano d/b/a 495-505 Trapelo Road LLC for a Special Permit under Section 3.3 of the Zoning By-Law to Construct a Mixed-Use Building at 495-505 Trapelo Road, located in a Local Business I (LBI) Zoning District.

ZONING BOARD OF APPEALS



Town of Belmont
Zoning Board of Appeals

RECEIVED
TOWN CLERK
BELMONT, MA

2018 JUN -4 AM 10:30

APPLICATION FOR A SPECIAL PERMIT

Date: 5-17-18

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 495-505 TRAPELO Street/Road hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for CONSTRUCTION OF A NEW MIXED USE BUILDING ON SAID PARCEL.

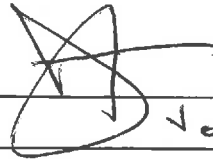
on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

Address

Daytime Telephone Number


JOSEPH PESTEFANO



OFFICE OF COMMUNITY DEVELOPMENT

Town of Belmont

Homer Municipal Building

19 Moore Street

Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

April 9, 2018

Joseph DeStefano
38 Lexington Street Suite F
Belmont, MA 02478

RE: Denial to Construct a Mixed-Use Building.

Dear Mr. DeStefano:

The Office of Community Development is in receipt of your building permit application to construct a Mixed-Use Building at 495-505 Trapelo Road, located in LBI Zoning District.

Your application has been denied since it does not comply with the current Zoning By-Laws. More specifically, Section 3.3 of the Town of Belmont's Zoning By-Law states, "Mixed-Use - provided that at a minimum the first floor is to be reserved for commercial use and that the residential use comply with §6.10, inclusionary Housing" may be allowed only by Special Permit from the Board of Appeals.

To begin the Special Permit process, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650.

Sincerely,


Glenn R. Clancy, P.E.
Building Commissioner

May 21, 2018

Joseph G. DeStefano
3 Sumner Lane
Belmont, Ma.02478

Belmont Zoning Board of Appeals
Belmont Town Hall
455 Concord Ave
Belmont, Ma. 02478

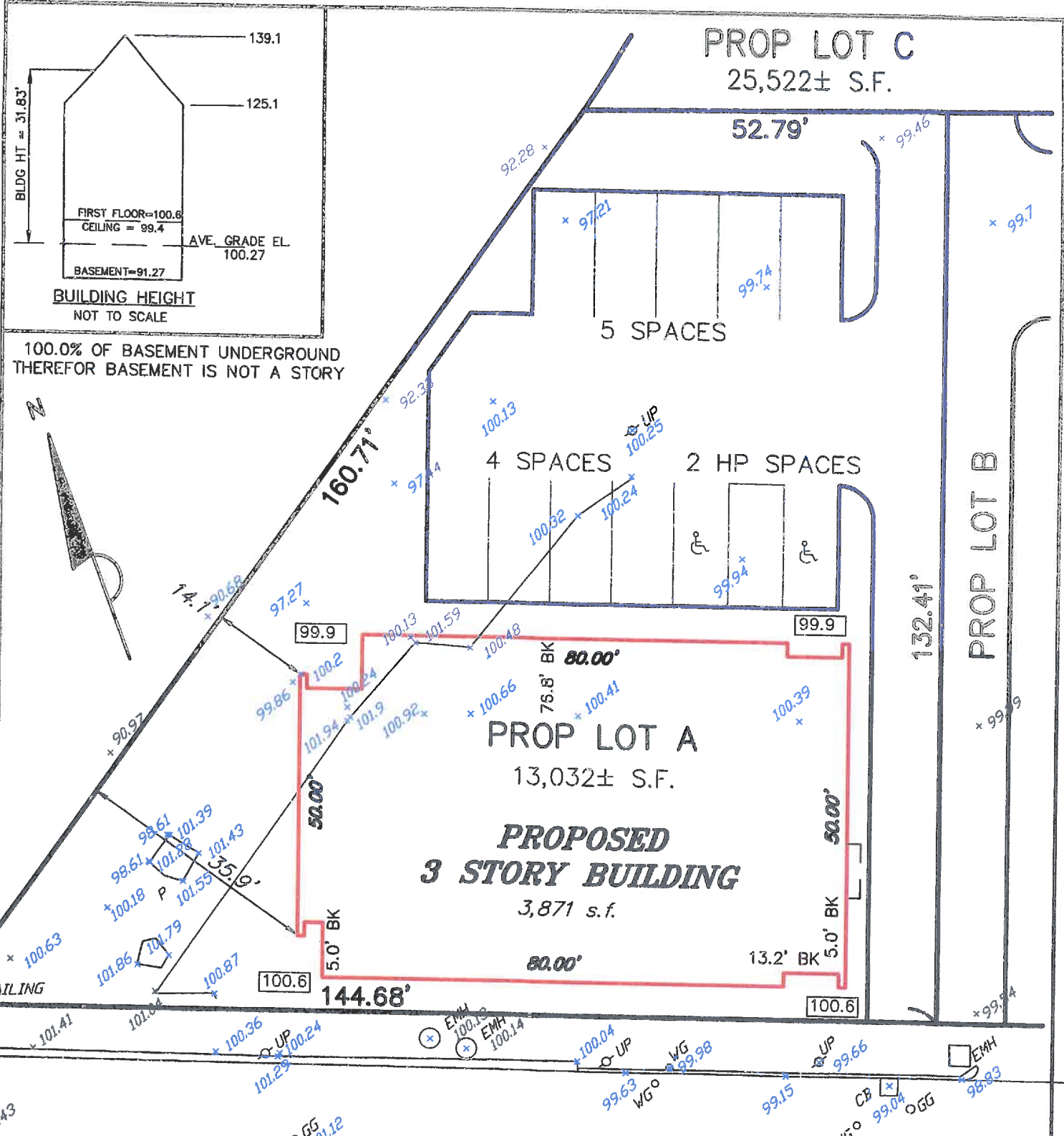
Gentlemen,

As you may know my name is Joseph DeStefano. I write to explain my proposed re-development of Waverley Square. My development would include the demolition of two one story "dated strip style" buildings containing approximately 10,000-15000 square feet of retail. Our proposal would then construct 2 thoughtfully designed mixed use 3 story buildings consisting of approximately 10,000 square feet of retail and 18,000 square feet of residential space. The buildings conform with the existing LB1 Zoning Bylaw and are allowed by special permit by the Zoning Board of Appeals. This development would greatly enhance the appearance of Waverley Square and hopefully encourage further redevelopment along Trapelo Road Corridor to complete a exciting revitalization of tBelmont's retail and residential neighborhoods.

Thank You,

Joseph G. DeStefano

A handwritten signature in dark ink, appearing to be 'Joseph G. DeStefano', is written over the printed name. The signature is stylized with a large, sweeping 'X' or 'J' shape that extends across the line and slightly above and below it.



THE PROPERTY IS NOT LOCATED
WITHIN WETLANDS AS SHOWN
ON THE TOWN OF BELMONT
WETLANDS ATLAS.

ZONING DISTRICT: LB-1
FRONT SETBACK: 5'
SIDE SETBACK: 6'
REAR SETBACK: 6'

REQ. 5'
PROP. 5.0'
13.2'/14.1'
76.8'

OWNER: 495-505 TRAPELO ROAD LLC
60865/76
ASSESSORS MAP 32 - PARCELS

TOTAL LOT AREA: 7,382± S.F.



