

RECEIVED
TOWN CLERK
BELMONT, MA

2018 JUN -4 AM 10:34

CASE NO. 18-18

NOTICE OF PUBLIC HEARING BY THE
BELMONT ZONING BOARD OF APPEALS

ON APPLICATION FOR 2 SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday June 18, 2018 at 7:00 PM in the Art Gallery, 3rd floor, Homer Municipal Building, 19 Moore St., to consider the application of Shant Banosian at 33 Springfield Street located in a General Residence (GR) Zoning District for Two Special Permits –**1.** Section 1.5.4 A of the Zoning By-Law allows extensions or alteration to non-conforming structures in the GR zoning district by a Special Permit from the Zoning Board of Appeals and **2.** Maximum allowed lot coverage is 30%, the existing lot coverage is 40.2% and the proposed is 40.9%.

ZONING BOARD OF APPEALS



Town of Belmont
Zoning Board of Appeals

RECEIVED
TOWN CLERK
BELMONT, MA

2018 JUN -4 AM 10:34

APPLICATION FOR A SPECIAL PERMIT

Date: 5-7-2018

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 33 Springfield St Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for Additional Front Entrance per plans supplied

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Shant Banosian

Print Name

Shant Banosian

Address

29 Livermore Rd

Belmont, Ma 02478

Daytime Telephone Number

(617) 827-6674



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

May 2, 2018

Shant Banosian
29 Livermore Road
Belmont, MA 02478

RE: Denial to Construct Front Entrance and Dormer at 33 Springfield Street

Dear Mr. Banosian:

The Office of Community Development is in receipt of your building permit application for the construction of a separate front entrance for the second unit and a dormer on top of your home located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, 1. Section 1.5.4 A of the Zoning By-Law allows extensions or alteration to non-conforming structures in the GR zoning district by a Special Permit from the Zoning Board of Appeals and 2. Maximum allowed lot coverage is 30%.

1. The proposed changes to the structure are allowed by a Special Permit.
2. The existing lot coverage is 40.2% and the proposed is 40.9%

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

Request for a Special Permit

To: The Zoning Board of Appeals
 Town of Belmont, Massachusetts

Submitted by: Shant Banosian
 Owner of 33 Springfield Street, Belmont, Massachusetts

Dear Board Members,

I propose to add a stair and portico for the lower unit of the two - family building.

The modest addition - containing a 4-foot by 7-foot landing with stairs - will add to the lot coverage of the existing non-conforming structure, and thus require a Special Permit. However, it will conform to the Zoning By-Law Section 6.D.4.b (Performance Standards in General Residence Zoning Districts), where the front doors for each of the dwelling units are required to face the street. At present both front doors face each other within the confines of a small vestibule.

Earlier this year I obtained a building permit for renovations and an addition to make a portion of the attic space habitable. As the renovations progressed I realized that making the front entrances conformant to Section 6.D.4.b will also improve the functionality of the two-family building.

The addition will improve egress for the occupants of both units by eliminating the bottleneck at the existing vestibule. It will also enhance the street-facing facade by visually separating the entrances and by providing a balanced streetscape for the building as a whole. Additionally I propose to replace the existing semi-enclosed entrance with a similar portico, in order to render it consistent with the proposed addition.

The proposed addition will not add any gross floor area to the building.

I would like to thank the Zoning Board of Appeals for considering my request for a Special Permit.

Respectfully,

Shant Banosian

Zoning Compliance Check List

(Registered Land Surveyor)

Property Address: 33 SPRINGFIELD ST

Zone: GR

Surveyor Signature and Stamp: 

Date: 4 May 18

	REQUIRED	EXISTING	PROPOSED
Lot Area		4296 SF	4296 SF
Lot Frontage		60	60
Floor Area Ratio		(2693)0.63	(2973)0.65
Lot Coverage		40.2	40.9
Open Space		34.5	34.5
Front Setback	20	20	10.7 AVG
Side Setback	10	7.0	13.4
Side Setback	10	17.7	20.7
Rear Setback	20	7.2	23.8
Building Height		29.3	29.3
Stories	2.5	2.5	2.5
1/2 Story Calculation			
B.O. RAFTER @ > 3'	LESS THAN 50.00%	23.77%	46.89%
HEADROOM @ > 5'	LESS THAN 60.00%	37.66%	56.23%
DORMER VS ROOF	LESS THAN 75.00%	No Existing Dormers	DORMER #1: 35.98% DORMER #2: 68.13%
2ND FLR HEIGHT	LESS THAN 12.0'	8.1'	UNCHANGED

NOTES:

AREA: 4296 Sq. Feet

PROPOSED GRADE PLANE: 110.8

$$= (110.25(43.2)+110.9(26.3)+111.4(30.5)+110.3(8.9)+111.3(12.8)+110.8(33.6))/146.4$$

