



Town of Belmont

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BELMONT, MA

2017 SEP 12 PM 2:52

APPLICATION FOR A SPECIAL PERMIT

Date: 8/21/17

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 30 Madison Street Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for Belmont 3rd floor addition.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Boris Shepod

Print Name

BORIS SHEPOV

Address

30 Madison St.

Belmont, MA 02478

Daytime Telephone Number

646-528-3517



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

June 20, 2017

Boris Shepov
30 Madison Street
Belmont, MA 02478

RE: Denial to Construct a Three and a Half story Addition

Dear Mr. Shepov,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a three and a half story addition at 30 Madison Street located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning Bylaws. More specifically, Section 4.2 of the Zoning Bylaws Dimensional Regulations allows a maximum of 2-1/2 stories and maximum lot coverage of 25%.

1. The existing structure is three and a half (3-1/2) stories. The lowest level of your dwelling is a basement (78.26% of the foundation walls are exposed) and is considered a story. The proposed addition is a three and a half (3-1/2) story addition.
2. The existing lot coverage is 25.4% and the proposed is 25.4%.

You may alter your plans to conform to the current Town of Belmont Zoning Bylaws and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,
On behalf of Glenn R. Clancy, P.E.
Inspector of Buildings

Ara Yogurtian
Assistant Director
Office of Community Development

Boris and Olya Shepov
30 Madison Street
Belmont, MA 02478
646-528-3517
borysnyc@gmail.com

Dear members of the Zoning Board,

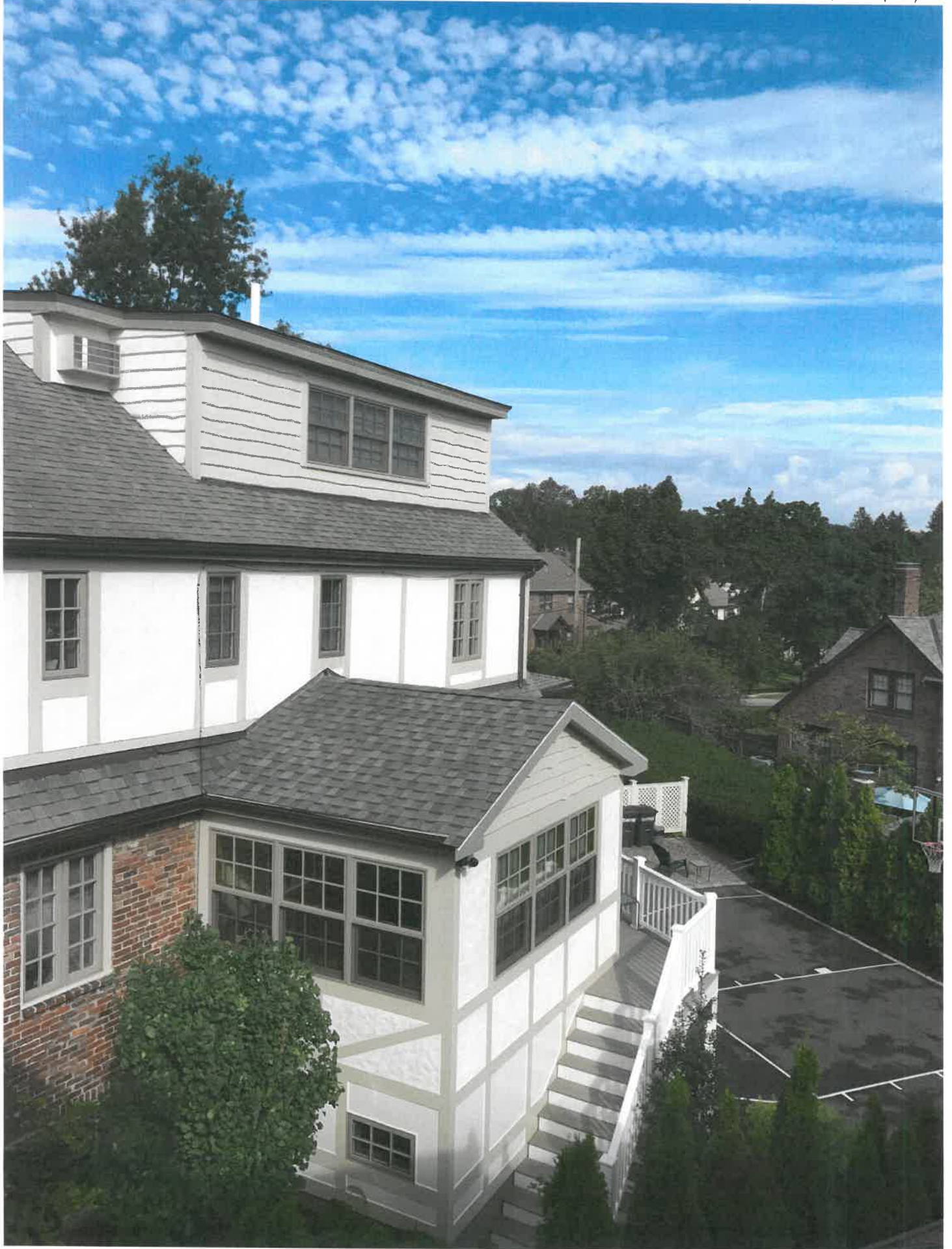
We respectfully request to grant us a special permit to add a master bedroom next to our 1 and 5 year old kids' bedrooms on the second floor. Our house is on the hill and while from the front the house is 2.5 stories high – from the rear it is 3.5 stories high. Most houses in our neighborhood have the same topography. Please, see the photos attached.

It is critical for us to have our bedroom next to our young kids' bedrooms as they very often require our attention. We are very excited about becoming a part of the Belmont community and have many friends that live in Belmont and speak very highly of the town. We already met most of our neighbors and we are sure that we will get to know more great people in our neighborhood when our daughter goes to the Burbank elementary school.

Please, refer to our architectural plans that highlight our intention to preserve the look of our tudor-style house for it to perfectly blend into the neighborhood. Please, also note that the addition is almost invisible from the front and it not causing any inconvenience to our neighbors in any way.

