

2017 JAN 17 PM 12:33



Town of Belmont

## APPLICATION FOR A SPECIAL PERMIT

Date: January 17, 2017


Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 81 Statler Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for \_\_\_\_\_

A Special Permit under section 1.5 of the Zoning By-Law to maintain an existing nonconforming side setback of 8.3', required 10' to construct a third floor addition.

On the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner	
Print Name	<u>Samuel Felton</u>
Address	<u>81 Statler rd</u>
	<u>Belmont MA 02478</u>
Daytime Telephone Number	<u>603-498-7162</u>

2017 JAN 17 PM 12:32



Town of Belmont  
Zoning Board of Appeals

## APPLICATION FOR A VARIANCE

Date: January 17, 2017

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of the Massachusetts General Laws, Chapter 40A, Section 10, as amended, I/we, the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 81 Statler Road, petition your Board to vary the terms of the Zoning By-Laws of the Town insofar as the same applies to the proposed erection of a Third floor, in accordance with the plan attached hereto, on the ground that (submit a written statement addressing each of these criteria):

1. Owing to circumstances relating to soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the Zoning District in which it is located, a literal enforcement of the Provisions of this By-Law would involve substantial hardship, financial or otherwise, to the petitioner;
  2. Desirable relief may be granted without substantial detriment to the public good, (i.e., surrounding neighborhood), and;
  3. Without nullifying or substantially derogating from the intent and purpose of this By-Law.
- The petitioner(s) seek permission to construct: (brief description and violation)  
A third floor addition, Existing Structure 2.5 stories, proposed 3.5 stories.

Signature of Petitioner	<u>[Signature]</u>
Print Name	<u>Samuel Felton</u>
Address	<u>81 Statler Rd</u>
	<u>Belmont, MA 02478</u>
Daytime Telephone Number	<u>603-498-7152</u>



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT  
19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

January 13, 2017

Samuel and Sarah Felton  
81 Statler Road  
Belmont, MA 02478

RE: Denial to Construct a Third Floor Addition

Dear Mr. and Mrs. Felton,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a third floor addition at 81 Statler Road located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning Bylaws. More specifically, Section 4.2.2 of the Zoning Bylaws Dimensional Regulations allows a maximum of 2-1/2 stories and requires a minimum side setback of 10.0'.

1. The existing structure is two and a half (2-1/2) stories. The lowest level is a basement (53.5% of the foundation walls are exposed) and is considered a story. The proposed addition is a third (3<sup>rd</sup>) floor addition.
2. The existing and proposed side setbacks are at 8.3'.

You may alter your plans to conform to the current Town of Belmont Zoning Bylaws and resubmit a building permit application, or you may request one (1) Variance and one (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.  
Inspector of Buildings

## **Belmont Special Permit Application Statement 81 Statler Road**

Sarah and Sam Felton, of 81 Statler Road, seek relief on two counts, a special permit for the side yard setback and a variance for the story count, in order to add a second floor to an existing non-conforming cape.

The **special permit** involves extending the existing non-conformity (8.3' existing side yard, 10' required).

The **variance** for the story count is triggered by the fact that only 46% of the basement is below the average grade (60% required) and therefore it counts as a story, resulting in a designation as an existing 2.5 story structure (basement, first floor, and attic).

The hardship associated with this variance is because of **topography**. The property slopes down toward the rear yard, resulting in a 3.37' difference in elevation from the front to the back of the structure. The average grade along the front façade is actually 2.7' higher than the overall average grade, therefore the basement is actually 72% below grade as seen from the street. This translates to less than 2' of visible foundation along the front façade.

Furthermore, the linear height of the proposed addition is 28.5' above average grade to the ridge which is significantly less than the 34' maximum. And because the grade slopes down toward the back, the linear height above the grade at the front elevation is even less, approximately 26' above average grade.

These two factors, the topography sloping down toward the rear and the low overall height, result in a proposed addition that **does not pose any substantial detriment** to the neighborhood and **does not nullify or substantially derogate** the intent of the by-law. Rather, it is very reasonably sized and in line with the neighbors. This second floor addition maintains the traditional character of the home and is very consistent with the character and scale of the homes in the neighborhood. There are 15 homes on this block of Statler Road and all but two of those homes are colonials, virtually identical in size and style to the proposed (see photos).

The owners purchased this home in the fall of 2015. They just had their first child and would like to alter the home so that they can have three bedrooms all on the same level, a typical scenario for a young family. The owner and architect considered other alternative solutions to add bedrooms to this home without building up. However, the lot coverage (22.6% existing, 25% allowed) prevented the feasibility of a one story rear addition, leaving a second floor addition as the only viable option. We also explored the possibility of a half story addition with dormers instead of a full story addition, but the dimensional constraints of a half story designation made it not feasible to incorporate three bedrooms. Therefore, the proposed addition represents the only viable option from a zoning perspective, and an excellent option insofar as its consistency with the vernacular of the neighborhood.

# Zoning Compliance Check List

## (Registered Land Surveyor)

Property Address: 81 STATLER ROAD, DELMONT

Zone: SRC

Surveyor Signature and Stamp: \_\_\_\_\_

Date: 12-7-16

	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000 S.F.	5,210 S.F.	5,210 S.F.
Lot Frontage	75'	60'	60'
Floor Area Ratio	SEE ARCHITECTS NOTES		
Lot Coverage	25%	22.6%	22.6%
Open Space	50%	73.5%	73.5%
Front Setback	18.25'	12.6'	12.6'
Side Setback	10'	8.3'	8.3'
Side Setback	10'	7.9'	7.9'
Rear Setback	25.34'	26.3'	26.3'
Building Height	30'	19.72'	28.5'
Stories	2 ½	1 ½	2 ½
½ Story Calculation			
SEE NOTES			

<b>NOTES:</b>

  
John S. Johnson  
12-7-16

DLJ GEOMATICS  
276 NORTH STREET  
WEYMOUTH, MA 02191  
781-812-0457

[LANDSURV@COMCAST.NET](mailto:LANDSURV@COMCAST.NET)  
[WWW.DLJGEO.COM](http://WWW.DLJGEO.COM)

DECEMBER 7, 2016

81 STATLER ROAD

BELMONT, MA 02478

BASEMENT CALCULATIONS:

THE FOUNDATION WALLS ARE 6.53' HIGH. THERE ARE EIGHT SEGMENTS.

SEGMENT	LENGTH:	AREA:	AREA BELOW GRADE:
A	44.6'	293.47 S.F.	210.07 S.F.
B	18.8'	123.70 S.F.	67.68 S.F.
C	9.5'	62.51 S.F.	21.66 S.F.
D	5.6'	36.85 S.F.	10.08 S.F.
E	22.5'	148.05 S.F.	37.35 S.F.
F	11.1'	73.04 S.F.	15.98 S.F.
G	12.6'	82.91 S.F.	16.63 S.F.
H	35.5'	233.59 S.F.	111.12 S.F.
TOTAL		1054.12 S.F.	490.57 S.F.

$490.57/1054.12 = 46.5\%$

46.5% OF THE TOTAL FOUNDATION WALL IS BELOW GRADE

  
D. J. Galt  
12-07-16

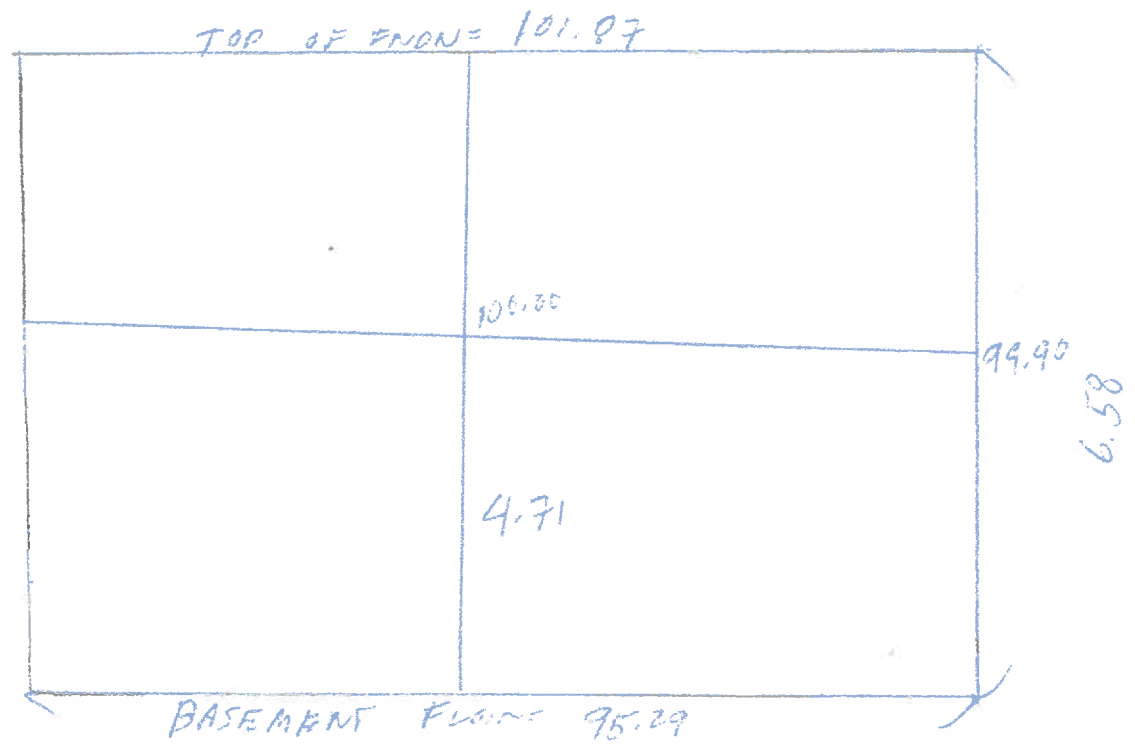
SEG "A"

$$\begin{array}{r} 44.6 \\ + 6.58 \\ \hline 293.47 \end{array}$$

100.10

$$\begin{array}{r} 44.6 \\ + 4.71 \\ \hline 210.07 \end{array}$$

$$\frac{210.07}{293.47} = 71.6$$



44.6  
71.6% BELOW grade



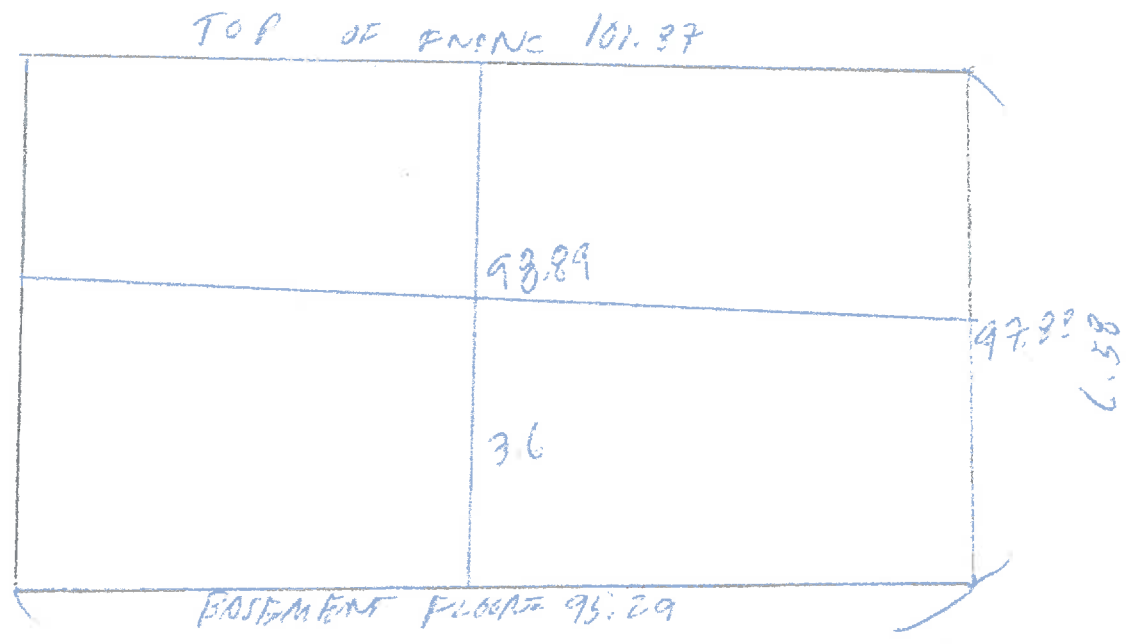
SEG "B"

$$\begin{array}{r} 18.8 \\ + 6.53 \\ \hline 127.70 \end{array}$$

99.90

$$\begin{array}{r} 18.8 \\ + 3.6 \\ \hline 67.68 \end{array}$$

$$\frac{67.68}{127.70} = 54.7$$

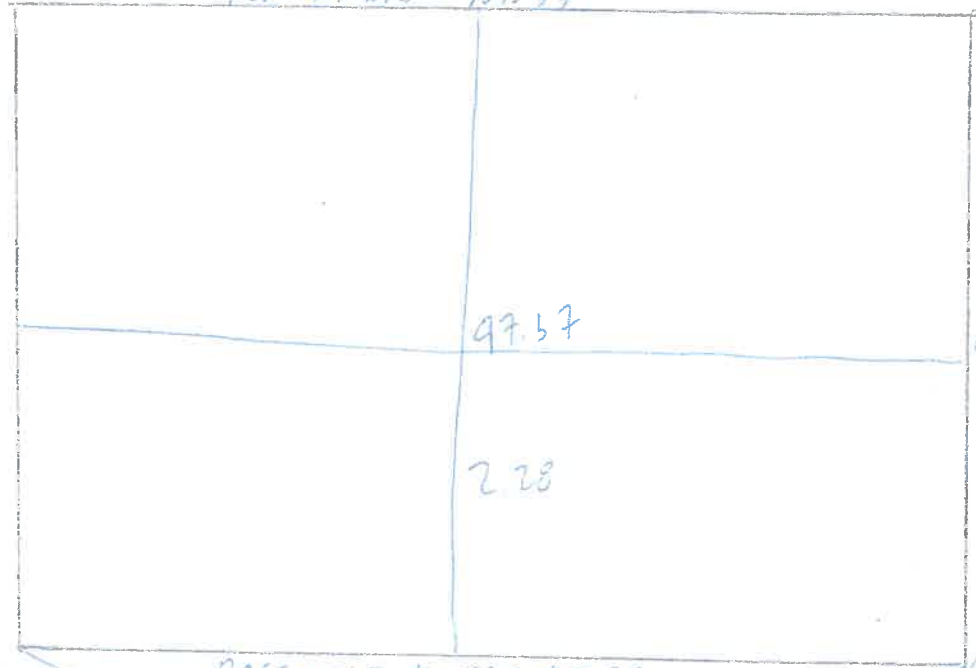


18.8  
54.7% BELOW grade

SEG "C"