PROPOSED CELLAR IS 65 % BELOW GRADE

$$= 100((7.5-(113.5-110.85)/7.5)$$

EXISTING LOT COVER: 40.2 %

PROPOSED LOT COVER 40.9 %

EXISTING OPEN SPACE: 34.5 %

PROPOSED OPEN SPACE: 33.9 %

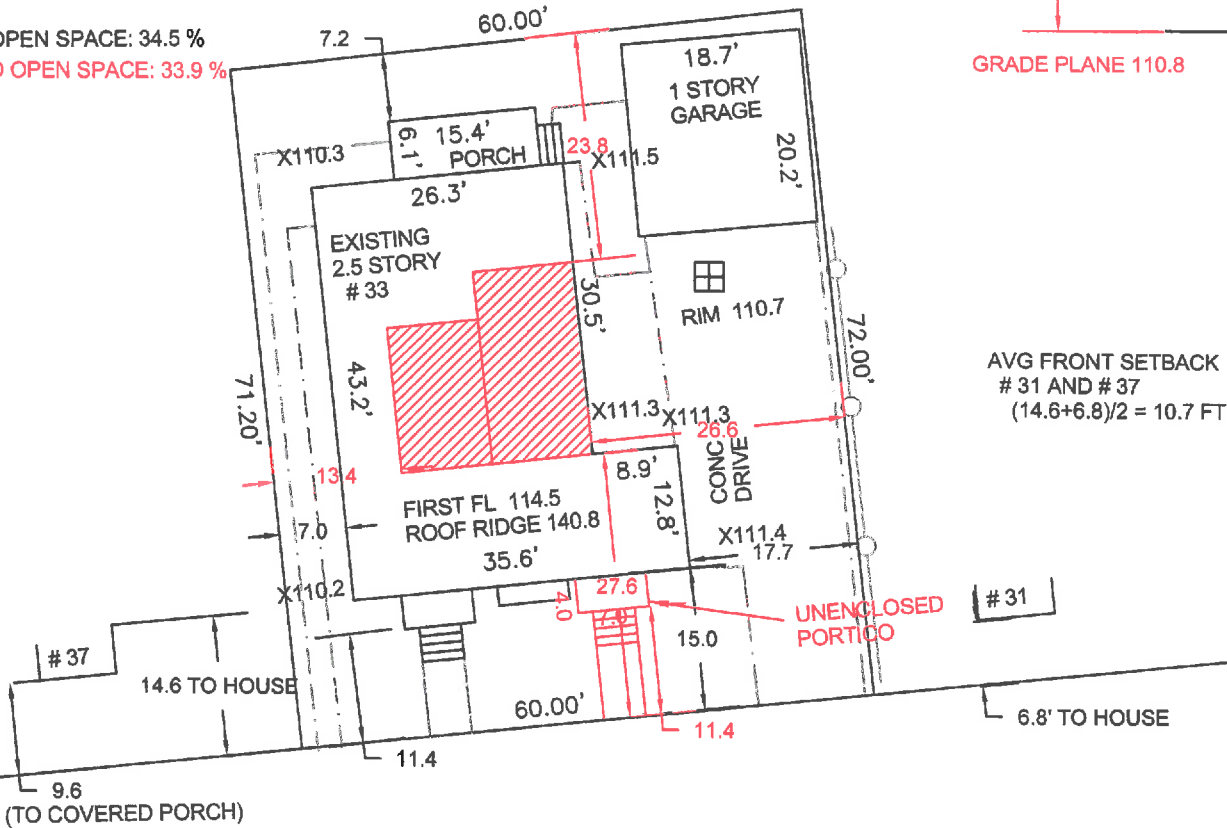
ROOF HEIGHT: GRADE PLANE TO
ROOF MIDPOINT = 29.3'

PROP MIDPOINT

140.1

29.3

GRADE PLANE 110.8



SPRINGFIELD STREET

GR ZONE

	REQUIRED	PROVIDED
FRONT SETBACK	20'	10.7 AVG ((6.8+14.6)/2)
SIDE SETBACK	10'	13.4'
REAR SETBACK	20'	23.8'