Thank you for your consideration,
Boris and Olya Shepov

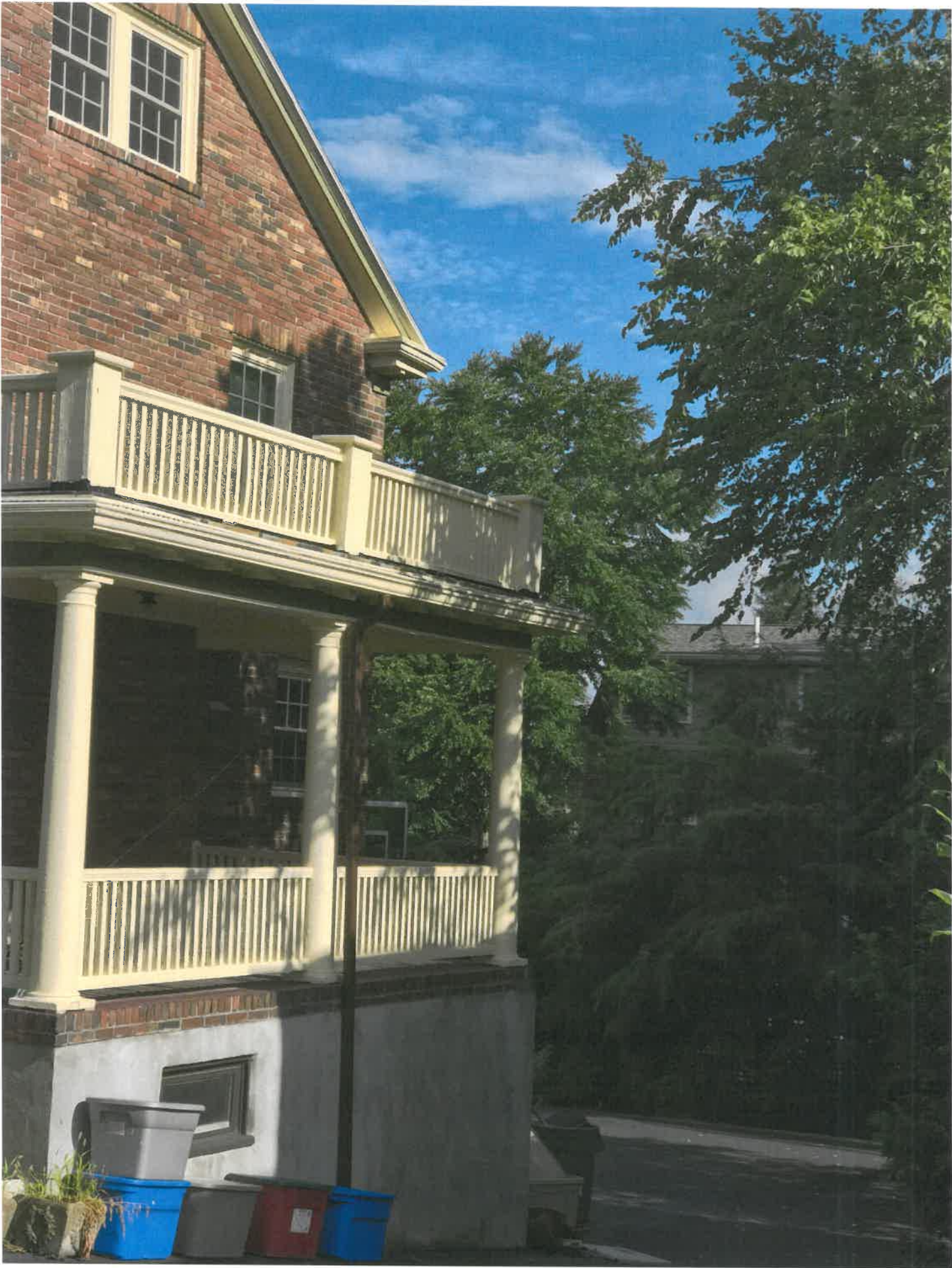
OUR NEIGHBORS' HOUSE ON THE LEFT

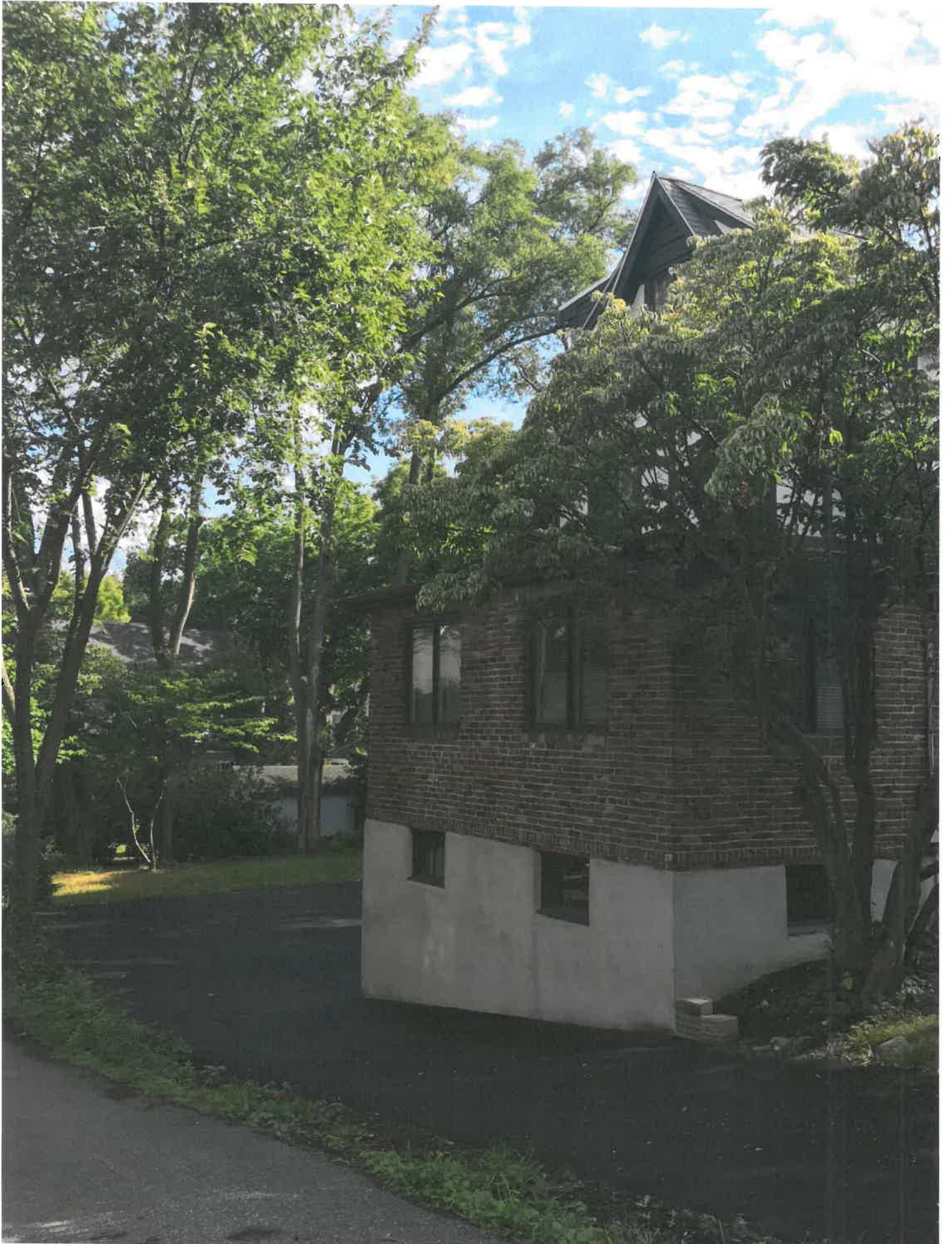


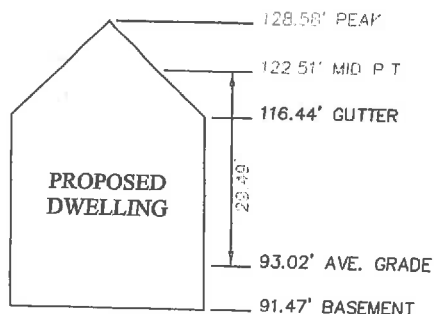
OUR NEIGHBORS' HOUSE ON THE RIGHT





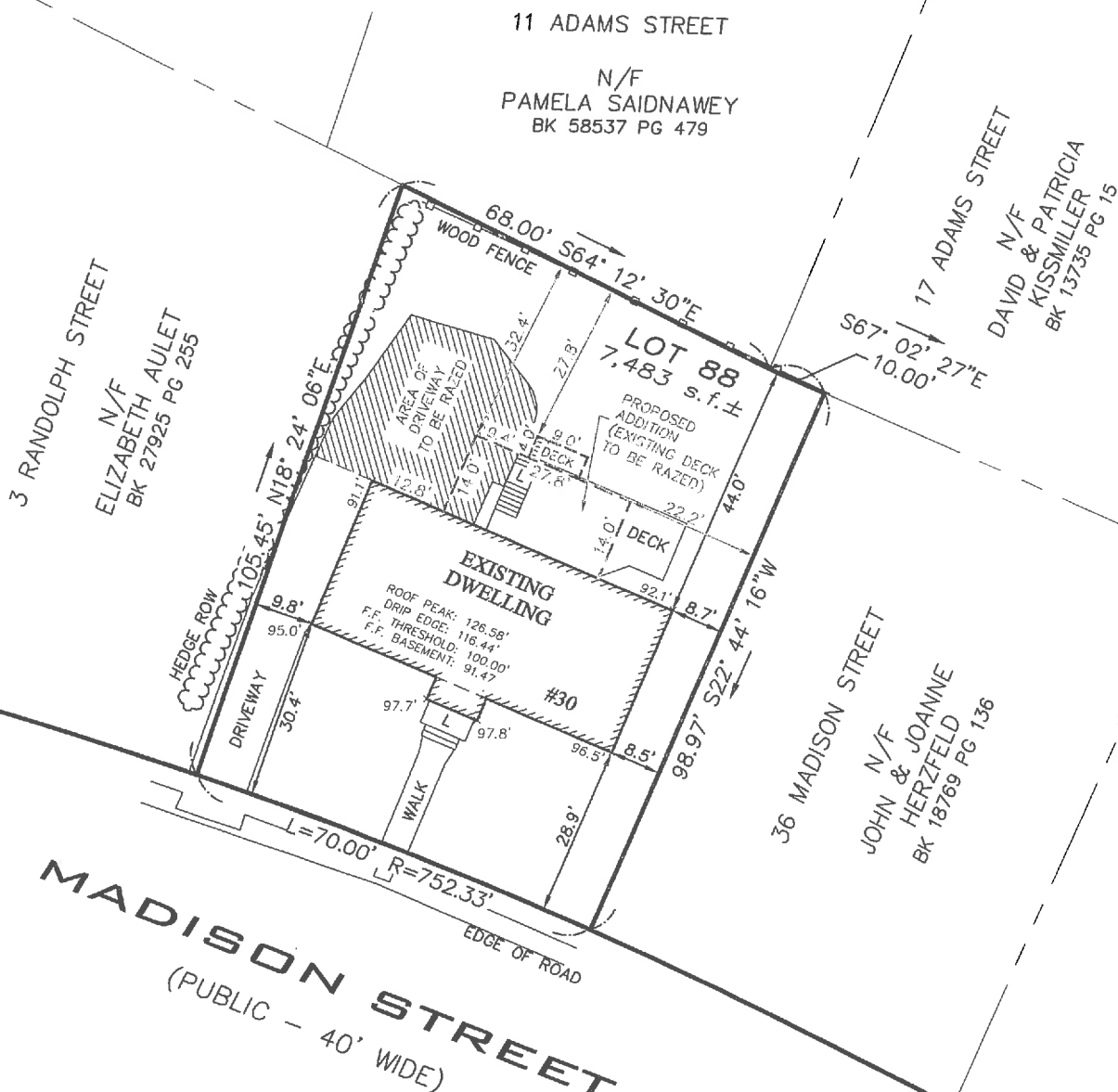
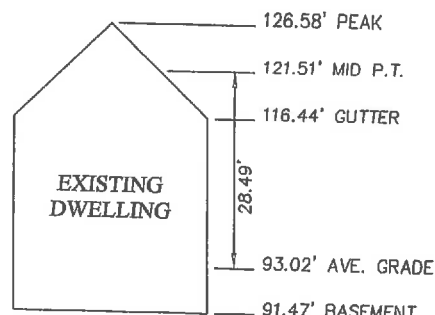






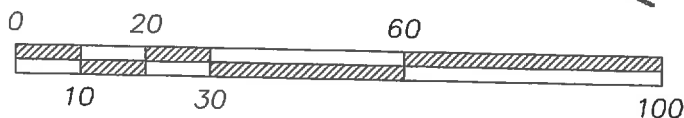
PREPARED BY:

**MEDFORD
ENGINEERING
& SURVEY**
ANGELO B. VENEZIANO ASSOCIATES
15 HALL STREET, MEDFORD, MA 02155
781-396-4466 fax: 781-396-8052



ZONED SINGLE RESIDENCE C

ZONING REQUIREMENT	EXISTING	PROPOSED
FRONT: 25'	28.9'	28.9'
SIDE: 10'	8.5'	25.3'
SIDE: 10'	9.8'	22.2'
REAR: 10'	44.0'	27.9'
MAX. LOT COV.: 25%	25.4%	25.4%
MIN. OPEN SPACE: 50%	56.8%	67.8%
MAX. HEIGHT: 30'	28.49'	29.49'




SCALE: 1" = 30'

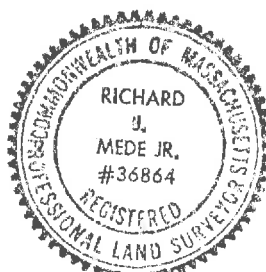
ELEVATIONS:	EXISTING	PROPOSED
BASEMENT:	91.47'	91.47'
TOP OF SILL:	98.60'	98.60'
FIRST FLOOR:	100.00'	100.00'
ROOF PEAK:	126.58'	128.58'
AVERAGE GRADE:	93.02'	93.02'
HEIGHT:	28.49'	29.49'
ROOF DRIP EDGE:	116.44'	116.44'

DEED REFERENCE: BK 68408 PG 584
 PLAN REFERENCE: PLAN BOOK 414 PLAN 90
 PLAN No. 324 PLAN 1930

THE PROPERTY IS NOT LOCATED IN AN ESTABLISHED FLOOD HAZARD ZONE ACCORDING TO THE F.I.R.M. OF BELMONT.


 RICHARD J. MEDE, JR. - P.L.S.