51 STATION RD  
BELMONT

TOP OF FENCE = 131.87



$$\begin{array}{r} 9.5 \\ \times 6.51 \\ \hline 62.51 \end{array}$$

97.88

$$\begin{array}{r} 9.5 \\ \times 2.28 \\ \hline 21.66 \end{array}$$

$$\begin{array}{r} 21.66 \\ 62.51 \\ \hline 34.7 \end{array}$$

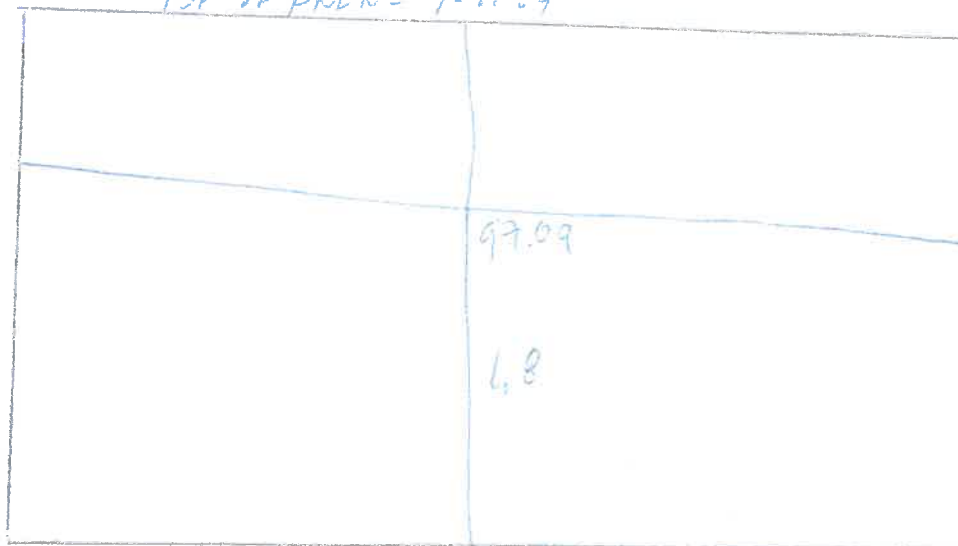
BASEMENT FLOOR = 95.29

34.7% DOWN grade



SEG "D"

TOP OF FENCE = 101.87



$$\begin{array}{r} 5.6 \\ \times 6.51 \\ \hline 36.45 \end{array}$$

97.25

$$\begin{array}{r} 5.6 \\ \times 1.8 \\ \hline 10.08 \end{array}$$

$$\begin{array}{r} 10.08 \\ 36.45 \\ \hline 27.4 \end{array}$$

BASEMENT FLOOR = 95.29

27.4% DOWN grade



SEC E

21 JIN. CEN. ROAD  
DELMONT

TOP OF FNDN 101.37

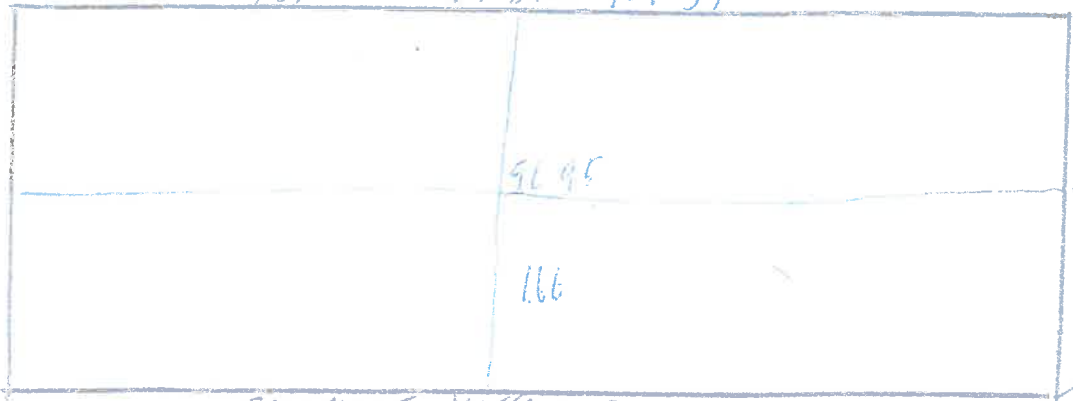
$$\begin{array}{r} 22.5 \\ \times 6.50 \\ \hline 148.35 \end{array} \quad 96.93$$

$$\begin{array}{r} 27.5 \\ \times 1.66 \\ \hline 37.35 \end{array}$$

$$\begin{array}{r} 37.35 \\ 148.35 \\ \hline 185.70 \end{array} = 25.2$$

BASEMENT FLOOR = 95.29  
27.5

25.2% DOWN grade



SEC F

TOP OF FNDN 101.37

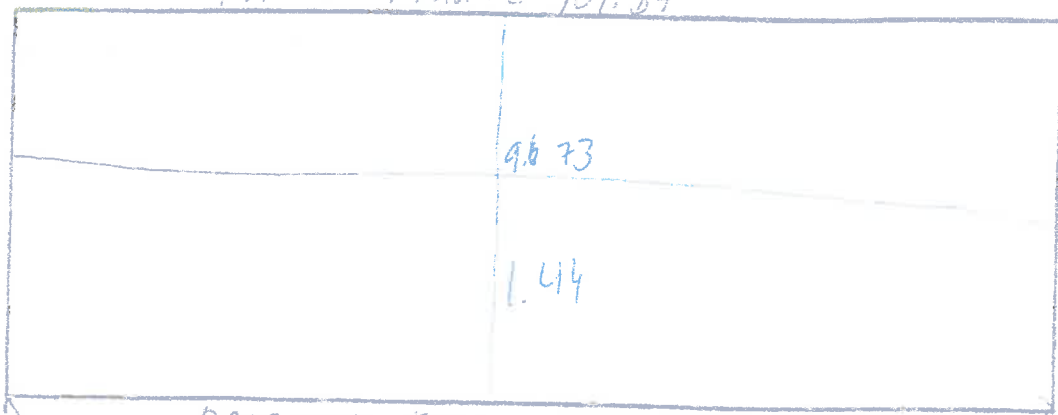
$$\begin{array}{r} 11.1 \\ \times 6.50 \\ \hline 73.04 \end{array} \quad 96.96$$
$$\begin{array}{r} 11.1 \\ \times 1.44 \\ \hline 15.98 \end{array}$$

$$\begin{array}{r} 15.98 \\ 73.04 \\ \hline 89.02 \end{array} = 21.9$$

BASEMENT FLOOR = 95.29

11.1

21.9% BECON grade



SEC G

BASEMENT

TOP OF FLOOR = 101.87

$$\begin{array}{r} 12.6 \\ \times 6.63 \\ \hline 32.91 \end{array}$$

$$\begin{array}{r} 12.6 \\ \times 1.72 \\ \hline 16.63 \end{array}$$

$$\frac{16.63}{32.91} = 20.1$$

96.49

96.61

96.73

1.32

BASEMENT FLOOR = 96.29

12.6  
20.1% Below grade

SEC H



TOP OF FLOOR = 101.87

$$\begin{array}{r} 75.5 \\ \times 6.58 \\ \hline 293.59 \end{array}$$

96.73

98.42

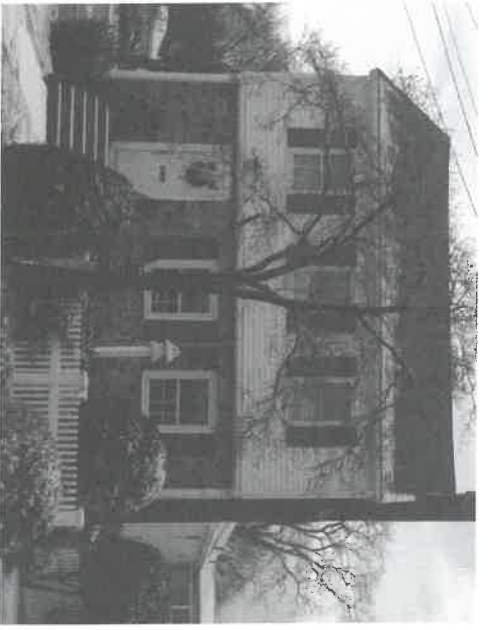
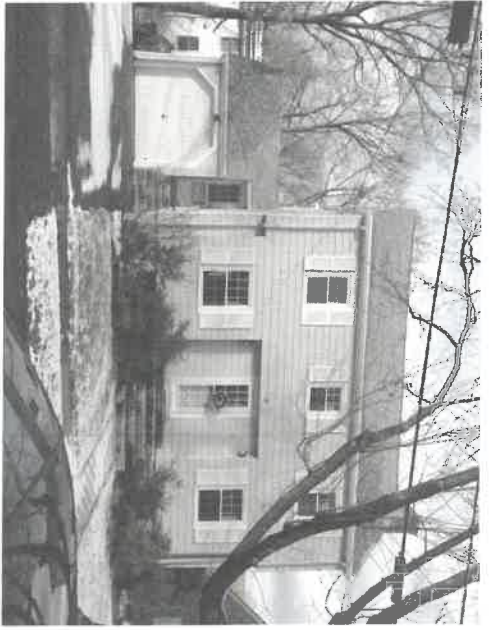
100.70

3.13

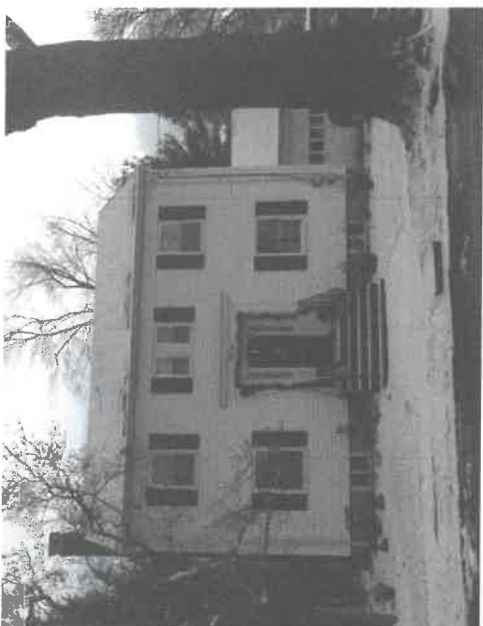
BASEMENT FLOOR = 95.29

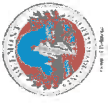
75.5  
47.6% Below grade



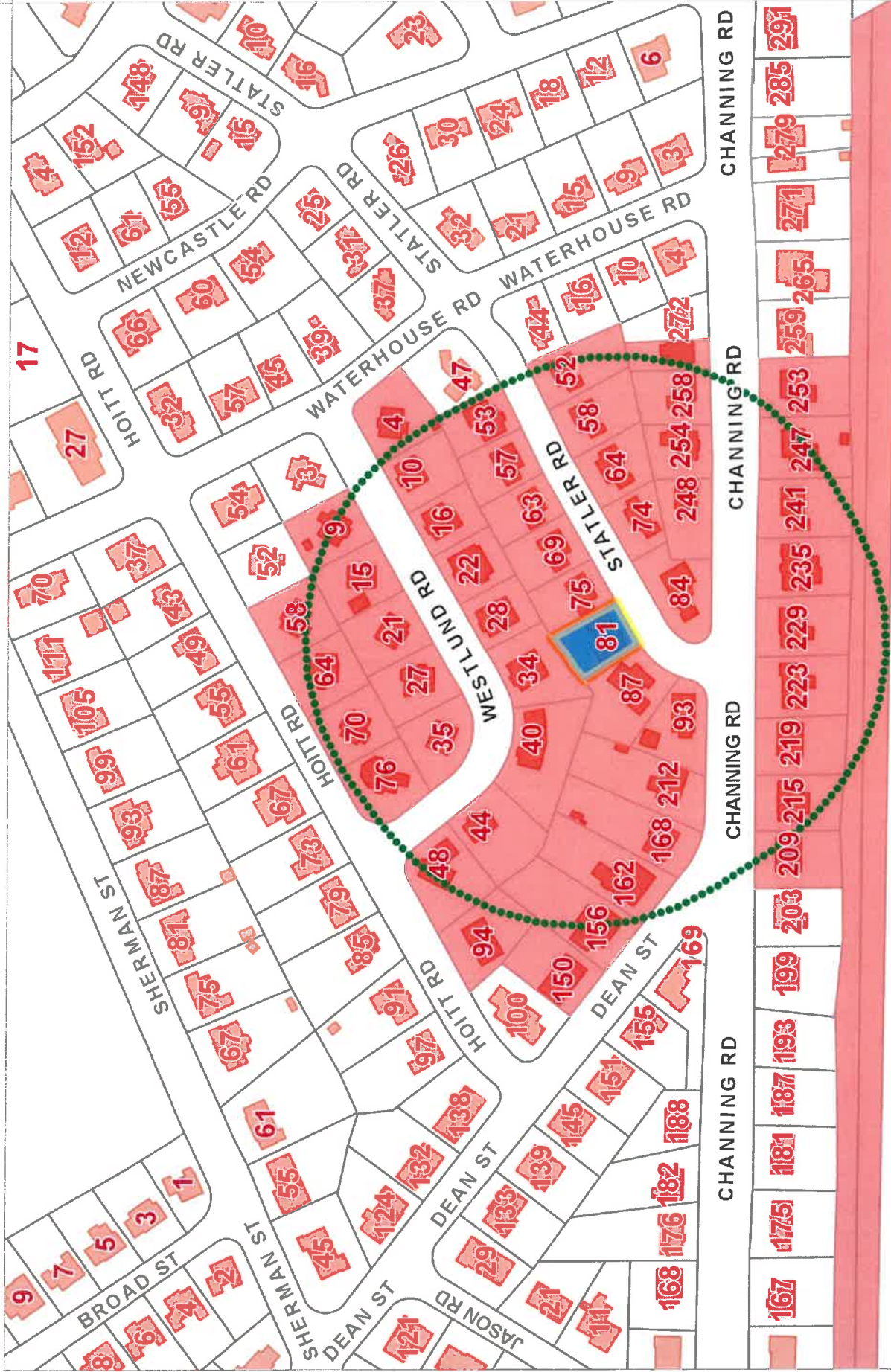








- Town-Owned Buildings
- McLean Buildings
- Buildings
- Parcels
- Town Boundary
- MA Highways
- US Highway
- Numbered Routes
- Chairs\_pole
- Chairs\_arc
- Abutting Town Labels
- Abutting Towns
- Roads
- Major Road, Collector
- Minor Road, Arterial



101C

MODULARS

BELMONT HIGH SCHOOL

201

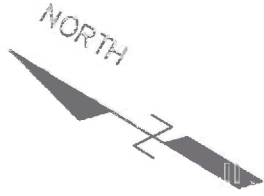
The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

