



Comprehensive Land Holdings, LLC

August 12, 2020

VIA ELECTRONIC MAIL

Ms. Jessica Malcolm
Mr. Mike Busby
MassHousing
One Beacon St
Boston, MA 02108

RE: Application for Site Eligibility – 91 Beatrice Circle

Dear Ms. Malcolm and Mr. Busby:

On behalf of 91 Beatrice Circle, LLC, we are pleased to provide the attached supplement to the Application for Site Eligibility submitted to MassHousing on May 12, 2020, for the Chapter 40B project at 91 Beatrice Circle, Belmont, MA.

Per feedback during the Site Approval process and our discussions with MassHousing to date, we have adjusted the building design and massing to address concerns with the original layout. Based on these changes, we have also updated the project's pro forma.

Enclosed please find electronic copies of:

- Revised MassHousing Comprehensive Permit Site Approval Application pages 4, 9-10, 14-19
- Updated Architectural Plans
- Narrative Summary of Architectural Revisions
- Updated Civil Engineering Plans

Please do not hesitate to contact me if you have any questions.

Sincerely,

Joe Tamposi
91 Beatrice Circle, LLC

CC: Town of Belmont Select Board
Jeffrey Wheeler, Town Planner



Comprehensive Permit Site Approval Application/Rental****

www.masshousing.com | www.masshousingrental.com

Additional Contact Information *(optional)*

Name of Individual: _____

Relationship to Applicant: _____

Name of Company *(if any)*: _____

Street Address: _____

City/Town/Zip: _____

Telephone *(office and cell)* and Email: _____**Anticipated Construction Financing:** MassHousing _____ NEF Bank _____

If NEF Bank, Name of Bank: _____

Anticipated Permanent Financing: MassHousing _____ NEF Bank _____

If NEF Bank, Name of Bank: _____

Total Number of Units _____ # Affordable Units _____ # Market Rate Units _____

Age Restricted? Yes/No _____ If Yes, 55+ or 62+? _____

Brief Project Description (150 words or less):**Required Attachments Relating to Section 1****1.1 Location Map**

Provide a USGS or other form of map clearly marked to show the site's location, and an approximate property boundary.

1.2 Tax Map

Provide a copy of municipal tax map (assessor's plan) with subject parcels and parcel ID #'s clearly identified.

1.3 Directions

Provide detailed written directions to the site, noting the entrance to the site, relevant boundaries and any prominent landmarks that can be used for identification purposes.

Application for Chapter 40B Project Eligibility/Site Approval for MassHousing-Financed and New England Fund (“NEF”) Rental Projects

Section 3: PROJECT INFORMATION (also see Required Attachments listed at end of Section 3)

In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that the proposed project appears generally eligible under the requirements of the housing subsidy program and that the conceptual project design is generally appropriate for the site.

Name of Proposed Project: _____

Project Type (mark both if applicable): New Construction _____ Rehabilitation _____ Both _____

Total Number of Dwelling Units: _____

Total Number of Affordable Units: _____

Number of 50% AMI Affordable Units: _____

Number of 80% AMI Affordable Units: _____

Number of Market Rate Units: _____

Unit Mix: Affordable Units

Unit Type	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Number of Units					
Number of Bathrooms					
Square Feet/Unit					

Unit Mix: Market Rate

Unit Type	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Number of Units					
Number of Bathrooms					
Square Feet/Unit					

Percentage of Units with 3 or More Bedrooms*: _____

** Note that the January 17, 2014 Interagency Agreement Regarding Housing Opportunities for Families with Children requires that at least 10% of the units in the Project must have three (3) or more bedrooms. Evidence of compliance with this requirement must be provided at Final Approval.*

Number of Handicapped Accessible Units: _____ Market Rate: _____ Affordable: _____

Gross Density (units per acre): _____

Net Density (units per buildable acre): _____

Residential Building Information

Building Type and Style <i>(single family detached, townhouse, multi-family)</i>	Construction or Rehabilitation	Number of Stories	Height	GFA	Number Bldgs. of this type

Non-Residential Building Information

Building Type and Style	Construction or Rehabilitation	Number of Stories	Height	GFA	Number Bldgs. of this type

Will all features and amenities available to market unit residents also be available to affordable unit residents?
If not, explain the differences.

Parking

Total Parking Spaces Provided: _____

Ratio of Parking Spaces to Housing Units: _____

Lot Coverage *(Estimate the percentage of the site used for the following)*

Buildings: _____

Parking and Paved Areas: _____

Usable Open Space: _____

Unusable Open Space: _____

Lot Coverage: _____

Does project fit definition of "Large Project" (as defined in 760 CMR 56.03 (6))? Yes/No _____

Application for Chapter 40B Project Eligibility/Site Approval for MassHousing-Financed and New England Fund (“NEF”) Rental Projects

Section 5: FINANCIAL INFORMATION – Site Approval Application Rental 40B

In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that an initial pro forma has been reviewed and that the Proposed Project appears financially feasible and consistent with the Chapter 40B Guidelines, and that the Proposed Project is fundable under the applicable program.

Name of Proposed Project: _____

Initial Capital Budget (please enter “0” when no such source or use is anticipated)

Sources

Description	Source	Budgeted
Private Equity	Owner's Cash Equity	
Private Equity	Tax Credit Equity	
Private Equity	Developer Fee Contributed or Loaned	
Private Equity	Developer Overhead Contributed or Loaned	
Other Private Equity		
Public/Soft Debt		
Subordinate Debt		
Permanent Debt		
Permanent Debt		
Construction Debt	<i>For informational purposes only, not to be included in Sources total</i>	
Additional Source (please identify)		
Additional Source (please identify)		
Total Sources		\$

Pre-Permit Land Value, Reasonable Carrying Costs

Item	Budgeted
Site Acquisition: pre-permit land value (to be determined by MassHousing commissioned appraisal) plus reasonable carrying costs.	

Uses (Costs)

Item	Budgeted
Acquisition Cost (Actual)	
Actual Acquisition Cost: Land	_____
Actual Acquisition Cost: Buildings	_____
Subtotal Acquisition Costs	_____
Construction Costs–Building Structural Costs (Hard Costs)	
Building Structure Costs	_____
Hard Cost Contingency	_____
Subtotal – Building Structural Costs (Hard Costs)	_____
Construction Costs–Site Work (Hard Costs)	
Earth Work	_____
Utilities: On Site	_____
Utilities: Off-Site	_____
Roads and Walks	_____
Site Improvement	_____
Lawns and Planting	_____
Geotechnical Condition	_____
Environmental Remediation	_____
Demolition	_____
Unusual Site Conditions/Other Site Work	_____
Subtotal –Site Work (Hard Costs)	_____
Construction Costs–General Conditions, Builders Overhead and Profit (Hard Costs)	
General Conditions	_____
Builder's Overhead	_____
Builder's Profit	_____
Subtotal – General Conditions Builders Overhead and Profit (Hard Costs)	_____
General Development Costs (Soft Costs)	
Appraisal and Marketing Study (not 40B "as is" appraisal)	_____
Marketing and Initial Rent Up (include model units, if any)	_____
Real Estate Taxes (during construction)	_____
Utility Usage (during construction)	_____
Insurance (during construction)	_____
Security (during construction)	_____
Inspecting Engineer	_____

Budgeted

General Development Costs (Soft Costs) – Continued

Fees to Others	_____
Construction Loan Interest	_____
Fees to Construction Lender	_____
Fees to Permanent Lender	_____
Architecture/Engineering	_____
Survey, Permits, etc.	_____
Clerk of the Works	_____
Construction Manager	_____
Bond Premiums (<i>Payment/Performance/Lien Bond</i>)	_____
Environmental Engineer	_____
Legal	_____
Title (<i>including title insurance</i>) and Recording	_____
Accounting and Cost Certification (<i>incl. 40B</i>)	_____
Relocation	_____
40B Site Approval Processing Fee	_____
40B Technical Assistance/Mediation Fund Fee	_____
40B Land Appraisal Cost (<i>as-is value</i>)	_____
40B Final Approval Processing Fee	_____
40B Subsidizing Agency Cost Certification	_____
Examination Fee	_____
40B Monitoring Agent Fees	_____
MIP	_____
Credit Enhancement	_____
Letter of Credit Fees	_____
Other Financing Fees: Tax Credit Allocation Fee	_____
Other Financing Fees	_____
Development Consultant	_____
Other Consultants (<i>describe</i>) _____	_____
Other Consultants (<i>describe</i>) _____	_____
Syndication Costs	_____
Soft Cost Contingency	_____
Other Development (Soft) Costs	_____

Subtotal – General Development Costs (Soft Costs) _____

Developer Fee and Overhead

Developer Fee	_____
Developer Overhead	_____

Subtotal – Developer Fee and Overhead _____

Capitalized Reserves

Development Reserves	_____
Initial Rent-Up Reserves	_____
Operating Reserves	_____
Net Worth Account	_____
Other Capitalized Reserves	_____

Subtotal – Capitalized Reserves _____

Summary of Subtotals

Item	Budgeted
Acquisition: Land	_____
Acquisition: Building	_____
Building Structural Costs (Hard Costs)	_____
Site Work (Hard Costs)	_____
General Conditions, Builder's Overhead, Profit (Hard Costs)	_____
Developer Fee and Overhead	_____
General Development Costs (Soft Costs)	_____
Capitalized Reserves	_____
Total Development Costs (TDC)	_____
Summary	
Total Sources	_____
Total Uses (TDC)	_____

Projected Developer Fee and Overhead*: _____

Maximum Allowable Developer Fee and Overhead**: _____

Projected Developer Fee and Overhead equals ____% of Maximum Allowable Fee and Overhead

** Note in particular the provisions of Section IV.B.5.a of the Guidelines, which detail the tasks (i) for which a developer may or may not receive compensation beyond the Maximum Allowable Developer Fee and Overhead and (ii) the costs of which must, if the tasks were performed by third parties, be included within the Maximum Allowable Developer Fee and Overhead.*

*** Please consult the most recent DHCD Qualified Allocation Plan (QAP) to determine how to calculate the Maximum Allowable Developer Fee and Overhead. If you have questions regarding this calculation, please contact MassHousing.*

Initial Unit/Rent Schedule

Affordable Units @ 80% AMI	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Number of Units					
Number Square Feet					
Monthly Rent					
Utility Allowance					

Affordable Units @ 50% AMI	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Number of Units					
Number Square Feet					
Monthly Rent					
Utility Allowance					

Describe utility allowance assumptions (*utilities to be paid by tenants*):

Market Rate Units	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Number of Units					
Number Square Feet					
Monthly Rent					

Initial Rental Operating Pro-Forma (for year one of operations)

Item	Notes	Amount
Permanent Debt Assumptions		
Loan Amount	Lender:	
Annual Rate		
Term		
Amortization		
Lender Required Debt Service Coverage Ratio		
Gross Rental Income		
Other Income (utilities, parking)		
Less Vacancy (Market Units)	5% (vacancy rate)	
Less Vacancy (Affordable Units)	5% (vacancy rate)	
Gross Effective Income		
Less Operating Expenses	Per Unit:	
Net Operating Income		
Less Permanent Loan Debt Service		
Cash Flow		
Debt Service Coverage		

Describe "other income": _____

Rental Operating Expense Assumption

Item	Notes	Amount
Assumed Maximum Operating Expenses	Calculated based on Net Operating Income, Debt Service and required Debt Service Coverage listed above.	
Assumed Maximum Operating Expense/Unit*	Number of Units:	

* MassHousing may request further detail regarding projected operating expenses if such expenses appear higher or lower than market comparables.

91 BEATRICE CIRCLE

BELMONT, MA

AUGUST 11, 2020

PEL SUBMISSION



91 BEATRICE CIRCLE		
UNITS	COUNT	SF
UNIT TYPE A (4-STORY)	8	1800 SF TYP.
UNIT TYPE B (2-STORY)	4	1700 SF TYP.
PARKING		
SURFACE PARKING	8	
GARAGE PARKING	12	
TOTAL PARKING	20	
PARKING RATIO	1.67	

PROJECT DESCRIPTION

THE PROPOSED PROJECT AT 91 BEATRICE CIRCLE WILL REPLACE AN EXISTING RESIDENTIAL STRUCTURE AND ACCESSORY BUILDINGS WITH A MULTIFAMILY TOWNHOUSE RENTAL DEVELOPMENT CONSISTING OF 12 RENTAL UNITS

THE STRUCTURE WILL CONSIST OF (1) ROW OF 4-STORY TOWNHOUSES AND (1) ROW OF DETACHED 2-STORY RESIDENTIAL DWELLING UNITS WITH THE VEHICLE ACCESS AISLE IN THE CENTER. THE UNITS WILL BE SLAB ON GRADE WITH A DEDICATED PARKING SPACE AND LAUNDRY UNITS INCLUDED WITHIN THE INVDIVIDUAL UNITS. 8 ADDITIONAL PARKING SPACES ARE ALSO INCLUDED ON SITE.

SHEET LIST

ARCHITECTURAL

A000 COVER SHEET
A001 SITE CONTEXT
A002 EXISTING CONDITIONS
A005 PROJECT AXON
A010 ARCHITECTURAL SITE PLAN
A011 SITE SECTIONS

A100 FIRST FLOOR PLAN
A101 SECOND FLOOR PLAN
A102 THIRD FLOOR PLAN
A103 FOURTH FLOOR PLAN

A201 EXTERIOR ELEVATIONS
A202 EXTERIOR ELEVATONS
A203 EXTERIOR ELEVATIONS

A300 BUILDING SECTION

A500 TYPICAL UNIT PLANS

CIVIL

1 COVER SHEET
2 EXISTING CONDITIONS
3 DEMOLITION
4 PROPOSED LAYOUT
5 PROPOSED GRADING
6 PROPOSED UTILITIES
7 CONSTRUCTION DETAILS
8 CONSTRUCTION DETAILS

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DRAWING INFORMATION

ISSUE: PEL SUBMISSION
DATE: AUGUST 11, 2020
PROJECT #: 20004
SCALE: 1/8" = 1'-0"

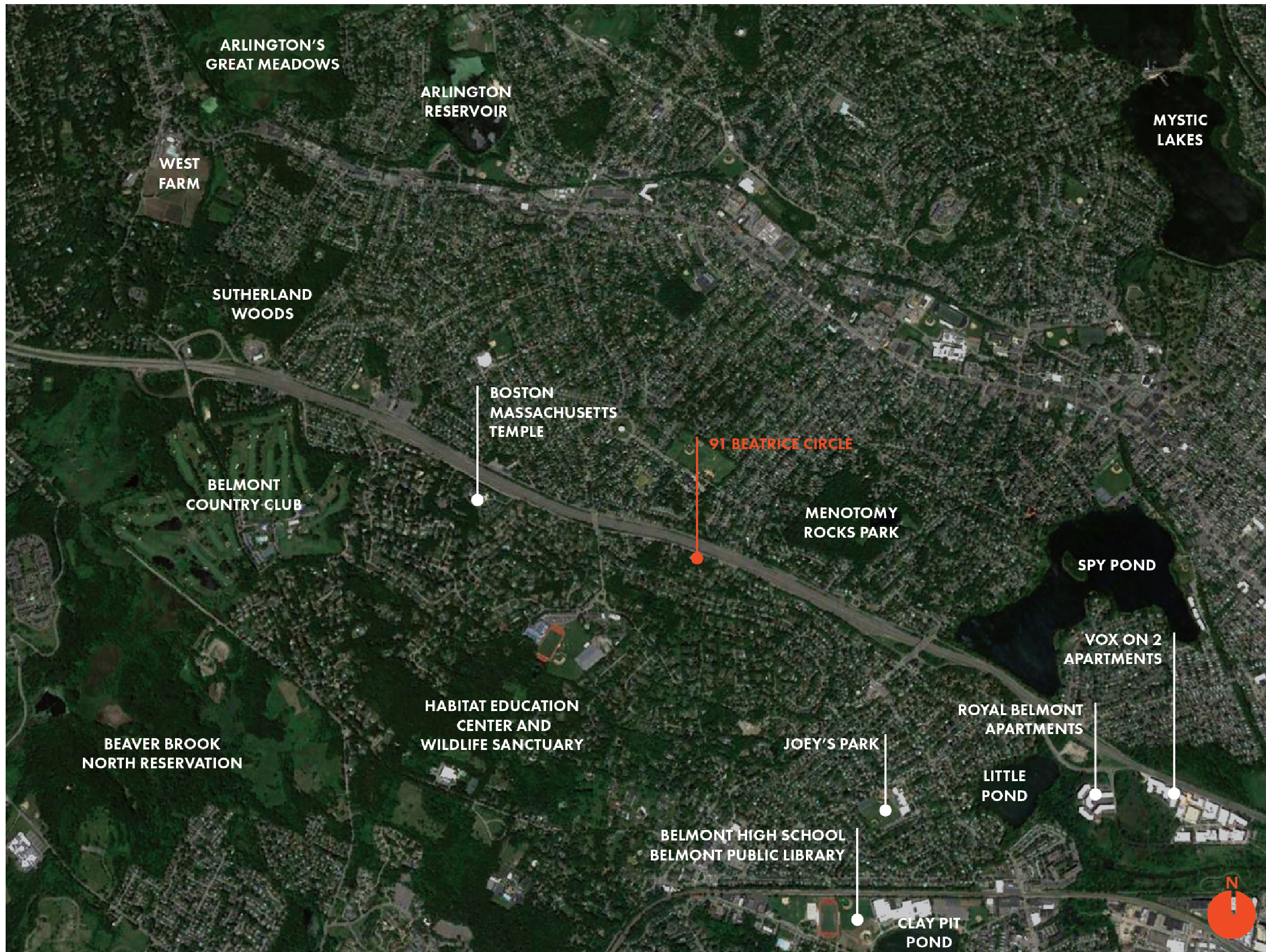
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TOWN CONTEXT



LOCAL CONTEXT



SITE AERIAL

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SITE CONTEXT

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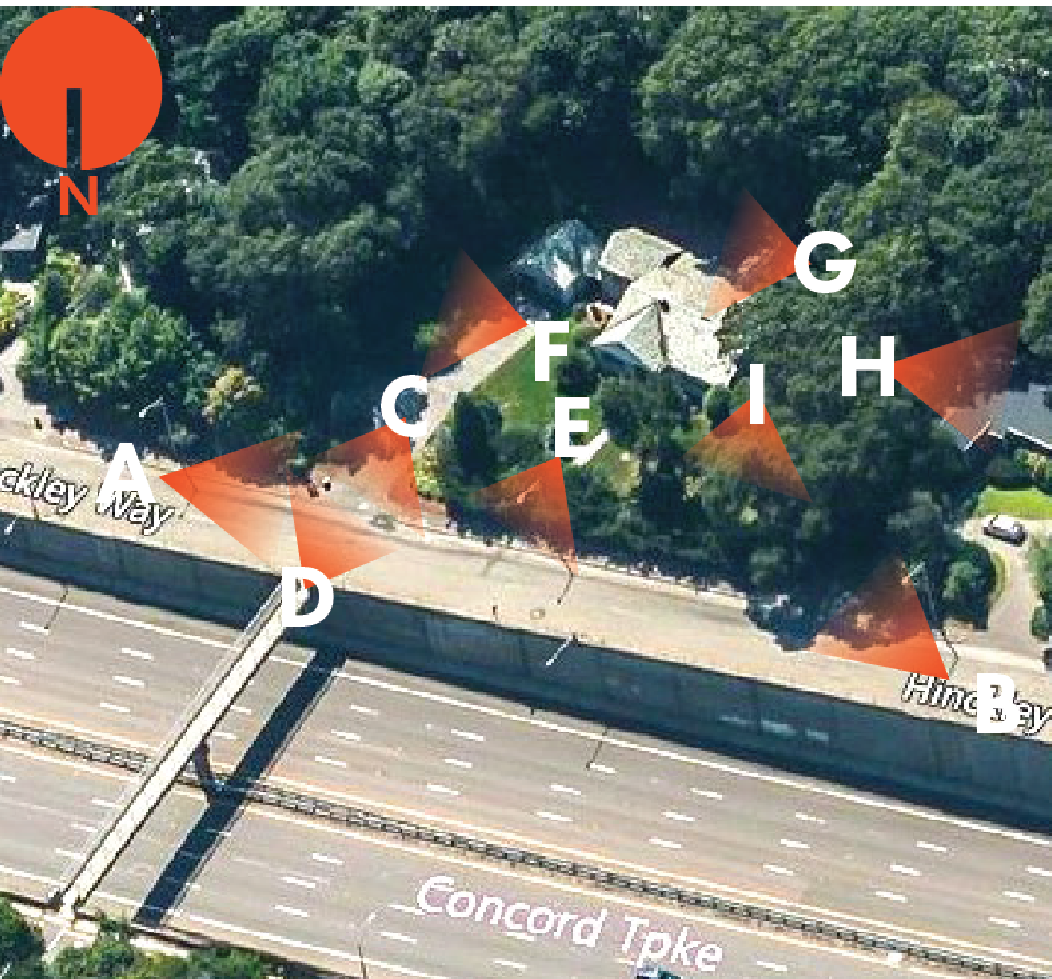
VIEW OF EXISTING SITE - HINCKLEY ST. - FACING WEST