06/14/2017
 DATE:



OWNER: BORIS & OLYA SHEPOVA
HOUSE NO.: 30
LOC. LOT NO.: 88
APP. NO.:
DATE: JUNE 14, 2017
SCALE: 1" = 30'

Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 30 MADISON STREET

Zone: SR-C

Surveyor Signature and Stamp: 

Date: 08/21/2017

	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000sf	7,483 sf	7,483 sf
Lot Frontage	75'	70.00'	70.00'
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	25%	25.4%	25.4%
Open Space	50%	56.8%	67.8%
Front Setback	25'	28.9'	28.9'
Side Setback	10'	9.8'	9.8'
Side Setback	10'	8.5 EXIST. DWELLING	8.5 EXIST. DWELLING 22.2 ADDITION
Rear Setback	30'	44.0'	27.8 DECK 30.7 ADDITION
Building Height	30'	28.49	29.49
Stories	2 1/2 STORIES	2 1/2 STORIES	2 1/2 STORIES
1/2 Story Calculation			

NOTES:

% of EXPOSED FOUNDATION

30 MADISON STREET BELMONT

TOP OF SILL ELEVATION - BASEMENT FLOOR ELEVATION = TOTAL HEIGHT OF BASEMENT WALL

$$98.60' - 91.47' = 7.13'$$

AVERAGE GRADE ELEV. - BASEMENT FLOOR ELEV. = AMOUNT OF NON EXPOSED FOUND. WALL

$$93.02' - 91.47' = 1.55' (21.74\%)$$

TOP OF SILL ELEV. - AVERAGE GRADE ELEV. = AMOUNT OF EXPOSED FOUND. WALL

$$98.60' - 93.02' = 5.58' (78.26\%)$$



[Handwritten Signature]
01/13/2017

REPLACE ALL EXISTING WINDOWS WITH
UNITS HAVING U-VALUES LESS THAN OR EQUAL
TO .30 - MANUFACTURER T.B.D.