[Signature] 5/1/18
CLIFFORD E. ROBER, PLS DATE

TRAPELO ROAD

PROPOSED PLOT PLAN
#505 TRAPELO ROAD
IN
BELMONT, MA
(MIDDLESEX COUNTY)

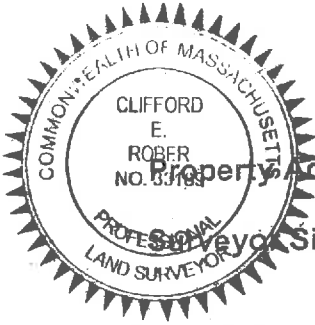
SCALE: 1" = 20' DATE: 5/1/2018



ROBER SURVEY
1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
DWG. NO. 3555SP1lotA.DWG

Zoning Compliance Check List

(Registered Land Surveyor)



LOT A

Property Address: 505 TRAPELO ROAD

Zone: LB1

Surveyor Signature and Stamp: *Clifford E. Robb*

Date: 5/1/18

	REQUIRED	EXISTING	PROPOSED
Lot Area	—	13032	13032
Lot Frontage	20'	144.68	144.68
Floor Area Ratio	1.25 / 1.5 SP		0.85
Lot Coverage	—		
Open Space	—		
Front Setback	5.0		5.0
Side Setback	6'		14.1
Side Setback	6'		13.2
Rear Setback	6'		76.8
Building Height	28 / 32 SP		31.83
Stories	2 / 3 SP		3
½ Story Calculation			

NOTES:

ROBER SURVEY
Professional Land Surveyor

PROJECT: 3555 1 BY: CR DATE: _____

LB1

BUILDING A

BASEMENT

3863

90% underground

1ST

3863

2ND

3879

3RD

3342

14,952

4.2 1.25*

GFA

1-3 ONLY

= 11,089 SF @ 1.5

7393 SF

* 1.5 / (SABE PERMIT)