VIEW OF EXISTING SITE - HINCKLEY ST. - FACING EAST



VIEW OF PEDESTRIAN CROSSING FROM SITE - FACING NORTH



VIEW OF EXISTING SITE - HINCKLEY ST. - FACING SOUTH



VIEW OF STAIR ENTRY - FACING NORTH



VIEW OF EAST NEIGHBORING SITE - FACING EAST



VIEW OF SOUTH NEIGHBORING SITE - FACING EAST



VIEW OF WEST NEIGHBORING SITE - FACING WEST



VIEW TOWARDS ROUTE 2 - FACING NORTH

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EXISTING
CONDITIONS

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1 SITE AXON

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PROJECT AXON

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A005

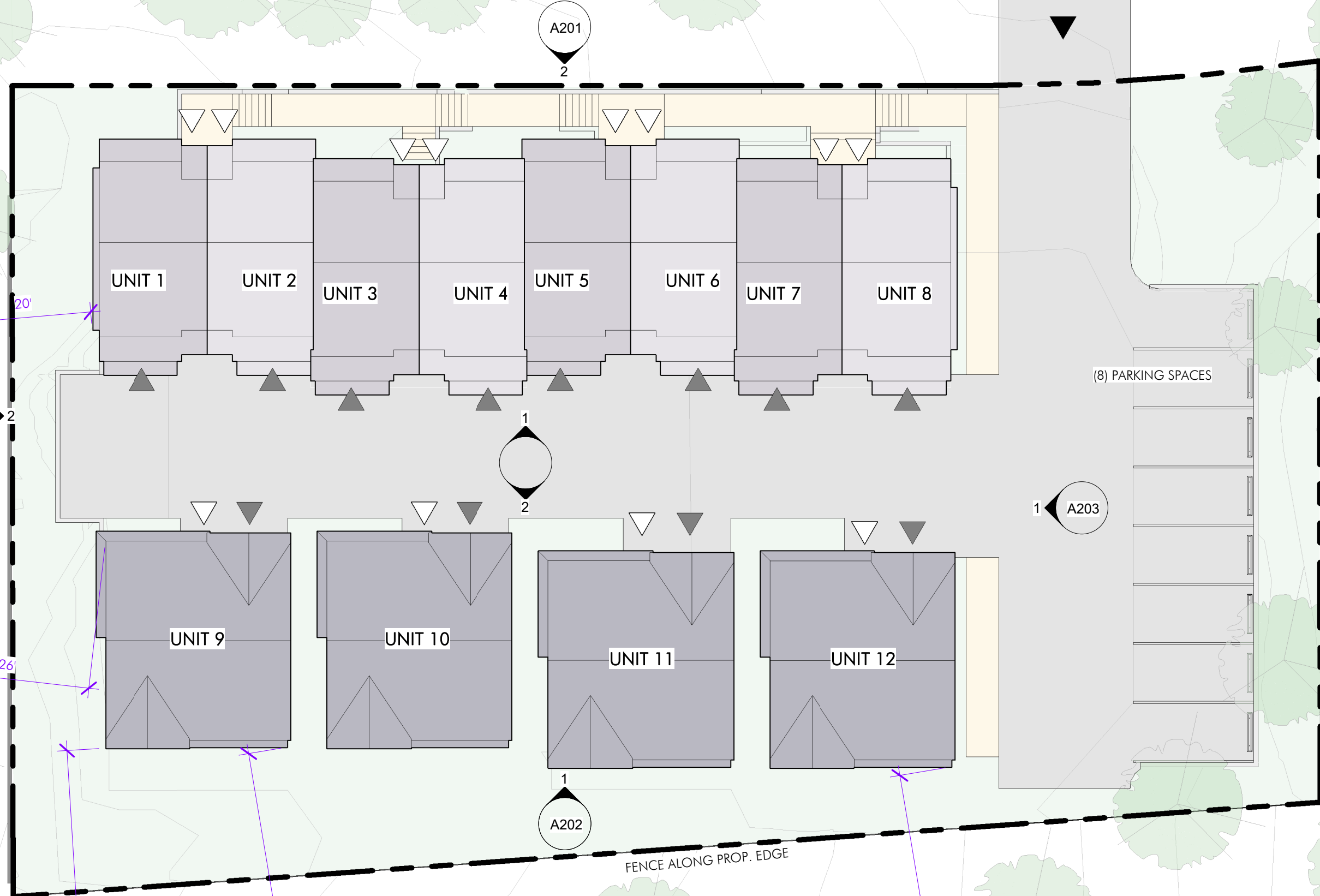
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- ▲ SITE ENTRY
- ▲ GARAGE ENTRY
- △ UNIT ENTRY

ROUTE 2 - CONCORD TURNPIKE

PEDESTRIAN BRIDGE

HINCKLEY WAY



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SCALE: 1/16" = 1'-0"

DRAWING TITLE
ARCHITECTURAL
SITE PLAN

DRAWING NUMBER
A010

GENERAL NOTE: REFER TO CIVIL DRAWINGS
FOR SITE INFORMATION AND DETAILS



1 SITE SECTION - N TO S
1" = 10'-0"



2 SITE SECTION - W TO E
1" = 10'-0"

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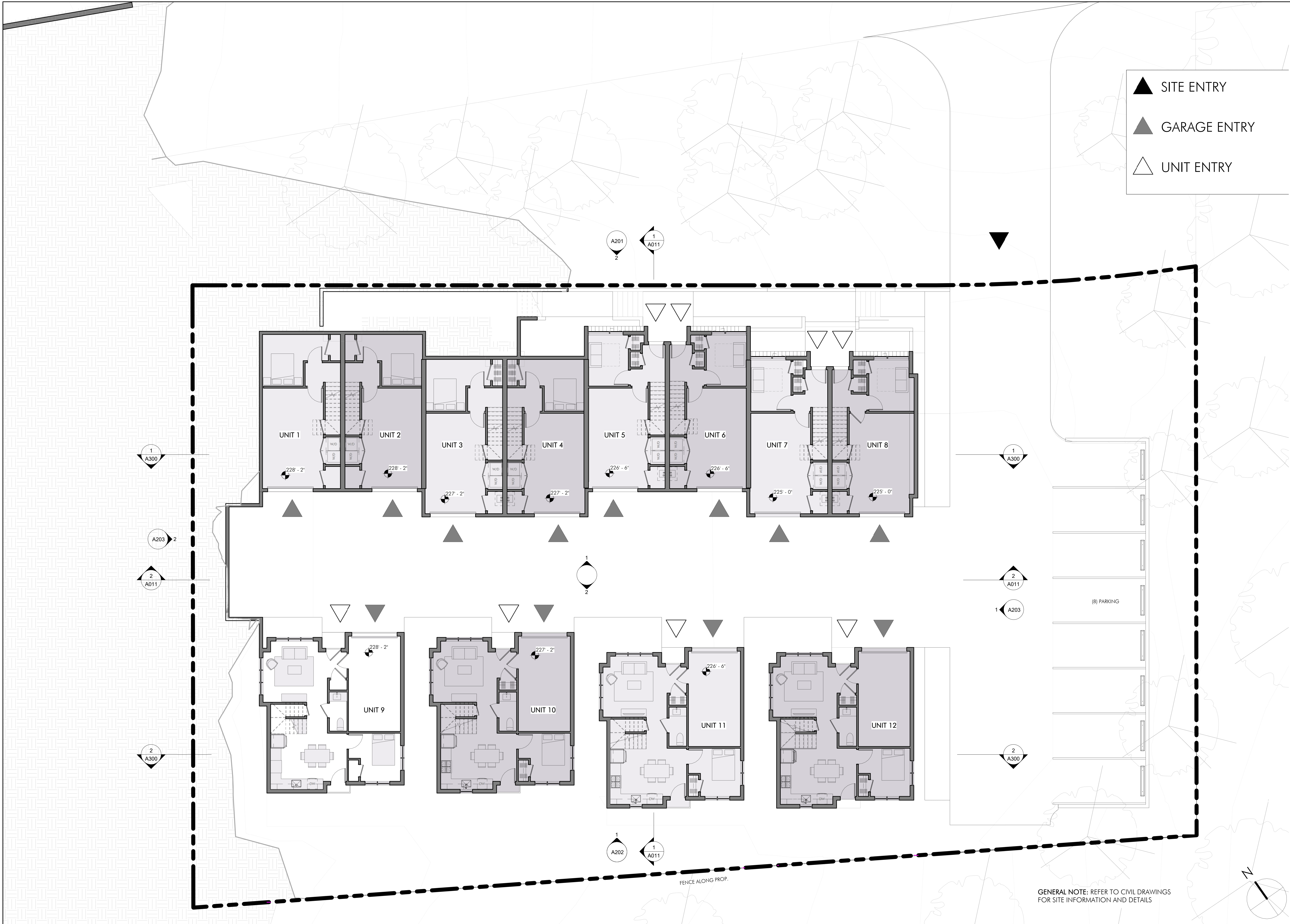
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SITE SECTION

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FIRST FLOOR
PLAN

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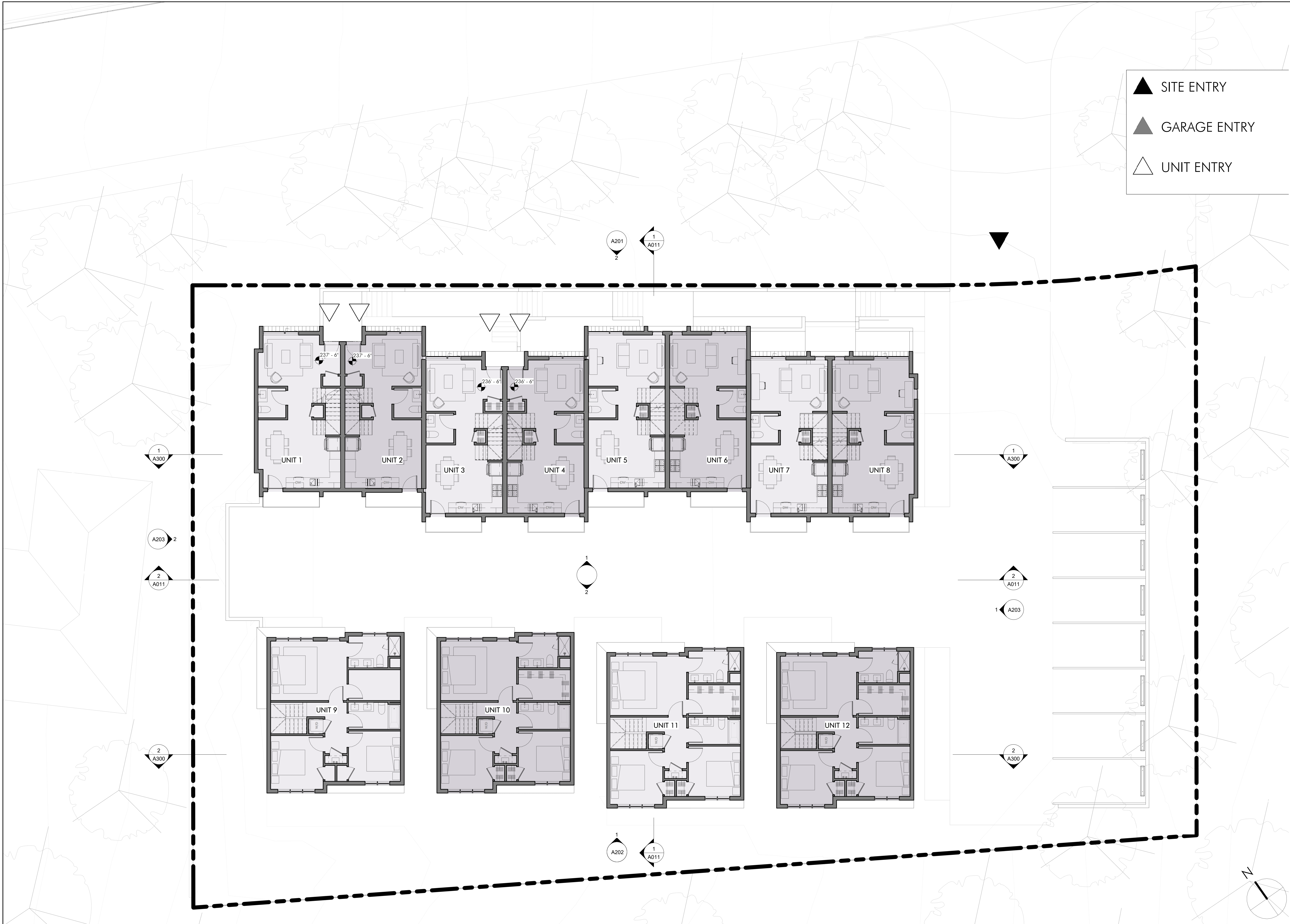
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REGISTERED ARCHITECT
PARAGONIAN SCHWAB
NO. 20350
BOSTON
COMMONWEALTH OF MASSACHUSETTS

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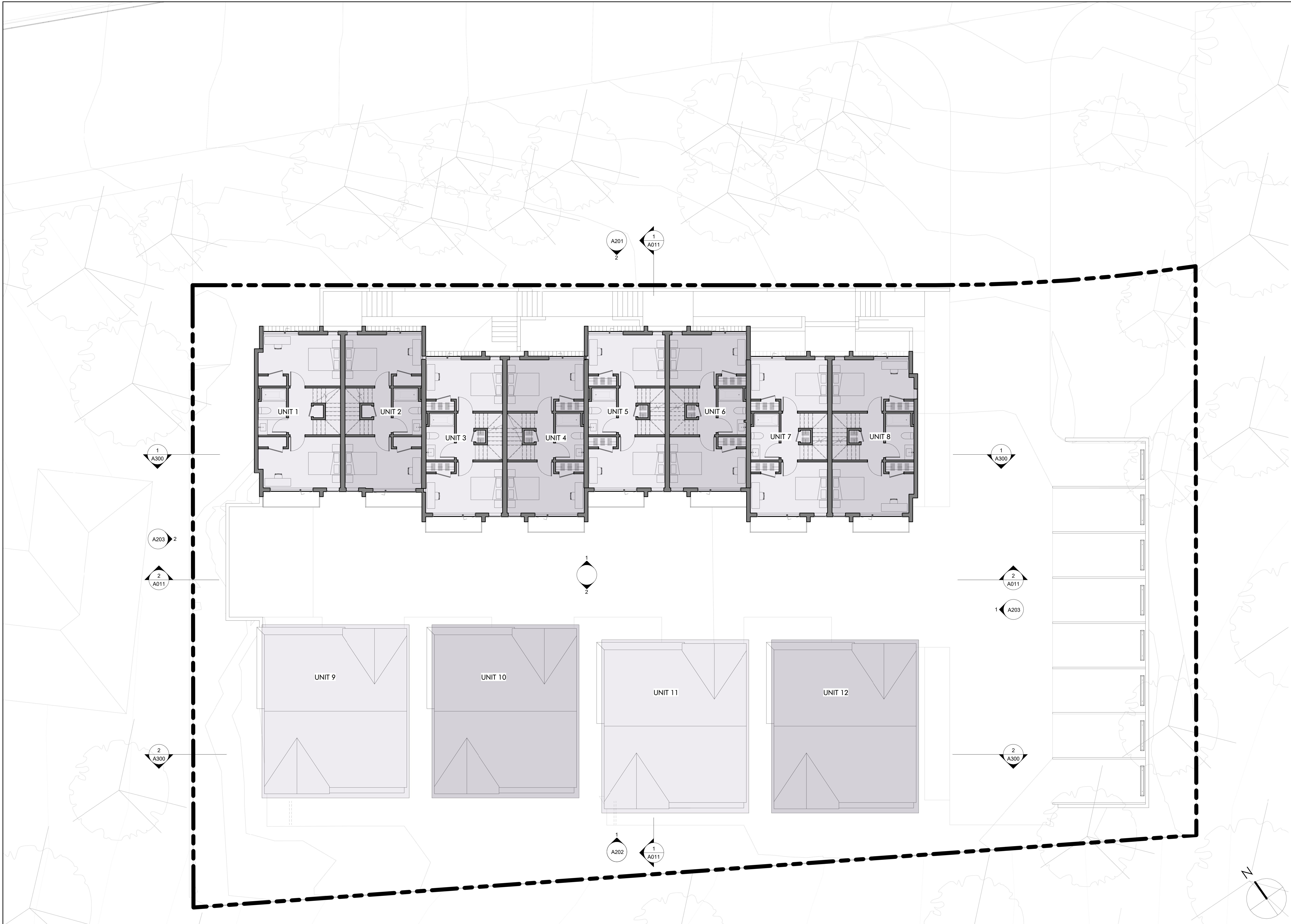
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SECOND FLOOR PLAN

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REGISTERED ARCHITECT
PATRICIA ANN BROWN
NO. 20350
BOSTON
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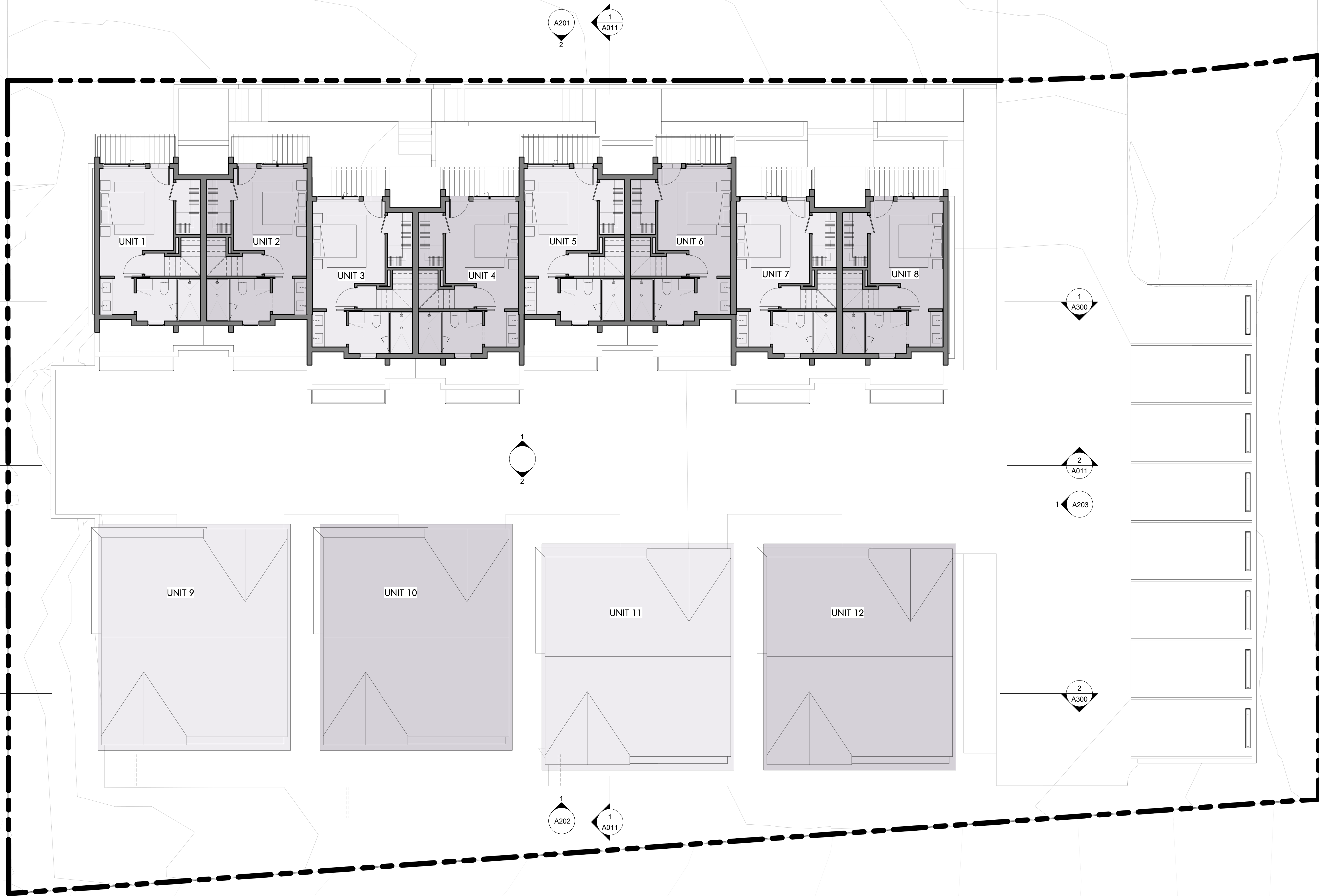
THIRD FLOOR PLAN

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FOURTH FLOOR
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EXTERIOR
ELEVATIONS

DRAWING NUMBER

A201



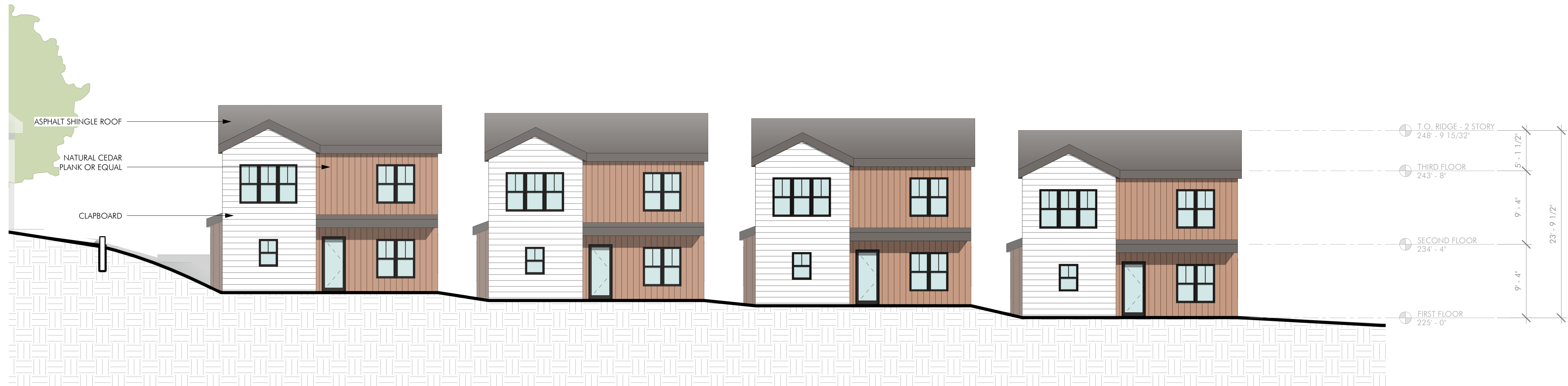
2 NORTH ELEVATION (TYPE A UNITS FRONT)
1/8" = 1'-0"