0 240 480 ft

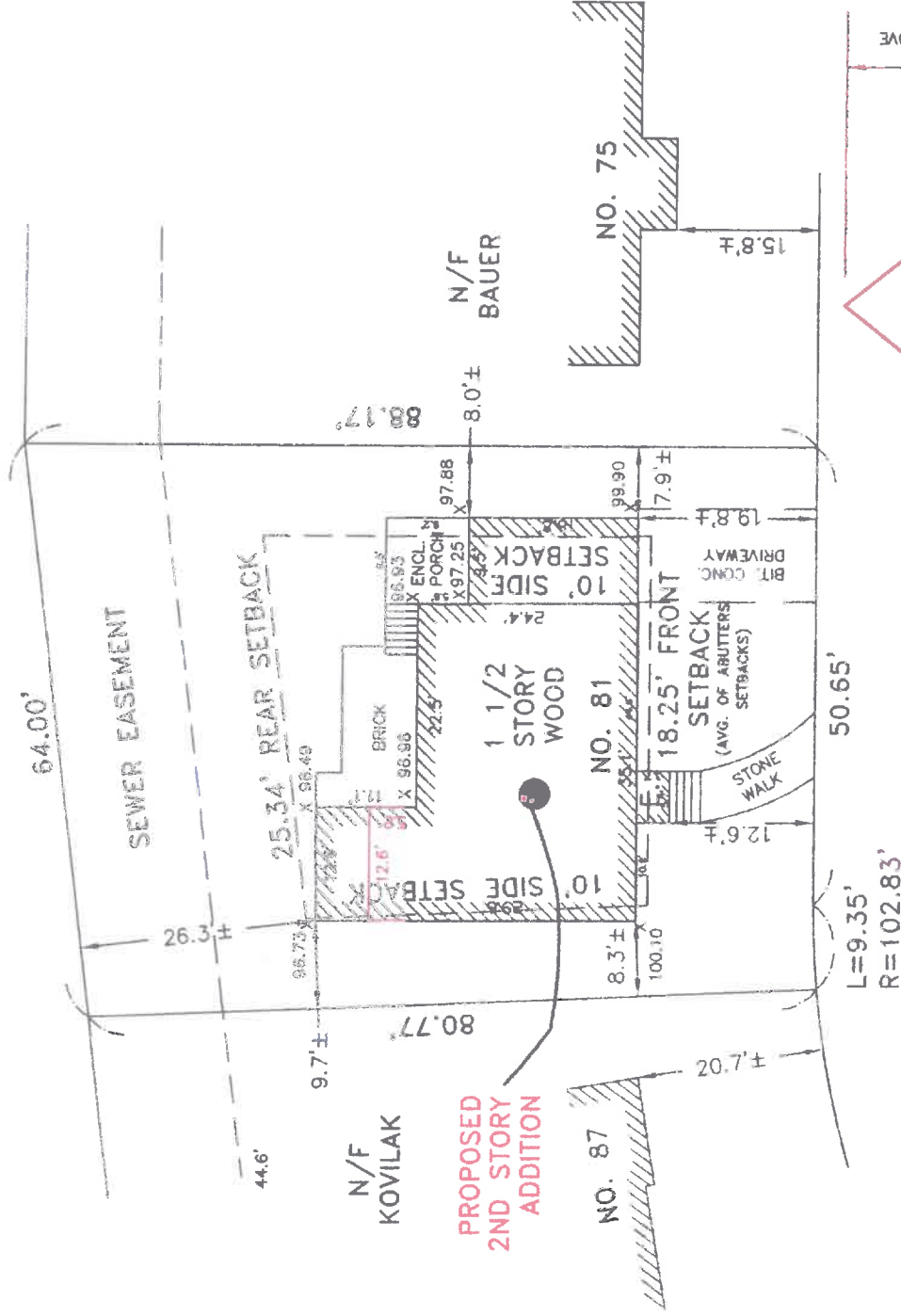
Printed on 01/13/2017 at 11:06 AM

ID	OWNER	MAILING ADDRESS	TOWN	STATE	ZIP	PROPERTY
35-14-A	BELMONT CITIZENS FORUM INC	PO BOX 609	BELMONT	MA	02478	101A CHANNING RD
35-42	MASSACHUSETTS BAY TRANS AUTHORITY	45 HIGH ST	BOSTON	MA	02110	101B CHANNING RD
37-119	SOUDBAKSH TE DAMOON	76 HOITT RD	BELMONT	MA	02478	76 HOITT RD
37-120	GOODE TE THOMAS J	35 WESTLUND RD	BELMONT	MA	02478	35 WESTLUND RD
37-121	PURINTON ANNE D	94 COMMON ST	BELMONT	MA	02478	27 WESTLUND RD
37-122	JIN TE JEREMY	21 WESTLUND RD	BELMONT	MA	02478	21 WESTLUND RD
37-123	FERRANTE TE ANTHONY A	15 WESTLUND RD	BELMONT	MA	02478	15 WESTLUND RD
37-124	MAHDAVI TE ESMAEIL	9 WESTLUND RD	BELMONT	MA	02478	9 WESTLUND RD
37-128	PLESSET TE SONJA	58 HOITT RD	BELMONT	MA	02478	58 HOITT RD
37-129	HELSING TE DANE	64 HOITT RD	BELMONT	MA	02478	64 HOITT RD
37-130	GETZ TE Yael SCHOEN	70 HOITT RD	BELMONT	MA	02478	70 HOITT RD
37-29	TRISCHITTA TRS DONALD P & BARBARA A	93 STATLER RD	BELMONT	MA	02178	91-93 STATLER RD
37-30	ROLSTON TE PAUL	87 STATLER RD	BELMONT	MA	02478	87 STATLER RD
37-31	FELTON TE SAMUEL MAKEPEACE	81 STATLER RD	BELMONT	MA	02478	81 STATLER RD
37-32	SUH TE DOO SUK	75 STATLER RD	BELMONT	MA	02478	75 STATLER RD
37-33	POWLEY THOMAS C	69 STATLER RD	BELMONT	MA	02478	69 STATLER RD
37-34	MAO TE JIAYIN	63 STATLER RD	BELMONT	MA	02478	63 STATLER RD
37-35	WILKINSON TE BENJAMIN	57 STATLER RD	BELMONT	MA	02478	57 STATLER RD
37-36	ANDREW T QUINN LIVING TRUST	53 STATLER RD	BELMONT	MA	02478	53 STATLER RD
37-38	AHARONIAN TE KIRK	4 WESTLUND RD	BELMONT	MA	02478	4 WESTLUND RD
37-39	HARRISON ELISE R	10 WESTLUND RD	BELMONT	MA	02478	10 WESTLUND RD
37-40	MURPHY TE WILLIAM J	16 WESTLUND RD	BELMONT	MA	02478	16 WESTLUND RD
37-41	CHERTKOV TE HELEN	22 WESTLUND RD	BELMONT	MA	02478	22 WESTLUND RD
37-42	KIELY TE JAMES P	28 WESTLUND RD	BELMONT	MA	02478	28 WESTLUND RD
37-43	PRIGOZHIN TE GREGORY	34 WESTLUND RD	BELMONT	MA	02478	34 WESTLUND RD
37-44	GARABEDIAN DEBRA ANN	40 WESTLUND ROAD	BELMONT	MA	02478	40 WESTLUND RD
37-45	SOLJACIC MARIN	44 WESTLUND RD	BELMONT	MA	02478	44 WESTLUND RD
37-46	MEGALOUDIS GEORGE	48 WESTLUND RD	BELMONT	MA	02478	48 WESTLUND RD
37-47	LEVINE TE MORTON A	94 HOITT RD	BELMONT	MA	02478	94 HOITT RD
37-49	CAMPBELL JENNIFER L	150 DEAN ST	BELMONT	MA	02478	150 DEAN ST
37-50	WOODLAND JR TE KENNETH M	156 DEAN ST	BELMONT	MA	02478	156 DEAN ST
37-51	TAYLOR TR CLAIRE ROSE	162 DEAN ST	BELMONT	MA	02478	162 DEAN ST
37-52	MINGACE MARIA	168 DEAN ST	BELMONT	MA	02478	168 DEAN ST
37-53	SOUL TE HARWOOD E	212 CHANNING RD	BELMONT	MA	02478	212 CHANNING RD
37-54	MCGOVERN TRS ELAINE M & THOMAS M	248 CHANNING RD	BELMONT	MA	02478	248 CHANNING RD
37-55	GEARY TR ROBERT R	254 CHANNING RD	BELMONT	MA	02478	254 CHANNING RD
37-56	KNOWLES JAMES T	258 CHANNING RD	BELMONT	MA	02478	258 CHANNING RD
37-57	SULLIVAN TE EDWARD M	264 CHANNING RD	BELMONT	MA	02478	264 CHANNING RD
37-63	MILLER TE KEITH T	52 STATLER RD	BELMONT	MA	02478	52 STATLER RD
37-64	LONGMIRE TE RICHARD O	58 STATLER RD	BELMONT	MA	02478	58 STATLER RD
37-65	MCCARRON TE PAUL F	64 STATLER RD	BELMONT	MA	02478	64 STATLER RD
37-66	DZIERZESKI TE STANLEY J	74 STATLER RD	BELMONT	MA	02478	74 STATLER RD
37-67	MISSIO GIOVANNA	84 STATLER RD	BELMONT	MA	02478	84 STATLER RD
37-74	TSANG TE STEPHEN	253 CHANNING RD	BELMONT	MA	02478	253 CHANNING RD
37-75	TRISCHITTA TE JOHN J	247 CHANNING RD	BELMONT	MA	02478	247 CHANNING RD
37-76	CATERINO TR COSMO	241 CHANNING RD	BELMONT	MA	02478	241 CHANNING RD
37-77	MACKINNON TE JANE H	235 CHANNING RD	BELMONT	MA	02478	235 CHANNING RD
37-78	NAPOLI FRANK C	229 CHANNING RD	BELMONT	MA	02478	229 CHANNING RD
37-79	WALL TE ANDREW	223 CHANNING RD	BELMONT	MA	02478	223 CHANNING RD
37-80	POULIN TE JOHN	219 CHANNING ROAD	BELMONT	MA	02478	219 CHANNING RD
37-81	CROWLEY TE MICHAEL	215 CHANNING RD	BELMONT	MA	02478	215 CHANNING RD
37-82	HANOYAN TR ELIZABETH J	209 CHANNING RD	BELMONT	MA	02478	209 CHANNING RD





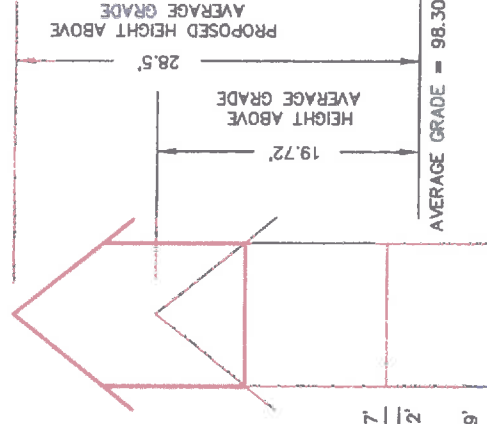
N/F  
RAJ



## STATLER ROAD

LOT = 5,210 S.F.±  
BUILDING = 1,175 S.F.±  
PAVEMENT = 204 S.F.±  
EXISTING BLDG. COV. = 22.6%  
PROPOSED NET ADDITION = 0 S.F.±  
PROP. BLDG. COV. = 22.6%  
EXISTING OPEN SPACE = 73.5%  
PROP. OPEN SPACE = 73.5%

SILL ELEVATION = 101.87'  
BASEMENT CEILING = 101.82'  
BASEMENT FLOOR = 95.29'



### NOTES

1. SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 66130, PAGE 265.
2. SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 480 OF 1939.
3. SUBJECT PARCEL IS LOCATED IN ZONE SRC.
4. SUBJECT PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON PANEL 25017C0418E WITH AN EFFECTIVE DATE OF JUNE 4, 2010.
5. NO PUBLIC SHADE TREES ARE LOCATED WITHIN THE LIMITS OF THE PROPERTY FRONTAGE OF THE SUBJECT PROPERTY.



( IN FEET )

1 inch = 20 ft.

CERTIFIED PLOT PLAN  
IN BELMONT, MA

SCALE: 1"=20' JANUARY 6, 2017

DLJ GEOMATICS

PROFESSIONAL LAND SURVEYING  
276 NORTH STREET  
WEYMOUTH, MA 02191  
(781) 812-0457

81 STATLER RD BELMONT.dwg





GENERAL NOTES:

1. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE WORK.
2. COORDINATE AND BE RESPONSIBLE FOR THE PROTECTION OF PERSONS AND PROPERTY FOR THE DURATION OF CONSTRUCTION AS REQUIRED BY AGENCIES AND AUTHORITIES HAVING JURISDICTION.
3. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN.
4. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER.
5. REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF THE DEBRIS ON THE SITE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
6. SORT DEBRIS FOR RECYCLING TO THE EXTENT POSSIBLE. REMOVE OR ARRANGE FOR THE TRANSPORT OF SORTED MATERIALS SCHEDULED TO BE RECYCLED TO APPROPRIATE OFF-SITE FACILITIES EQUIPPED FOR THE RECYCLING OF SPECIFIC MATERIALS. PROVIDE CONTAINERIZED DUMPSTERS FOR THE SORTING OF DEMO WASTES.
7. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARILY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.

8. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE OF GWB UNLESS SPECIFICALLY NOTED OTHERWISE. DO NOT SCALE DRAWINGS.

9. HVAC CONTRACTOR TO CONVERT EXISTING MECHANICAL SYSTEM TO NEW DIRECT VENT OR ELECTRIC HEAT PUMP SYSTEM.

10. CONTRACTOR TO COORDINATE THE LOCATION OF ELECTRICAL OUTLETS TO MEET CODE. CONTRACTOR TO SUBMIT SWITCHING LOCATIONS TO OWNER / ARCHITECT FOR APPROVAL. CONTRACTOR TO UPGRADE ELECTRIC PANEL IF NEEDED TO SUPPORT NEW ADDITION.

11. PAINT AND/OR STAIN ALL EXTERIOR SIDING, DOORS, WINDOWS, AND TRIM AND INTERIOR SURFACES PER OWNERS DIRECTION.

12. ALL INTERIOR WOOD TRIM AND WOOD BASE TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

13. EXISTING HARDWOOD FLOORS IMPACTED BY THE ADDITION TO BE SANDED AND REFINISHED.

14. ALL FLOOR TILE, APPLIANCES, PLUMBING FIXTURES AND LIGHT FIXTURES TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.

15. ALL INTERIOR WALLS TO BE 2X4 CONSTRUCTION AND EXTERIOR WALLS TO BE 2X6 CONSTRUCTION UNLESS NOTED OTHERWISE.

16. R13 BATT INSULATION TO BE PROVIDED IN ALL BEDROOM AND BATHROOM WALLS. R25 BATT INSULATION TO BE PROVIDED IN ALL BEDROOM AND BATHROOM FLOORS AS NOTED ON PLANS.

17. CONTRACTOR TO SPRAY APPLY ICYNENE INSULATION FORMULA, APPLIED TO A THICKNESS ADEQUATE TO ACHIEVE SPECIFIED R VALUES. ALL FOUNDATION SILL PLATES AND FLOOR / WALL JUNCTION PLATES TO BE CAULKED TO AVOID AIR LEAKAGE. ALL ROUGH OPENINGS FOR EXTERIOR DOORS AND WINDOWS TO BE SIZED TO FURNISH A MINIMUM 1/2" SPACE AROUND THE PERIMETER OF FRAME TO PERMIT INSTALLATION OF FOAM INSULATION. ALL JOINTS BETWEEN EXTERIOR FRAMING MEMBERS TO BE CAULKED TO AVOID AIR LEAKAGE. CEILING VAPOR BARRIER TO BE CAULKED AND STAPLED TO THE TOP PLATES OF INTERIOR PARTITIONS AND TO THE LOWER TOP PLATES OF EXTERIOR WALLS. ROOF ASSEMBLY TO BE NON-VENTED (NO SOFFIT OR RIDGE VENTS) PER MFGR SPECS FOR ICYNENE INSULATION SYSTEM. BUILDING TO BE MECHANICALLY VENTED. ALL VERTICAL WIRING FOR ELECTRIC, CABLE, TELEPHONE, SECURITY, ETC. SHALL BE SECURED TO THE INSIDE OF STUDS EVERY 3'-0" AND 1 1/2" FROM THE GWB SURFACE FOR ALL RUNS. CEILING OUTLETS SHALL BE INSTALLED USING VAPOR BARRIER PANS/ BOXES WHICH ARE CAULKED WITH ACOUSTICAL CAULKING MATERIAL PRIOR TO THE INSTALLATION OF THE ATTIC INSULATION.