REQ

PARKING

5.1.2.2

10 UNITS @ 1 SP/

= 10 SP

5.1.2.4

1 SP/350 GFA

3863/350 =

11.03

21 SP. TOTAL

5.1.1.6.1 PARK

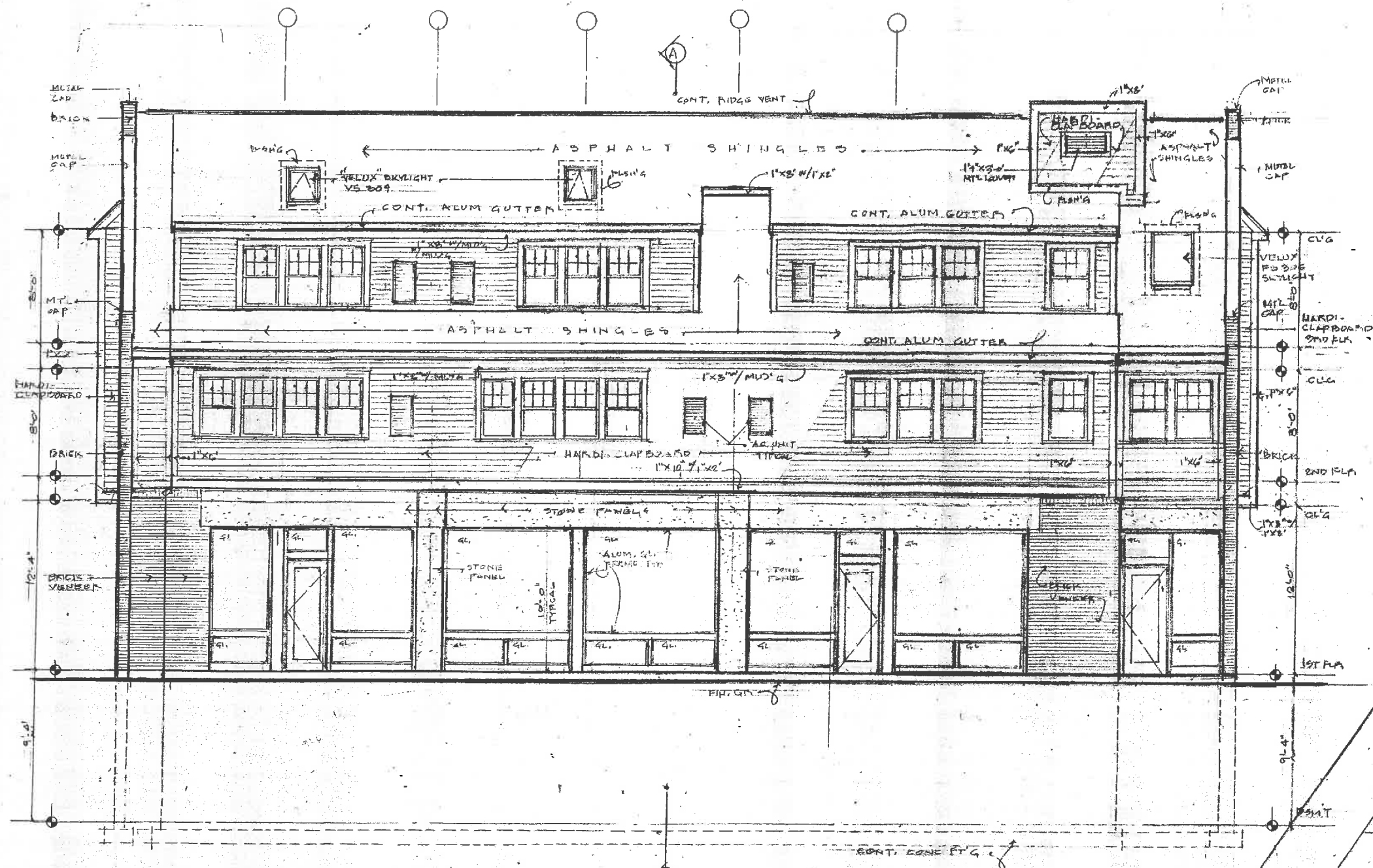
11

+ 5

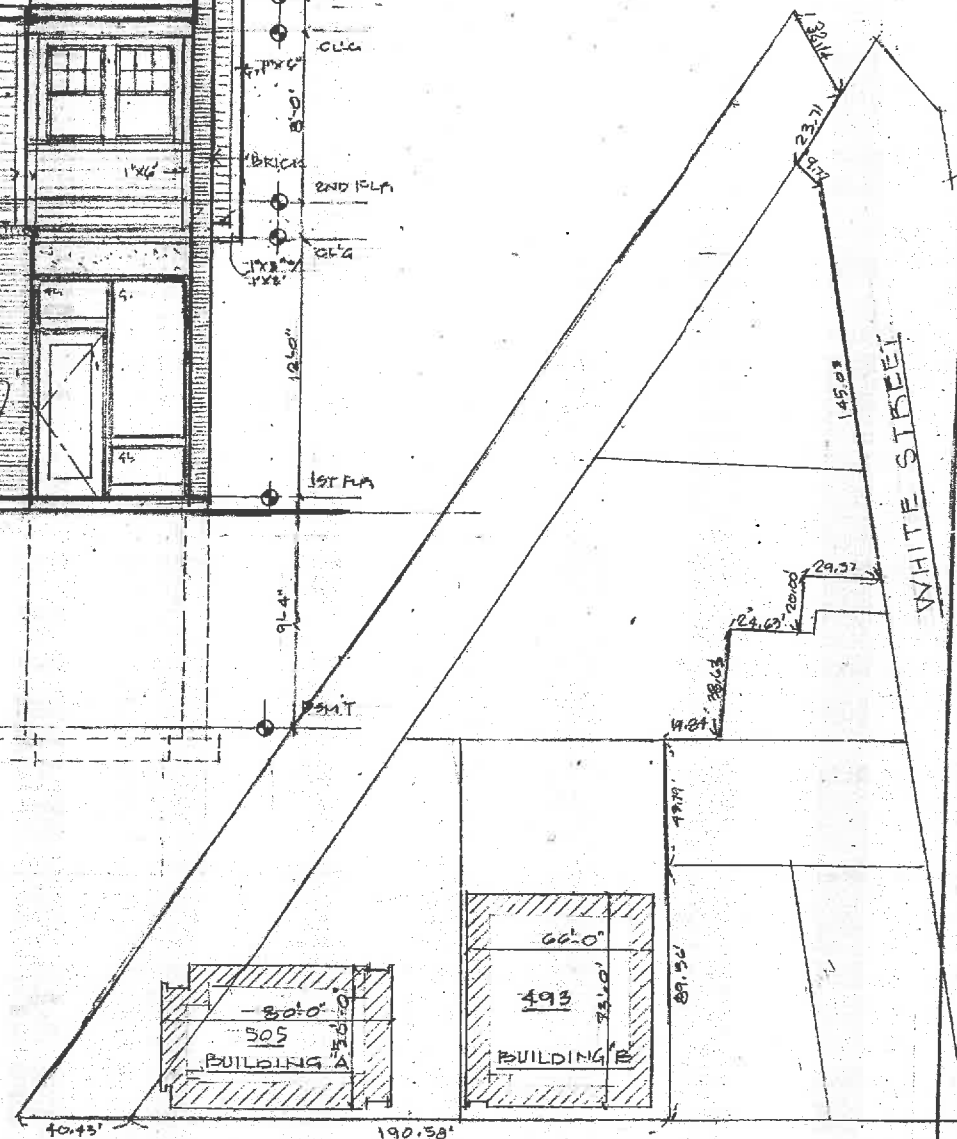
16

$$6.5/12 = 0.54 = \frac{6}{12} = 11.08 \approx 11'$$

18
14
32



FRONT (TRAPELO ROAD) ELEVATION
SCALE: 1/4" = 1'-0"



WAVERLEY SQUARE REDEVELOPMENT

525 TRAPELO ROAD, BELMONT, MA.

DESCO ASSOCIATES, INC.

35 LEXINGTON STREET, BELMONT, MA.

BUILDING 'A'

TRAPELO ROAD

SITE PLAN

SCALE: 1" = 30'

NOTE:
SITE DATA OBTAINED FROM
"TOPOGRAPHIC PLAN" IN
BELMONT, MA. ROBER SURVEY
1072A MASSACHUSETTS AVE,
ALINGTON, MA.

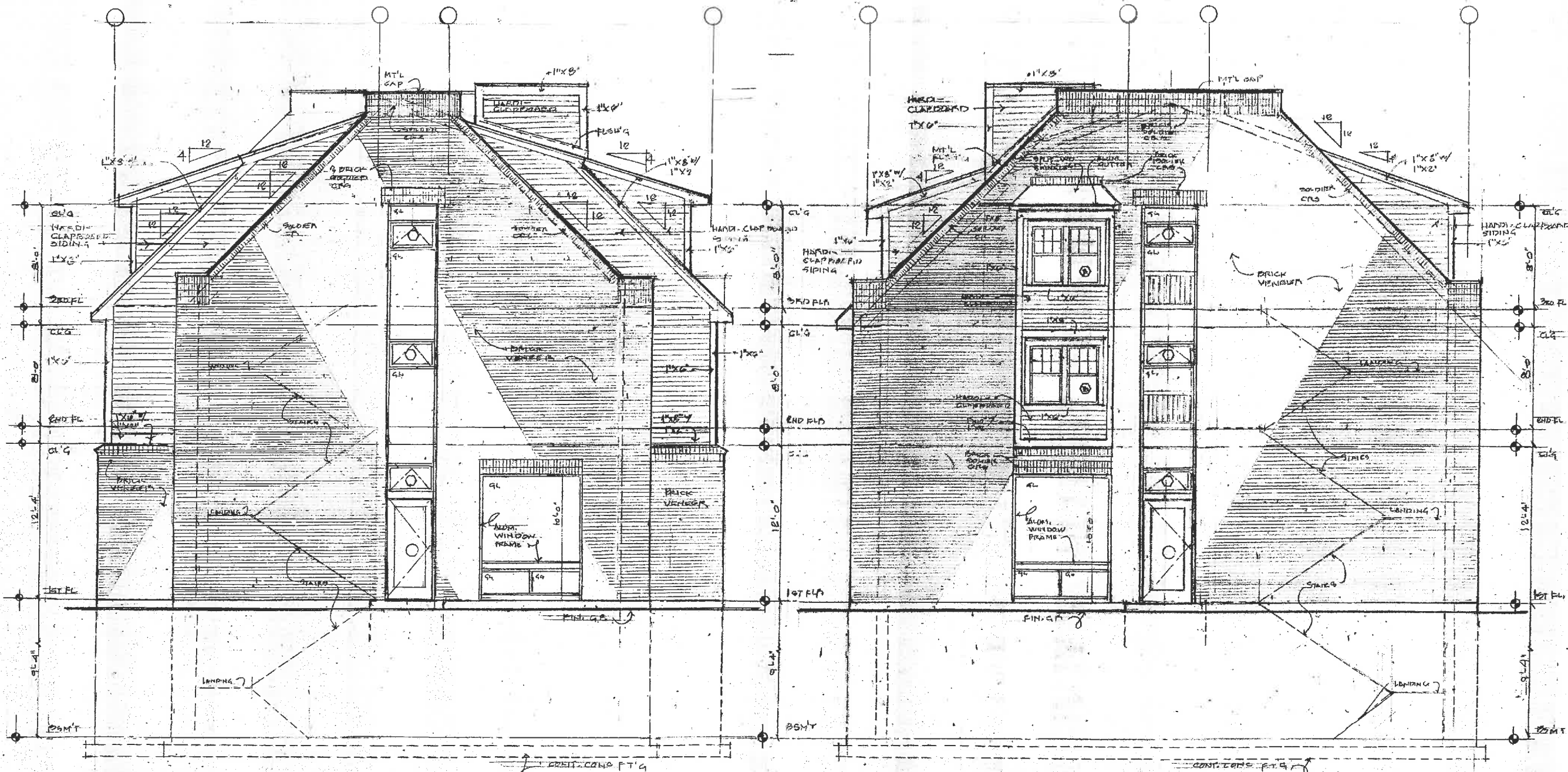
PROGRESS PRINT 12.7.18

BUILDING 'A'

BUILDING 'A'
THE STATION AT WAVERLEY SQUARE
WAVERLEY SQUARE REDEVELOPMENT
505 TRAPELO ROAD, BELMONT, MA.
DEVELOPER:
DESCO ASSOCIATES, INC.
35 LEXINGTON STREET
BELMONT, MA.