1 SOUTH ELEVATION (TYPE A UNITS REAR)
1/8" = 1'-0"



2 NORTH ELEVATION (TYPE B UNITS FRONT)
1/8" = 1'-0"



1 SOUTH ELEVATION (TYPE B UNITS REAR)
1/8" = 1'-0"

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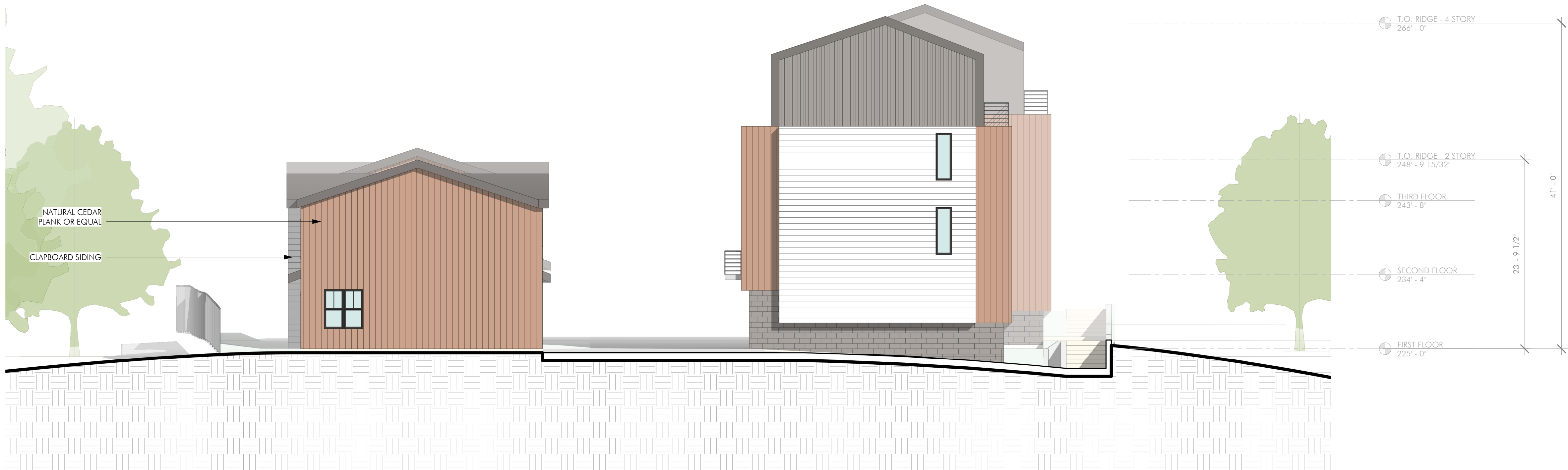
EXTERIOR
ELEVATIONS

DRAWING NUMBER

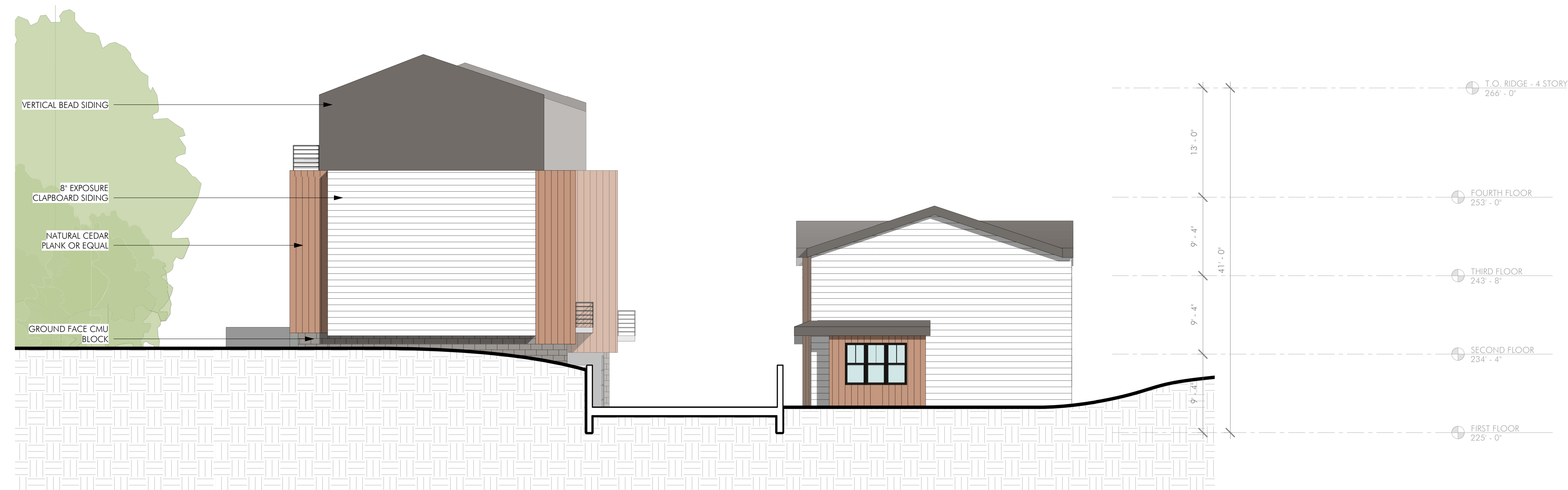
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1 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

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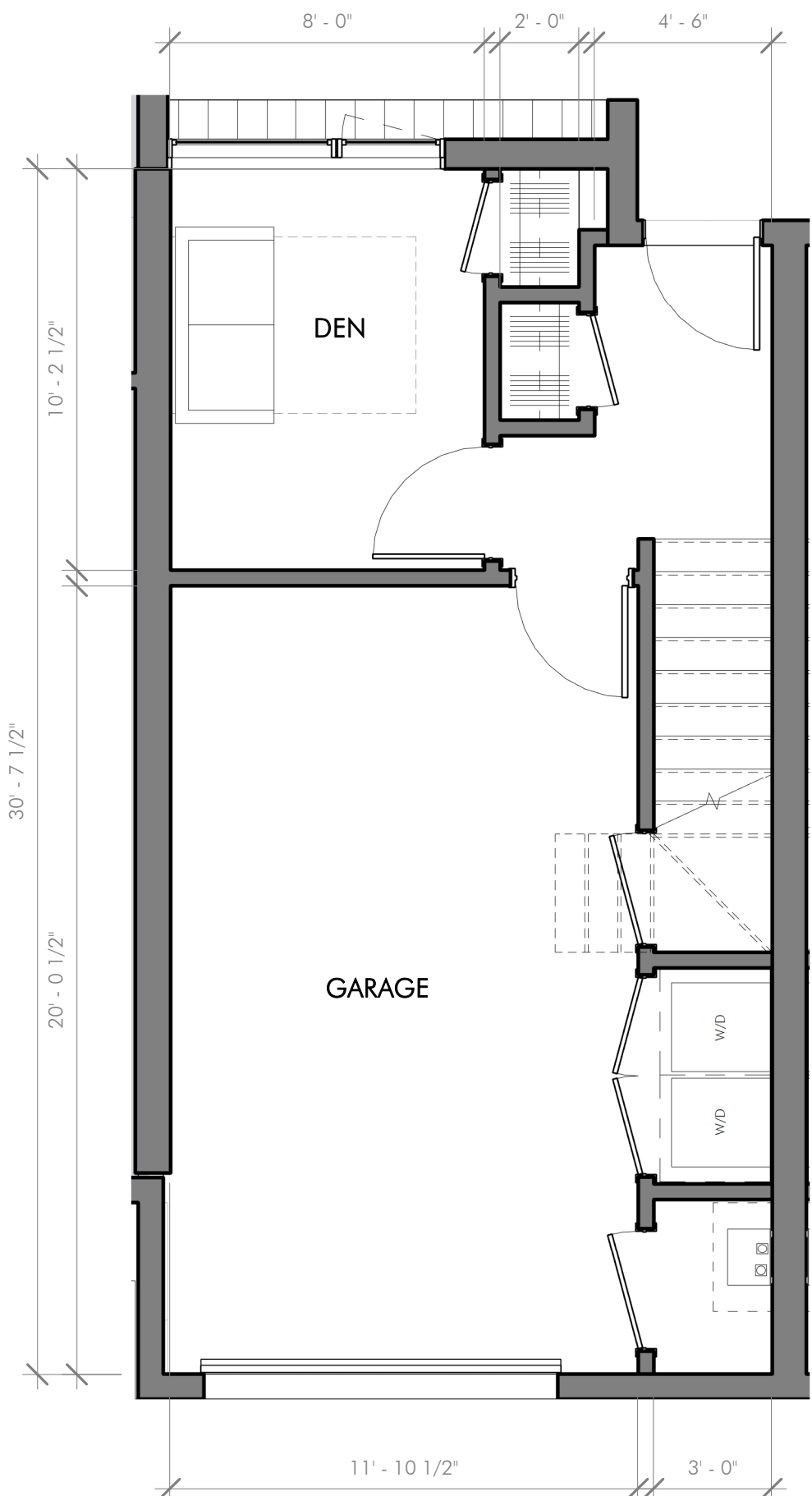
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ELEVATIONS

DRAWING NUMBER

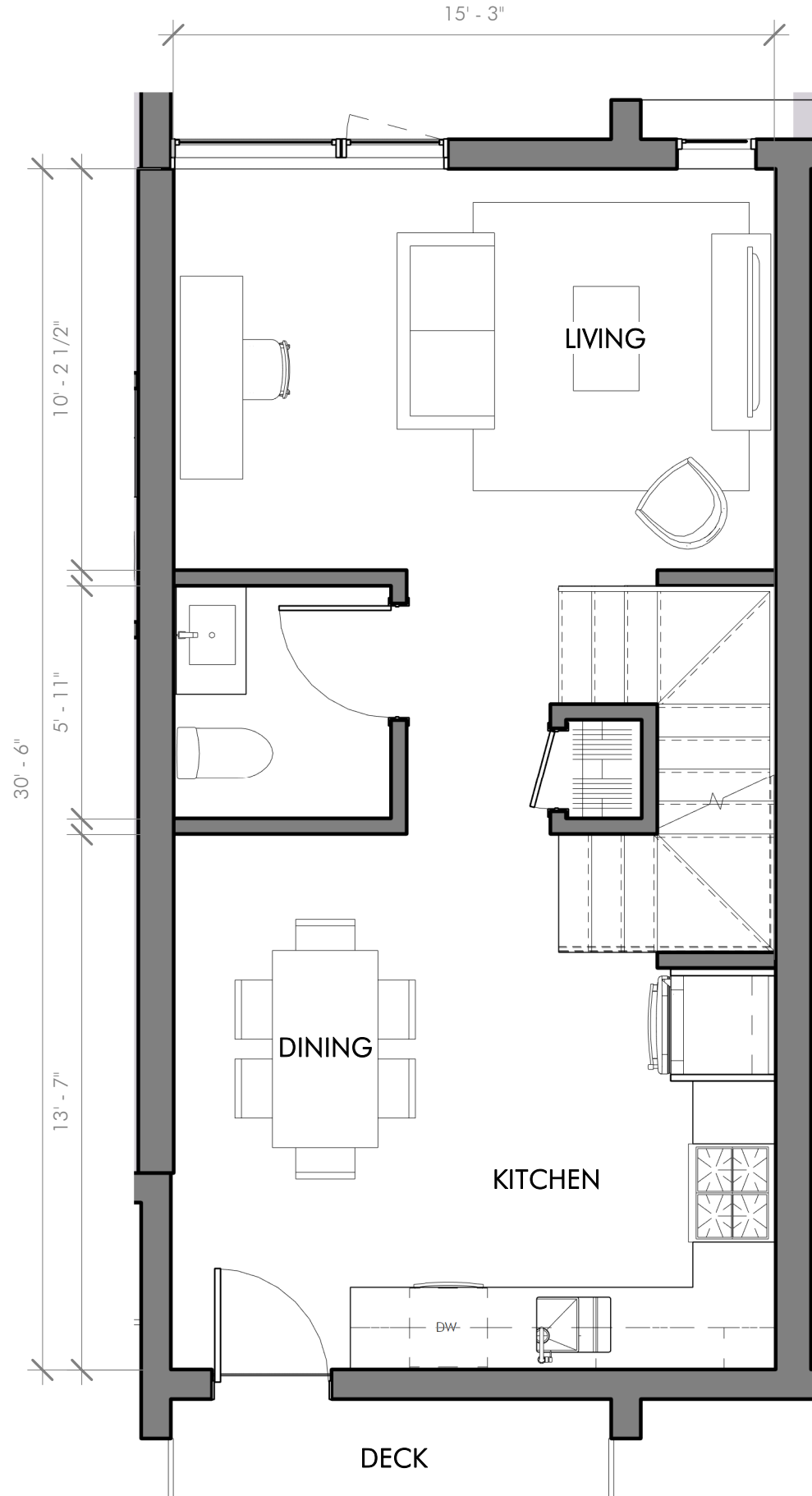
A203

copyright: EMBARC STUDIO, LLC

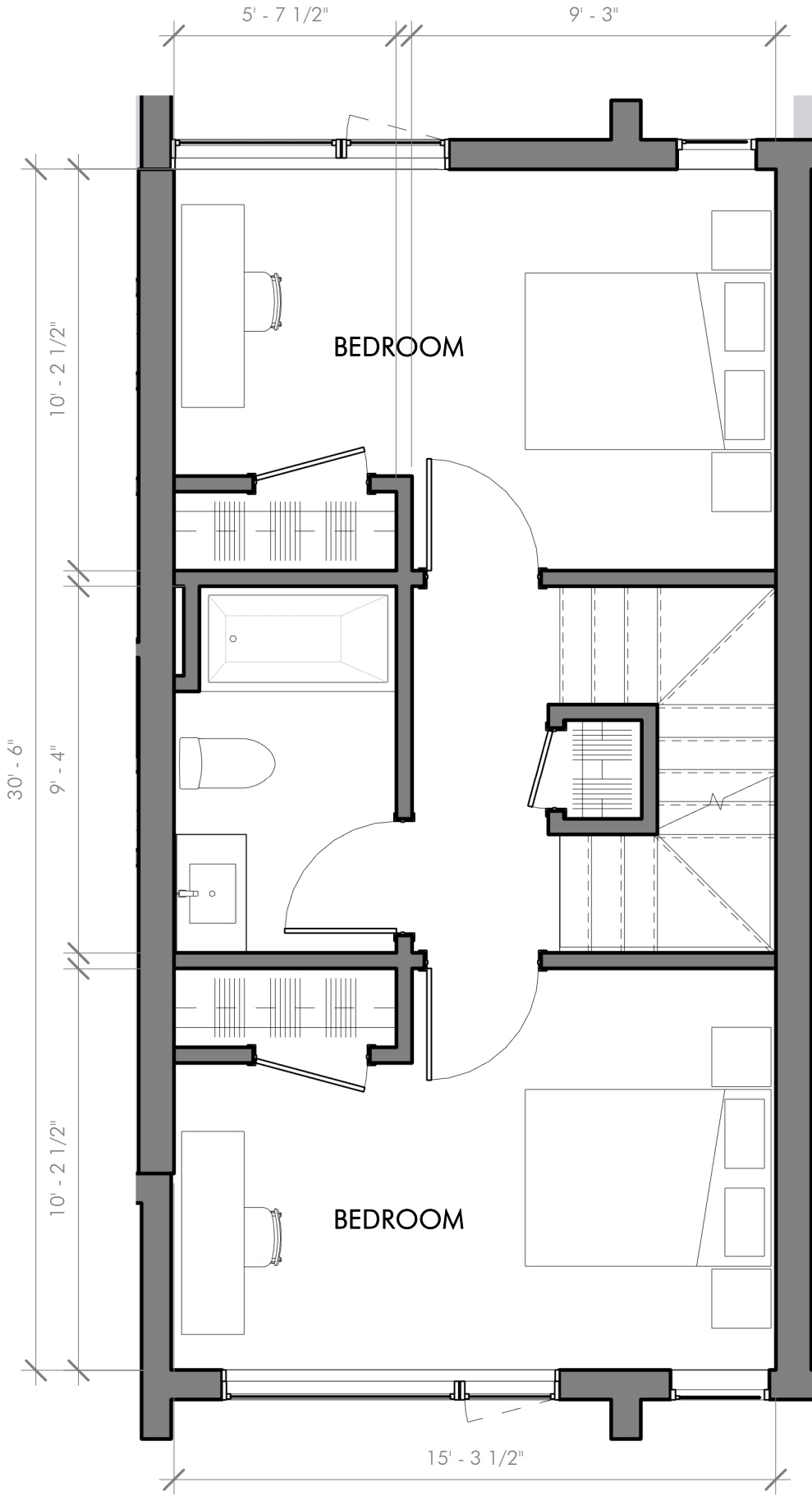
4-STORY TOWNHOUSE - 1ST FLOOR ENTRY (TYP.)



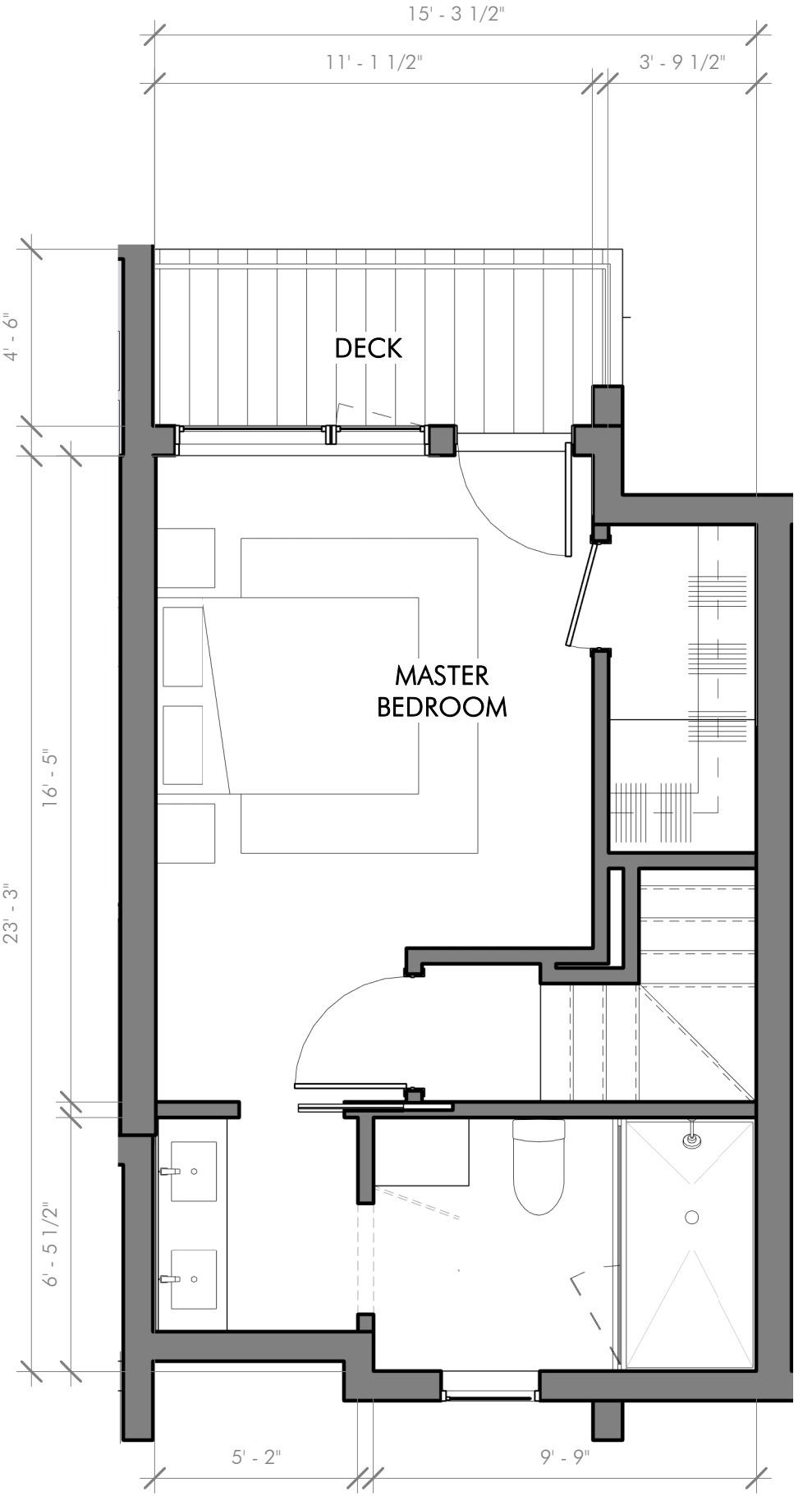
1 TYPICAL A1 UNIT PLAN - FIRST FLOOR
1/4" = 1'-0"