WINDOW SCHEDULE:

ALL WINDOWS TO BE ANDERSON 400 SERIES, OR APPROVED EQUAL. WINDOW SPECIFICATIONS TO BE APPROVED BY OWNER. EXACT DIMENSIONS MAY BE ADJUSTED TO MEET STANDARD SIZING AVAILABLE, WITH OWNER'S CONSENT.

WINDOW A: DOUBLE-HUNG - 2'-6"W X 4'-0"H, SILL AT 2'-8" AFF

WINDOW B: DOUBLE-HUNG - 2'-6"W X 4'-6"H, SILL AT 2'-2" AFF (UNLESS NOTED OTHERWISE) - TILT-WASH TO MEET EGRESS REQUIREMENTS FOR BEDROOMS (MIN 24"H X 20"W AND 3.3 CLEAR OPENING).

WINDOW C: DOUBLE-HUNG - 1'-8"W X 2'-6"H, SILL AT 1'-6" AFF

DOOR SCHEDULE:

ALL INTERIOR DOORS TO BE SOLID WOOD DOORS TME, SELECTED BY OWNER.

DOOR 1: FOYER TO EXTERIOR - 3'-0"W X 6'-8"H EXTERIOR DOOR, PRIMARY MEANS OF EGRESS

DOOR 2: FOYER TO PLAY ROOM - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 3: FOYER TO MUD ROOM - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 4: DINIGN ROOM TO BASEMENT STAIR - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 5: BEDROOM 1 TO CLOSET - PAIR OF 2'-6"W X 6'-8"H WOOD DOORS

DOOR 6: BEDROOM 3 TO CLOSET - PAIR OF 2'-6"W X 6'-8"H WOOD DOORS

DOOR 7: BEDROOM 3 TO HALL - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 8: BEDROOM 1 TO HALL - 2'-6"W X 6'-8H WOOD DOOR

DOOR 9: HALL TO BATH - 2'-2"W X 6'-8H WOOD DOOR

DOOR 10: BEDROOM 2 TO BATH - 2'-2"W X 6'-8H WOOD DOOR

DOOR 11: BEDROOM 2 TO CLOSET - 2'-2"W X 6'-8H WOOD DOOR

DOOR 12: BEDROOM 2 TO HALL - 2'-6"W X 6'-8H WOOD DOOR

CONSTRUCTION DOCUMENTS  
NOVEMBER 23, 2016  
REVISED 1/6/17

ENERGY AUDIT:

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE (IECC 2009 W/ MASSACHUSETTS AMENDMENTS 780 CMR 115.11).

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):

1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS: R38 ROOF R-VALUE, R20 WALL R-VALUE.
2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING W/ .30 U FACTOR.
3. HEATING / COOLING DUCTS TO BE SEALED ADN TESTED TO MEET REQUIREMENTS OF 401.3.

PROJECT INFORMATION:

BELMONT ZONING DISTRICT: SR-C

MAX LOT COVERAGE: 25%  
MIN OPEN SPACE: 50%

MIN FRONT SETBACK: 18.25'  
MIN SIDE SETBACK: 10'-0"  
MIN REAR SETBACK: 25.34'

MAX BUILDING HEIGHT: 2 1/2 STORIES,  
30' TO MIDPOINT, 34' TO RIDGE

AREA CALCS:  
EXISTING: 998 SF BASEMENT + 1264 SF 1ST FLOOR + 208 SF ATTIC = 2470 SF EXISTING  
30% OF 2470 = 741 SF MAX ADDITION  
PROPOSED: 714 SF SECOND FLOOR ADDITION  
714 < 741 THEREFORE ALLOWED

DRAWING LIST

- A1 COVER SHEET
- A2 EXISTING BASEMENT PLAN
- A3 EXISTING FIRST FLOOR PLAN
- A4 EXISTING SECOND FLOOR PLAN
- A5 EXISTING ELEVATIONS
- A6 NEW BASEMENT PLAN
- A7 NEW FIRST FLOOR PLAN
- A8 NEW SECOND FLOOR PLAN
- A9 NEW ATTIC PLAN
- A10 NEW ROOF PLAN
- A11 NEW ELEVATIONS
- A12 WALL SECTION AND STRUCTURAL NOTES
- A13 FOUNDATION PLAN
- A14 FIRST FLOOR FRAMING PLAN
- A15 SECOND FLOOR FRAMING PLAN
- A16 ATTIC FRAMING PLAN
- A17 ROOF FRAMING PLAN

LIGHTING LEGEND

- RECESSED LED CAN LIGHT - AS SELECTED BY OWNER
- CEILING MOUNTED PENDANT - AS SELECTED BY OWNER
- CEILING MOUNTED DOME LIGHT - AS SELECTED BY OWNER
- WALL MOUNTED SCONCES AS SELECTED BY OWNER
- CEILING FAN WITH INTEGRAL LIGHT - AS SELECTED BY OWNER
- S.D.

SMOKE DETECTOR - NOTE ALL NEW AND EXISTING SMOKES TO BE HARD-WIRED PER CODE
- S/CO

HARD-WIRED SMOKE / CARBON MONOXIDE DETECTOR
- DATA CONNECTION
- TELEPHONE / DATA CONNECTION
- ELECTRIC OUTLET (SPECIFIC LOCATIONS ONLY - ALL OUTLETS AS REQUIRED BY CODE ARE NOT SHOWN ON PLANS)

SYMBOL LEGEND

- WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL
- 1  
A10

INTERIOR ELEVATION
- 2  
A12

SECTION
- 5

DOOR TAG
- B

WINDOW TAG

Architect:  
Miller Design LLC  
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Belmont MA 02478  
617-993-3157

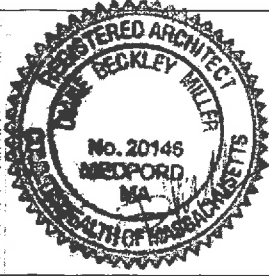
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8/29/16 SCHEMATIC DESIGN

9/30/16 DESIGN DEVELOPMENT

11/23/16 CONSTRUCTION DOCS

1/6/17 REVISIONS

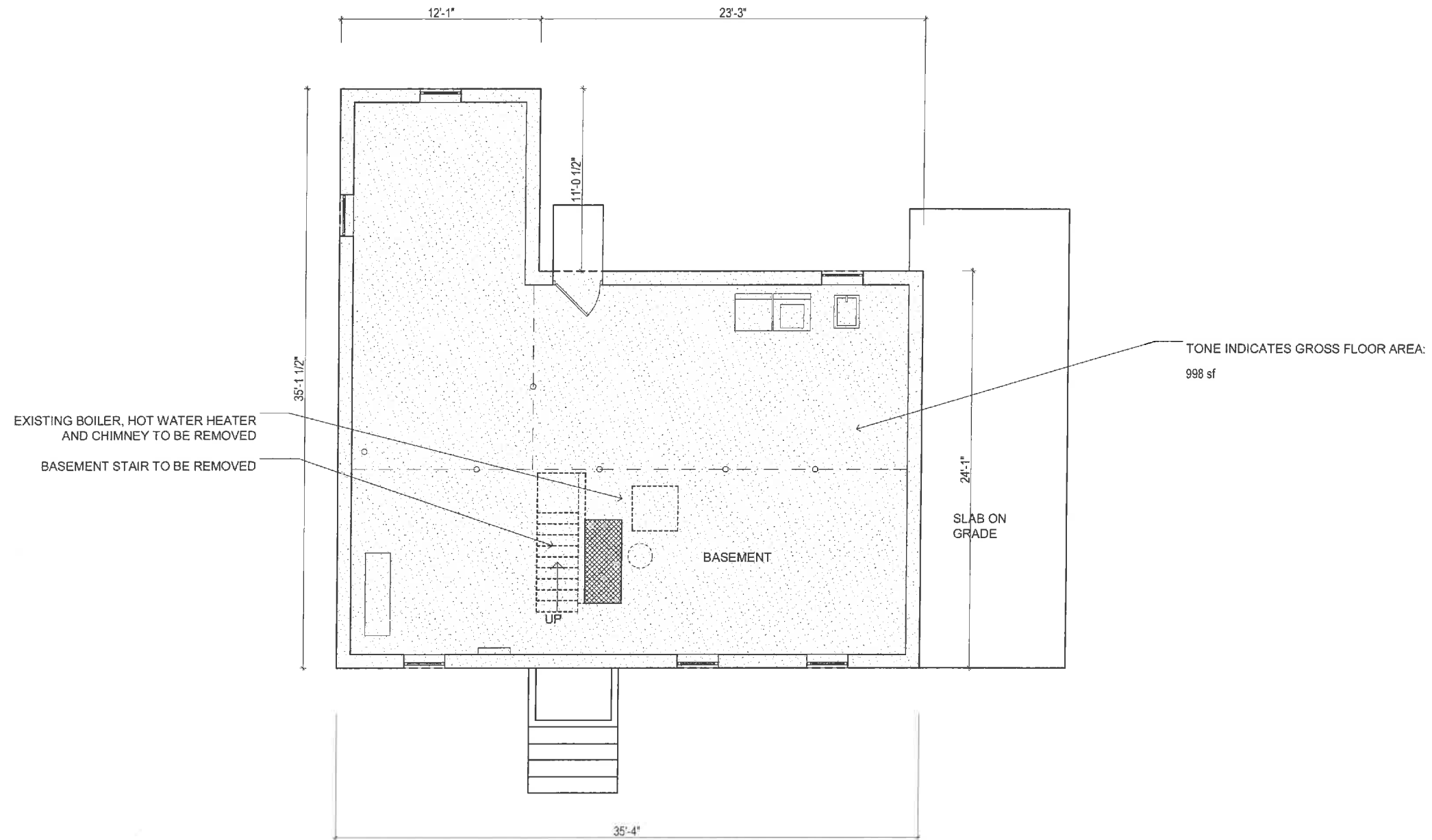


FELTON RESIDENCE  
81 STATLER ROAD  
BELMONT MA

COVER SHEET

Sheet  
Number:

A1

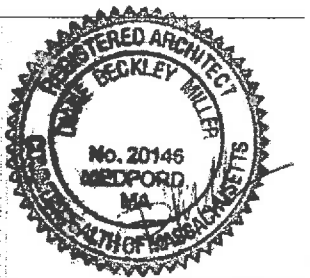


① PLAN  
SCALE: 1/8" = 1'

Architect:  
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Belmont MA 02478  
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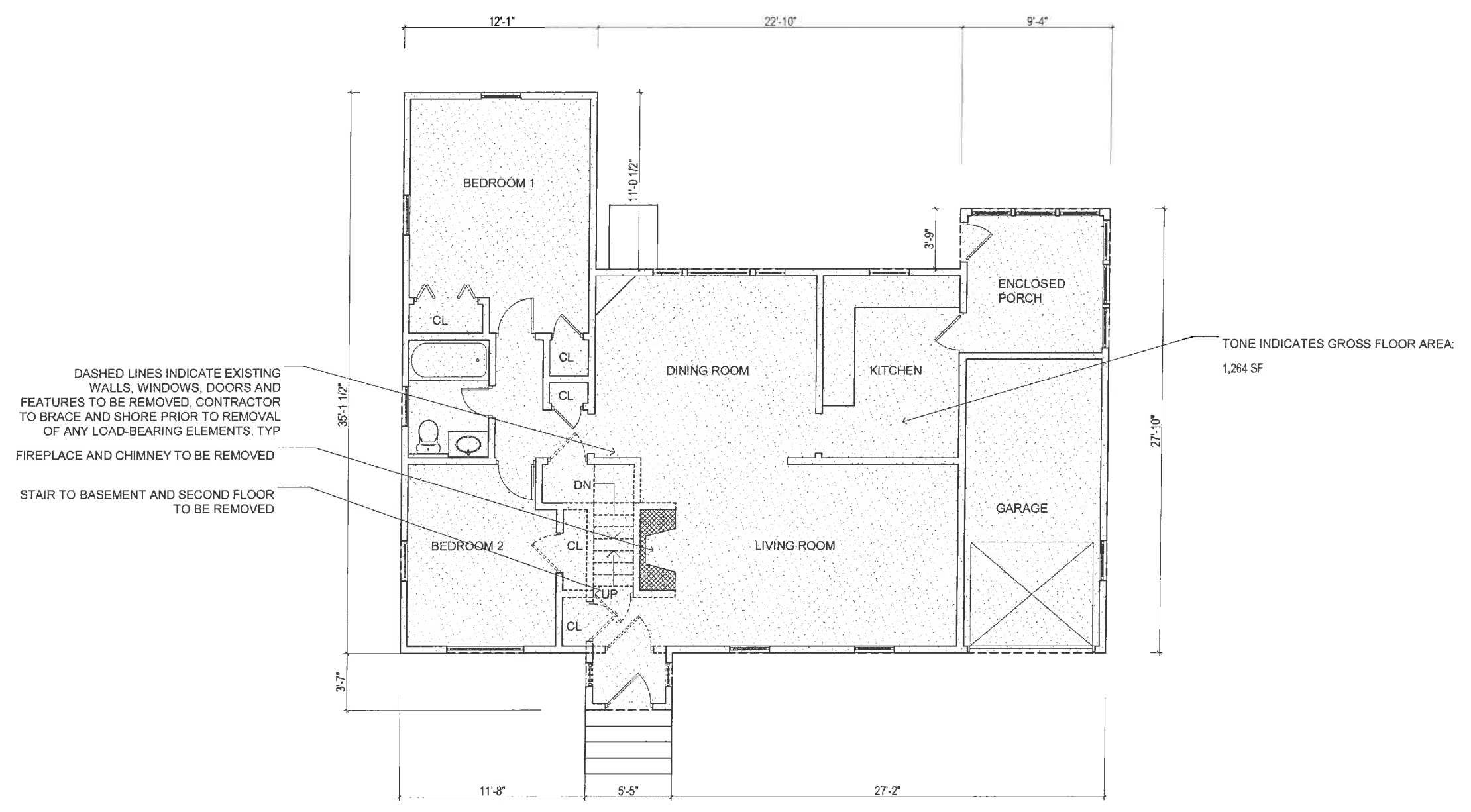


FELTON RESIDENCE  
81 STATLER ROAD  
BELMONT MA

EXISTING  
BASEMENT

Sheet  
Number:

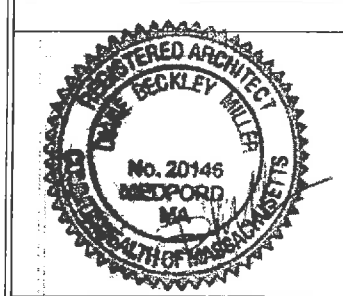
A2



Architect:  
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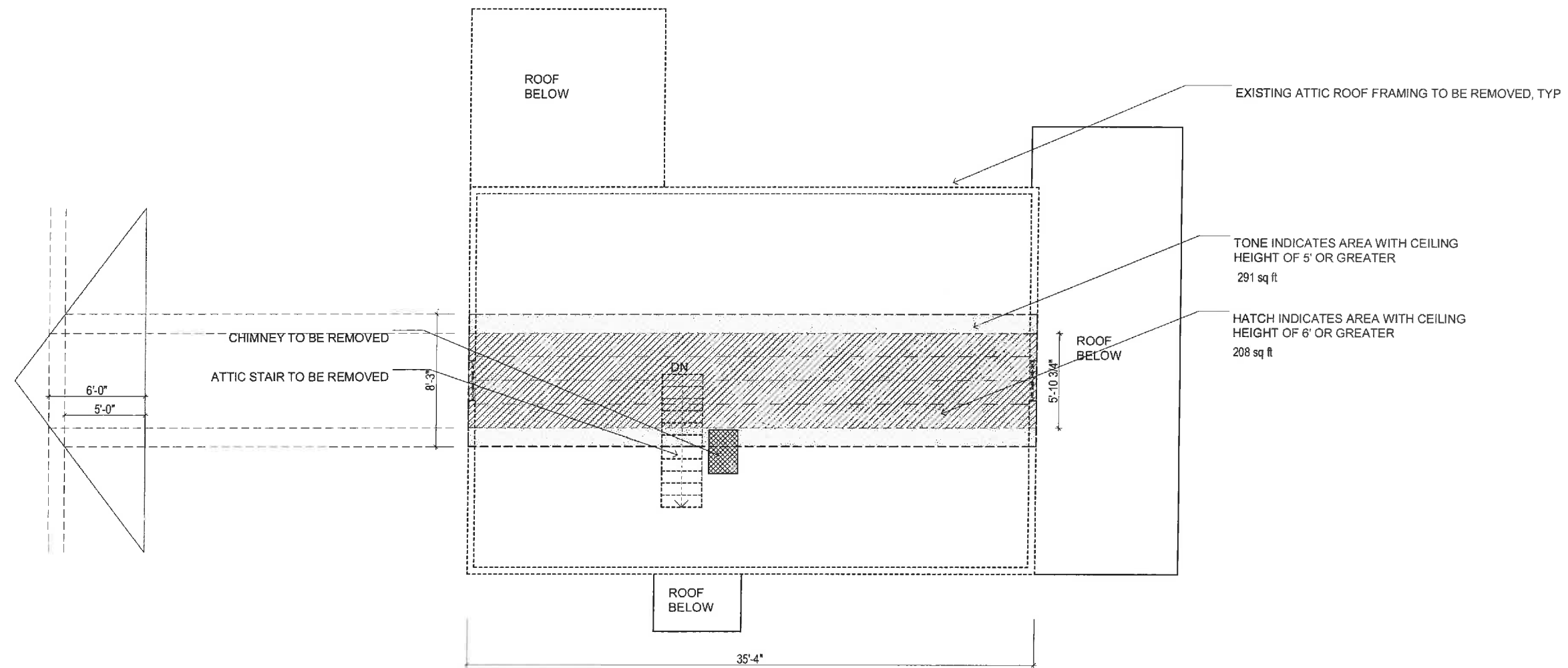


FELTON RESIDENCE  
81 STATLER ROAD  
BELMONT MA

EXISTING  
FIRST FLOOR

Sheet  
Number:

A3

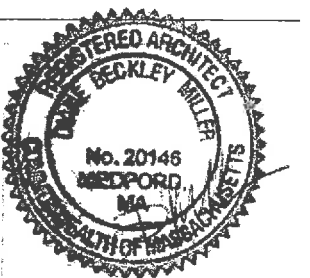


1 PLAN  
SCALE: 1/8" = 1'

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FELTON RESIDENCE  
81 STATLER ROAD  
BELMONT MA

EXISTING  
SECOND FLOOR

Sheet  
Number:

A4



1 FRONT ELEVATION  
SCALE: 1/8" = 1'



2 SIDE ELEVATION  
SCALE: 1/8" = 1'



3 REAR ELEVATION  
SCALE: 1/8" = 1'

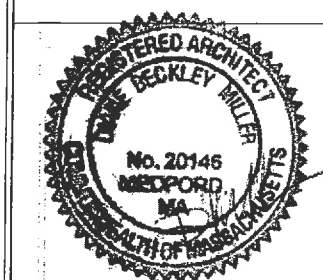


4 SIDE ELEVATION  
SCALE: 1/8" = 1'

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11/23/16	CONSTRUCTION DOCS

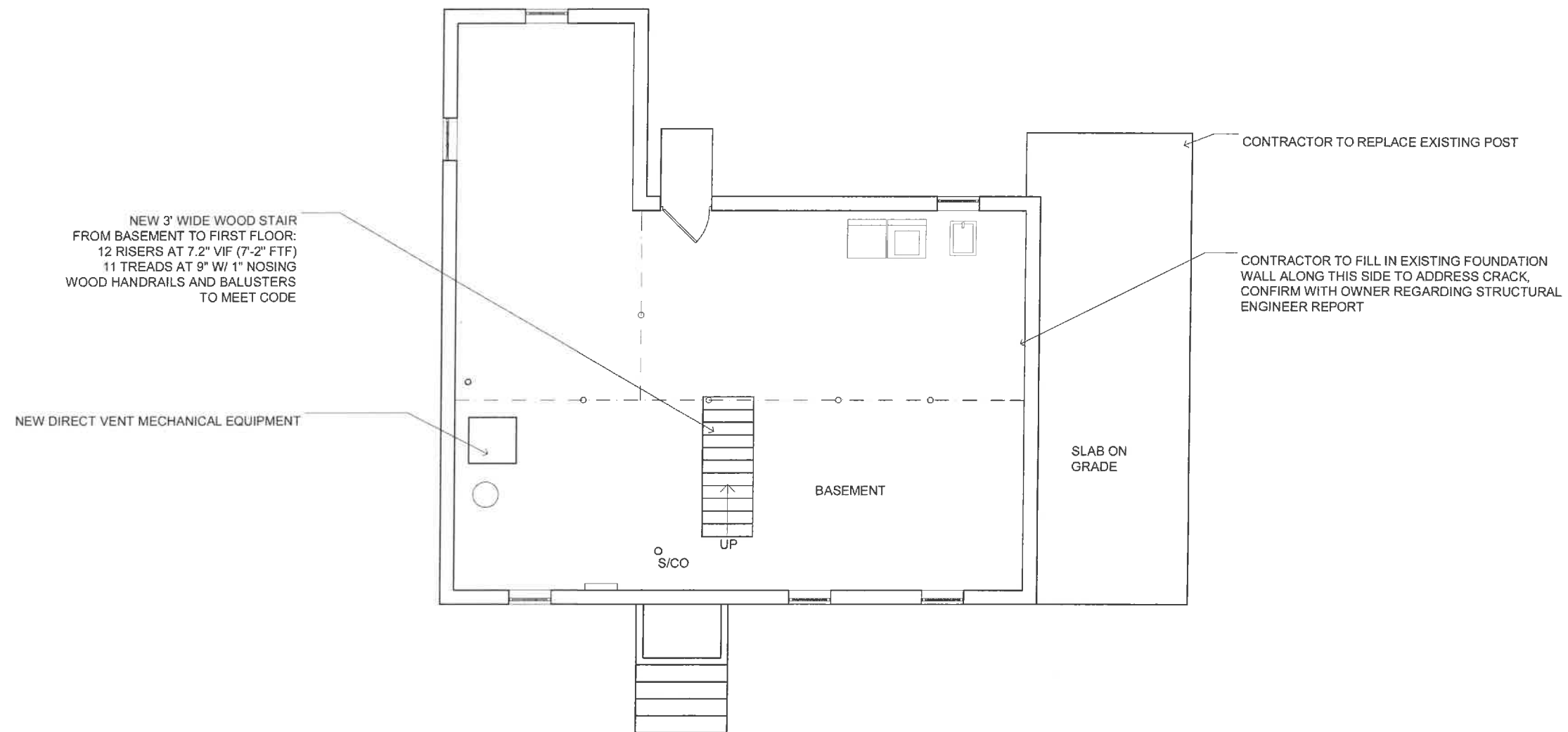


FELTON RESIDENCE  
81 STATLER ROAD  
BELMONT MA

EXISTING  
ELEVATIONS

Sheet  
Number:

A5

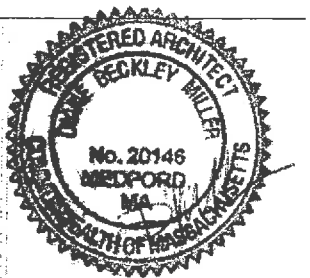


1 PLAN  
SCALE: 1/8" = 1'

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FELTON RESIDENCE  
81 STATLER ROAD  
BELMONT MA

NEW  
BASEMENT

Sheet  
Number:

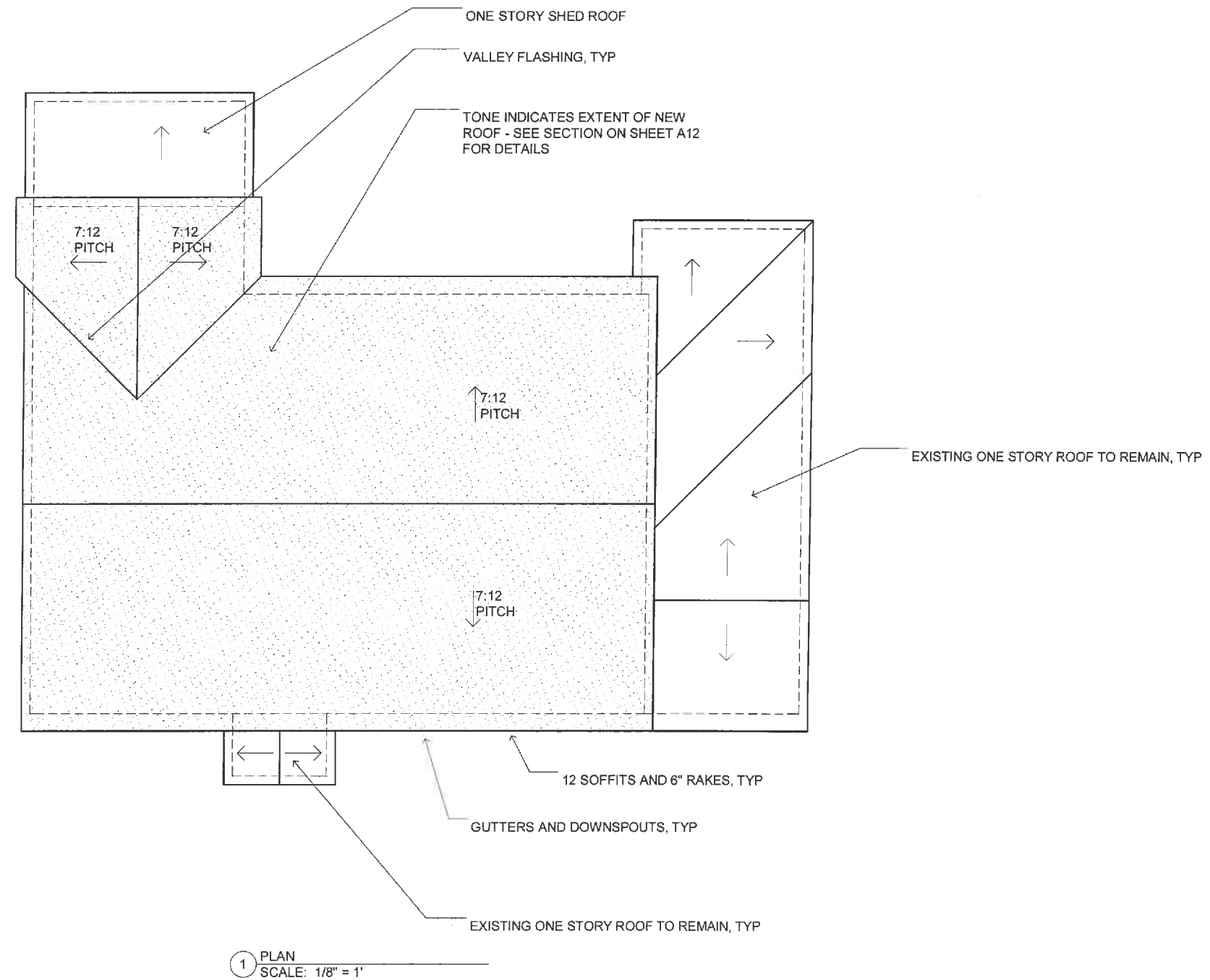
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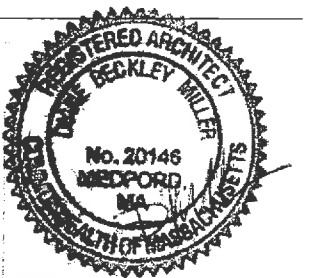




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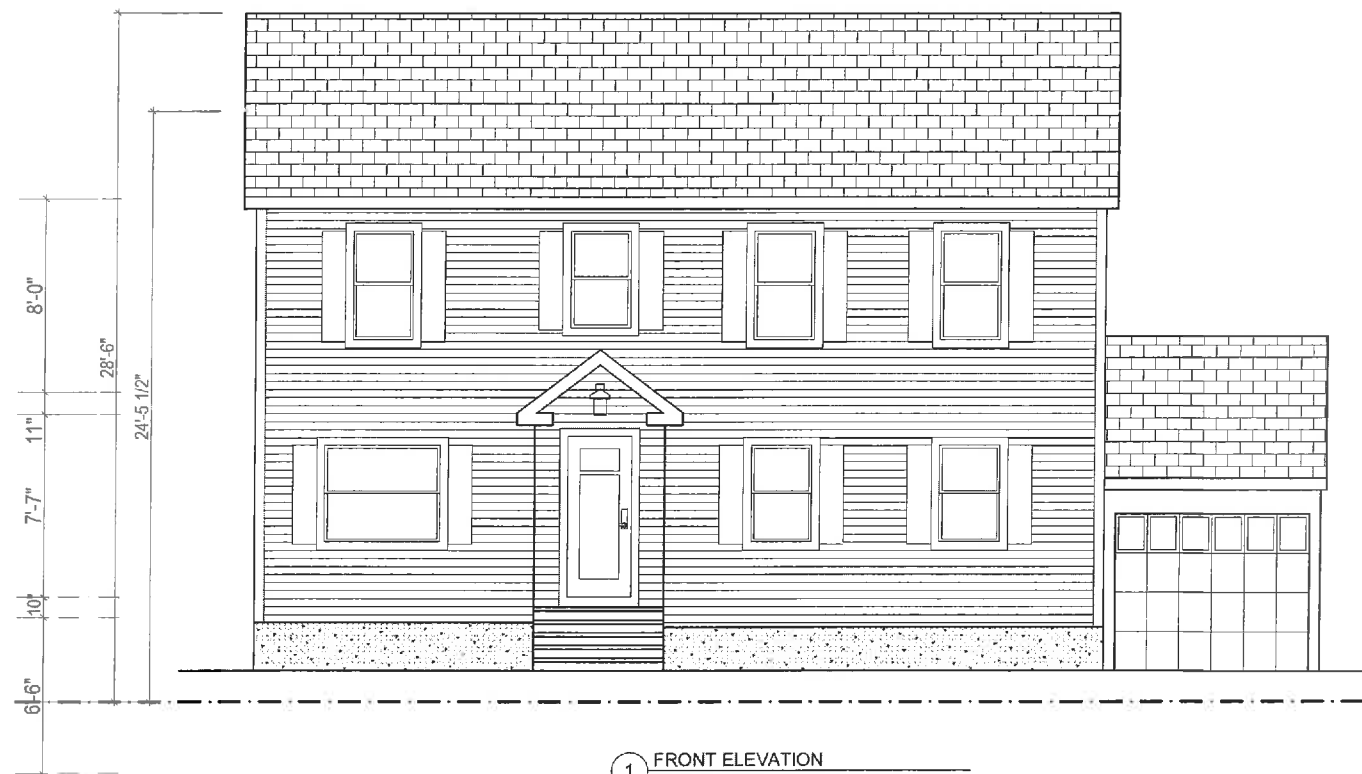