INSULATION OF ADDITION WILL FOLLOW 2015 IECC REQUIREMENTS
AS FOLLOWS: R-49 in ceiling, R-30 in floor system and R-21 in walls

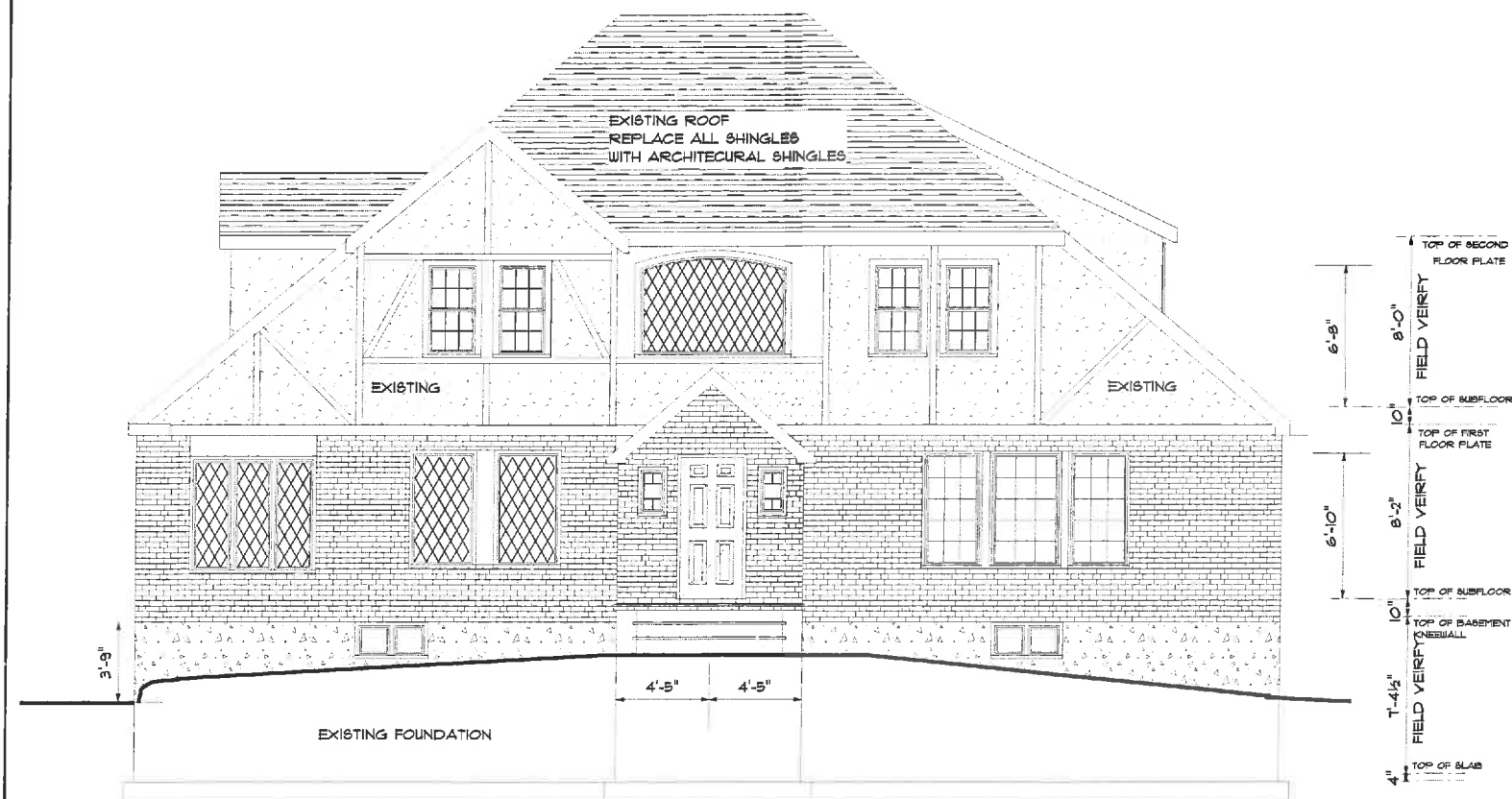
- Existing areas exposed during construction will be required to fill the cavity with the appropriate insulation.

MATCH DIMENSIONS OF
STUCCO FACADE WITH
EXISTING MAIN HOUSE DETAILS
UPGRADE TO PVC TRIM SUGGESTED

AREA OF PROPOSED 2ND FLOOR ADDITION



PROPOSED REAR ELEVATION



PROPOSED FRONT ELEVATION



EXISTING FRONT PHOTO



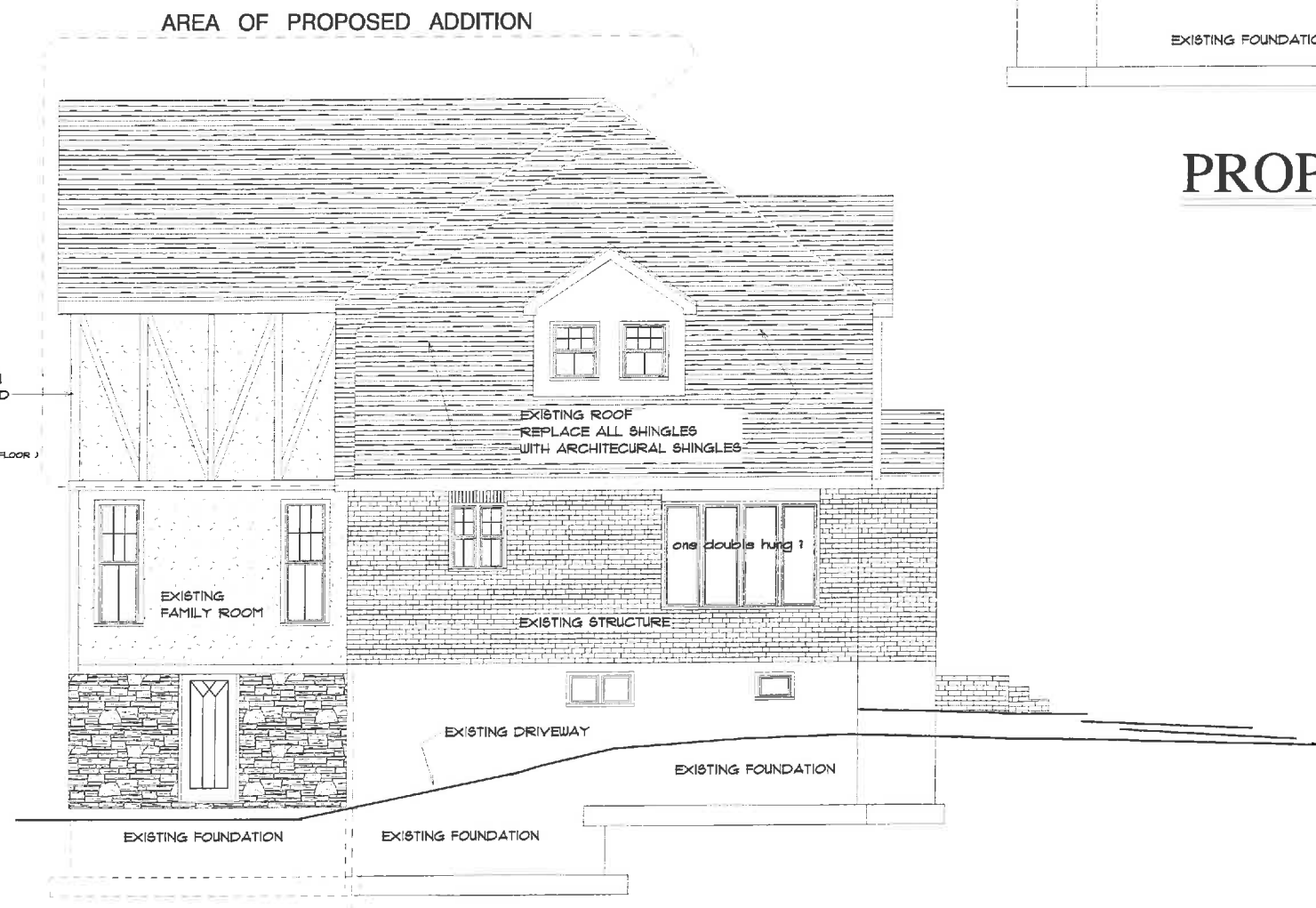
498 GREAT ROAD
ACTON, MA 01720
978.337.9378

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OWNER/ BUILDER	BORIS SHEPOV
SITE:	30 Madison Street Belmont, MA.
SCALE:	1/4" = 1'-0"
DATE:	MAY 23, 2017
DRAWN BY:	DM-16-3-15
FRONT & REAR ELEVATIONS	