3 TYPICAL A1 UNIT PLAN - SECOND FLOOR
1/4" = 1'-0"

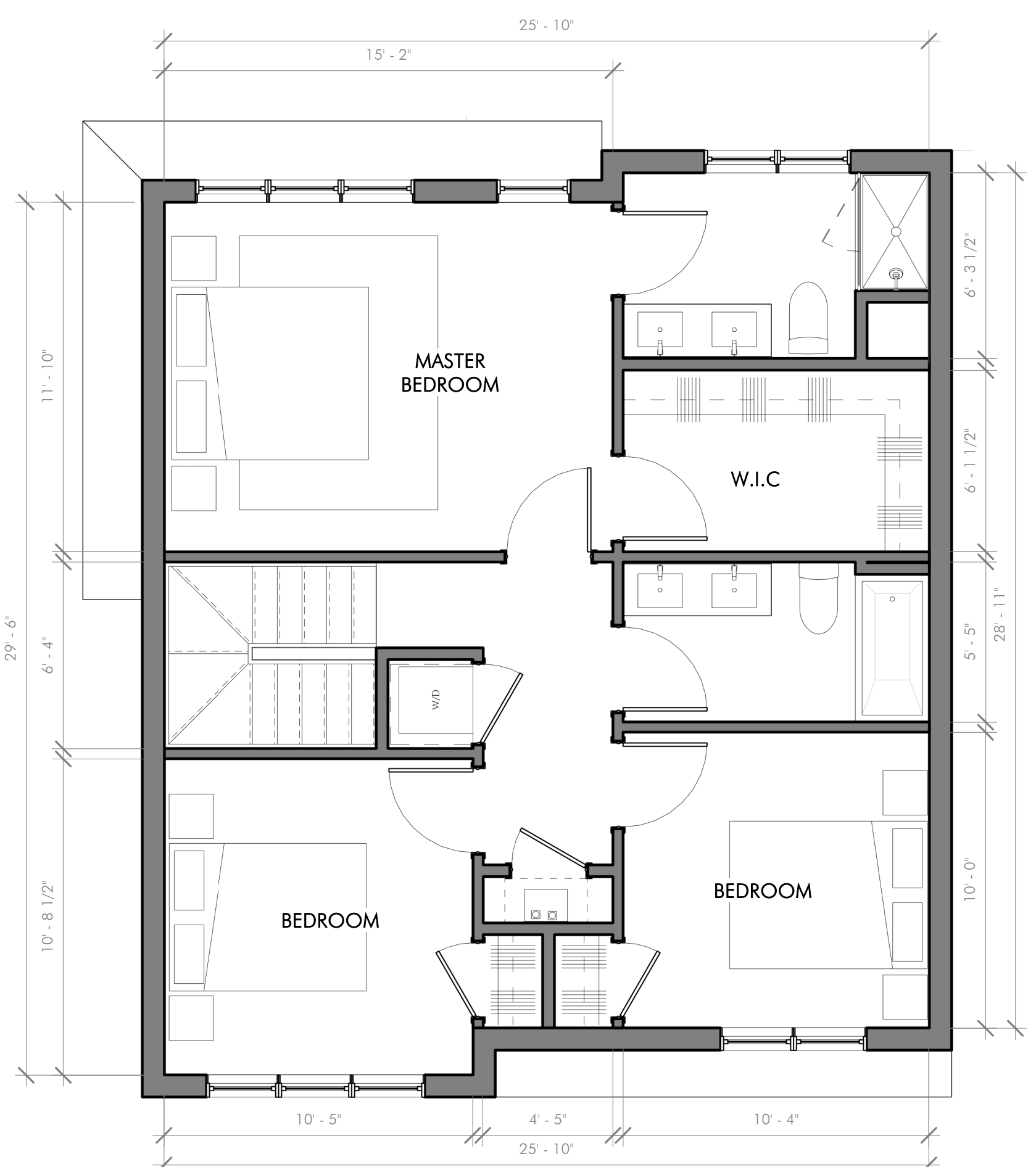


5 TYPICAL A1 UNIT PLAN - THIRD FLOOR
1/4" = 1'-0"



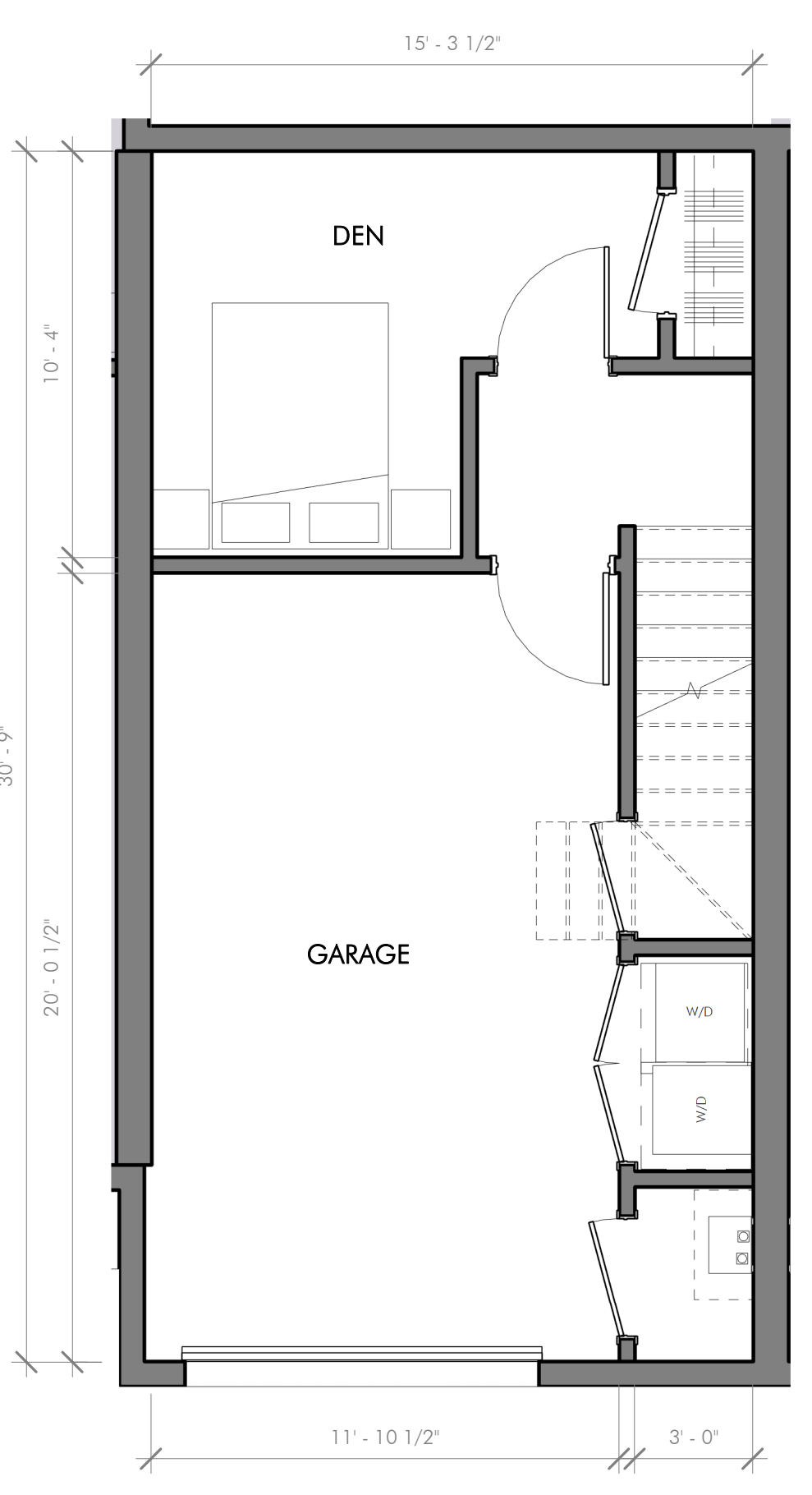
7 TYPICAL A1 UNIT PLAN - FOURTH FLOOR
1/4" = 1'-0"

2-STORY DETACHED - 1ST FLOOR ENTRY (TYP.)

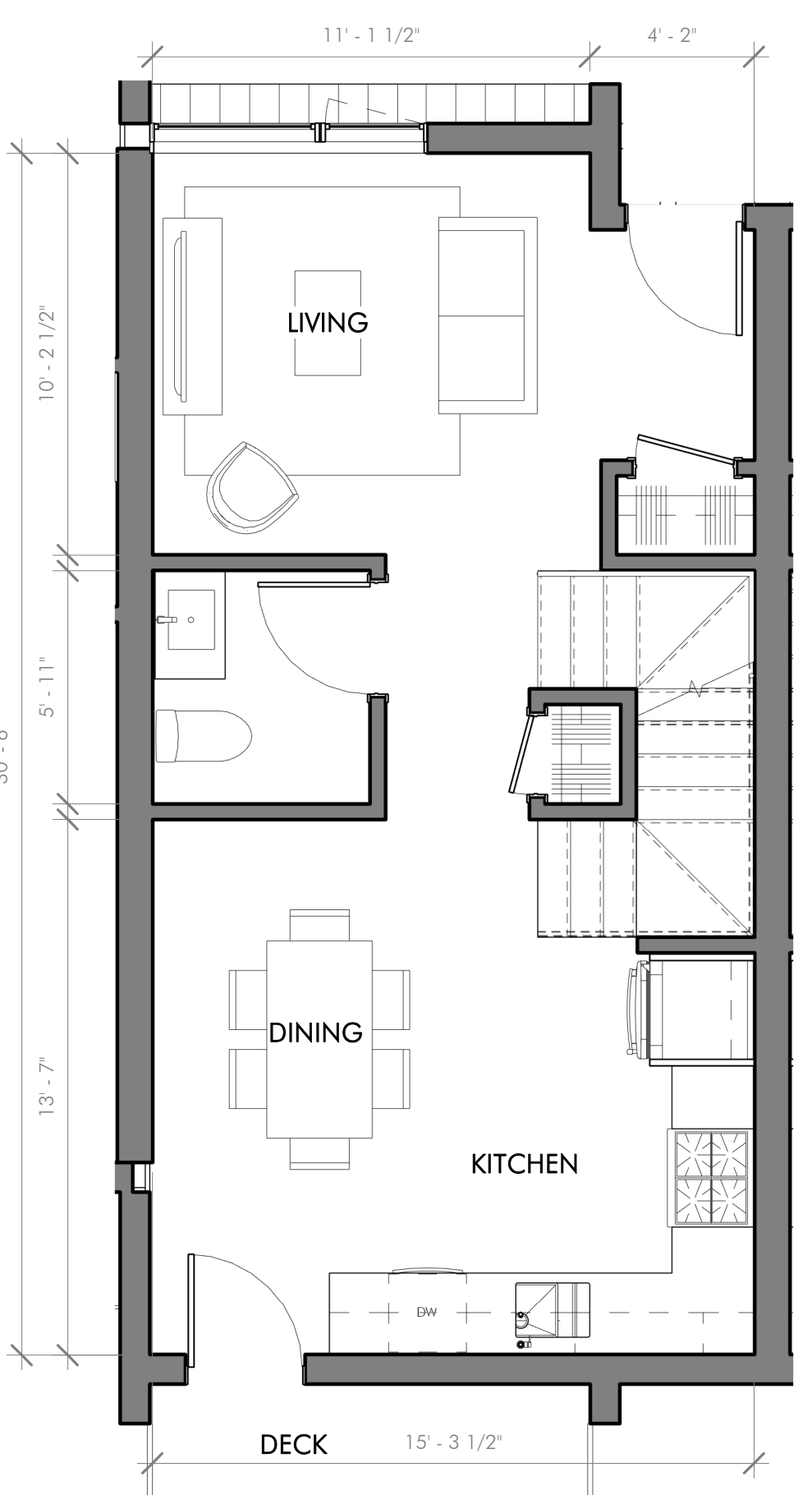


10 TYPICAL TYPE B UNIT PLAN - SECOND FLOOR
1/4" = 1'-0"

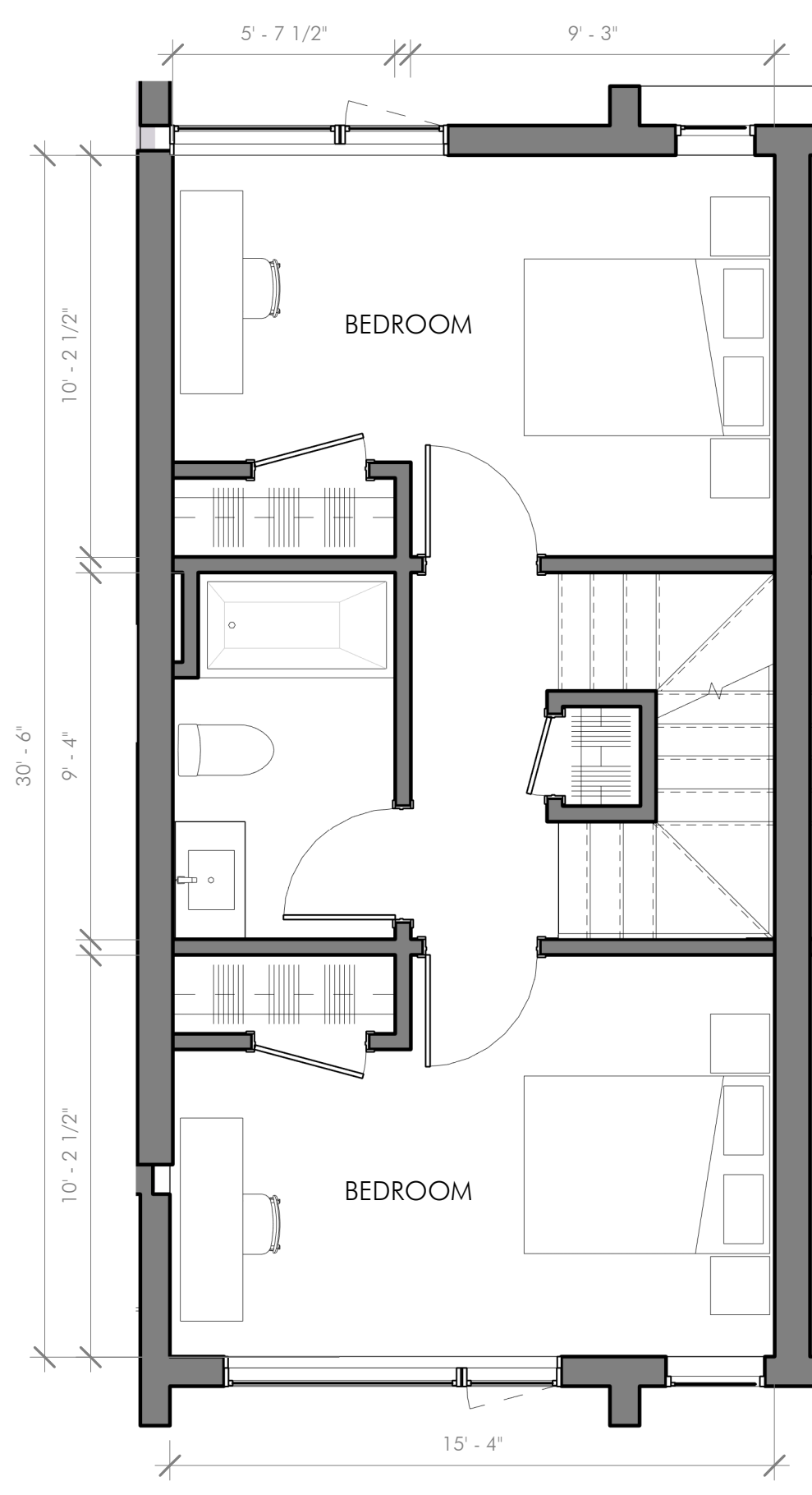
4-STORY TOWNHOUSE - 2ND FLOOR ENTRY (TYP.)



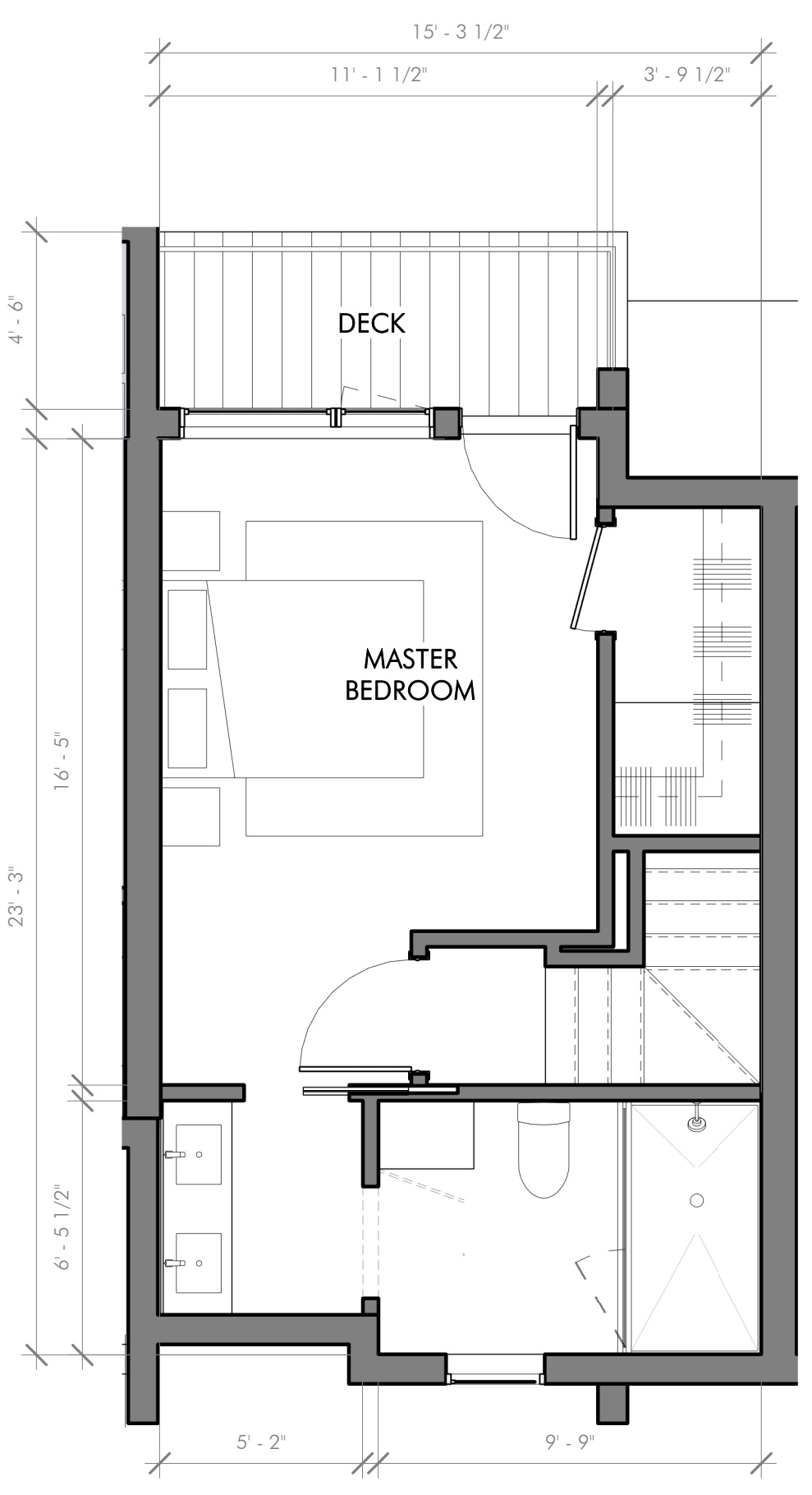
2 TYPICAL A2 UNIT PLAN - FIRST FLOOR
1/4" = 1'-0"



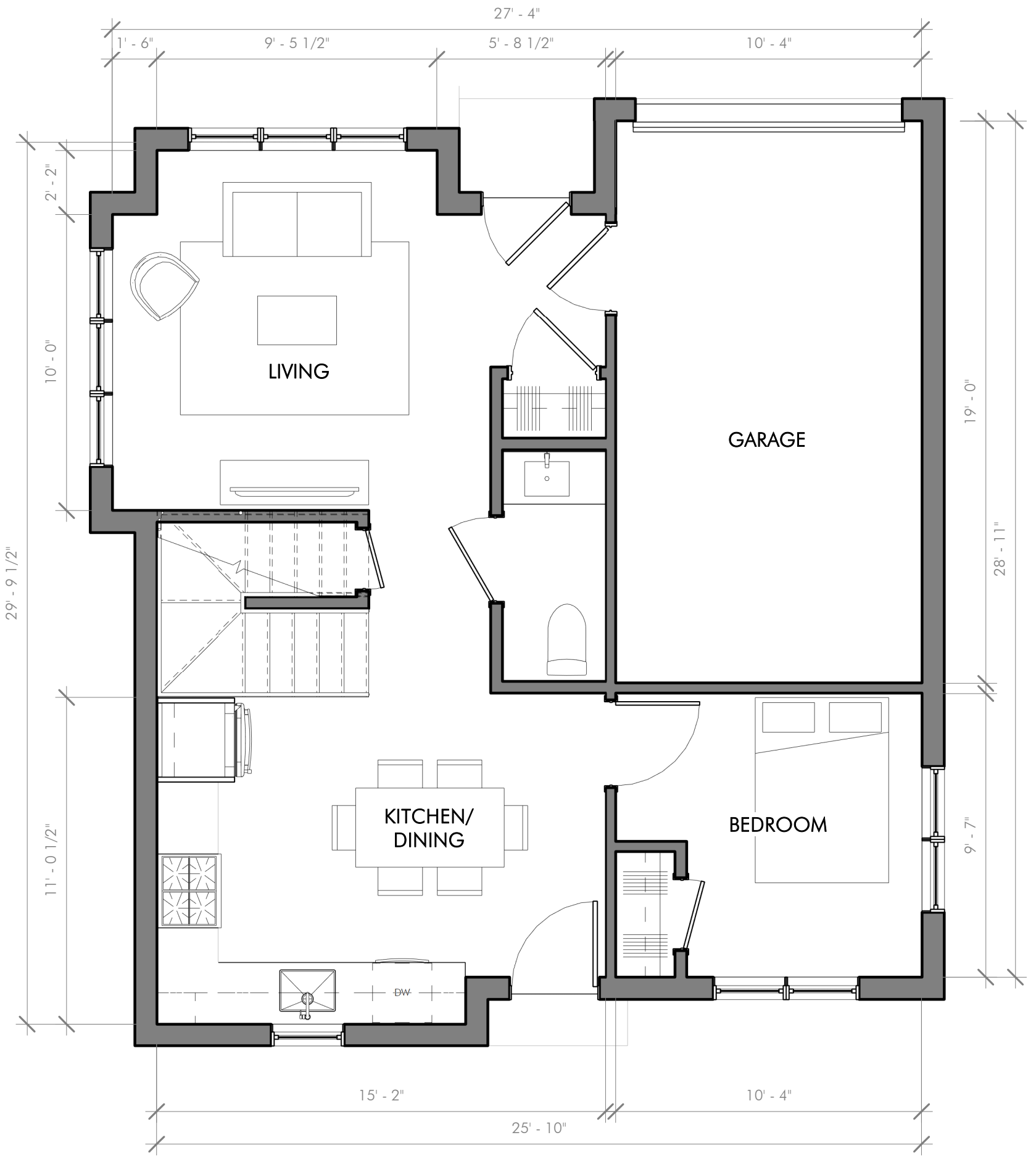
4 TYPICAL A2 UNIT PLAN - SECOND FLOOR
1/4" = 1'-0"



6 TYPICAL A2 UNIT PLAN - THIRD FLOOR
1/4" = 1'-0"



8 TYPICAL A2 UNIT PLAN - FOURTH FLOOR
1/4" = 1'-0"



9 TYPICAL B UNIT PLAN - FIRST FLOOR
1/4" = 1'-0"

ARCHITECT
EMBARC
60 K STREET, 3RD FLOOR
BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com

OWNER
SITE FEASIBILITY

CONSULTANTS

91 BEATRICE CIRCLE
BELMONT, MA
PEL SUBMISSION

REVISIONS
MARK ISSUE DATE

DRAWING INFORMATION
ISSUE: PEL SUBMISSION
DATE: AUGUST 11, 2020
PROJECT #: 20004
SCALE: 1/4" = 1'-0"

DRAWING TITLE
TYPICAL UNIT PLANS

DRAWING NUMBER
A500
copyright: EMBARC STUDIO, LLC

EMBARC

August 11, 2020

Comprehensive Land Holdings
91 Beatrice Circle
Belmont, MA 02186

Architectural Project Narrative

91 Beatrice Circle is a property located along Frontage Road/ Hinckley Way, a Route 2 Concord Turnpike frontage road, in the Belmont Hill neighborhood. This road provides quick vehicular transportation to Boston, and the site is located directly adjacent to five area MBTA bus lines. The immediate abutting land uses are single-family homes that front Hinckley Way, Clifton St, and Beatrice Circle, as well as a wooded buffer strip between the project site and the frontage road.