PREPARED BY
ARCHITECT
845 BLM STREET
NORTH BOSTON, MA
02114

A1.0



GENERAL NOTES

All construction and procedures shall meet the requirements of the Massachusetts State Building Code, the local jurisdiction of the City of Belmont, MA and other applicable jurisdictions.

All materials and items shall be installed or applied as per the manufacturer's instructions, directions and recommendations and as per the best practice of the trade.

GENERAL

MA Document A 201 - general conditions of the contract for construction - latest issue in effect at signing of construction contract shall be part of this contract in its entirety Article one thru fourteen inclusive.

Any reference to "Contractor" in these drawings and notes shall refer to the contractor, his employees, his sub-contractors or their sub-sub-contractors, his suppliers and any other individuals or companies under contract to him for this project as the case may apply.

Contractor shall provide all necessary labor, material, equipment, items tools and supervision as required to perform and complete the work as shown or intended by the drawings.

SAFETY

Contractor shall carry out provisions of "The Manual of Accident Prevention in Construction" published by The Associated General Contractors of America, Inc. and any other safety precautions as required by any applicable jurisdictions including OSHA and manufacturer's safety recommendations for equipment tools or materials. (Also see OSHA Safety and Health Standards 29 CFR 1926/1910) latest edition as applicable.

FEES

Contractor shall obtain and pay for all permits, fees, licenses, royalties and taxes, required for construction and occupancy.

CODES

Contractor shall perform all work and provide all materials in compliance with all applicable codes and jurisdiction including latest issue of Massachusetts State Building Code and any requirements of the City of LYNN, MA.

Contractor shall perform all work and install or apply all items and material as per manufacturer's instructions and recommendations and as per best practice of trades.

TEMPORARY SERVICES

Contractor shall provide, install and pay for any and all temporary services as required for construction including water, electricity, telephone and heating.

STORAGE

Temporary storage of materials, debris and excess materials shall be allowed on the project site only in a location previously approved by owner.

LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

GENERAL NOTES CONT.

SCAFFOLDING

Contractor shall provide, erect and dismantle any and all interior and exterior scaffolding and staging as required for construction and in compliance with all applicable laws, ordinances, codes, safety rules (including OSHA) and other applicable jurisdictions.

SECURITY

Contractor shall be wholly responsible for patrolling and protecting the work under construction, materials stored on site and existing structures. The contractor shall have full responsibility for the security of the property, including any required temporary fencing, barricades, overhead protection, alarm systems, and night lighting.

FIRE PREVENTION

Contractor shall take all necessary precautions for prevention of fire during the construction period.

PUBLIC ROADS AND WALKS

Contractor shall keep all public roads, walks and ways caused by construction, and repair any damage to any part or portions of the construction process.

SHORING, SHRETTING AND BRACING

Contractor shall provide, install, and remove any pay for any shoring, shoring and bracing as required by any portions of the construction process.

Contractor shall check, verify and coordinate all measurements, dimensions and report any discrepancies directly to the architect immediately.

CUTTING AND PATCHING

Contractor shall provide all patching of all materials made necessary by the construction (and demolition) process and required to complete the intent of the drawings as needed for a complete, finished and final installation.

Contractor shall make all cuts, holes, perforations, cores, etc. necessary to accommodate the work of the contract.

Contractor shall notify the architect before doing any cutting of any structural members not specifically scheduled on the plans.

Patch all materials required to be patched by the construction (and demolition) process, with materials identical to the existing material in the adjoining area of the patch, or with an alternate method acceptable to and approved by the architect.

Patching shall be done in a workmanship-like manner and shall not be discernible after its completion.

RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

BUILDING "A"
THE STATION AT WAVELEY SQUARE

WAVELEY SQUARE PROJECT
505 TRAPPELO ROAD, BELMONT, MA.

DEVELOPER:
DEBCO ASSOCIATES, INC.

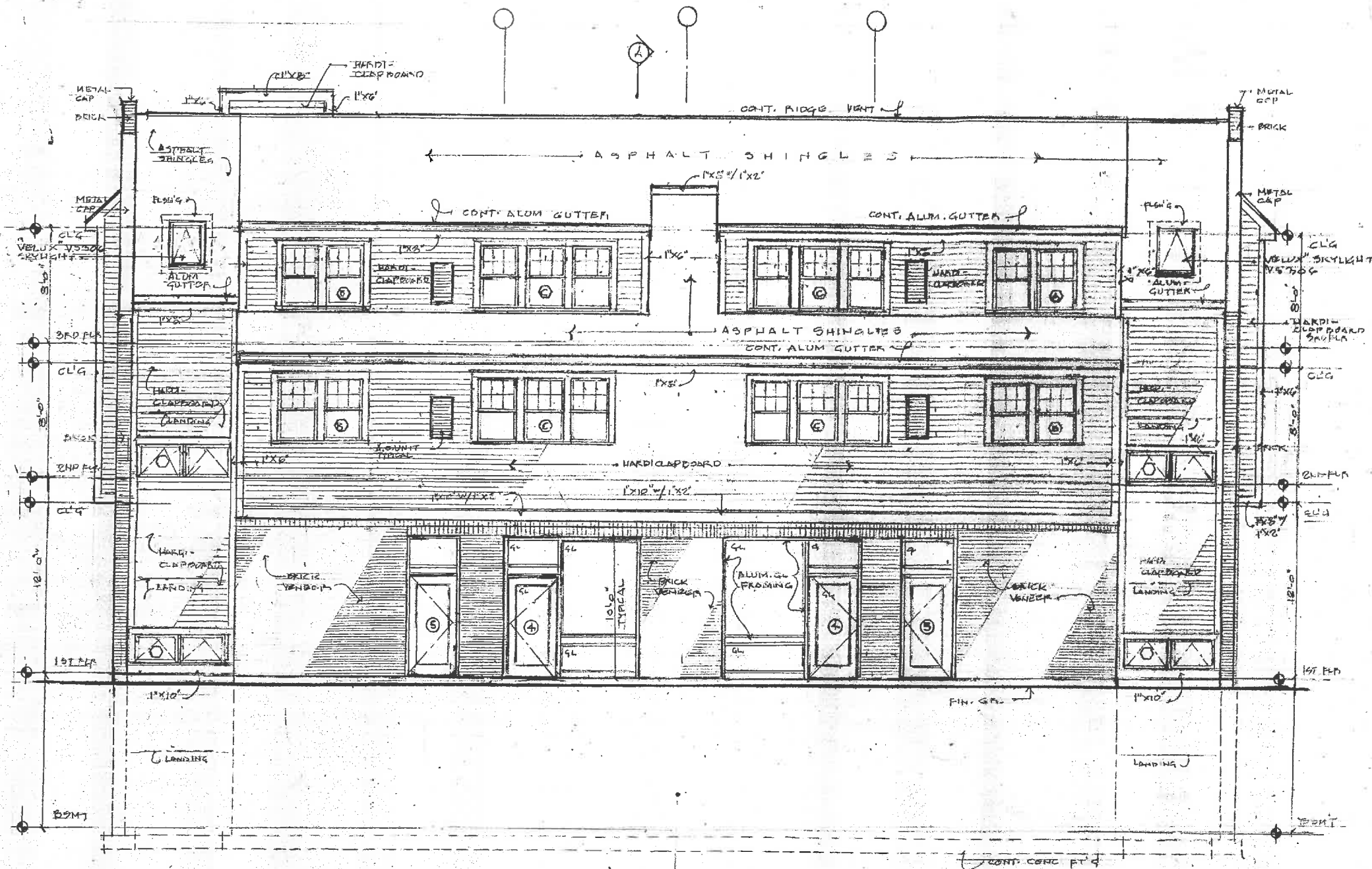
38 BOSTON STREET, BELMONT, MA.