PROPOSED RIGHT ELEVATION



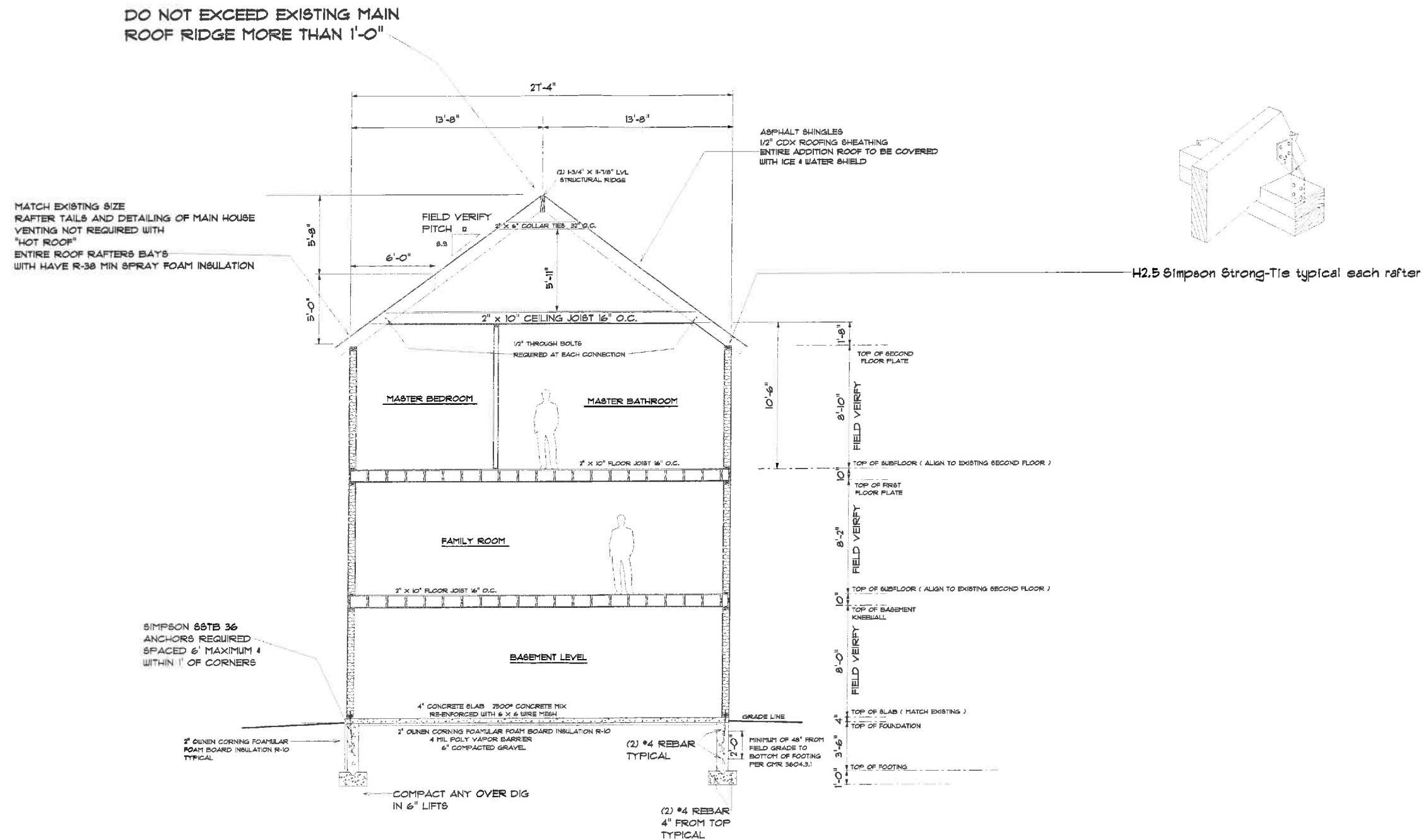
PROPOSED LEFT ELEVATION



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LEFT & RIGHT ELEVATIONS	

FULL DIMENSION 2" X 10" RAFTERS 16" O.C.
REQUIRED TO MATCH RAFTER TAILS OF MAIN HOUSE.



ADDITION CROSS SECTION A-A



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OWNER/
BUILDER **BORIS SHEPOV**

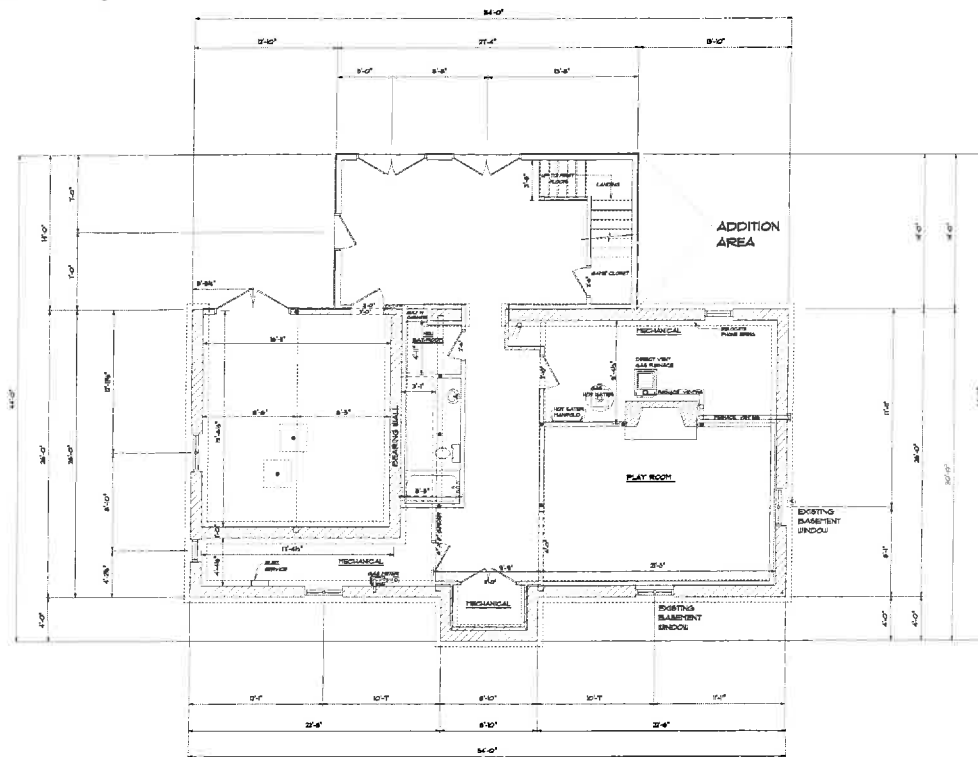
SITE: 30 Madison Street
Belmont, MA.

SCALE: 1/4" = 1'-0"