PROPOSED DORMER ADDITION
33 SPRINGFIELD STREET
BELMONT, MA

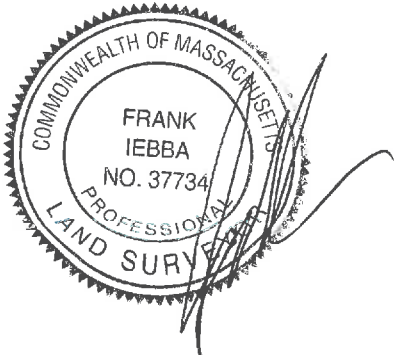
SCALE: 1 IN = 20 FT

DEC 3, 2017

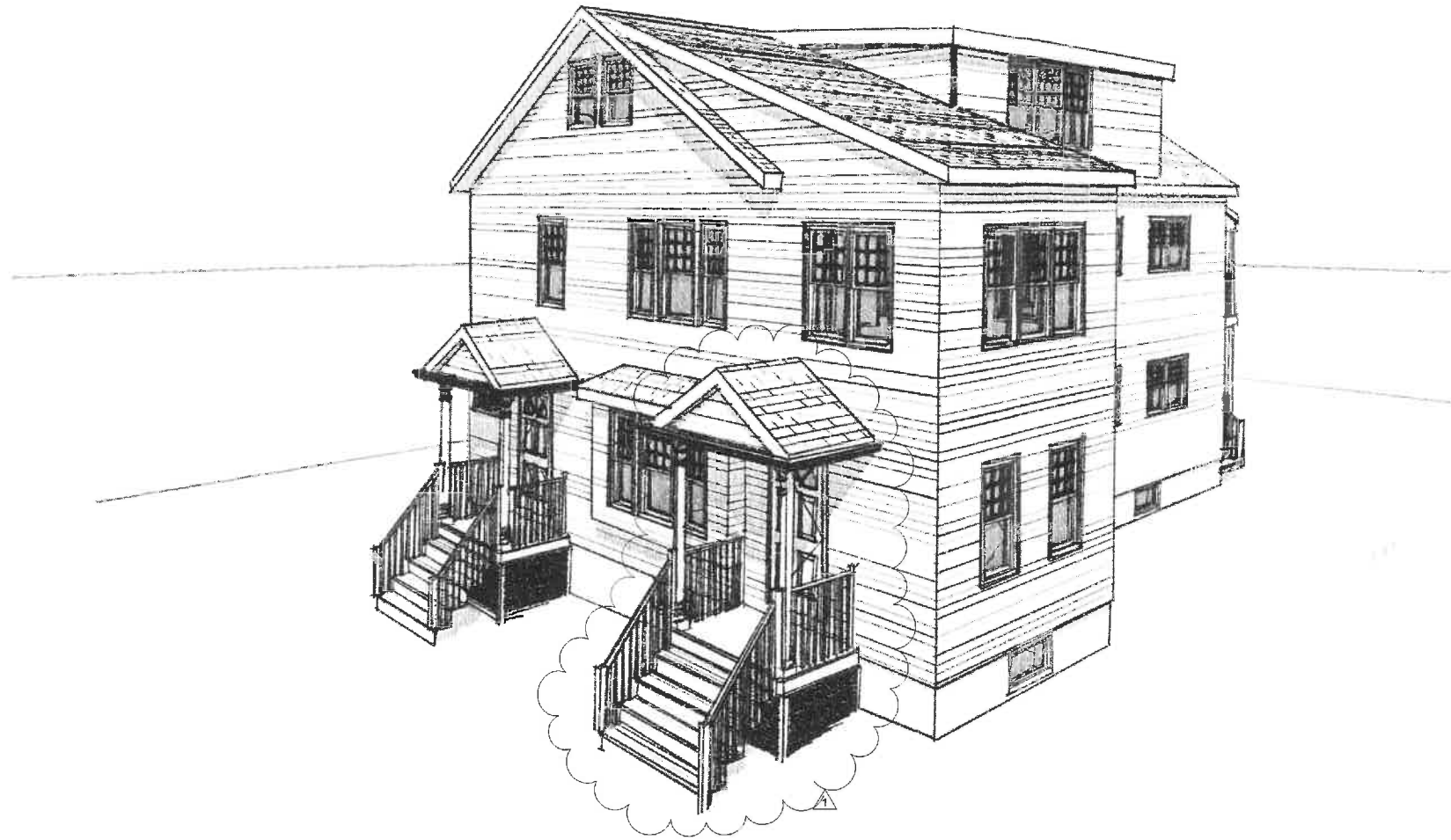
JAN 12, 2018

MAR 8, 2018

MAY 20, 2018



ESSEX ENG. & SURVEY
PO BOX 650217
WEST NEWTON, MA. 02465
617-797-7342
FRANK.IEBBA@GMAIL.COM



RENOVATIONS AND ADDITIONS TO 33 SPRINGFIELD STREET

BELMONT, MA 02478

 PERMIT APPLICATION - 5/3/2018

ARCHITECT:

 **HAROUT KELIAN, ARCHITECT**

21 HARVARD RD
BELMONT, MA 02478
TEL : 617-932-9270

OWNER

SHANT BANOSIAN

33 SPRINGFIELD ST
BELMONT, MA 02478

ZONING DISTRICT: GENERAL RESIDENTIAL

MIN LOT AREA:	5,000 SF
MIN LOT FRONT:	50 F
MAX LOT COVERAGE:	30%
MIN OPEN SPACE:	40%
SETBACKS FRONT:	20 F
SIDE:	10 F
REAR:	20/12 F DWELLING/OTHER
MAX BLDG HT:	33 F / 2.5 STORIES