PETER J. DIMICK
ARCHITECT
875 ELM STREET
NORTH BOSTON, MA.
02114

A1.1

PROGRESS PRINT 2.7.12

BLDG 'A'



REAR ELEVATION
SCALE: 1/4"=1'-0"

BUILDING CODE CLASSIFICATIONS

USE GROUP: R-2, MULTI RESIDENCE

CONSTRUCTION TYPE: 5A

ALLOWED: 3 STORIES,
40' BUILDING HEIGHT,
10,200 S.F./FLOOR.

EXCEPTIONS:

- 700 CHM 504.2 ALLOWABLE HEIGHT INCREASE DUE TO AUTOMATIC SPRINKLER SYSTEM INSTALLATION.
ALLOWS INCREASE OF ONE STORY BY 20' FEET IN HEIGHT.
3 STORIES + ONE STORY = 4 STORIES
40' + 20' = 60' BUILDING HEIGHT
- 700 CHM 500.3 ALLOWABLE INCREASE DUE TO AUTOMATIC FIRE SUPPRESSION SYSTEM INSTALLATION.
ALLOWS INCREASE AREA OF 100%
10,200 S.F. + 10,200 S.F. = 20,400 S.F./F
- ACTUAL: 3 STORIES
1000 S.F./FLOOR
MAX. HEIGHT AT MID-HEIGHT OF SUMMIT TOWER 38'-0"

MIN. FIRE RATING FOR CARPET SCHEDULE

1. CORRIDOR: CLASS "B" 25 TO 75 FLAME SPREAD
2. STAIRHALLS: CLASS "A" 0 TO 25 FLAME SPREAD

FIRE RATINGS FOR PAINT SCHEDULE

LOCATION	FLAME SPREAD	SMOKE DENSITY FACTOR	FUEL CONTRIBUTION FACTOR
CORRIDOR	25, 75	NOT TO EXCEED 150	UNDER 100
PAINT	UNDER 200	UNDER 200	UNDER 200

FIRE RESISTANCE RATINGS OF STRUCTURAL ELEMENTS

APARTMENT SPACE SEPARATIONS:	1 HR
SHAFTS:	2 HR
STAIRHALLS:	1 HR
INTERIOR BEARING WALLS:	1 HR
STRUCTURAL MEMBERS SUPPORTING WALLS:	1 HR
ROOF CONSTRUCTION:	1 HR
HORIZONTAL FIRE SEPARATION:	1 HR

BUILDING "A"
THE STATION AT WAVERLEY SQUARE

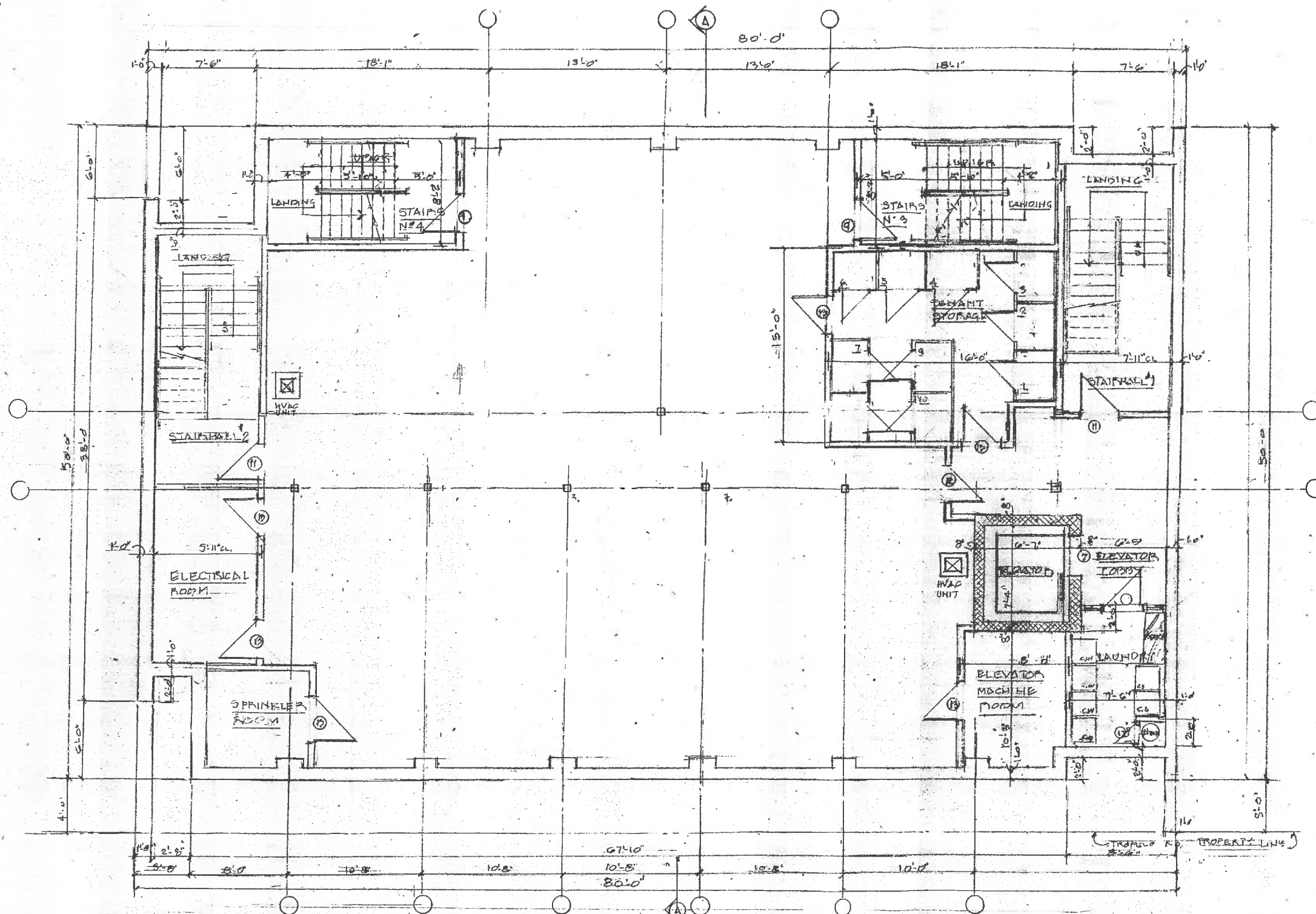
WAVERLEY SQUARE REDEVELOPMENT
505 TRAFALGAR ROAD, BELMONT, MA.
DEVELOPER:
DESCO ASSOCIATES, INC.
35 LEXINGTON STREET, BELMONT, MA.