The proposed design has been modified to improve the transition from the single family neighborhoods to the south of the site, improve circulation and open space, and reduce the project's massing and visual impact on abutting properties. Driving these changes is the conversion of the south row of 3-story townhouses in the original proposal to a collection of four, 2-story single-family detached homes in the revised proposal.

The project's height, massing, and architectural design create a harmonious transition between the Route 2 Corridor to the north and the single-family neighborhoods of Belmont Hill to the south. The collection of single-family detached homes in the revised proposal incorporate traditional architectural elements including pitched roofs, gables, and natural clapboard materials. These elements speak to some of the more traditional aspects of Belmont's existing housing stock. At the same time, the color pallet and design motifs of the rear single family units help introduce and harmonize with the four story townhouses that abut Route 2 and reflect the more dense development of this corridor.

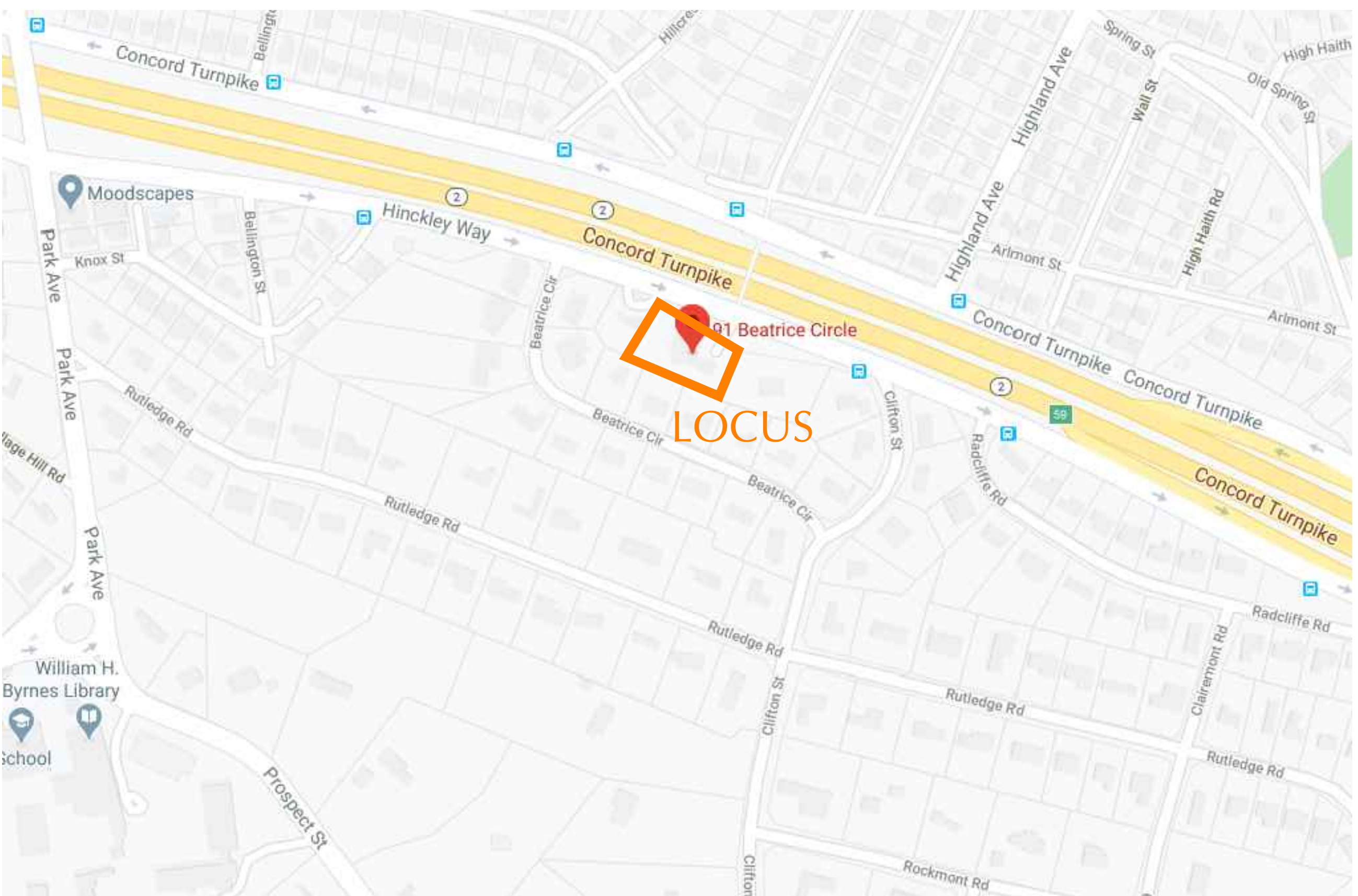
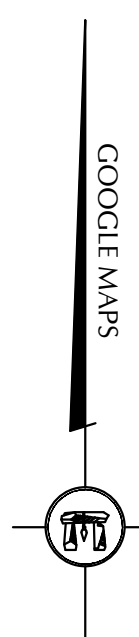
The revisions to the project also serve to pull the rear units further away from abutting properties. Residents of the single family units will enter their homes through the project's central corridor, eliminating the need for walkways along the rear of the site and allowing for more space, vegetation, and screening between the properties along Beatrice Circle. This will help support an expansive and carefully curated landscape plan. Combined with the reduced massing associated with these separate, two-story units, this change helps minimize the project's impact.

The site redesign has also reduced the grade of the entry drive and pulled our surface parking further from the road, allowing for additional visual screening from the frontage road. Traffic and site analyses also indicate that emergency vehicles will be able to effectively access the project.

PROPOSED SITE PLAN

91 BEATRICE CIRCLE BELMONT, MASSACHUSETTS

AUGUST 12, 2020

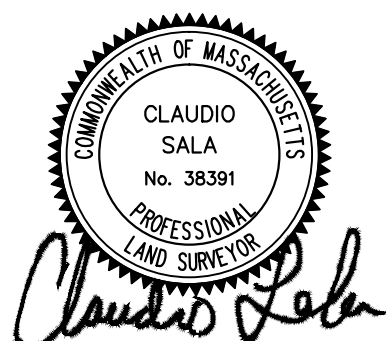


LOCUS AERIAL

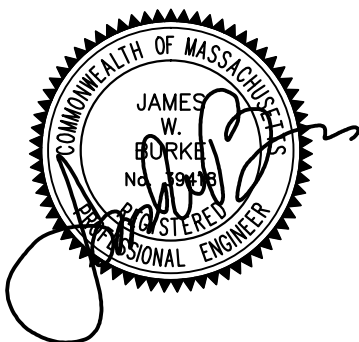
IMAGE FROM 2020 GOOGLE MAP DATA

SHEETS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 DEMOLITION
- 4 PROPOSED LAYOUT
- 5 PROPOSED GRADING
- 6 PROPOSED UTILITIES
- 7 CONSTRUCTION DETAILS
- 8 CONSTRUCTION DETAILS



REVISIONS		
NO.	DATE	COMMENT



APPLICANT

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

LEGAL

REGNANTE STERIO, LLP
401 EDGEWATER PLACE SUITE 630
WAKEFIELD, MA 01880

ARCHITECT

EMBARC STUDIO
60 K STREET
BOSTON, MA 02127

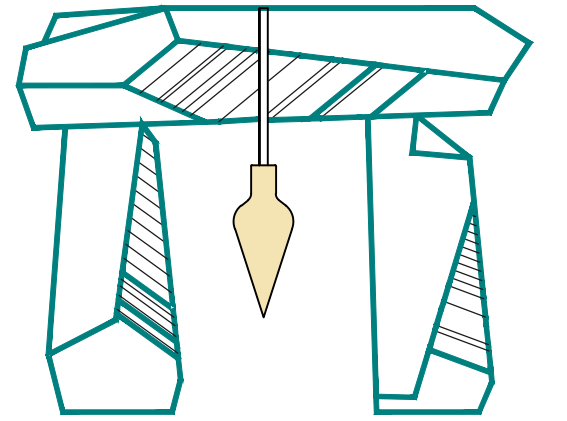
TRAFFIC

MDM TRANSPORTATION
CONSULTANTS, INC.
20 LORD ROAD SUITE 280
MARLBOROUGH, MA 01752

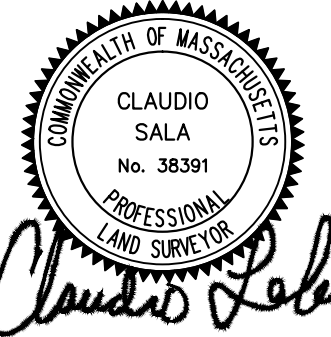
CIVIL/SURVEY

DECELLE-BURKE-SALA & ASSOCIATES, INC.
1266 FURNACE BROOK PARKWAY
SUITE 401
QUINCY, MA 02169





& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100(o) 617-405-5101(f)
www.decelle-burke-sala.com



CLAUDIO SALA, PLS

GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 92, SECTION 40B AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
- PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

EXISTING CONDITIONS

PREPARED FOR:

91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: AUGUST 12, 2020

REVISED:

JOB NUMBER: 19.085

SHEET 2 OF 8



SOIL TEST PIT DATA:

TEST PIT	1
GRD. EL.	225.0
GW. EL.	NGWO
0"	FILL, SANDY LOAM, 10YR3/2 Granular, Very Friable
10"	FILL, SANDY LOAM, 10YR3/4 Massive, Friable
48"	Apb, SANDY LOAM, 10YR3/2 Granular, Very Friable
54"	Bw, SANDY LOAM, 10YR4/6 Massive, Friable
88"	R, Ledge

TEST PIT	2
GRD. EL.	224.7
GW. EL.	NGWO
0"	FILL, SANDY LOAM, 10YR3/2 Granular, Very Friable
11"	FILL, SANDY LOAM, 10YR3/4 Massive, Friable
41"	Apb, SANDY LOAM, 10YR3/2 Granular, Very Friable
50"	Bw, SANDY LOAM, 7.5YR4/4 Massive, Friable
60"	R, Ledge

TEST PIT	3
GRD. EL.	229.8
GW. EL.	NGWO
0"	Ap, SANDY LOAM, 10YR3/3 Granular, Very Friable
12"	Bw, SANDY LOAM, 10YR4/6 Massive, Friable
37"	C ₃ FINE LOAMY SAND, 5Y5/2 Massive, Friable Some gravel
77"	C ₂₈ FINE LOAMY SAND, 5Y5/2 Massive, Firm Very gravelly
99"	

DATE:

12/5/2019

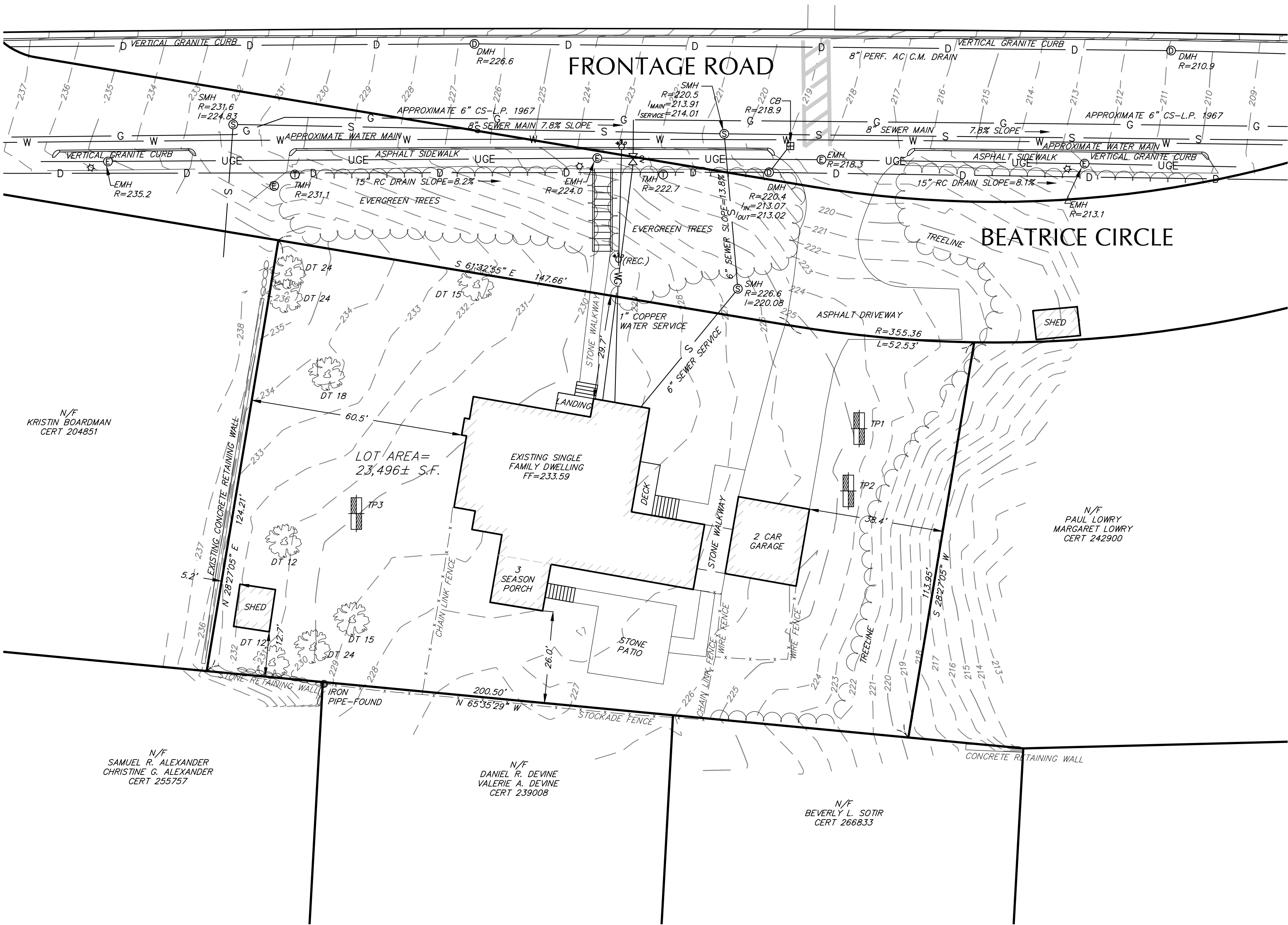
TEST BY:

KAMERON CAMPBELL, SE #14227

INDICATES ESTIMATED SEASONAL HIGH GROUND WATER

INDICATES OBSERVED GROUND WATER

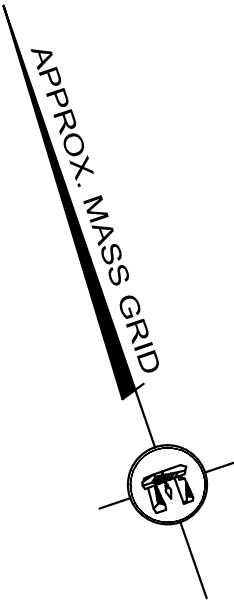
CONCORD TURNPIKE



LEGEND:

EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- STOCKADE FENCE
- TEST PIT
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR



DEMOLITION & CONSTRUCTION NOTES:

THE CONTRACTOR SHALL PLACE A 6' HIGH TEMPORARY SAFETY FENCE AROUND THE SITE PRIOR TO THE DEMOLITION ON SITE.

A WATER TRUCK SHALL BE ON-SITE DURING THE DEMOLITION PROCESS TO MINIMIZE FUGITIVE DUST.

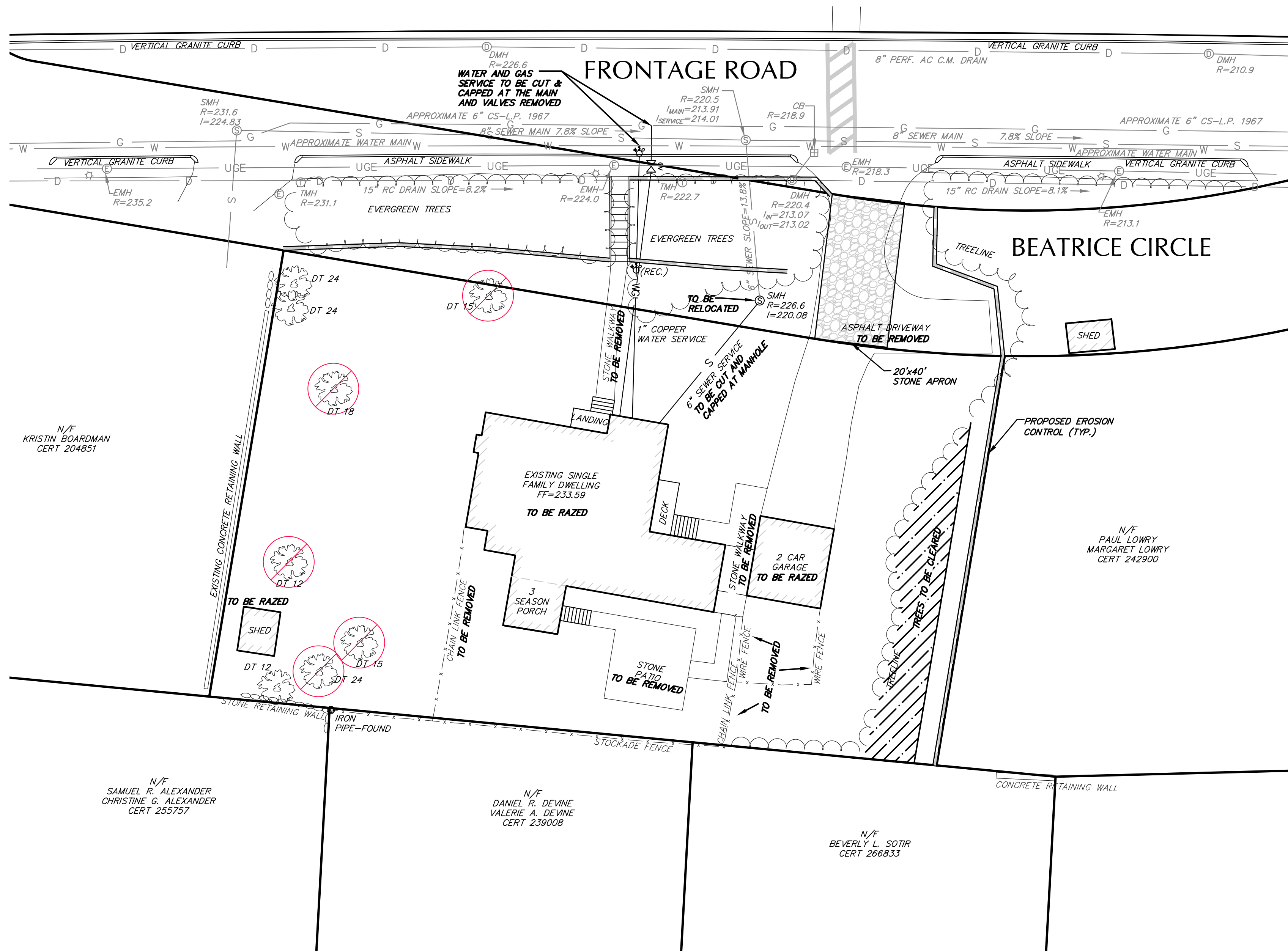
A CRUSHED STONE APRON SHALL BE CONSTRUCTED AS SHOWN TO MINIMIZE TRUCK TIRES LEAVING SEDIMENT ON THE ROADWAYS.

ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

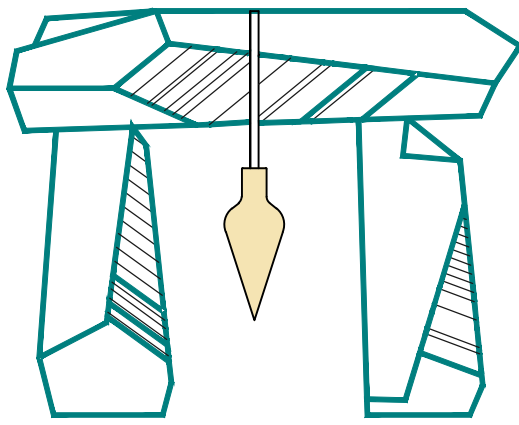
THE SITE AND THE CRUSHED STONE APRON SHALL BE GRADED TO PREVENT ANY SITE RUNOFF FROM FLOWING OFF SITE.