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81 STATLER ROAD  
BELMONT MA

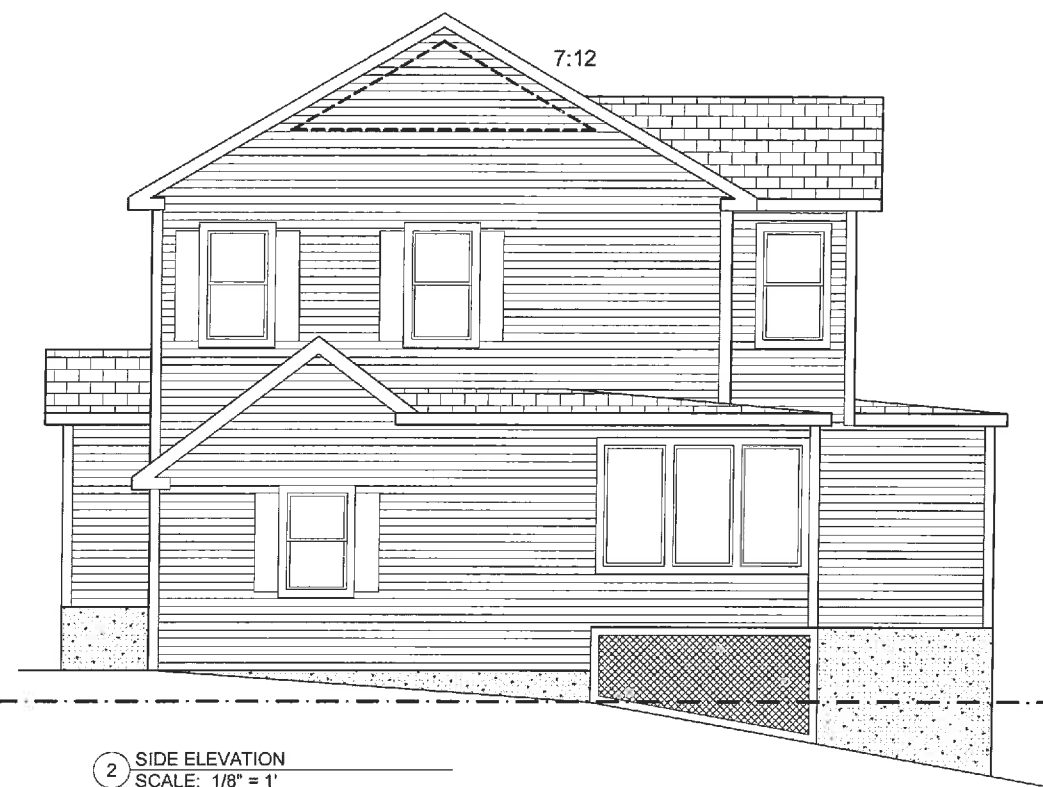
NEW ROOF PLAN

Sheet  
Number:

A10



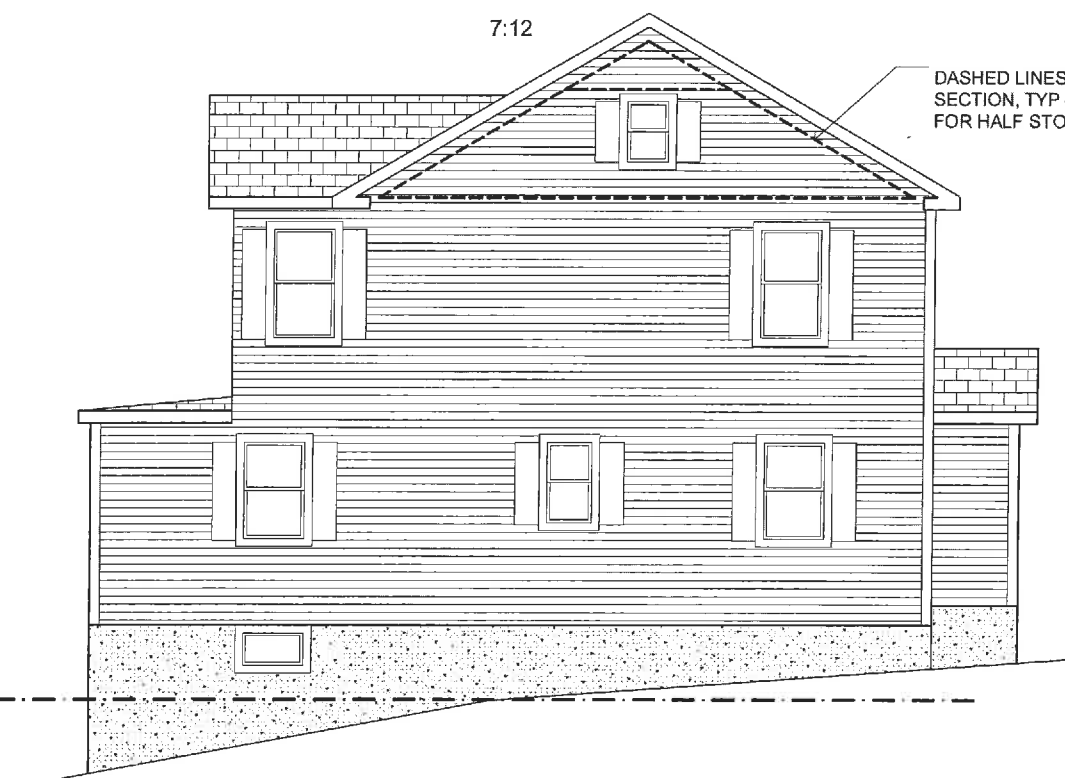
1 FRONT ELEVATION  
SCALE: 1/8" = 1'



2 SIDE ELEVATION  
SCALE: 1/8" = 1'



3 REAR ELEVATION  
SCALE: 1/8" = 1'



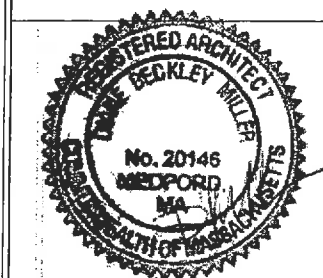
4 SIDE ELEVATION  
SCALE: 1/8" = 1'

DASHED LINES REPRESENT ATTIC  
SECTION, TYP - SEE SHEET A9  
FOR HALF STORY CALCS

Architect:  
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FELTON RESIDENCE  
81 STATLER ROAD  
BELMONT MA

NEW  
ELEVATIONS

Sheet  
Number:

A11

GENERAL CONDITIONS

1. G. C. MUST BUILD EXACTLY WHAT IS SHOWN ON FRAMING PLANS. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ALL UNAUTHORIZED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
2. DESIGN IS DERIVED FROM ASSUMED FIELD CONDITIONS. ANY DISCREPANCIES BETWEEN WHAT IS SHOWN ON OUR DOCUMENTS AND WHAT IS FOUND IN THE FIELD MAY CHANGE THE STRUCTURAL DESIGN, AND MUST IMMEDIATELY BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN DOCUMENTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE STRUCTURE, SITE AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ARCHITECT IS SPECIFYING THE FINISHED CONDITION ONLY, WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.
5. FOR EXACT LOCATIONS OF FLOOR AND ROOF OPENINGS, POSTS, ETC., SEE ARCHITECTURAL DRAWINGS.

FOUNDATIONS

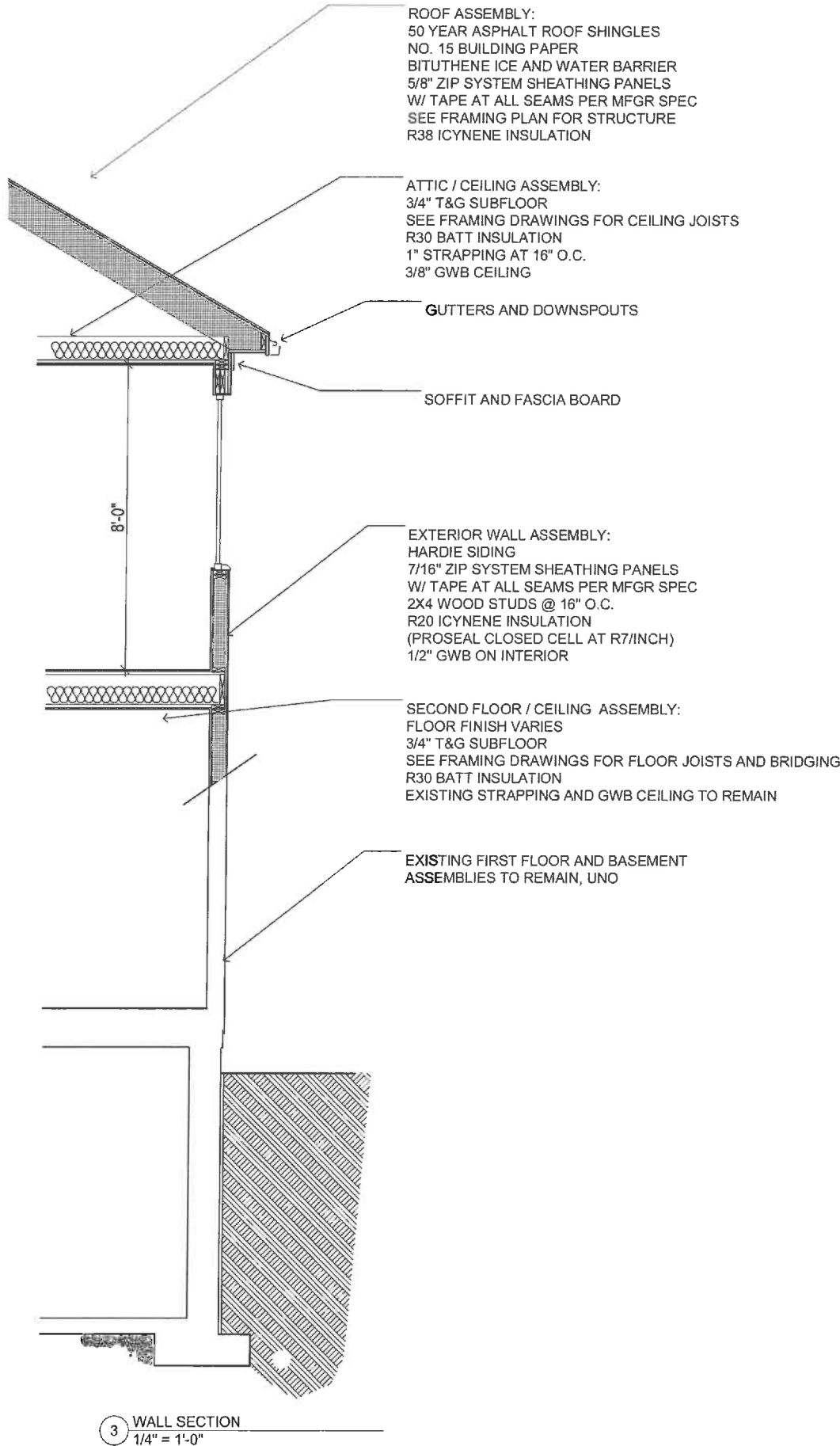
1. EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE FOUNDATIONS ON INORGANIC, UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL AS REQUIRED BY THE ARCHITECT. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.
2. EXTERIOR FOOTINGS SHALL BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FEET, OR AS MODIFIED BY THE STRUCTURAL ENGINEER, BELOW THE LOWEST ADJACENT GROUND EXPOSED TO FREEZING. ANY ADJUSTMENT OF FOOTING ELEVATIONS DUE TO FIELD CONDITIONS MUST HAVE THE APPROVAL OF THE ARCHITECT.
3. SOIL BEARING CAPACITY: FOOTINGS MUST BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 POUNDS PER SQUARE FOOT.
4. BACKFILL BELOW FOOTINGS AND SLABS SHALL BE MADE WITH APPROVED GRANULAR MATERIALS PLACED IN 6" LAYERS. LAYERS SHALL BE COMPACTED TO 96% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557, METHOD D.
5. BACKFILLING AGAINST WALLS OR PIERS MAY ONLY BE DONE AFTER WALLS OR PIERS ARE BRACED TO PREVENT MOVEMENT. FOR WOOD FRAMED RESIDENTIAL CONSTRUCTION, NO BACKFILLING OF WALLS MAY TAKE PLACE UNTIL THE FIRST FLOOR DECK HAS BEEN FRAMED AND SHEATHED, UNLESS WRITTEN APPROVAL IS GIVEN BY THE ARCHITECT OR ENGINEER.
6. PROVIDE FOUNDATION DRAINAGE, WATERPROOFING/DAMP-PROOFING, AND FOUNDATION WALL INSULATION AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
7. PROVIDE METAL OR PVC SLEEVES IN THE FOUNDATION WALLS FOR SEWER, GAS, ELECTRIC, AND WATER LINES, AS REQUIRED.

CONCRETE

1. ALL CONCRETE WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF ACI-318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
2. CONCRETE SHALL ACHIEVE A MINIMUM 28 DAY DESIGN STRENGTH AS FOLLOWS:  
FOOTINGS, WALLS, INTERIOR SLABS-ON-GRADE, AND OTHER CONCRETE NOT OTHERWISE SPECIFIED - 3000 PSI. EXTERIOR SLABS EXPOSED TO WEATHER - 4000 PSI.
3. SLUMP AT THE POINT OF DISCHARGE FROM THE READY-MIX TRUCK SHALL BE 3'-5".
4. REINFORCING STEEL: TYPICAL - ASTM A615, GRADE 60, FIELD BENT - ASTM A615, GRADE 40, WELDED WIRE FABRIC - ASTM A185.
5. NON-SHRINK GROUT SHALL BE "EMBECCO 153" BY MASTER BUILDERS, "SONOGROUT" BY SONNEBORN BUILDING PRODUCTS, "FIVE STAR GROUT" BY U.S. GROUT CORPORATION, OR EQUAL AS APPROVED BY THE OWNER.
6. THE CONTRACTOR SHALL SUBMIT A CONCRETE MIX DESIGN TO THE OWNER FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO THE FIRST PLACEMENT.
7. INSPECTION AND APPROVAL BY THE OWNER OR THEIR REPRESENTATIVE SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO PROVIDE QUALITY CONTROL, MATERIALS, AND WORKMANSHIP FULLY INSURING THAT THIS WORK WILL CONFORM TO THE CONTRACT REQUIREMENTS.