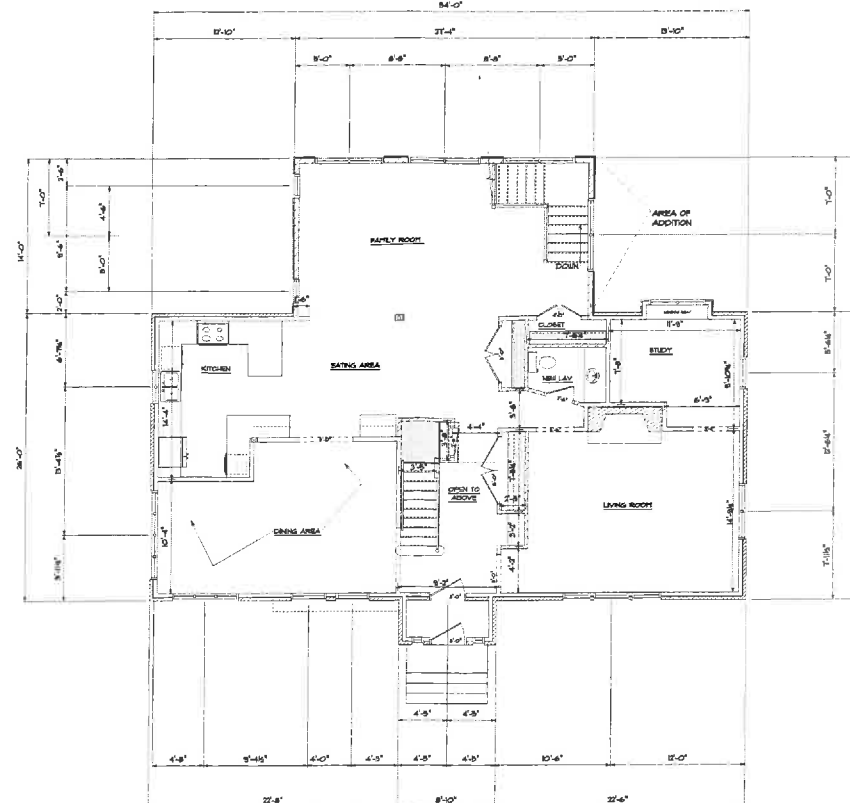
DATE: MAY 23, 2017

DRAWN BY: DM-16-3-15

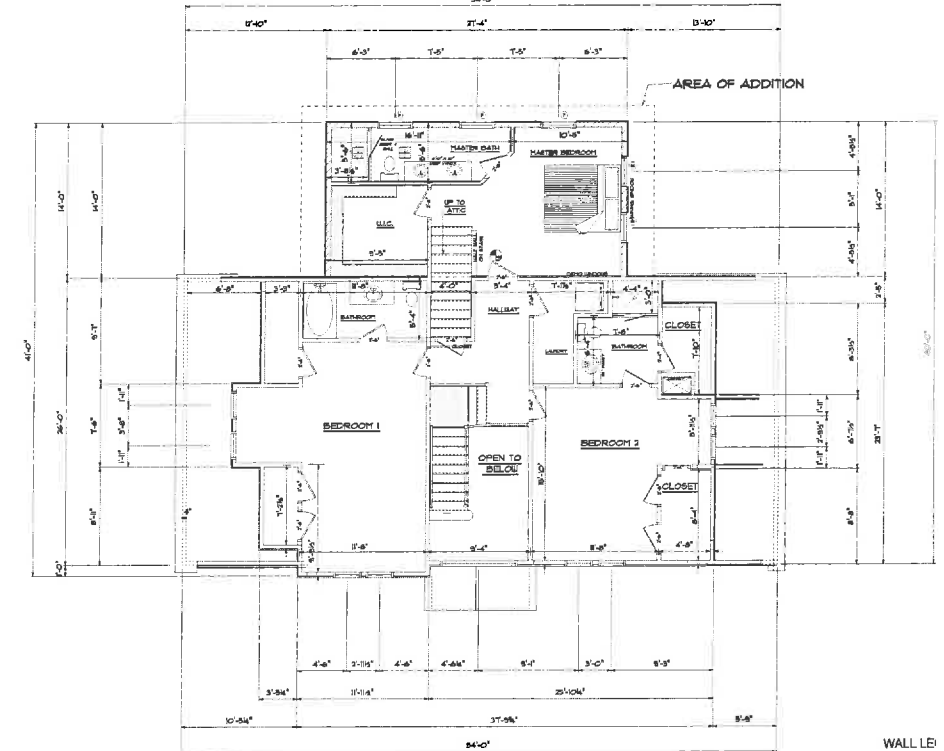
CROSS SECTION



PROPOSED BASMENT ADDITION 382.2 SQ'
EXISTING BASEMENT AREA 1,439 SQ'

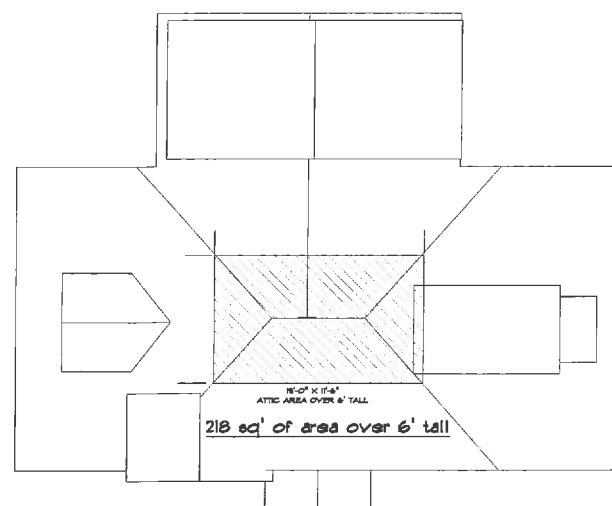


PROPOSED FIRST FL. ADDITION 382.2 SQ'
EXISTING FIRST FL. AREA 1,439 SQ'

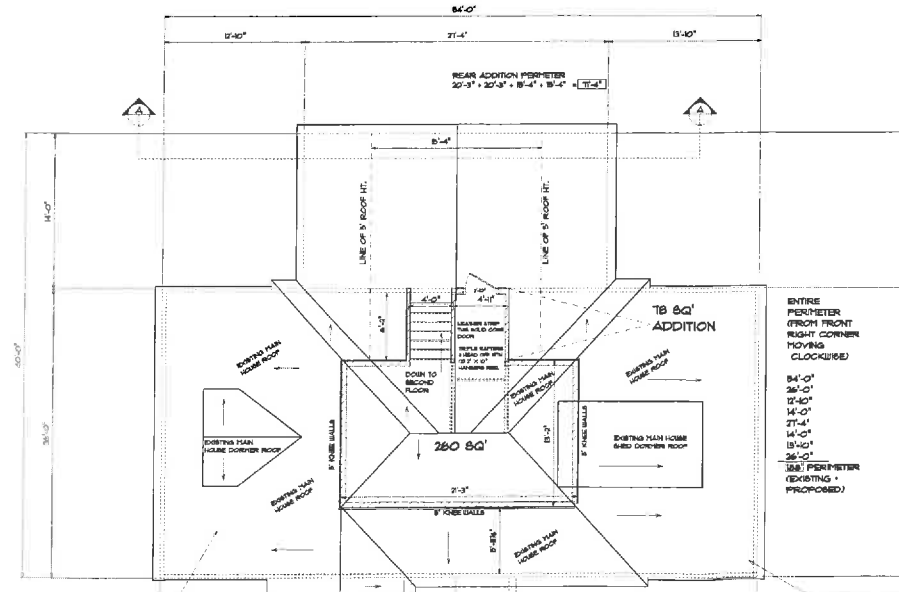


PROPOSED SECOND FLOOR
ADDITION AREA: 382.2 SQ FT.
Existing second floor 1,116 sq'

PROPOSED ATTIC LEVEL ADDITION
78.0 SQ' + 280 SQ (MIDDLE MAIN ROOF)
358 SQ' TOTAL NEW AREA



EXISTING ATTIC AREAS
OVER 6' TALL 218 SQ'



THIS LINE INDICATES A FLOOR
TO BOT. OF RAFTER HT. OF 9'-0"

INCREASE IN SQUARE FOOTAGE OF HOME

Addition at Basement floor	382.2 sq'	Existing Basement	1,439 sq'
Addition at First floor	382.2 sq'	Existing First floor	1,439 sq'
Addition at Second floor	382.2 sq'	Existing Second floor	1,116 sq'
Addition at Attic level	78.0 sq'	Attic area over 6' ht	218 sq'

Total addition area 1,224.6 sq' Total existing area 4,212 sq'

$$1,224.6 / 4,221 = 29.0 \% \text{ Increase}$$

PERCENTAGE OF PROPOSED ATTIC LEVEL SQ' TO EXISTING SECOND FLOOR AREA

$$(78.0 + 280 \text{ SQ}') = \text{-----} 358 \text{ SQ}' \text{ PROP. FIN. ATTIC LEVEL}$$

$$\text{DIVIDE BY EXISTING SECOND FLOOR } 1,116 \text{ sq}' = 32 \%$$

PERCENTAGE OF PROPOSED HALF STORY (5' OR HIGHER) TO EXISTING 3' TALL PERIMETER (FL. TO UNDERSIDE OF RAF.)