PETER F. D'AMICO
ARCHITECT
245 BLM STREET
NORTH BELLINGHAM, MA
01901

PROGRESS PLOT 2-7-18

BLDG "A"

A1.2



BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"



BUILDING "A"
 THE STATION AT WAVERLEY SQUARE

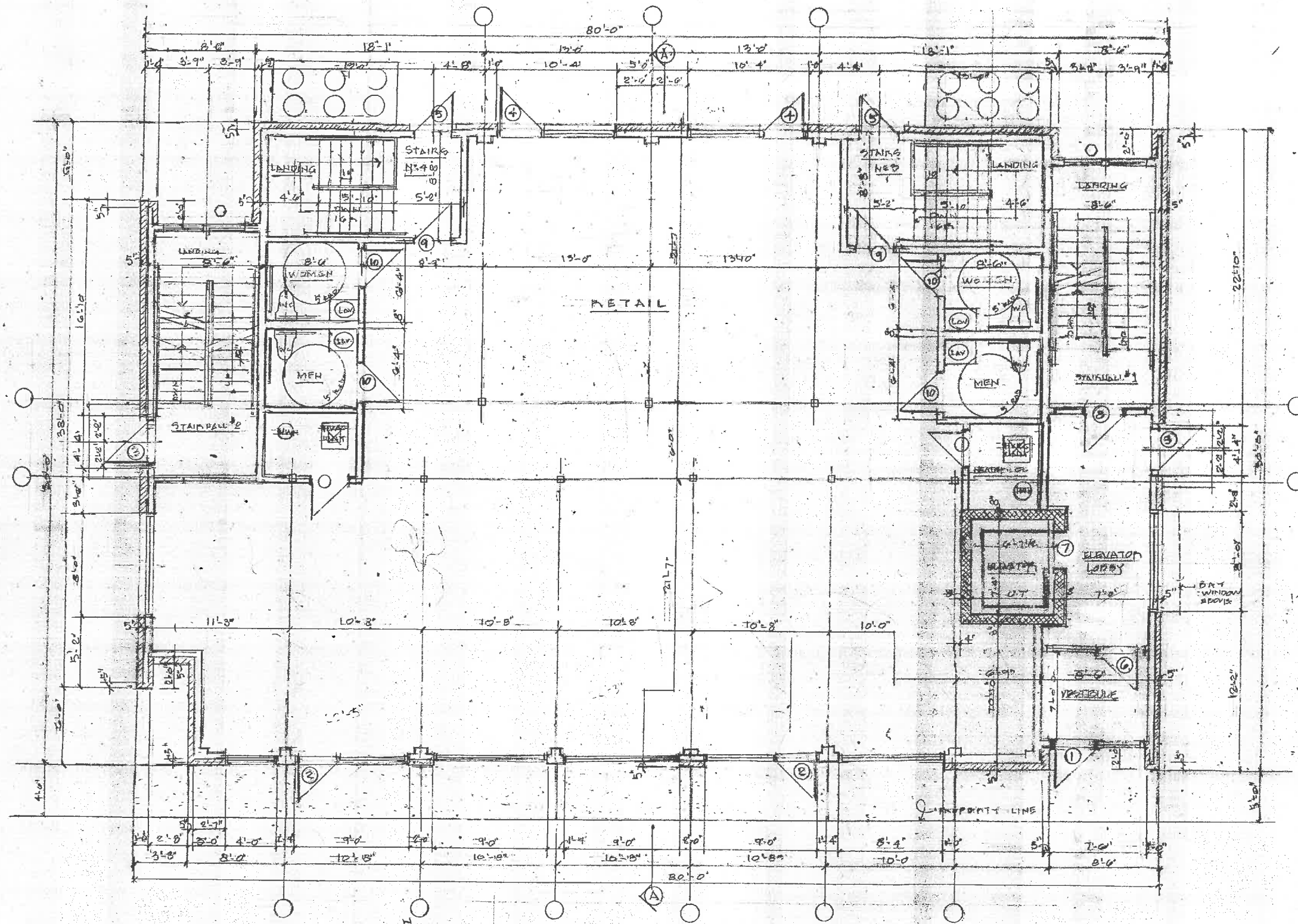
WAVERLEY SQUARE REDEVELOPMENT
 505 TRAPPELO ROAD, BOSTON, MA.
 DEVELOPER:
 DESCO ASSOCIATES, INC.
 300 LEXINGTON STREET, BOSTON, MA.

PETER F. DIMIO
 ARCHITECT
 245 BLM STREET
 NORTH READING, MA
 01864

PROGRESS PRINT 2-7-13

BLDG 'A'

A20



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

BUILDING A
THE STATION AT Waverley Square

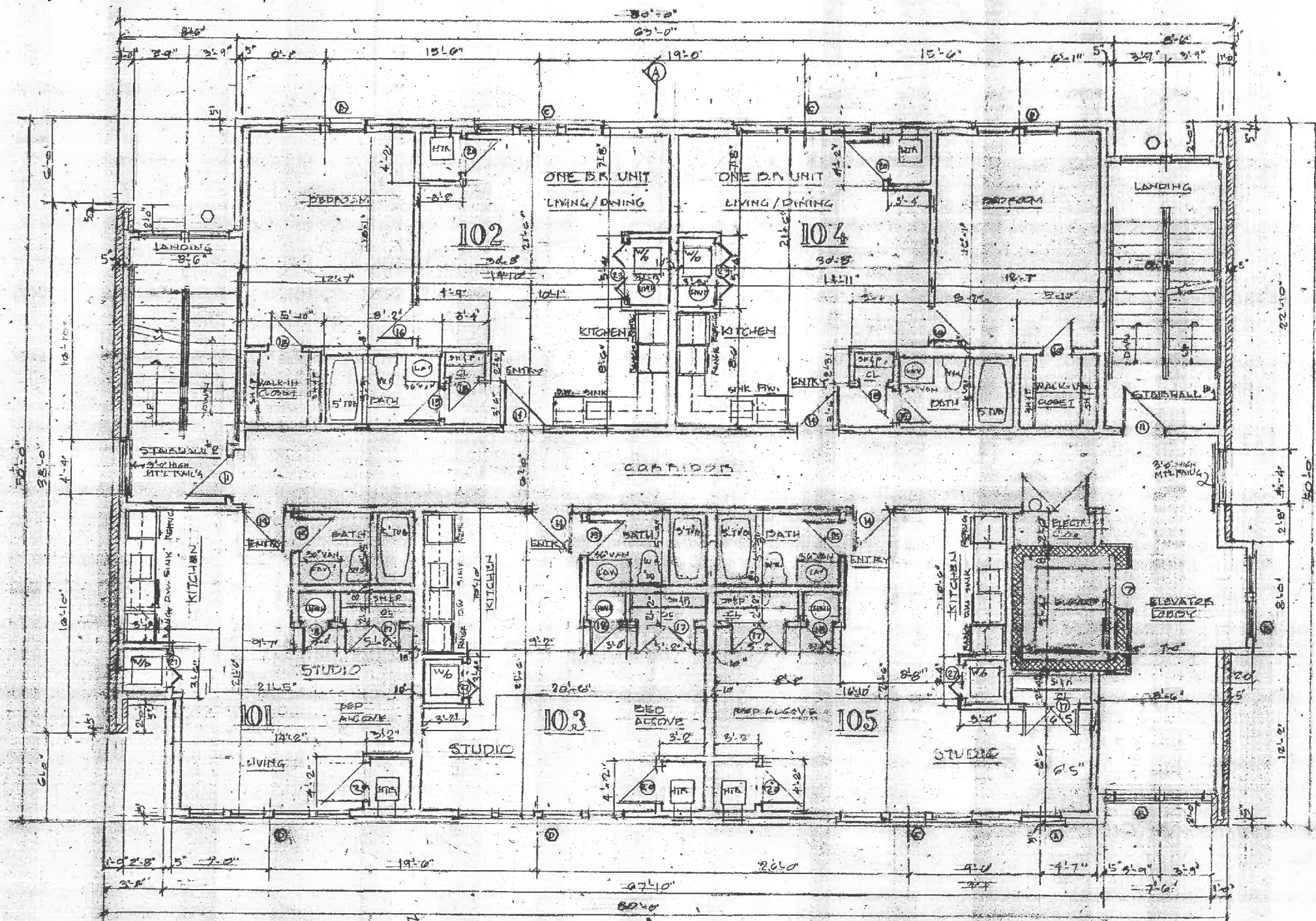
Waverley Square Field Development
505 Trapelo Road, Belmont, MA.
DEVELOPER
DESIGN ASSOCIATES, INC.
28 Lexington Street, Belmont, MA.