SHEET INDEX

GENERAL

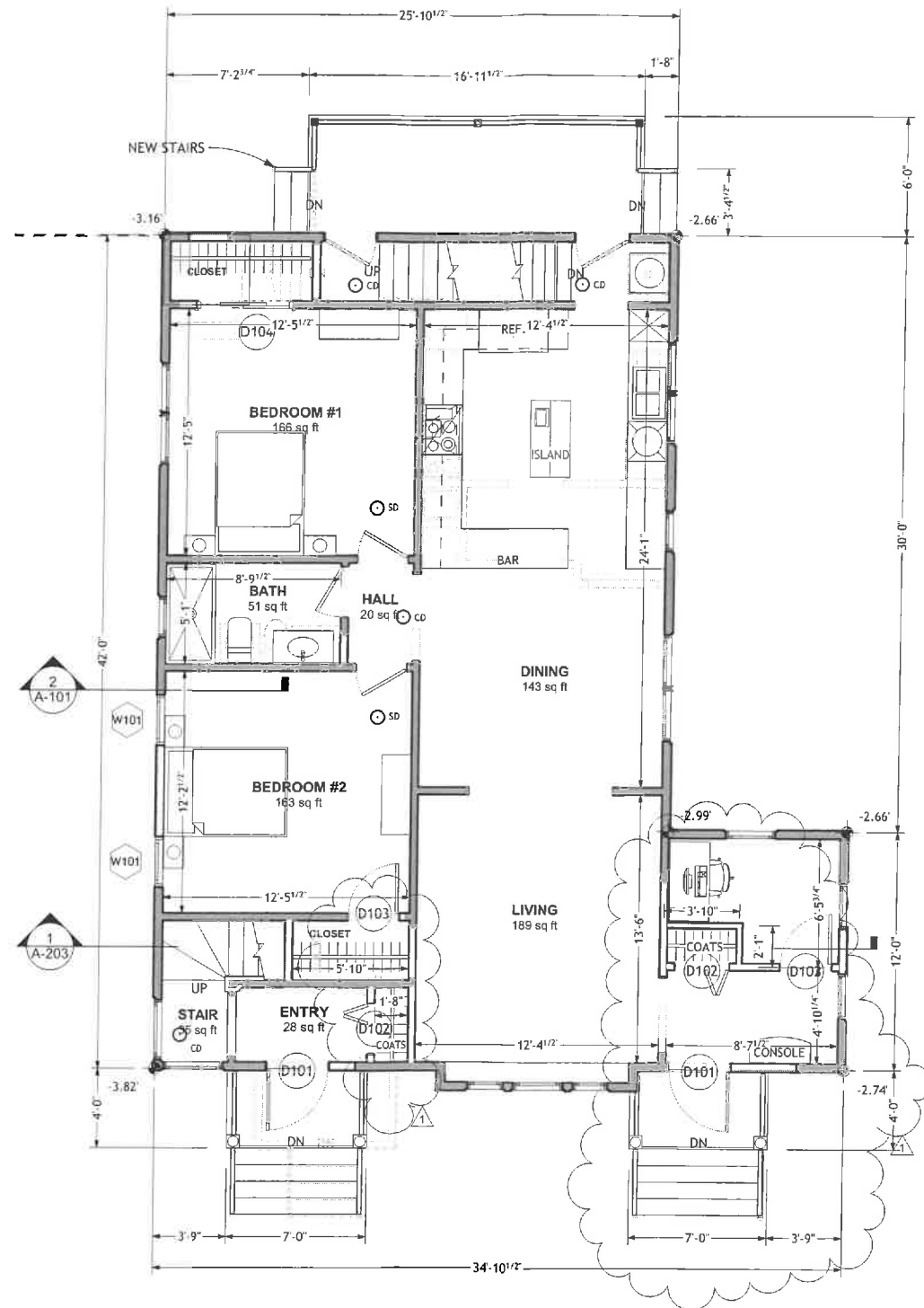
COVER SHEET

ARCHITECTURAL FLOOR PLANS

- A-101 FIRST FLOOR PLAN
- A-102 SECOND FLOOR AND ATTIC/HALF-STORY FLOOR PLANS
- A-103 CELLAR AND ROOF PLANS

ELEVATIONS & SECTIONS

- A-201 WEST (FRONT) AND NORTH ELEVATIONS
- A-202 EAST AND SOUTH ELEVATIONS



1 FIRST FLOOR
SCALE: 3/16" = 1'-0"

FLOOR PLAN LEGEND

- EXISTING CONDITIONS
- DEMOLISHED ITEMS
- NEW CONSTRUCTION



HAROUT KELIAN
ARCHITECT LEED

21 HARVARD RD BELMONT MA 02478
TEL : 617-932-9270
FAX: 617-934-2472
EMAIL: harout.kelian@roverarch.com

OWNER / GENERAL CONTRACTOR:
SHANT BANOSIAN
33 SPRINGFIELD ST
BELMONT
617-593-2888



RENOVATIONS AND
ADDITIONS TO 33
SPRINGFIELD STREET
33 SPRINGFIELD ST BELMONT MA 02478

DESIGN REVIEW - 10/11/2017
DESIGN REVIEW - 11/17/2017
BUILDING PERMIT SUBMISSION - 1/8/2018
REFERENCE TO 9TH EDITION - MASS BUILDING CODE - 1/15/2018
BUILDING PERMIT SUBMISSION - 1/23/2018
1 PERMIT APPLICATION - 5/3/2018

FIRST FLOOR PLAN

Sheet Title

A-101

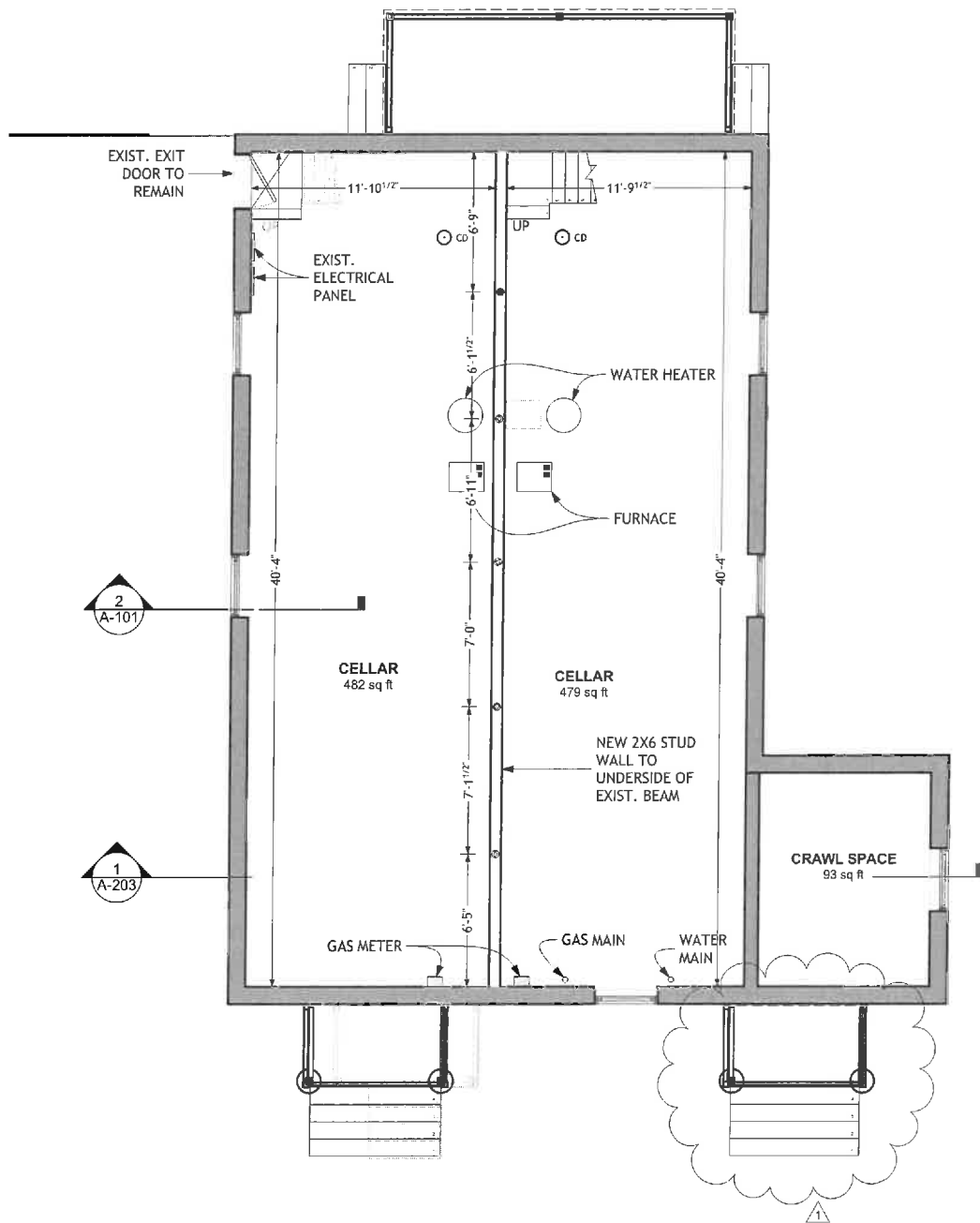
Sheet No.