CONSTRUCTION HOURS SHALL BE FROM 7:00AM TO 5:00PM MONDAY THROUGH FRIDAY, 8:00AM TO 4:00PM ON SATURDAYS. ALL CONSTRUCTION AND DELIVERIES ARE PROHIBITED SUNDAYS UNLESS APPROVED BY THE BUILDING COMMISSIONER.

CONCORD TURNPIKE

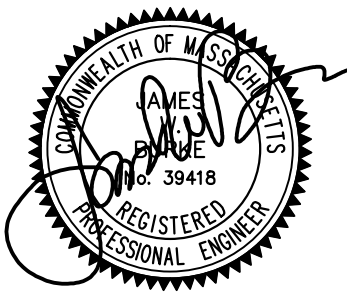


DeCelle-Burke-Sala



& Associates, Inc.

1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100(o) 617-405-5101(f)
www.decelle-burke-sala.com



JAMES W BURKE, P.E.

GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
- DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 62, SECTION 40B AT TEL 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-00416E, DATED JUNE 4, 2010.
- PARCEL IS ZONED SR-A.

- EXISTING:
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 - CHAIN LINK FENCE
 - TEST PIT
 - HAND HOLES FOR UTILITIES
 - LIGHT POLE
 - FIRST FLOOR
 - TOP OF FOUNDATION
 - GARAGE FLOOR
 - SECOND FLOOR
 - EROSION CONTROL

- PROPOSED:
- LOCUS PROPERTY LINE
 - TREE LINE
 - SEWER MANHOLE (SMH)
 - DRAIN MANHOLE (DMH)
 - CATCH BASIN (CB)
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 - GARAGE FLOOR
 - SECOND FLOOR
 - EROSION CONTROL

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

DEMOLITION

PREPARED FOR:

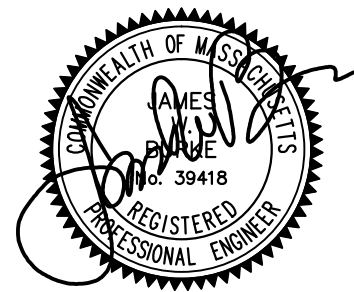
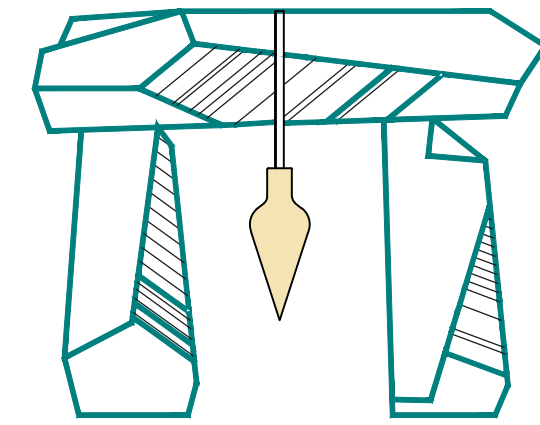
91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: AUGUST 12, 2020

REVISED:

JOB NUMBER: 19.085 SHEET 3 OF 8

SCALE: 1"=20'



JAMES W BURKE, P.E.

GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
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DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 405 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
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- PARCEL IS ZONED SR-A.
- FOR PROPOSED BUILDING DIMENSIONS SEE ARCHITECTS PLAN TITLED "91 BEATRICE CIRCLE, BELMONT, MA, PEL SUBMISSION" DATED AUGUST 11, 2020 BY EMBARC.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED LAYOUT

PREPARED FOR:

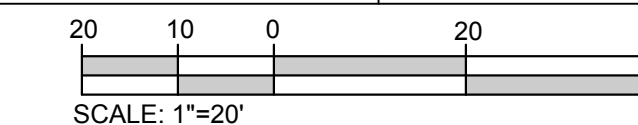
91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: AUGUST 12, 2020

REVISED:

JOB NUMBER: 19.085

SHEET 4 OF 8



ZONING DISTRICT: SR-A			
DIMENSIONAL REQUIREMENTS	EXISTING	PROPOSED	
MINIMUM LOT AREA (SQ.FT.)	25,000	23,496	23,496
MINIMUM FRONTAGE (FT.)	125	200	200
MAX. BUILDING HEIGHT (FT.)	36		
MIN. SETBACKS (FT.)			
FRONT	30	29.7'	8.4'
SIDE	15	38.4'	12.2'
REAR	40	26.0'	11.0'
MAXIMUM LOT COVERAGE	20%	14.5%	33.0%
MINIMUM OPEN SPACE	50%	81.4%	34.3%

LEGEND:

EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
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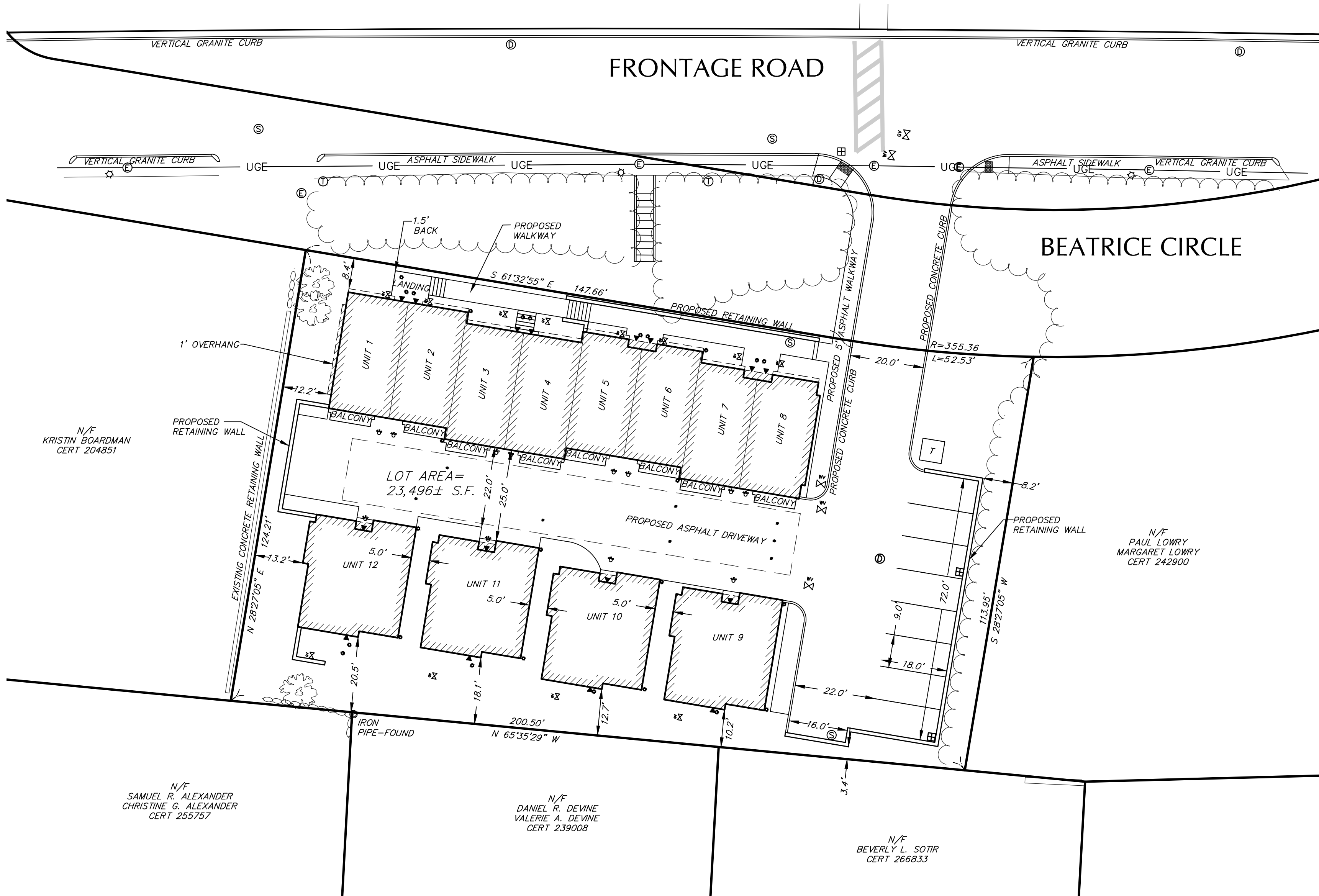
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CONCORD TURNPIKE

FRONTAGE ROAD

BEATRICE CIRCLE



APPROX. MASS GRID



CONCORD TURNPIKE

FRONTAGE ROAD

BEATRICE CIRCLE

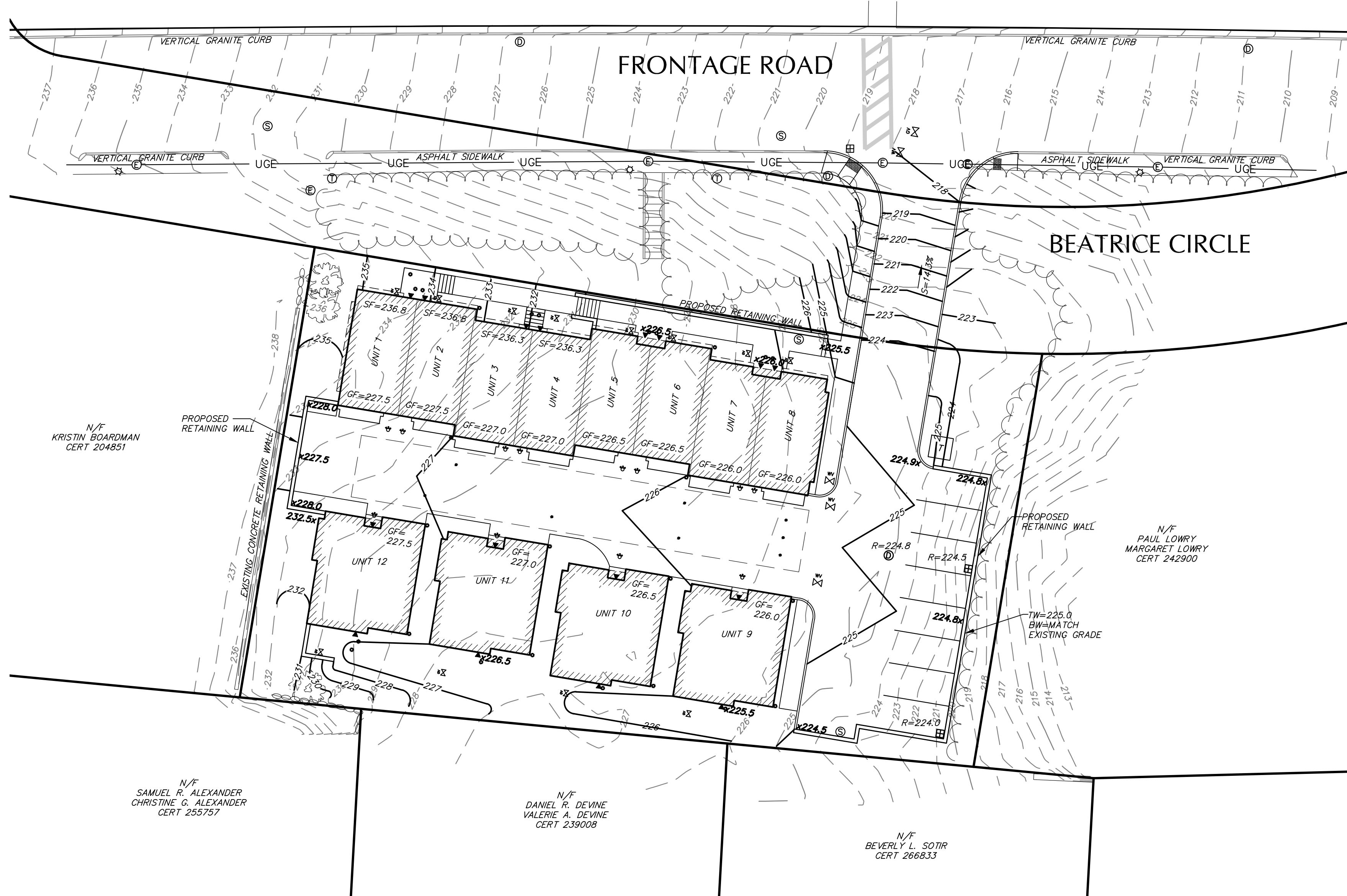
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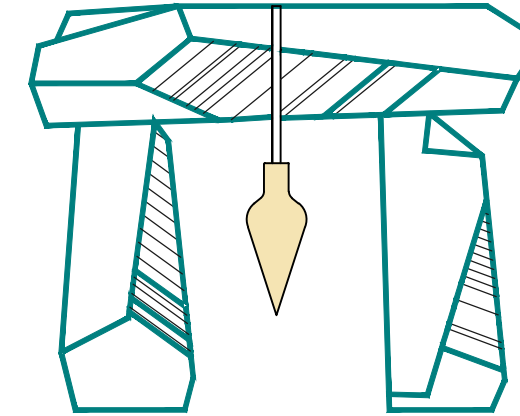
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PROPOSED:

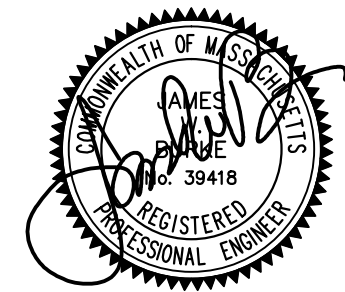
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- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- CHAIN LINK FENCE
- TEST PIT
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- FIRST FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- SECOND FLOOR
- EROSION CONTROL



DeCelle-Burke-Sala



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JAMES W BURKE, P.E.

GENERAL NOTES:

- LOCUS: ASSESSORS MAP 51 BLOCK LOT 36
RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
DEED REFERENCE: CERTIFICATE #271959
PLAN REFERENCE: LC PLAN 2367-12
- ELEVATIONS REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE, CHAPTER 82, SECTION 409 AT TEL: 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
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- PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED GRADING

PREPARED FOR:

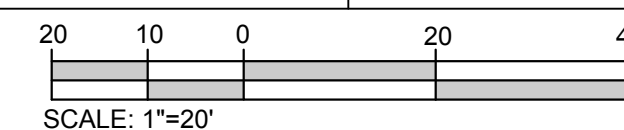
91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

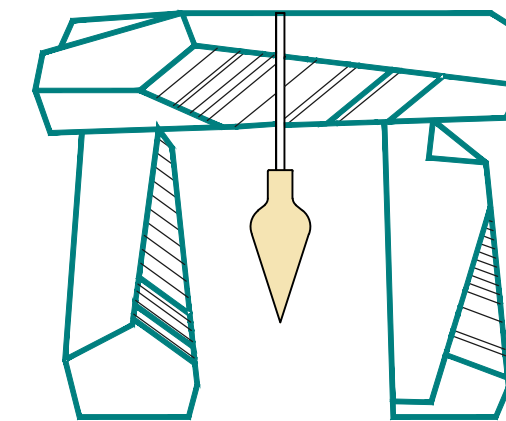
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REVISED:

JOB NUMBER: 19.085

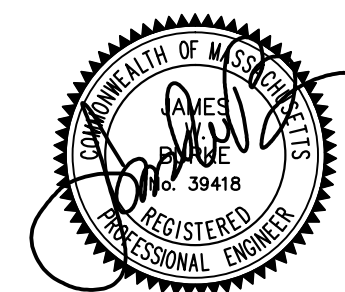
SHEET 5 OF 8





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PLAN REFERENCE: LC PLAN 2367-12
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4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON PLAN 250107-00416E, DATED JUNE 4, 2010.
5. PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

PROPOSED UTILITIES

PREPARED FOR:

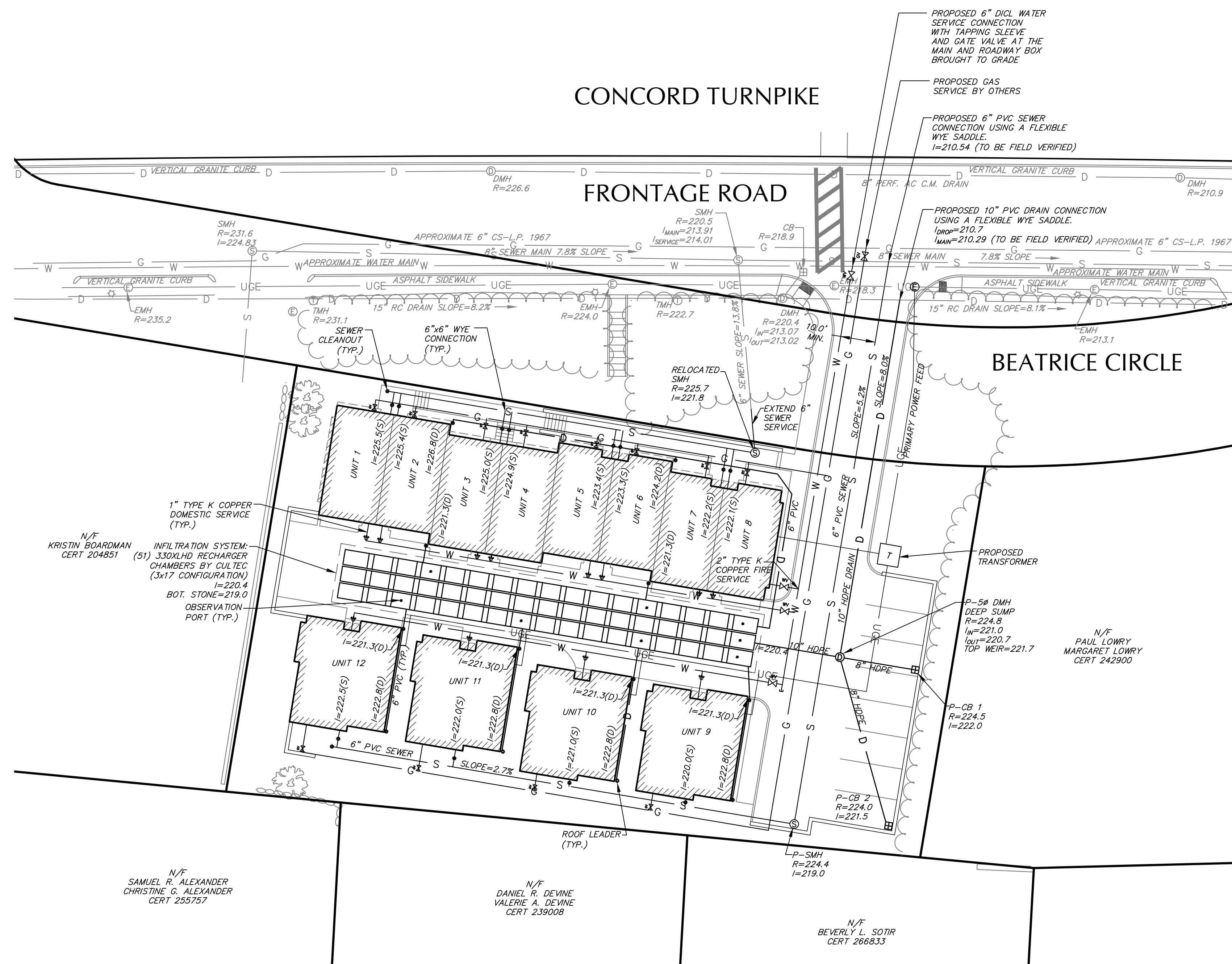
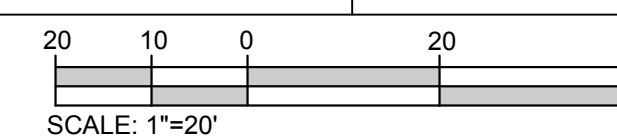
91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: AUGUST 12, 2020

REVISÉ:

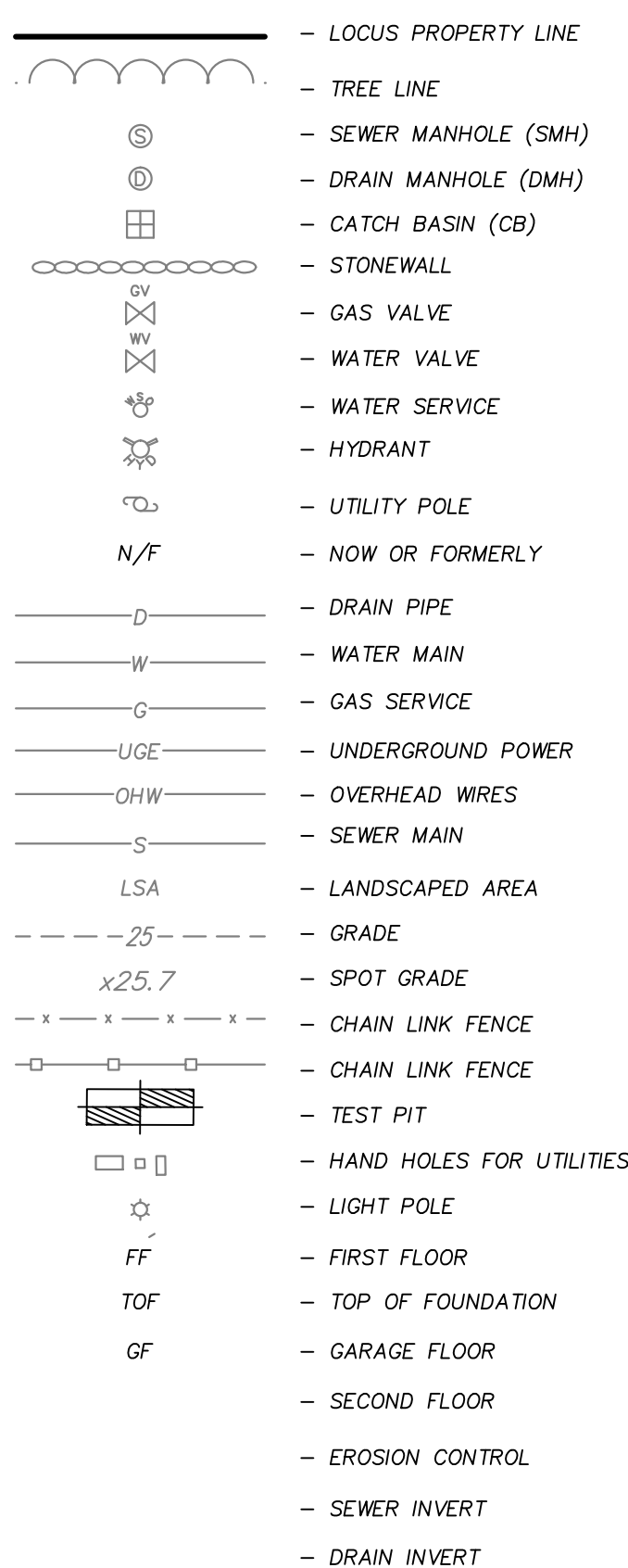
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SHEET 6 OF 8