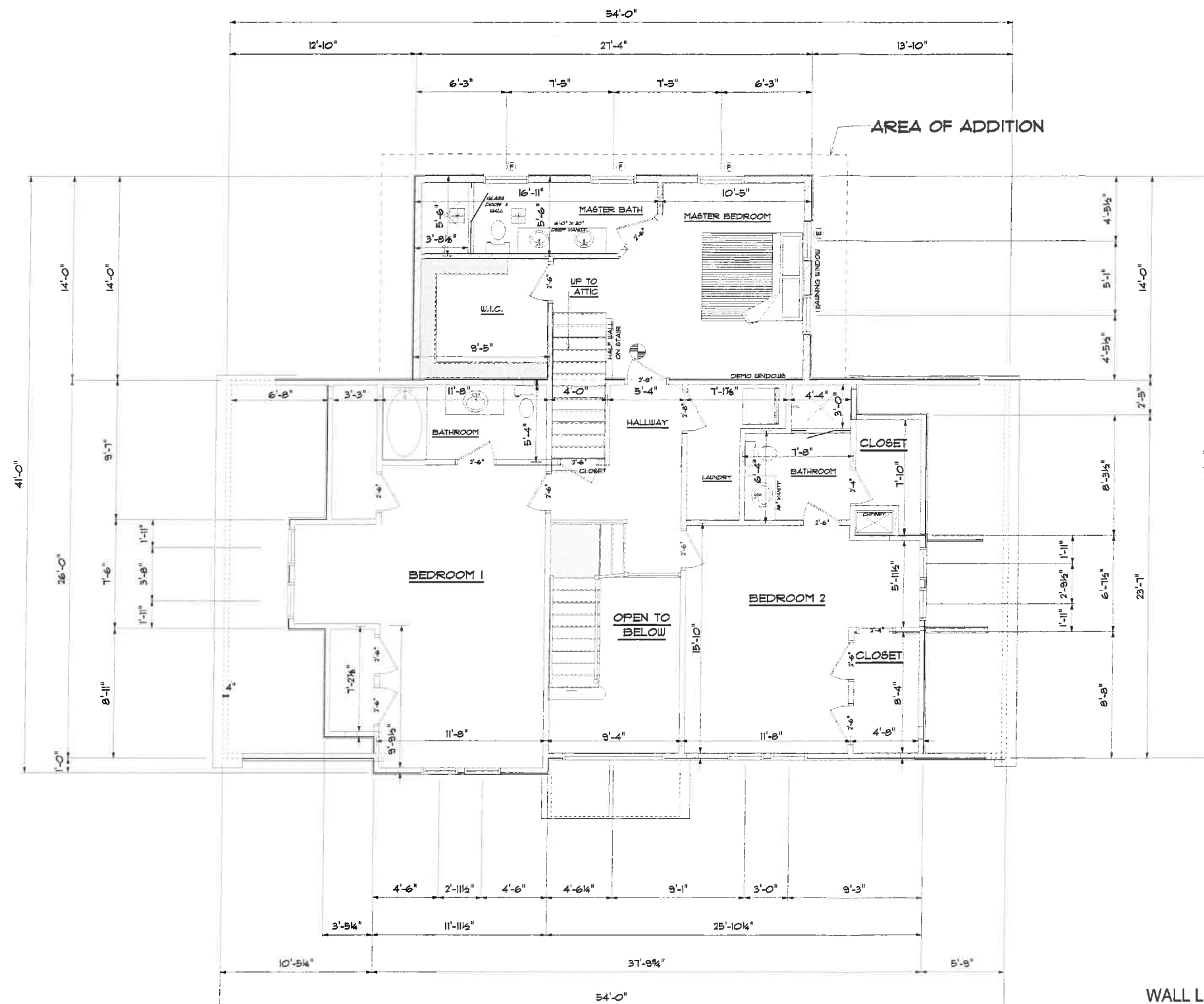
$$13'-0" / 188'-0" = 38.8 \%$$

DRAWINGS NOT TO SCALE



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BUILDER BORIS SHEPOV
SITE: 30 Madison Street
Belmont, MA.
SCALE: 1/4" = 1'-0"
DATE: MAY 23, 2017
DRAWN BY: DM-16-3-15
BUILDING INCREASE IN
SIZE CALCULATIONS



EXISTING & PROPOSED SECOND FLOOR PLAN

	PROPOSED 2" X 6" EXT. WALL
	PROPOSED 2" X 4" WALL INT.
	PROPOSED 2" X 6" WALL W/ BRICK VENEER
	EXISTING 10' CONCRETE FOUNDATION
	EXISTING 2" X 4" INTERIOR WALL
	EXISTING 2" X 4" WALL W/ STUCCO
	EXISTING 2" X 4" WALL W/ BRICK VENEER
	DEMO 2" X 4" WALL

WALL LEGEND

CARBON MONOXIDE DETECTOR
PER MA. STATE CODE 827 CMR 31.00

-I.L. Listed Detectors Only
-Carbon Monoxide Alarm Protection shall be located in each level of each dwelling unit including habitable portions of basements, cellars and attics, but not including crawl spaces. The installation of said unit shall be located in accordance with the manufacturer's instructions.
-At a minimum, the alarm shall be located outside of any bedroom, but shall not exceed 10 ft. as measured in any direction from any bedroom door.

EXHAUST FAN
ALL BATHROOMS AND KITCHENS TO BE EQUIPPED WITH AN EXHAUST FAN
TO COMPLY WITH 180 CMR 6506
BATHROOM 50 CFM - OPERATED INTERMITTENTLY OR 20 CFM CONTINUOUS
KITCHEN 100 CFM - OPERATED INTERMITTENTLY OR 25 CFM CONTINUOUS

SMOKE DETECTOR
-ALL UNITS HARD WIRED WITH BATTERY STAND BY POWER
-ONE EACH IN ALL BEDROOMS
-IN THE IMMEDIATE VICINITY OF BEDROOMS
-NEAR THE BASE OF ALL STAIRS UNLESS SUCH STAIRS LEAD TO ANOTHER OCCUPIED FLOOR.
-ONE EACH MIN PER 1200 SQ' OF PART THERE OF.
-PHOTO ELECTRIC TYPE IF WITHIN 20' OF KITCHEN OR BATHROOM THAT HAS TUB OR SHOWER

ALL FLUSH FRAMED BEAMS REQUIRE JOIST HANGERS FOR ANY ATTACHED JOISTS

ALL BEARING WALL HEADERS REQUIRE DBL. JACK STUDS - MIN.

EXTERIOR HEADERS TO BE (3) 2" X 10" UNLESS OTHERWISE NOTED

ALL FRAMING MATERIAL UNLESS OTHERWISE NOTED TO BE STAMPED S.P.F. K.D. #2 OR BETTER

ALL EXTERIOR WALLS TO BE 2" X 6" STUDS @ 16" O.C.

EXTERIOR WINDOW DIMENSIONS ARE ROUGH OPENINGS IF GIVEN, INTERIOR AND EXTERIOR DOORS ARE DOOR SIZES

DO NOT SCALE DRAWING USE WRITTEN NUMBERS

ALL INTERIOR PASSAGE OPENINGS ARE TO BE CASED OPENINGS UNLESS OTHERWISE NOTED

-INTERIOR DOOR STYLES T.B.D.
(JELD-WEN PRO-CORE SUGGESTED FOR SOUND CONTROL)

The contractor shall verify all structural components and verify all elevations & dimensions in the field. Once construction has begun, Integrity Design will not assume any liability for omissions, changes or errors of any type.