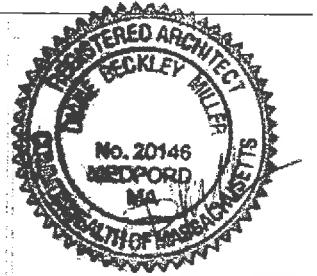
ROUGH CARPENTRY

1. ALL ROUGH CARPENTRY WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION "TIMBER CONSTRUCTION STANDARDS" - AITC 100.
2. WHEN NOT OTHERWISE IDENTIFIED, ALL WOOD BEAMS, JOISTS, RAFTERS, HEADERS, STRINGERS, PLATES, AND SILLS SHALL BE SPRUCE PINE FIR #2 OR BETTER, WITH A MINIMUM Fb = 875 PSI (SINGLE USE) AND Fb = 1000 PSI (REPETITIVE USE), AND E SHALL BE 1,400,000 PSI OR BETTER.
3. WOOD STUDS MAY BE EASTERN HEMLOCK, EASTERN SPRUCE, OR HEM-FIR, GRADED "STUD" GRADE, #2 OR BETTER.
4. LVL BEAMS, AS NOTED ON PLANS, SHALL HAVE A MINIMUM Fb = 3080 PSI, E = 2,000,000 PSI, AND Fv = 285 PSI. LVL BEAMS SHALL BE "VERSALAM" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR.
5. WOOD "I" BEAMS SHALL BE "BCI" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR. MANUFACTURER'S RECOMMENDATIONS FOR BEARING, REINFORCING, CUTS, CANTILEVERS, FASTENING, ETC., SHALL BE STRICTLY ADHERED TO.
6. PLYWOOD WALL SHEATHING, ROOF SHEATHING, AND SUBFLOORING SHALL BE APA GRADE, TRADEMARKED C-D INTERIOR WITH EXTERIOR GLUE. SUBFLOORING SHALL BE 3/4" THICK TONGUE AND GROOVE, AND SHALL BE GLUED TO FLOOR JOISTS WITH AN APPROVED ADHESIVE PRIOR TO NAILING. ROOF SHEATHING SHALL BE 5/8" THICK WHEN SUPPORTS ARE SPACED AT 16" CENTERS. FOR 24" CENTERS, SHEATHING SHALL BE 5/8" THICK, AND SHALL BE TONGUE AND GROOVE OR ALIGNED WITH METAL H CLIPS BETWEEN RAFTERS. WALL SHEATHING SHALL BE 1/2" THICK.
7. ALL WOOD HAVING DIRECT CONTACT WITH CONCRETE OR MASONRY, AND WHEREVER WOOD IS WITHIN 8" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION, SHALL BE PRESSURE TREATED. BEAM ENDS IN CONCRETE BEAM POCKETS SHALL BE WRAPPED IN A SELF-ADHERING RUBBER MEMBRANE.
8. JOIST AND BEAM HANGERS SHALL BE BY SIMPSON STRONG-TIE CORP. THE CONTRACTOR SHALL STRICTLY ADHERE TO MANUFACTURER'S FASTENING REQUIREMENTS.
9. UNLESS DETAILED OR SPECIFIED OTHERWISE, PROVIDE AT LEAST TWO JACK STUDS BENEATH ENDS OF 2X12, LVL, AND PARALLAM HEADERS AND BEAMS, WHERE POSTS ARE CALLED OUT AS MULTIPLE 2XS, SUCH AS 2-2X6, 3-2X6, 4-2X6, ETC., ONE 2X SHALL BE POSITIONED AS A KING STUD AND THE BALANCE SHALL BE JACK STUDS.
10. FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING BETWEEN JOISTS AT MIDSPAN. FOR SPANS EXCEEDING 14 FEET, PROVIDE TWO ROWS OF FULL DEPTH BLOCKING BETWEEN JOISTS AT THIRD POINTS OF THE SPAN.
11. GABLE-END WALL STUDS IN CATHEDRAL, PARTIAL CATHEDRAL, OR HIGH CEILING SPACES SHALL SPAN UNINTERRUPTED FROM THE FLOOR PLATE TO THE UNDERSIDE OF THE ROOF RAFTERS. THEY SHOULD NOT BE INTERRUPTED BY ANY HORIZONTAL PLATES OR BEAMS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
12. MEMBERS WITHIN BUILT-UP BEAMS, WHETHER MADE OF SAWN OR ENGINEERED LUMBER, SHALL ONLY BE SPLICED OVER SUPPORTS.
13. PROVIDE SIMPSON H1 OR H2.5 HURRICANE TIES BETWEEN EACH RAFTER BOTTOM AND IT'S BEARING POINT.
14. UNLESS ANOTHER CONNECTOR IS CALLED OUT, PROVIDE ONE SIMPSON A34 FRAMING ANCHOR AT EACH RAFTER/RIDGE BEAM INTERSECTION, AND TWO WHEN RAFTERS ARE DOUBLED OR TRIPLED (ONE EACH SIDE).
15. CONTRACTOR SHALL CAREFULLY COORDINATE THE WORK OF ALL TRADES TO MINIMIZE THE NEED FOR CUTS AND BORE HOLES IN FRAMING LUMBER. IN GIRDER, BEAMS, OR JOISTS. CUTS AND BORE HOLES SHALL NOT BE DEEPER THAN 1/5 THE MEMBER DEPTH NOR MORE THAT 2" IN DIAMETER., AND SHALL NOT BE LOCATED NEARER TO THE END OF THE SPAN THAN THREE TIMES THE MEMBER DEPTH NOR WITHIN THE CENTER THIRD OF THE SPAN UNLESS REINFORCED TO MEET STRESS CALCULATIONS.
16. AT WOOD POSTS LANDING ON FLOOR DECK, PROVIDE SOLID VERTICAL WOOD BLOCKING WITHIN DECK SANDWICH TO LINK UPPER POST WITH LOWER SUPPORT. BLOCKING TO MATCH UPPER POST SIZE.
17. SET LVL BEAMS THAT FRAME FLUSH WITH DIMENSIONED LUMBER JOISTS 3/8" BELOW THE TOP OF JOISTS TO ALLOW FOR JOIST SHRINKAGE. WHERE BEARING WALLS OR POSTS LAND ON THESE BEAMS, INFILL GAP WITH 3/8" PLYWOOD FOR SOLID BEARING.
17. RAFTERS TO BE CONNECTED TO HIP AND VALLEY MEMBERS WITH A MINIMUM OF 6-16d EQSP (UNLESS NOTED OTHERWISE ON PLAN).
18. ALL RAFTERS TO LVL RIDGE CONNECTIONS TO BE MADE WITH A MINIMUM OF 6-16d TOENAILS EQSP AND A SINGLE A34 SIMPSON ANGLE WHERE INDICATED ON PLAN.
19. VALLEYS AND HIPs TO BE CONNECTED TO SUPPORTING ELEMENTS WITH A MIN OF 8-16d, UNLESS NOTED OTHERWISE ON PLAN.
20. ROOF SHEATHING TO EXTEND FULLY UNDER OVER FRAMED AREAS.
21. POST IDENTIFICATION AT HEADERS AS FOLLOWS:  
POST ON (AT END OF SPAN) - UNLESS NOTED OTHERWISE, PROVIDE SINGLE JACK STUD & SINGLE KING STUD, IF THREE OR MORE STUDS ARE CALLED OUT, ONE OF THEM IS A KING STUD AND THE BALANCE ARE JACK STUDS.  
POST UP & DN - SOLID VERTICAL BLOCKING THRU FLOOR REQUIRED
22. HEADERS ARE AS FOLLOWS UNLESS NOTED OTHERWISE, 2-2X8 WITH 3-2X4 POST DOWN EACH SIDE.
23. ALL 2X8s USED AS RAFTERS, BEAMS, JOISTS TO BE STRUCTURAL #1 OR #2 NOT STD GRADE.
24. ALL CONNECTING ELEMENTS, JOIST HANGERS, CAP PLATES, ETC BY SIMPSON.



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Belmont MA 02478  
617-993-3157

Date:	Issued for:
8/29/16	SCHEMATIC DESIGN
9/30/16	DESIGN DEVELOPMENT
11/23/16	CONSTRUCTION DOCS

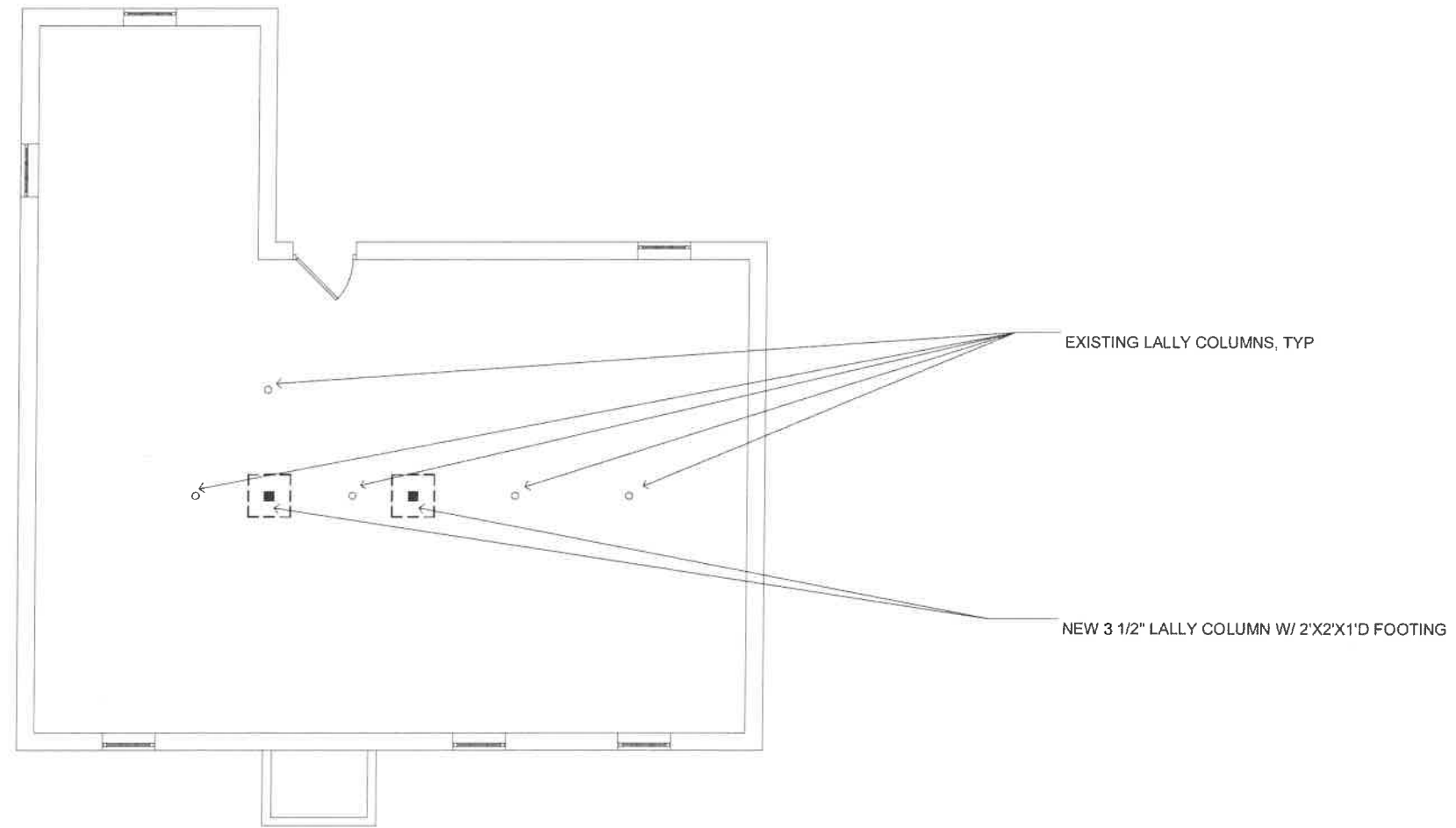


FELTON RESIDENCE  
81 STATLER ROAD  
BELMONT MA

STRUCTURAL  
NOTES & SECTION

Sheet  
Number:

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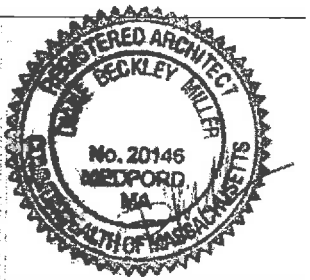


1 PLAN  
SCALE: 1/8" = 1'

Architect:  
Miller Design LLC  
52 Statler Road  
Belmont MA 02478  
617-993-3157

Date: Issued for:

8/29/16	SCHEMATIC DESIGN
9/30/16	DESIGN DEVELOPMENT
11/23/16	CONSTRUCTION DOCS

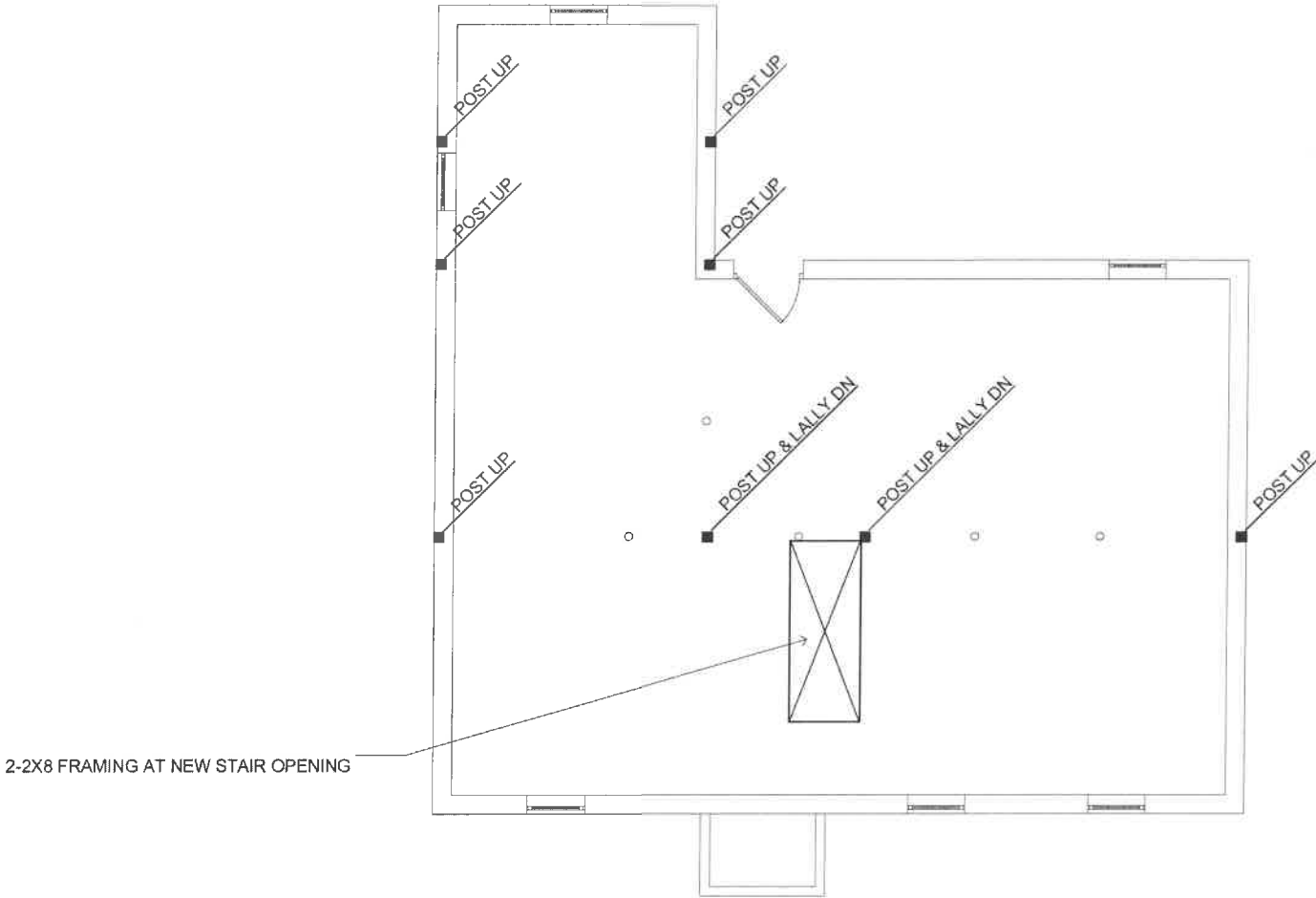


FELTON RESIDENCE  
81 STATLER ROAD  
BELMONT MA

FOUNDATION PLAN

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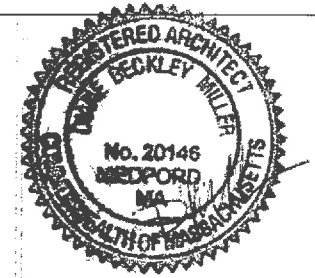