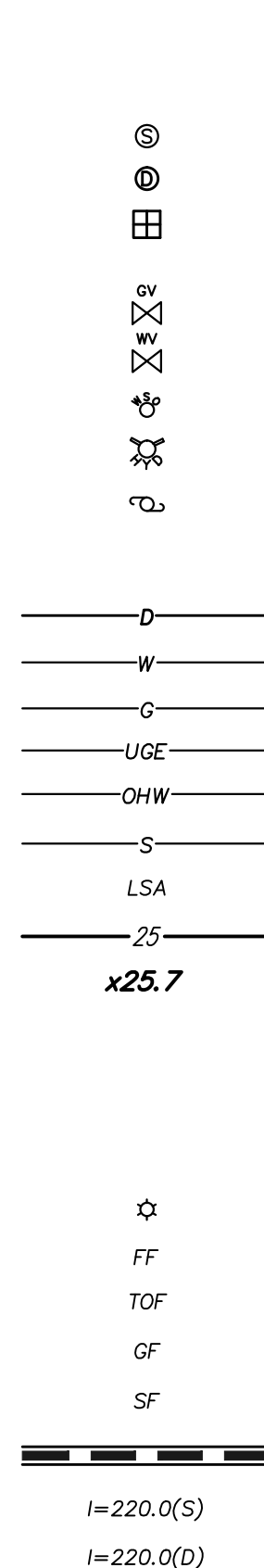


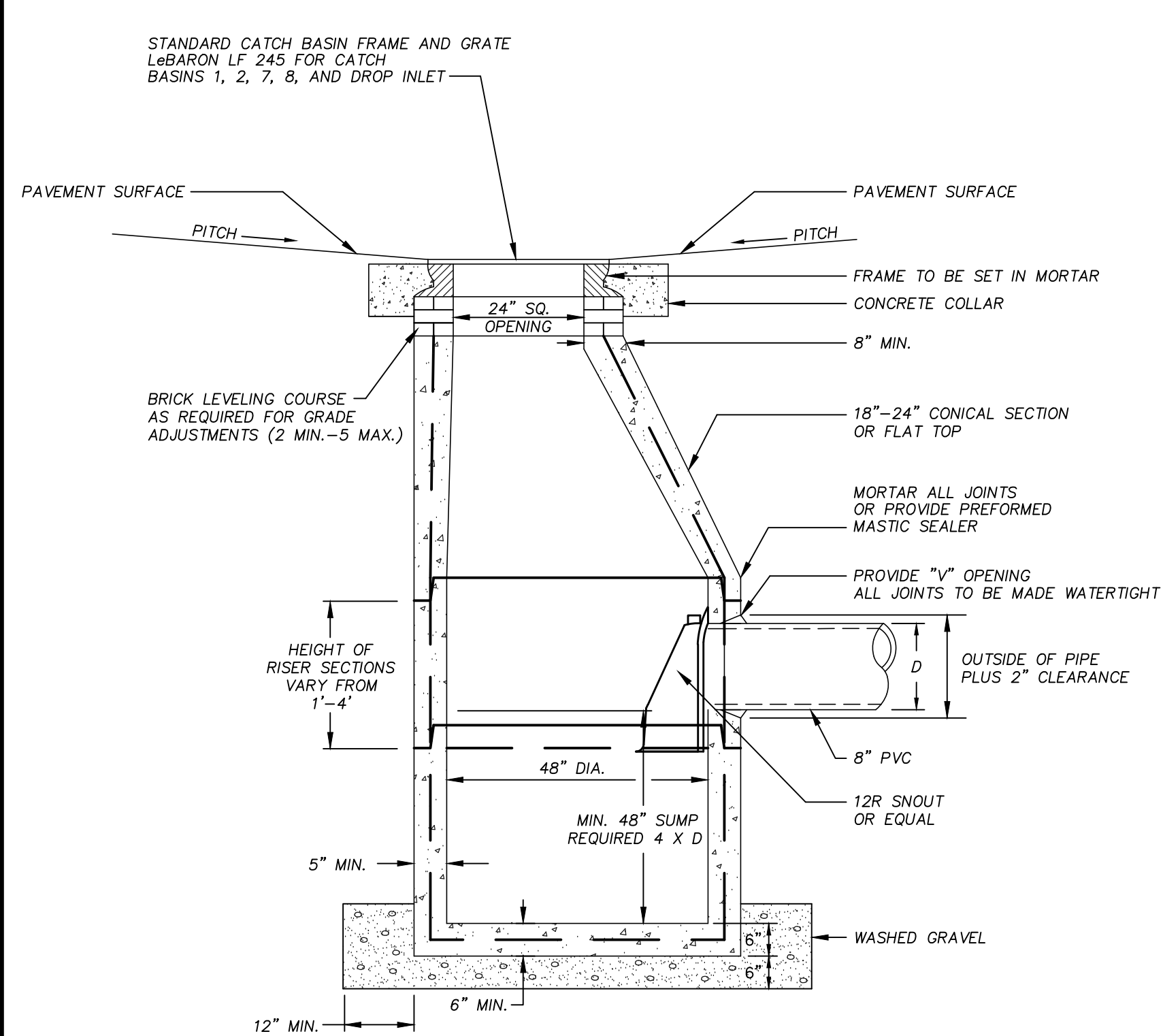
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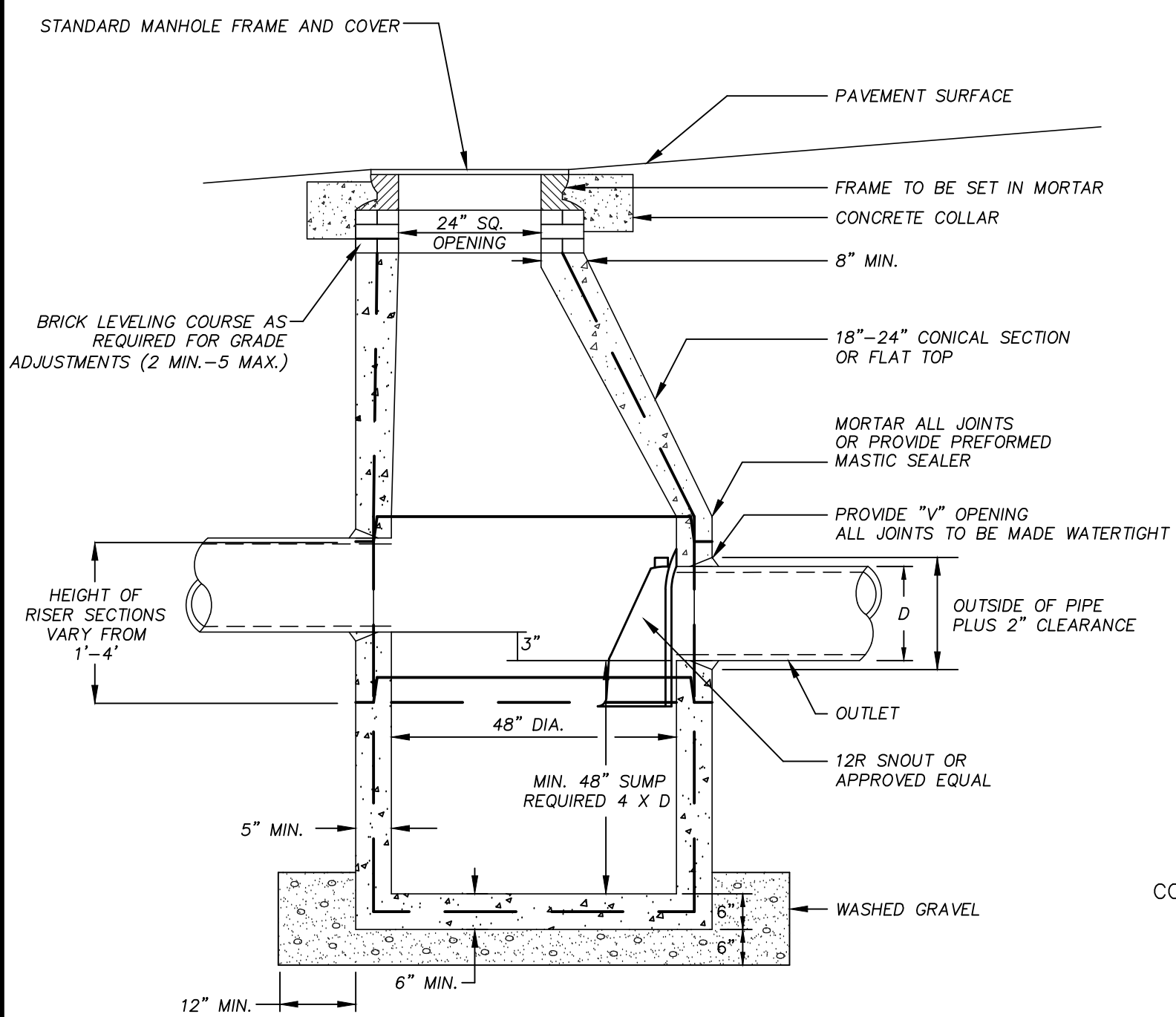


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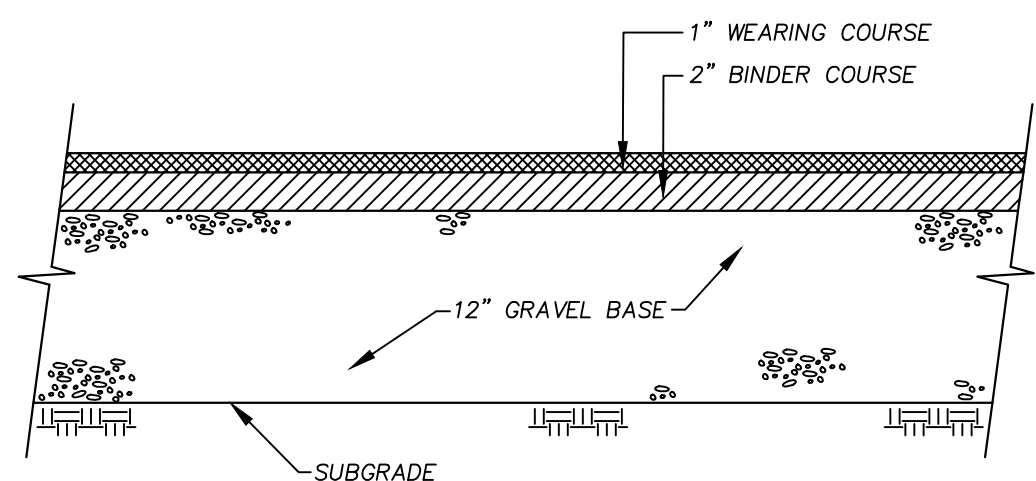




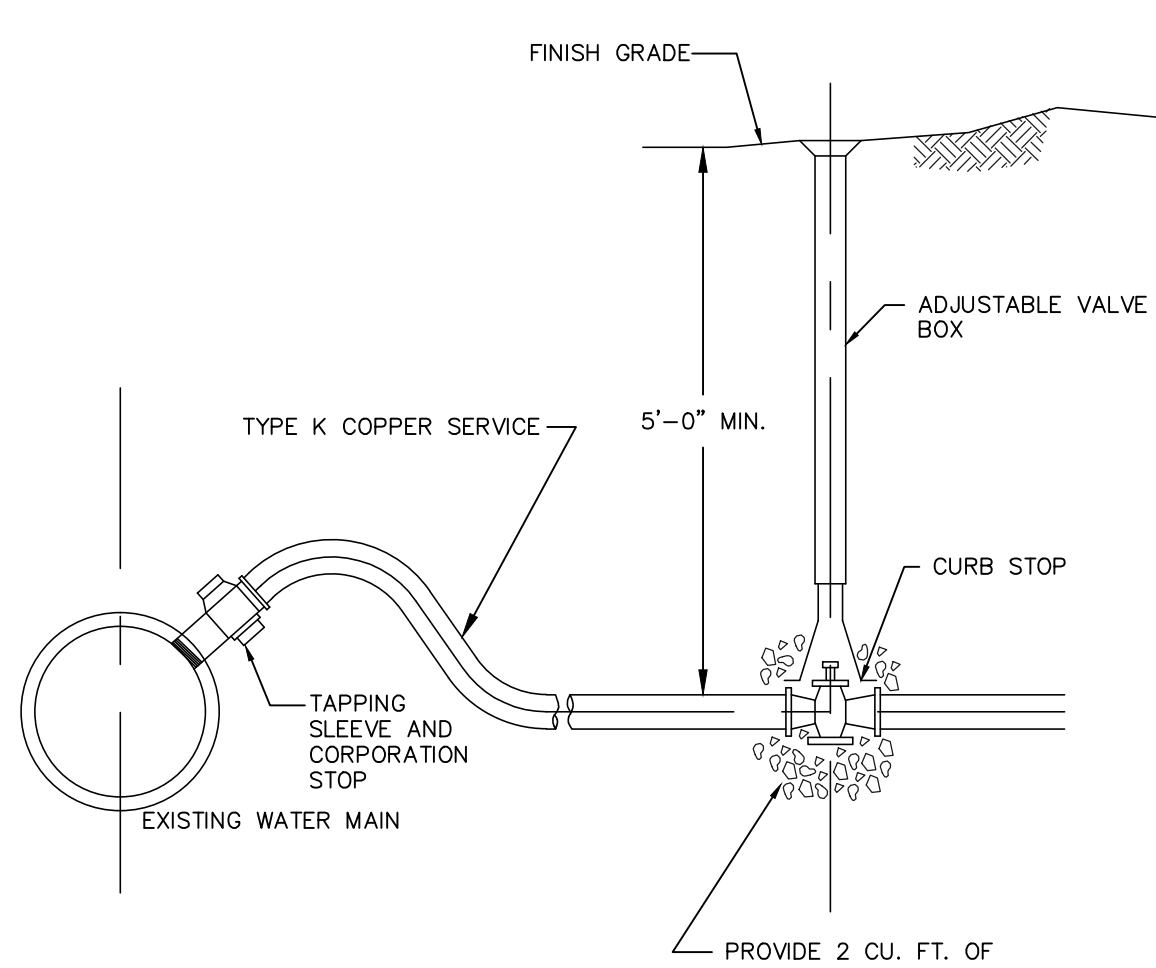
PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