Scale

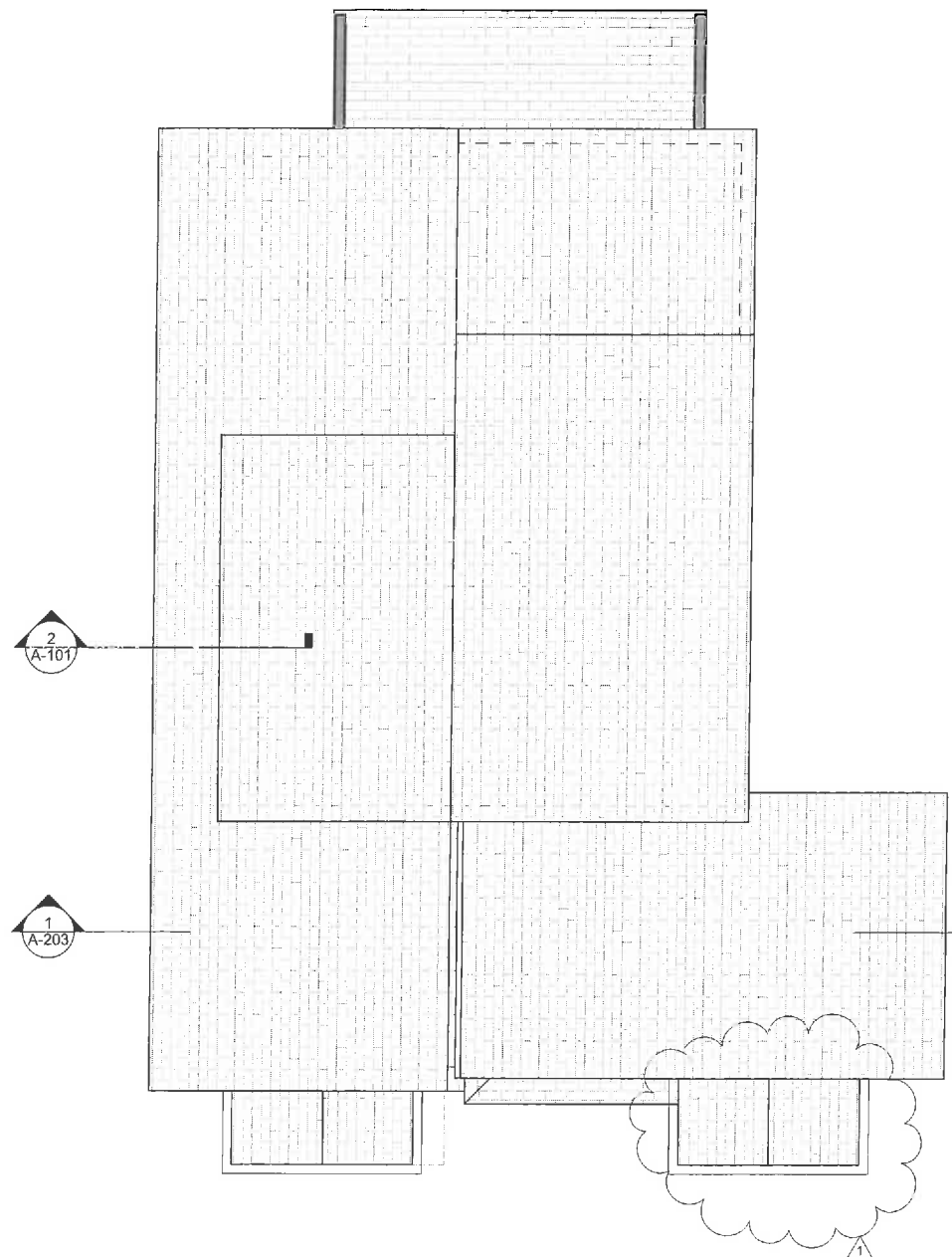
Project No. 17-022

DISCLAIMER: This is not a contract. All drawings, specifications, and other documents shall be read in conjunction with the contract documents. The architect shall not be responsible for the construction of the project. The architect shall not be responsible for the construction of the project. The architect shall not be responsible for the construction of the project.

© HAROUT KELIAN ARCHITECT LEED - RENOVATIONS AND ADDITIONS TO 33 SPRINGFIELD STREET - A-103 CELLAR AND ROOF PLANS - Printed by Harout on Thursday, May 03, 2018 at 2:55 PM



2 CELLAR
SCALE: 3/16" = 1'-0"



1 ROOF
SCALE: 3/16" = 1'-0"

FLOOR PLAN LEGEND

EXISTING CONDITIONS

DEMOLISHED ITEMS

NEW CONSTRUCTION

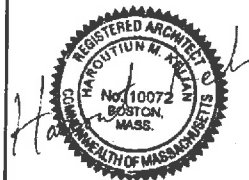
N

HAROUT KELIAN
ARCHITECT LEED

21 HARVARD RD BELMONT MA 02478
TEL : 617-932-9270
FAX: 617-934-2472
EMAIL: harout.kelian@rowarch.com

OWNER / GENERAL CONTRACTOR:

SHANT BANOSIAN
33 SPRINGFIELD ST
BELMONT
617-593-2888



RENOVATIONS AND
ADDITIONS TO 33
SPRINGFIELD STREET

33 SPRINGFIELD ST BELMONT MA 02478

ISSUE

DESIGN REVIEW - 10/11/2017

DESIGN REVIEW - 11/17/2017

BUILDING PERMIT SUBMISSION - 1/8/2018

REFERENCE TO 9TH EDITION - MASS BUILDING CODE - 1/15/2018

BUILDING PERMIT SUBMISSION - 1/23/2018

PERMIT APPLICATION - 5/3/2018

CELLAR AND ROOF PLANS

Sheet Title

A-103

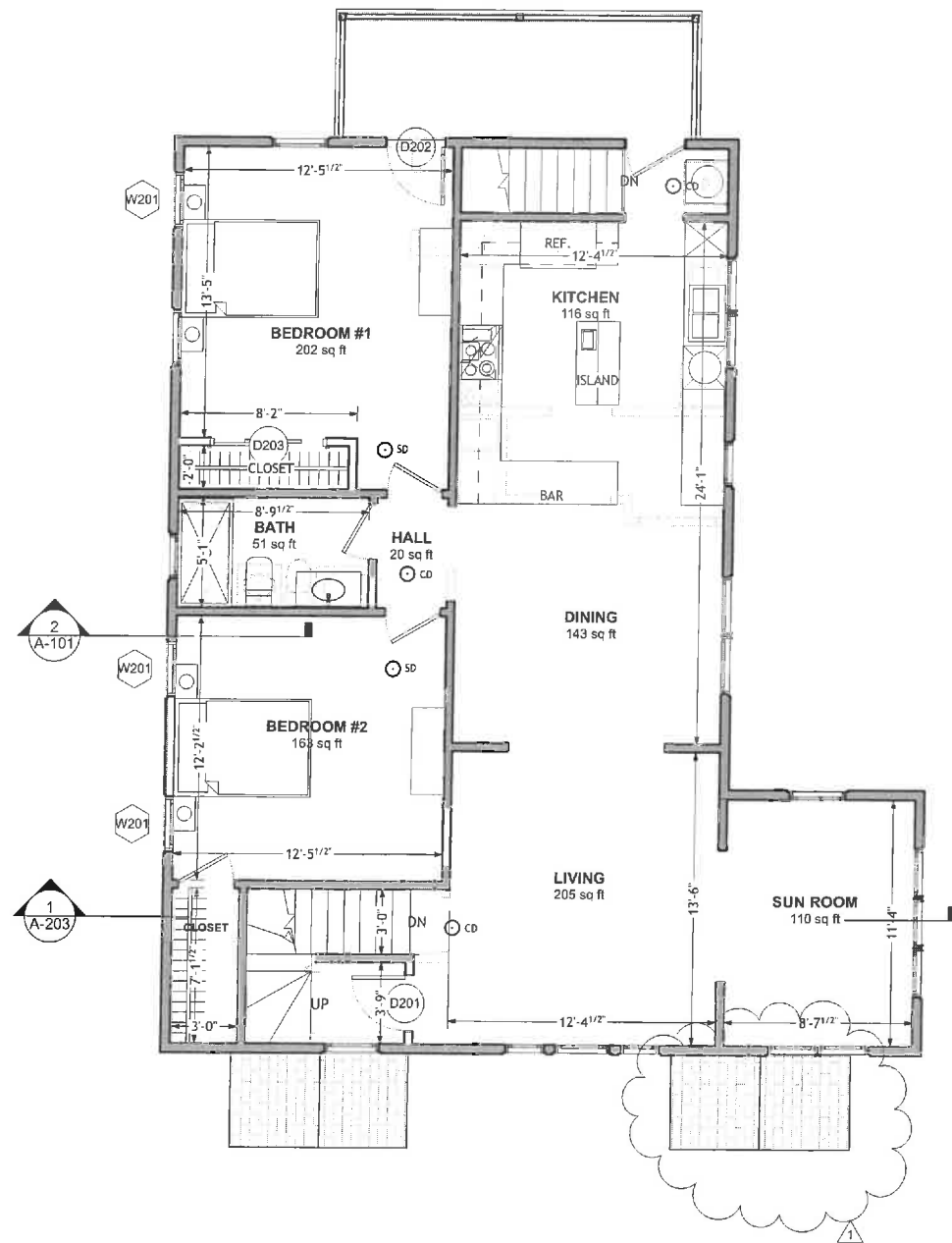
Sheet No.

Scale

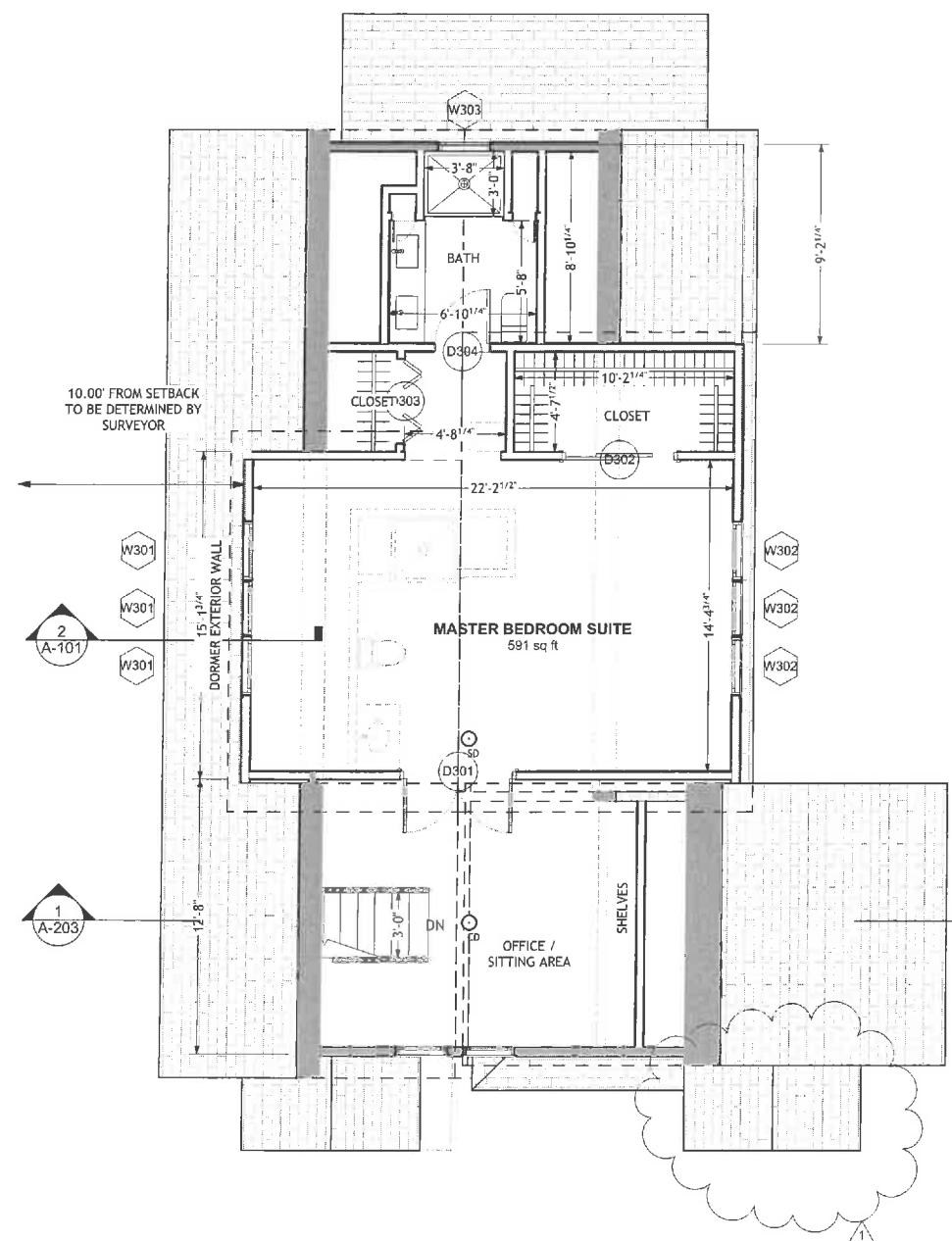
Project No. 17-022

DISCLAIMER: This set of drawings is for informational purposes only and does not constitute a contract. It is the responsibility of the client to verify all information and to obtain all necessary permits and approvals. The architect is not responsible for any errors or omissions in this set of drawings. The architect is not responsible for any construction or other work that may be required in connection with the project. The architect is not responsible for any construction or other work that may be required in connection with the project. The architect is not responsible for any construction or other work that may be required in connection with the project.