1 PLAN  
SCALE: 1/8" = 1'

Architect:  
Miller Design LLC  
52 Statler Road  
Belmont MA 02478  
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11/23/16	CONSTRUCTION DOCS
1/6/17	REVISIONS

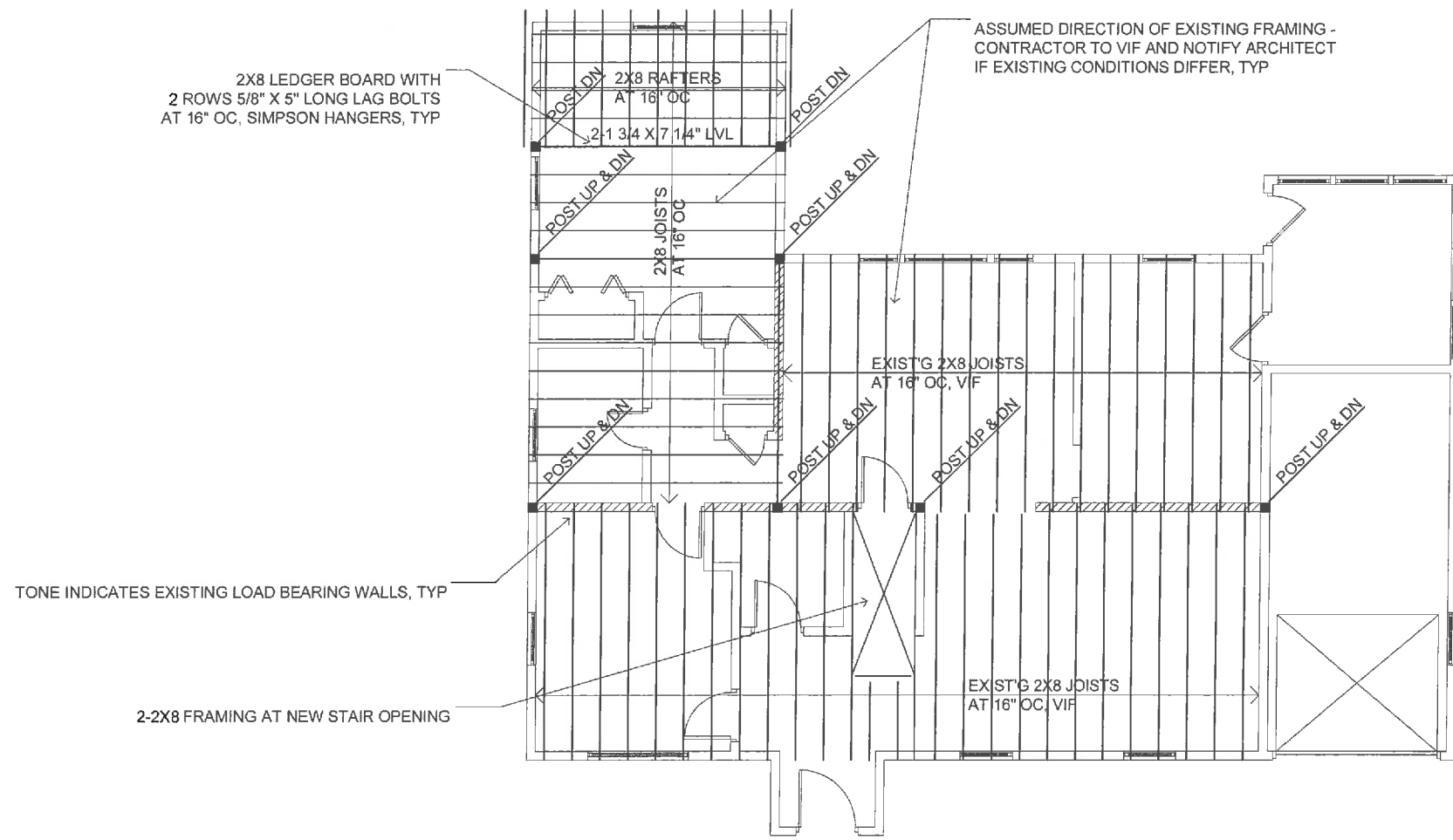


FELTON RESIDENCE  
81 STATLER ROAD  
BELMONT MA

FIRST FLOOR  
FRAMING PLAN

Sheet  
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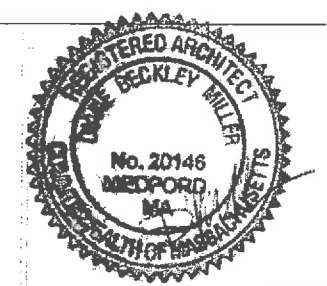
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1 PLAN  
SCALE: 1/8" = 1'

Architect:  
Miller Design LLC  
52 Statler Road  
Belmont MA 02478  
617-993-3157

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9/30/16	DESIGN DEVELOPMENT
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1/6/17	REVISIONS

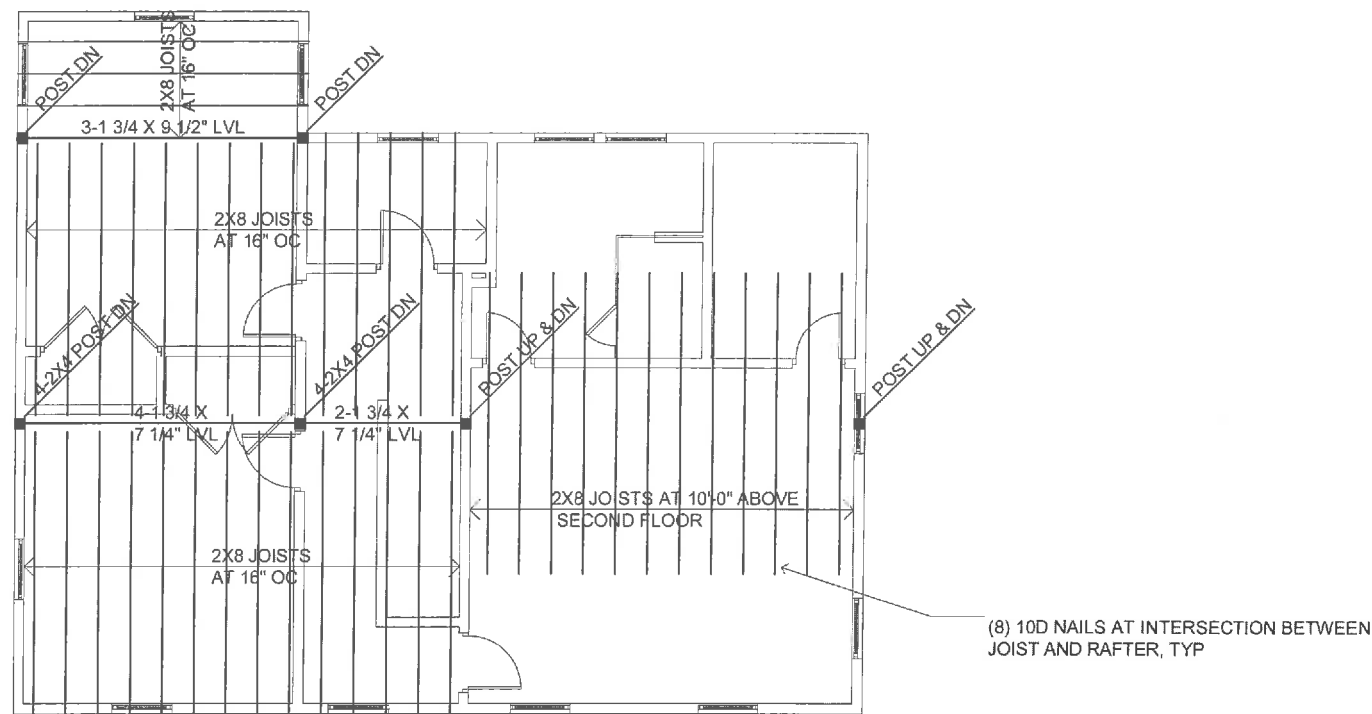


FELTON RESIDENCE  
81 STATLER ROAD  
BELMONT MA

SECOND FLOOR  
FRAMING PLAN

Sheet  
Number:

A15

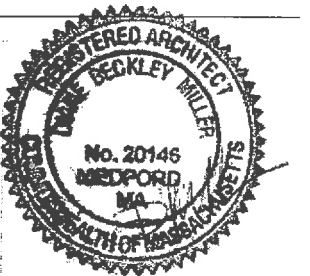


1 PLAN  
SCALE: 1/8" = 1'

Architect:  
Miller Design LLC  
52 Statler Road  
Belmont MA 02478  
617-993-3157

Date: Issued for:

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9/30/16	DESIGN DEVELOPMENT
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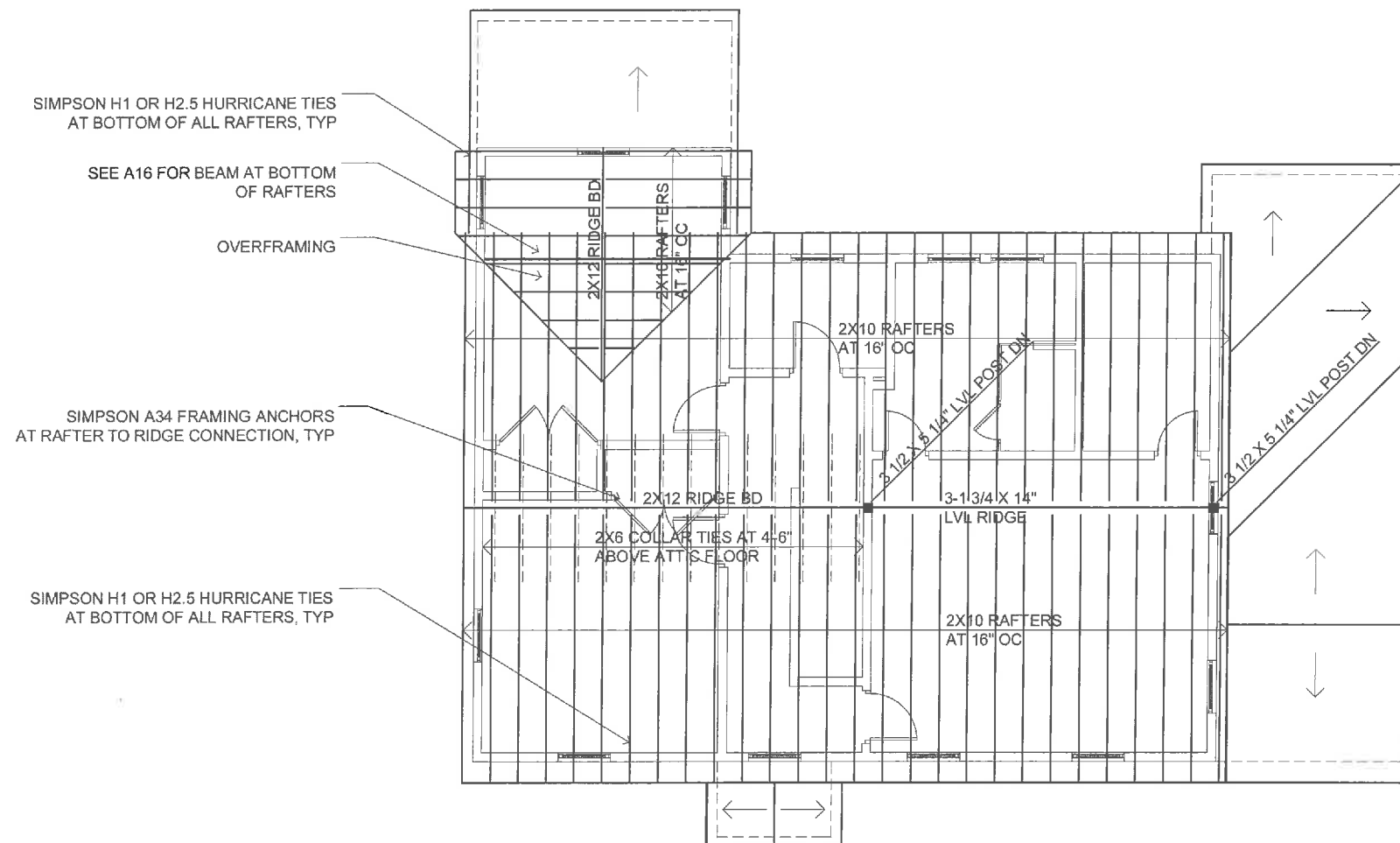
FELTON RESIDENCE  
81 STATLER ROAD  
BELMONT MA

ATTIC FLOOR  
FRAMING PLAN

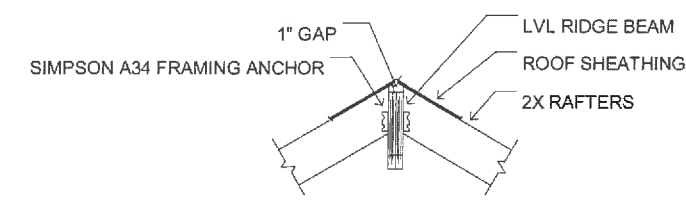
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1 PLAN  
SCALE: 1/8" = 1'

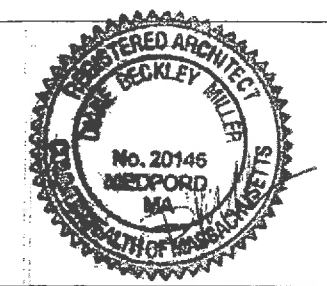


2 RIDGE BEAM DETAIL  
SCALE: 1/2" = 1'

Architect:  
Miller Design LLC  
52 Statler Road  
Belmont MA 02478  
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# ROOF FRAMING PLAN

Sheet  
Number:

# A17