-BUILDER TO VERIFY ALL DIMENSIONS & R.O.S. BEFORE START OF CONSTRUCTION
-BUILDER RESPONSIBLE TO COMPLY WITH ALL STATE & LOCAL BUILDING CODES

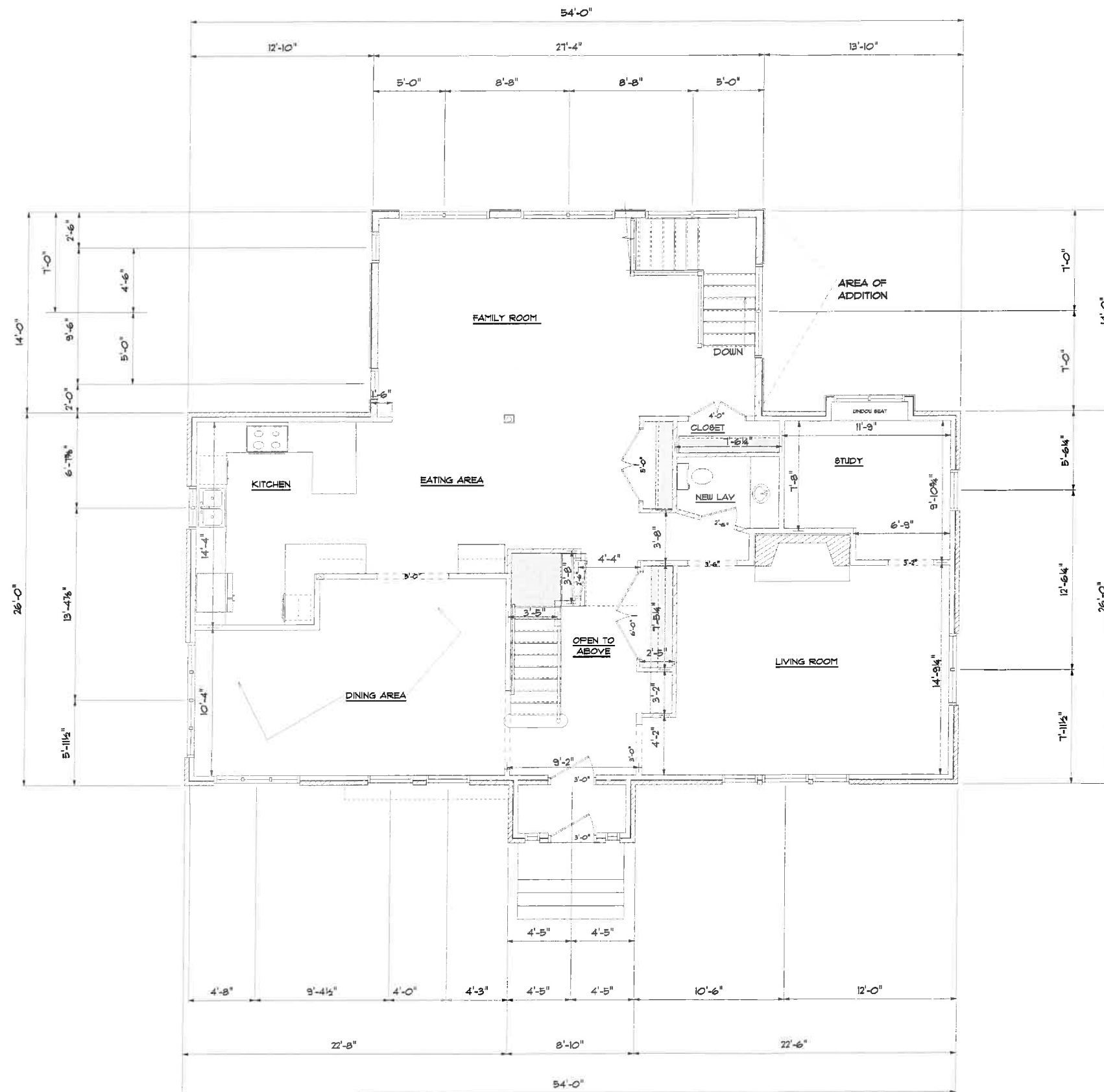
The state of MA. building code now consists of The International Residential Code for One & Two-family dwellings (IRC 2009 addition) along with amendments directly given by the state of MA.




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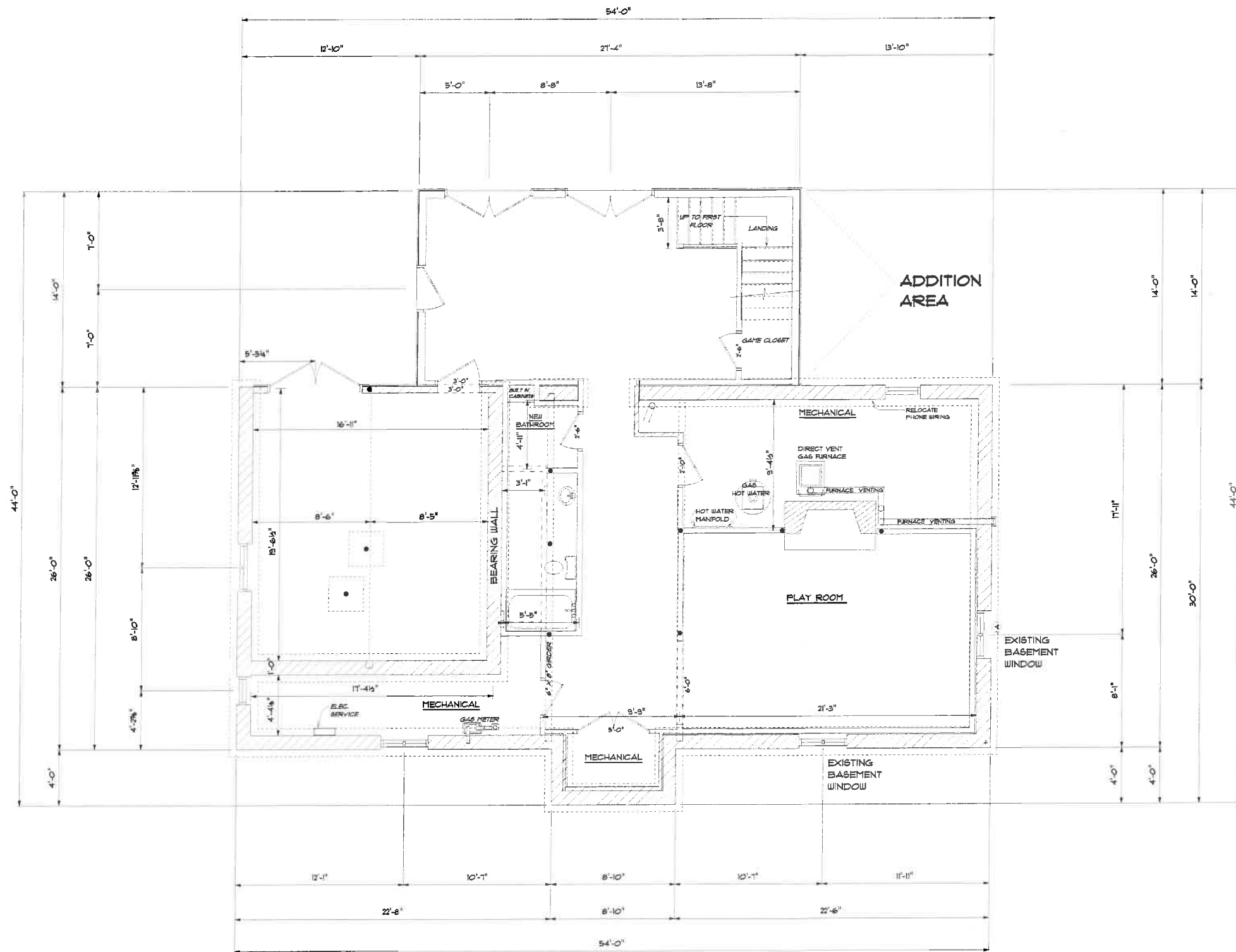
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DRAWN BY:	DM-16-3-15
EXISTING & PROPOSED SECOND FLOOR PLAN	



EXISTING FIRST FLOOR PLAN

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498 GREAT ROAD ACTON, MA 01720 978.337.9378		EXISTING FIRST FLOOR PLAN	



EXISTING BASEMENT PLAN



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EXISTING BASEMENT PLAN	