© HAROUT KELIAN ARCHITECT LEED - RENOVATIONS AND ADDITIONS TO 33 SPRINGFIELD STREET - A-102 SECOND FLOOR AND ATTIC/HALF-STORY FLOOR PLANS - Printed by Harout on Thursday, May 03, 2018 at 2:55 PM



2 SECOND FLOOR
SCALE: 3/16" = 1'-0"



1 ATTIC/HALF-STORY
SCALE: 3/16" = 1'-0"

FLOOR PLAN LEGEND

- EXISTING CONDITIONS
- DEMOLISHED ITEMS
- NEW CONSTRUCTION

2

HAROUT KELIAN ARCHITECT LEED

21 HARVARD RD BELMONT MA 02478
TEL : 617-932-9270
FAX: 617-934-2472
EMAIL: harout.kelian@evarch.com

OWNER / GENERAL CONTRACTOR:

SHANT BANOSIAN
33 SPRINGFIELD ST
BELMONT
617-593-2888

REGISTERED ARCHITECT
COM. NO. 10072
BOSTON, MASS.
COMMONWEALTH OF MASSACHUSETTS

RENOVATIONS AND ADDITIONS TO 33 SPRINGFIELD STREET

33 SPRINGFIELD ST BELMONT MA 02478

DESIGN REVIEW - 10/11/2017
DESIGN REVIEW - 11/17/2017
BUILDING PERMIT SUBMISSION - 1/8/2018
REFERENCE TO 9TH EDITION - MASS BUILDING CODE - 1/15/2018
BUILDING PERMIT SUBMISSION - 1/23/2018
1 PERMIT APPLICATION - 5/3/2018