PETER F. DI MEO
ARCHITECT
213 ELM STREET
NORTH READING, MA.
01864

PROGRESS PRINT 2-7-13

BUILDING A

A2.1

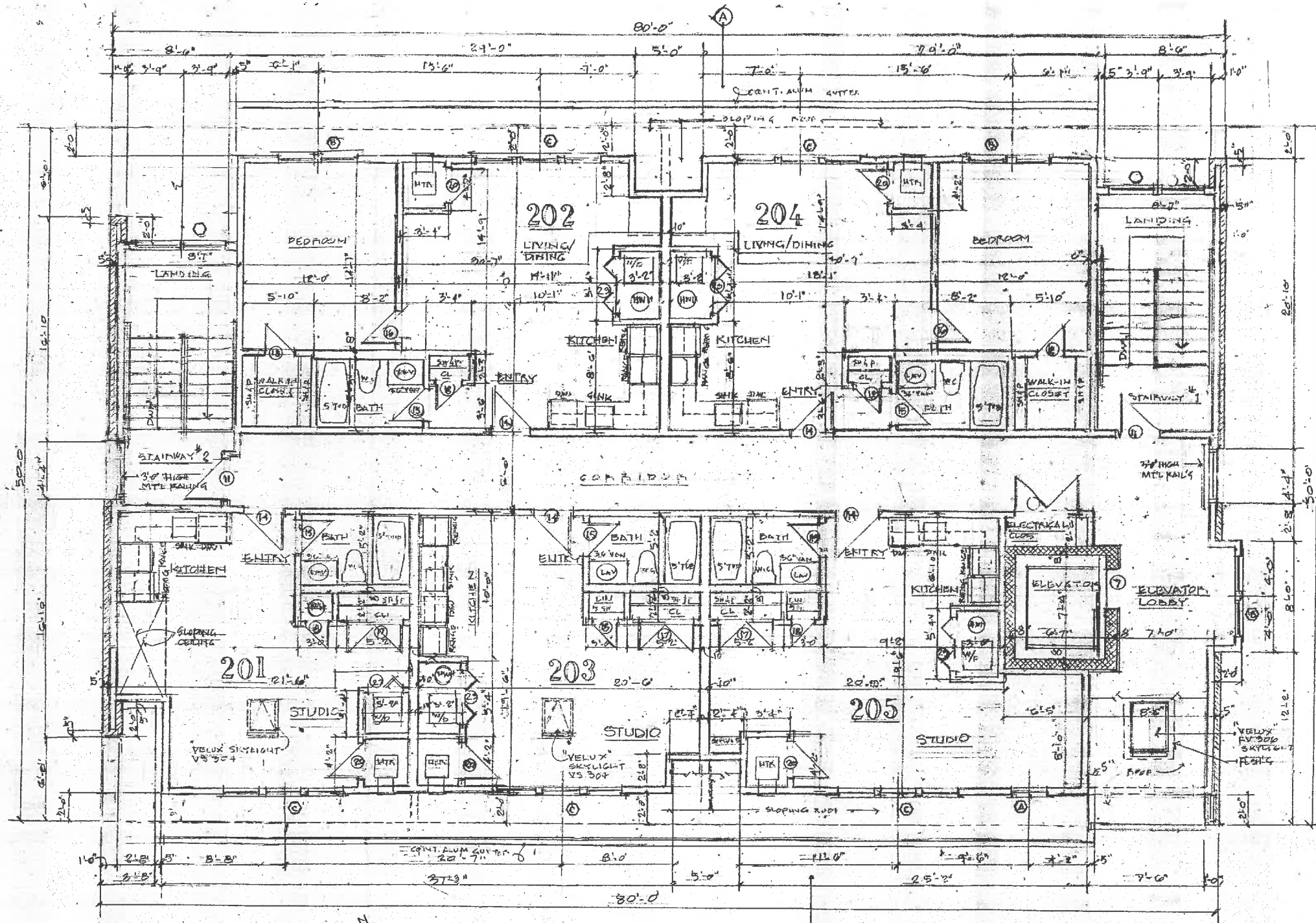


SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

BUILDING "A"
THE STATION AT WAVELEY SQUARE

WAVELEY SQUARE FLEXIBLE DEVELOPMENT
808 TRAPELO ROAD, BELMONT, MA.
DEVELOPER:
DECO ASSOCIATES, INC.
38 LEXINGTON STREET, BELMONT

PETER F. DIMES
ARCHITECT
245 BLU STREET
NORTH READING, MA.



THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

BUILDING "A"
THE STATION AT WAVERLEY SQUARE

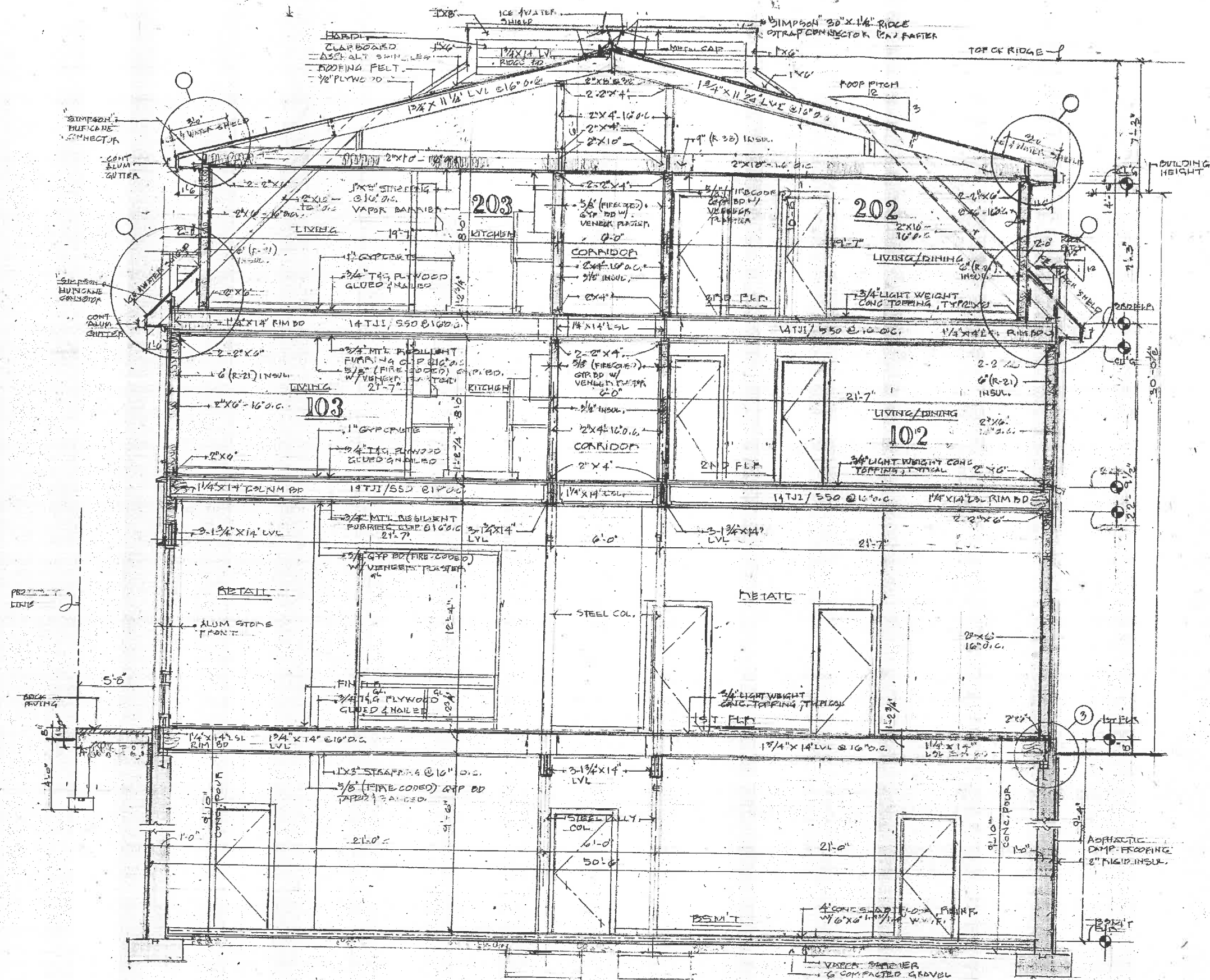
WAVERLEY SQUARE REDEVELOPMENT
200 TRAPLO ROAD, BELMONT, MA.
DEVELOPERS
DECO ASSOCIATES, INC.
28 LEXINGTON STREET, BELMONT, MA.

PETER F. DIMIO
ARCHITECT
245 ELM STREET
NORTH BOSTON, MA.
02116

PROGRESS PRINT 2-7-18

BLDG "A"

A23



FRAMING OF ONE SECTION
SCALE: 3/8" = 1'-0"

BUILDING "A"
THE STATION AT WAVERLEY SQUARE

WAVERLEY SQUARE, REDEVELOPMENT

505 TRAPERS ROAD, BELMONT, MA.

DEVELOPER:

DESCO ASSOCIATES, INC.

28 LEXINGTON STREET, BELMONT, MA.

PETER J. DI MEO

ARCHITECT

245 BLM STREET

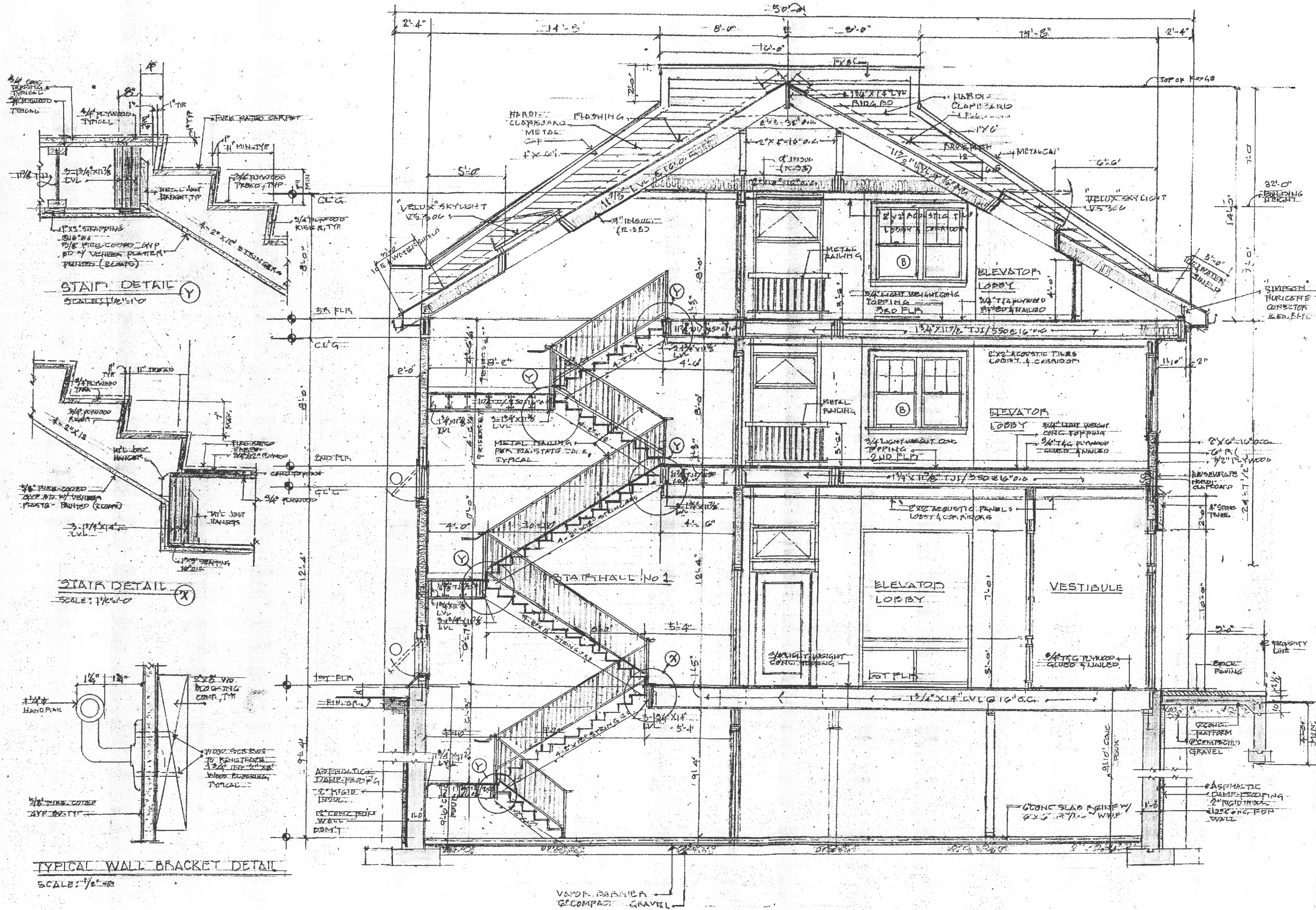
NORTH BOSTON, MA.

08004

PROGRESS PRINT 2/7/8

BLDG 'A'

A3.0



BUILDING "A"
THE STATION AT WAVESLEY SQUARE

WAVESLEY SQUARE REDEVELOPMENT
413 TRAPELO ROAD, BELMONT, MA.
DEVELOPERS:
DESCO ASSOCIATES, INC.
55 LEXINGTON STREET
BELMONT, MA.

PETER F. DIMIO
ARCHITECT
245 BELM STREET
NORTH BEECHING MA
01804

A3.1

PROGRESS PRINT 2-7-88
BLDG 'A'