SECOND FLOOR AND ATTIC/HALF-STORY FLOOR PLANS

Sheet Title

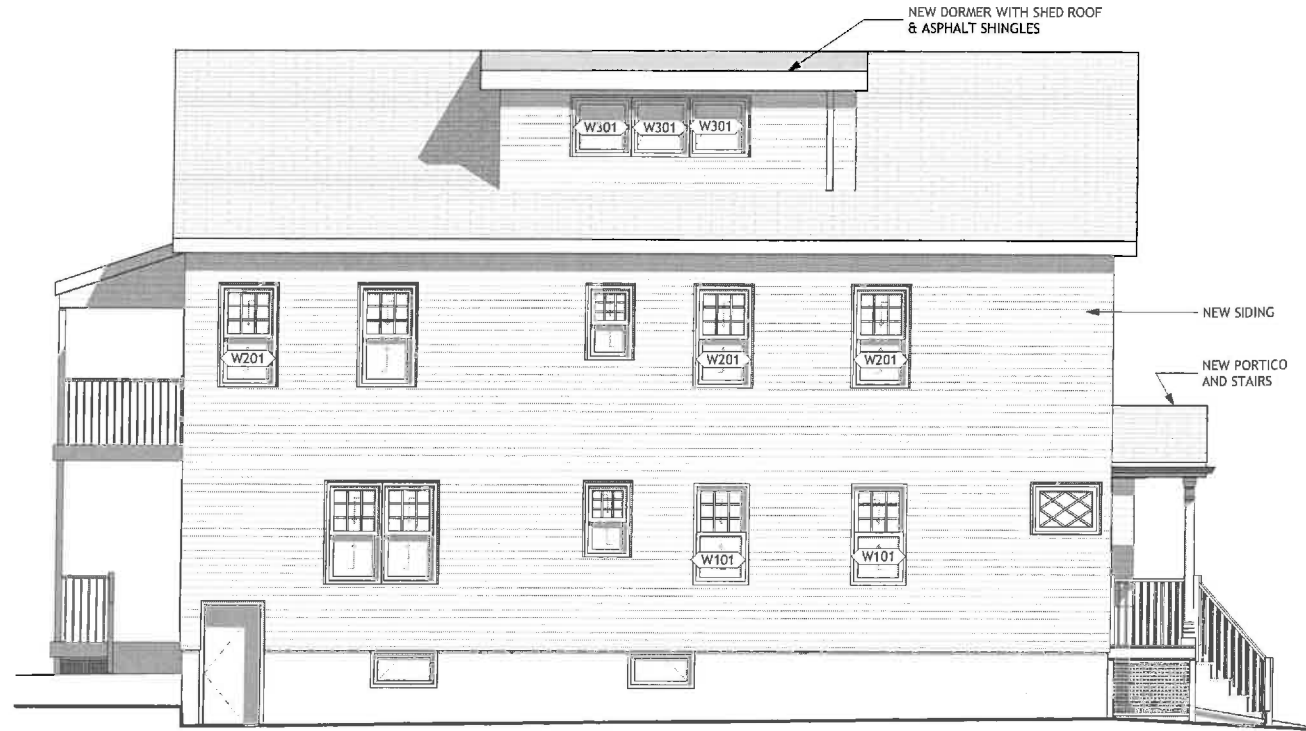
A-102

Scale

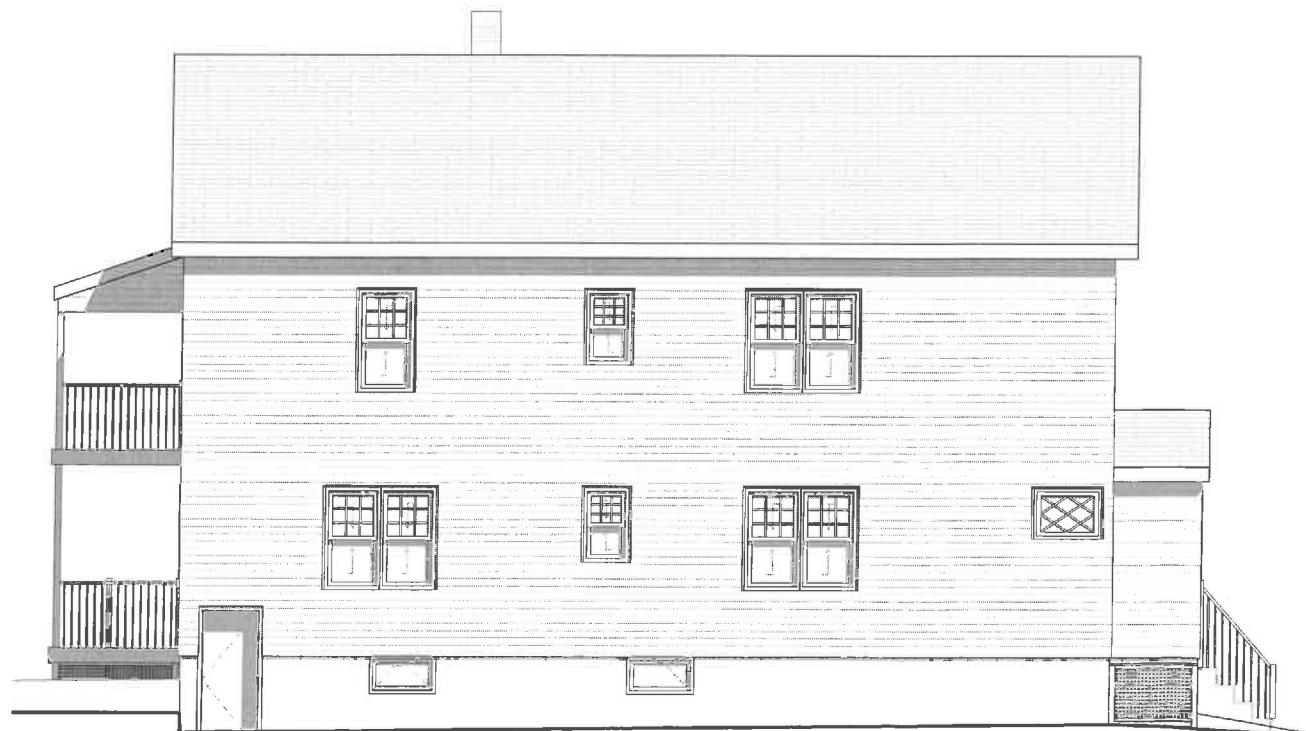
Project No. **17-022**

OWNER'S & USER'S DOCUMENTS: All drawings, specifications and notes, whether prepared by Harout Kelian Architects, Inc. or not, shall remain the property of Harout Kelian Architects, Inc. They are to be used only with respect to this project and are not to be used for any other project. Information or other drawings in these official regulatory requirements or for other purposes in connection with this project is not to be considered as publication in violation of Harout Kelian Architects, Inc.'s copyright law, copyright or other intellectual rights.

© HAROUT KELIAN ARCHITECT LEED - RENOVATIONS AND ADDITIONS TO 33 SPRINGFIELD STREET - A-201 WEST (FRONT) AND NORTH ELEVATIONS - File Name = 02478 - 33 Springfield Street - Printed by Harout on Thursday, May 03, 2018 at 2:55 PM



4 PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"



3 EXISTING NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 PROPOSED WEST (FRONT) ELEVATION
SCALE: 3/16" = 1'-0"



1 EXISTING WEST (FRONT) ELEVATION
SCALE: 3/16" = 1'-0"

HAROUT KELIAN
ARCHITECT LEED

21 HAYWARD RD BELMONT MA 02478
TEL: 617-932-9270
FAX: 617-934-2472
EMAIL: harout.kelian@arch.com

OWNER / GENERAL CONTRACTOR:
SHANT BANOSIAN
33 SPRINGFIELD ST
BELMONT
617-593-2888



RENOVATIONS AND
ADDITIONS TO 33
SPRINGFIELD STREET
33 SPRINGFIELD ST BELMONT MA 02478

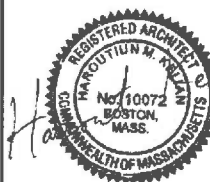
Issue
DESIGN REVIEW - 10/11/2017
DESIGN REVIEW - 11/17/2017
BUILDING PERMIT SUBMISSION - 1/8/2018
REFERENCE TO 9TH EDITION - MASS BUILDING CODE - 1/15/2018
BUILDING PERMIT SUBMISSION - 1/23/2018
PERMIT APPLICATION - 5/3/2018

WEST (FRONT) AND NORTH
ELEVATIONS

Sheet Title
A-201
Sheet No.
Scale
Project No. 17-022

DISCLAIMER: P & USE OF DOCUMENTS. All drawings, specifications, and
copies thereof submitted by Harout Kelian Architects are and shall
remain the property of Harout Kelian Architects. They are to be used
only with respect to this project and are not to be used on any other
project. Separation of documents in cases of official registration
requirements or for other purposes in connection with the project is
not to be construed as a disclaimer in derogation of Harout Kelian
Architects' retained copyright or other intellectual rights.

8-9 808 2018



**RENOVATIONS AND
ADDITIONS TO 33
SPRINGFIELD STREET**

ISSUE

DESIGN REVIEW - 10/11/2017

DESIGN REVIEW - 11/17/2017

BUILDING PERMIT SUBMISSION - 1/8/2018

REFERENCE TO 9TH EDITION - MASS BUILDING CODE - 1/15/2018

BUILDING PERMIT SUBMISSION - 1/23/2018

 PERMIT APPLICATION - 5/3/2018

EAST AND SOUTH
ELEVATIONS

Street Title

A-202

Scale

Project No. 17-022

OWNERSHIP & USE OF DOCUMENTS. All Drawings Specifications and copies thereof furnished by Harout Keilian Architects are and shall remain the property of Harout Keilian Architects. They are to be used only with respect to this Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of Harout Keilian Architects' common law copyright or other reserved rights.