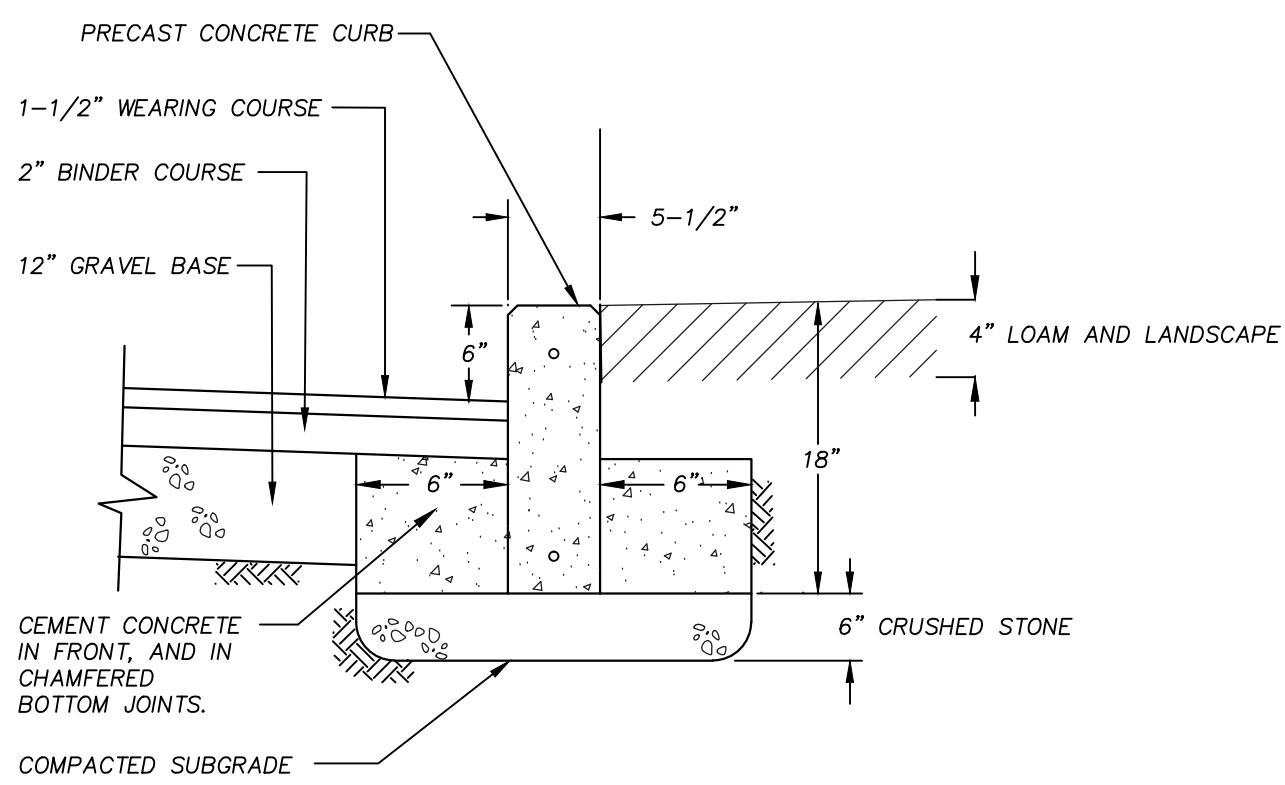
DEEP SUMP DRAIN MANHOLE
NOT TO SCALE



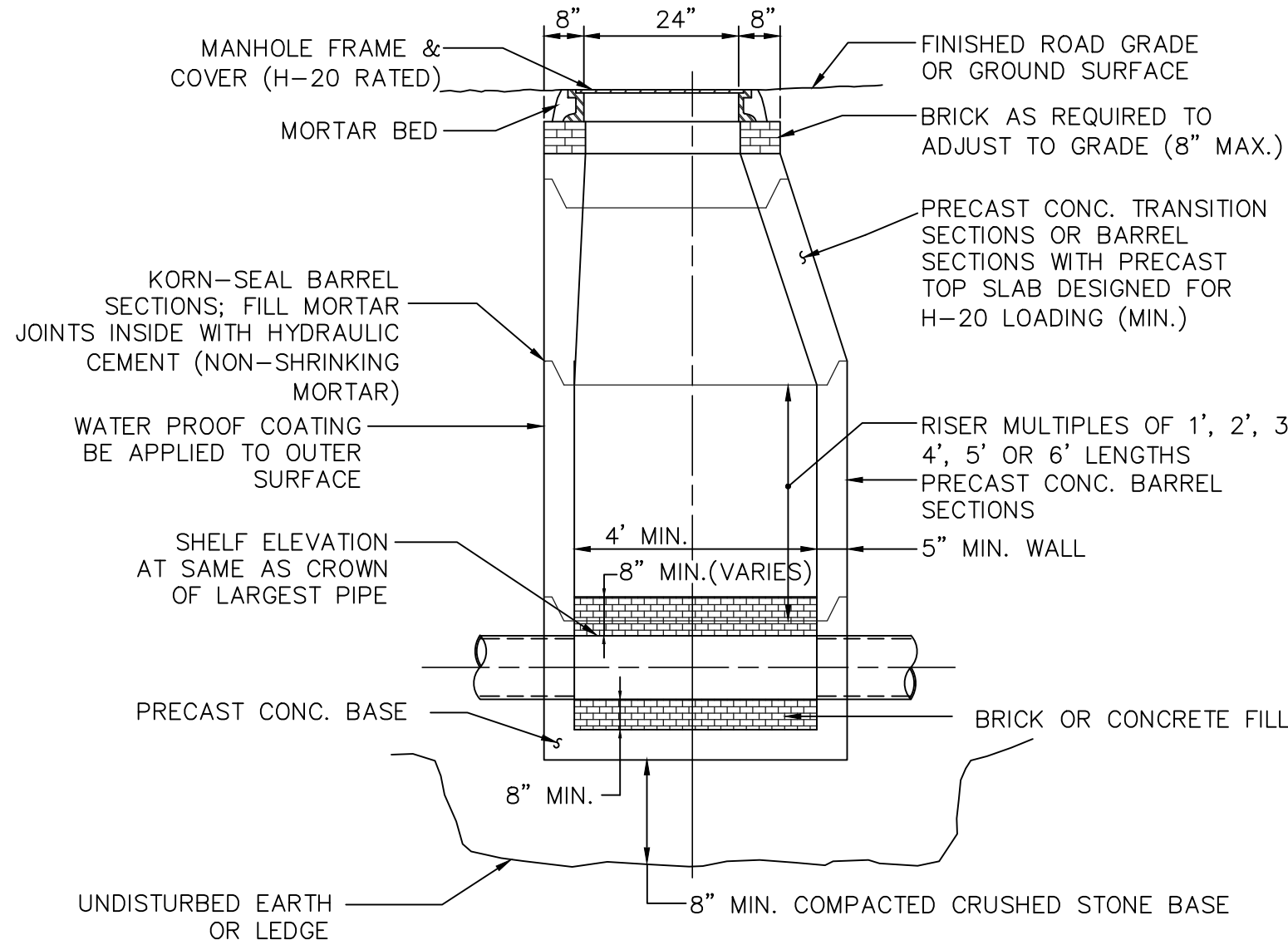
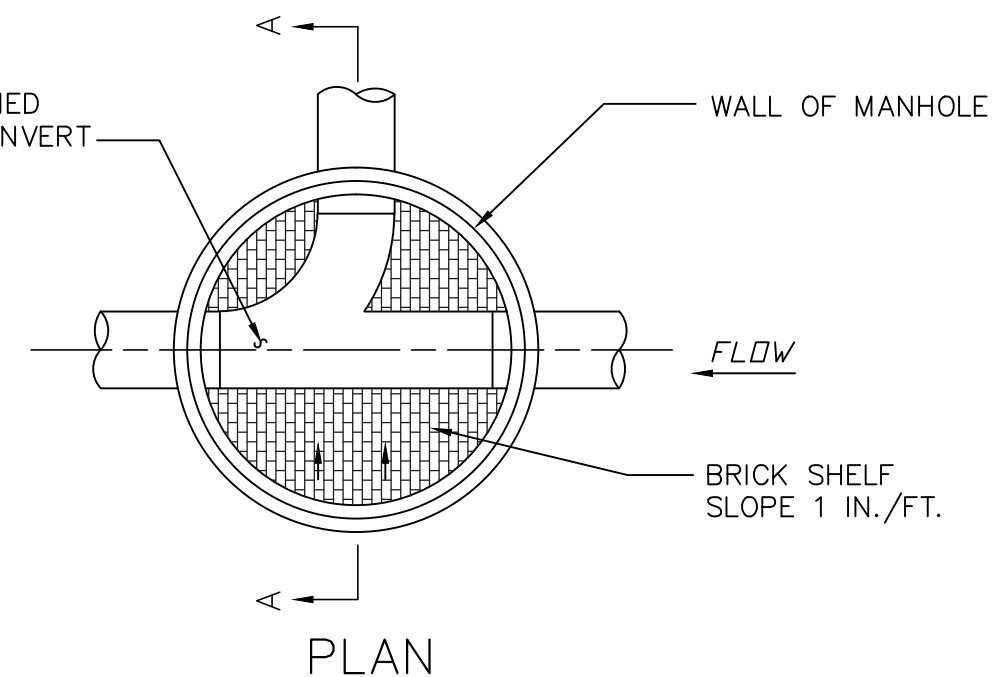
PAVEMENT SECTION
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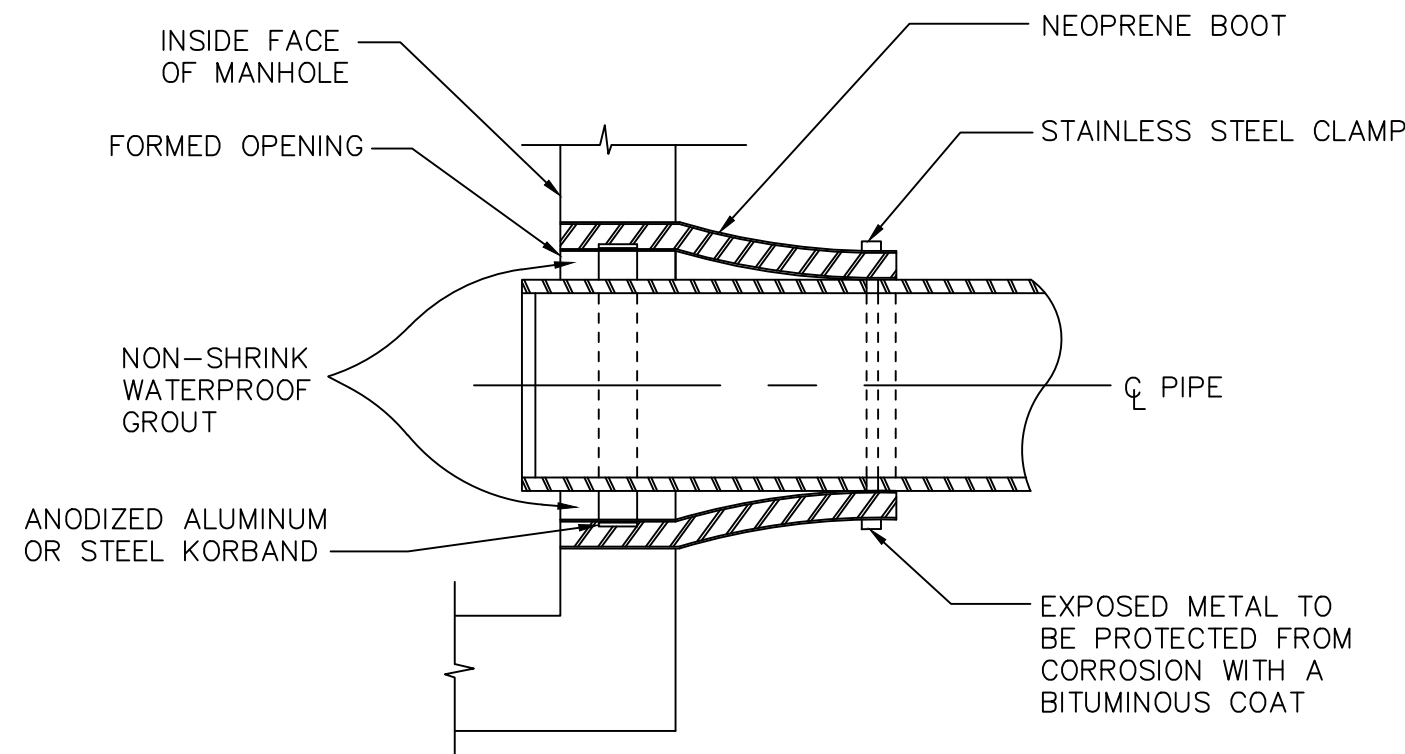
1" - 2" WATER SERVICE CONNECTION
NOT TO SCALE



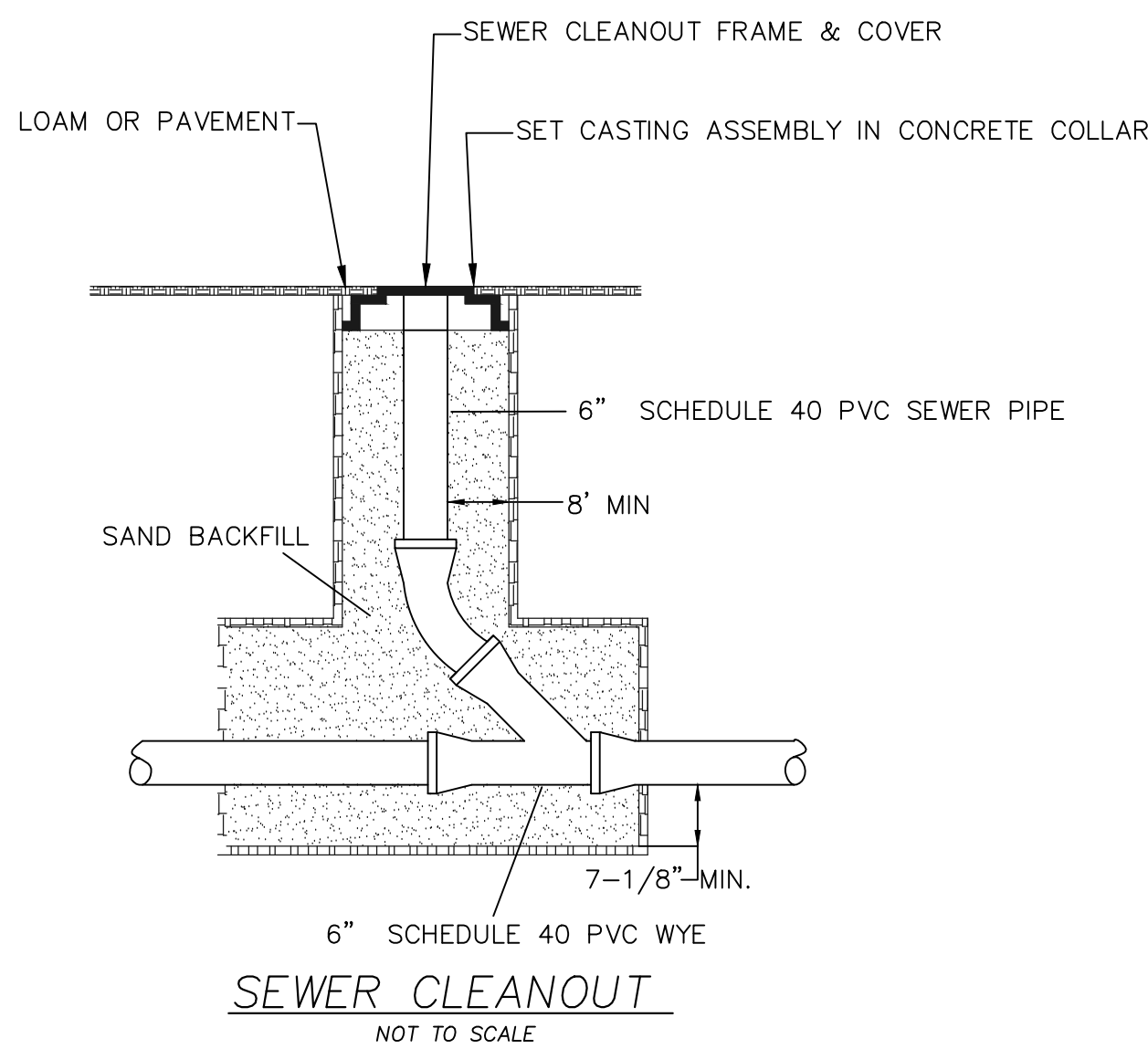
PRECAST CONCRETE CURB
NOT TO SCALE



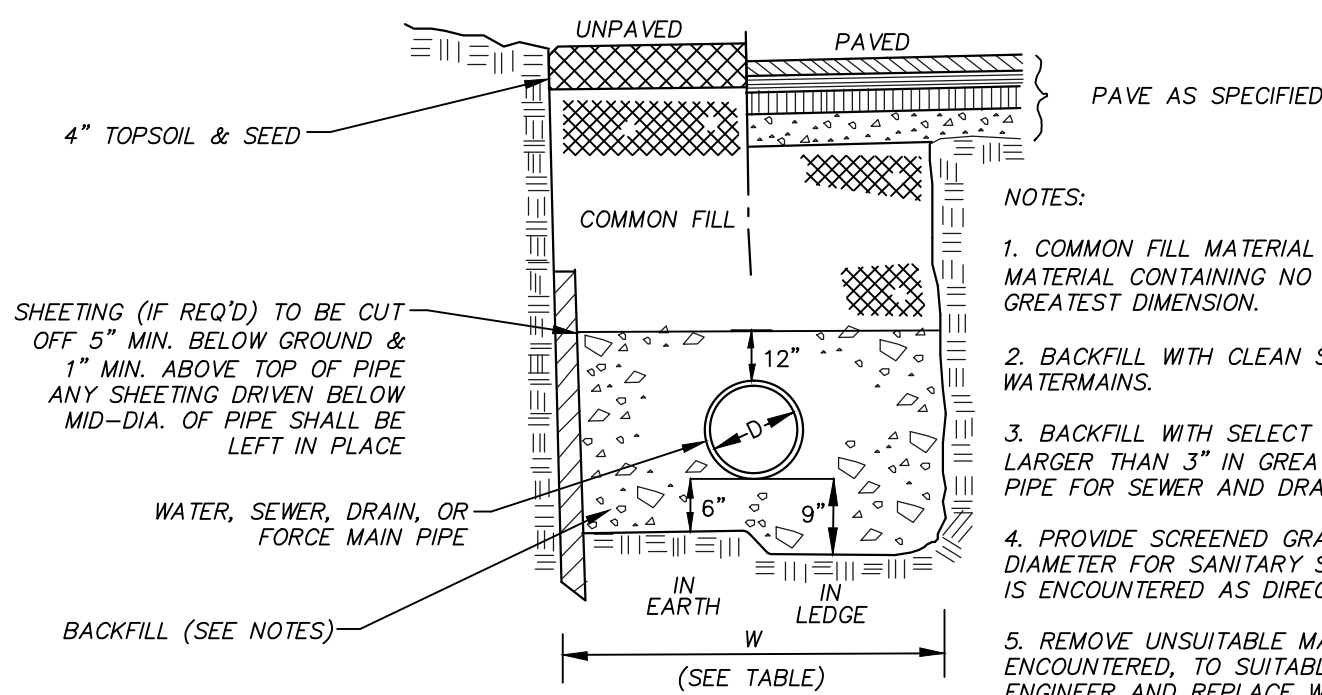
TYPICAL PRECAST SEWER MANHOLE
NOT TO SCALE



NEOPRENE BOOT CONNECTION
NOT TO SCALE



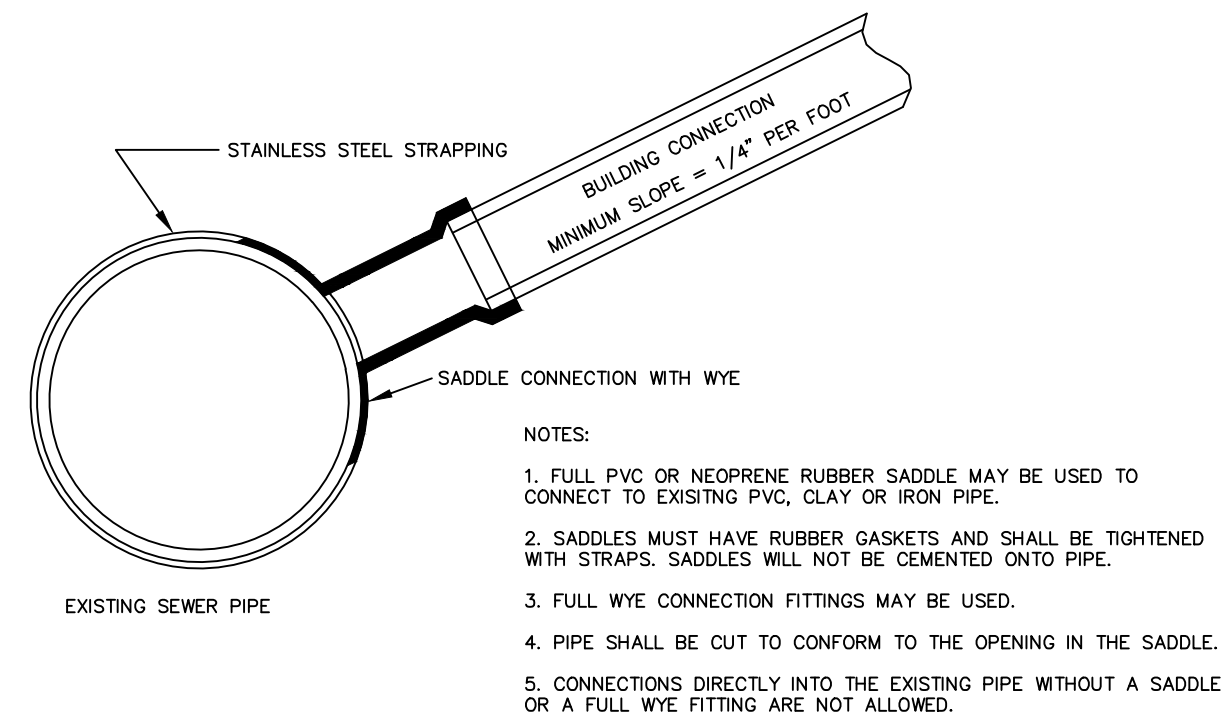
SEWER CLEANOUT
NOT TO SCALE



TRENCH WIDTH		
D DIAMETER OF PIPE	W UNSHEETED	W SHEETED
1" TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'

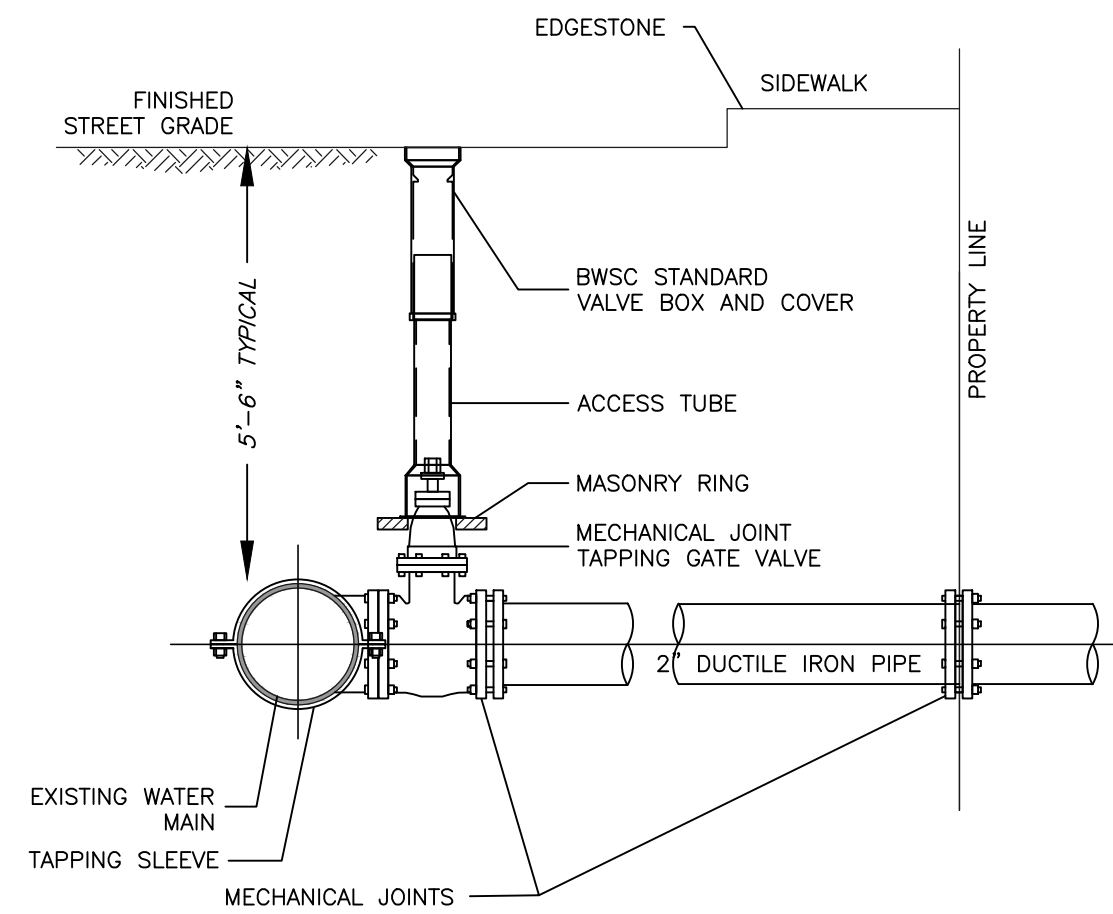
- NOTES:
1. ALL TRENCH CONSTRUCTION TO CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
 2. COMPACT FILL AND TAMP PIPE TO 93% MAX. DENSITY UNLESS OTHERWISE SPECIFIED.

TYPICAL TRENCH SECTIONS
NOT TO SCALE

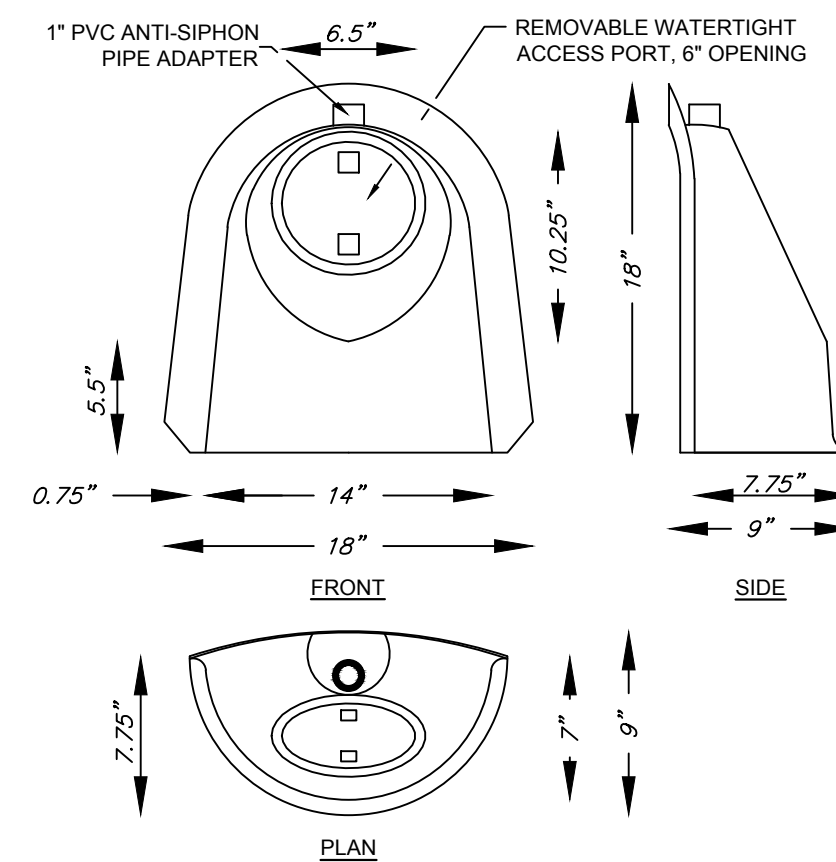


SEWER SADDLE CONNECTION
NOT TO SCALE

- NOTES:
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
 - USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
 - SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

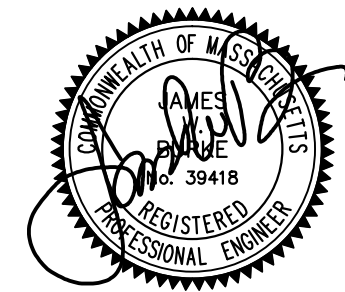


6" WATER SERVICE CONNECTION
NOT TO SCALE



12R SNOUT
NOT TO SCALE

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JAMES W. BURKE, P.E.

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 2. ELEVATIONS REFER TO NAVD-88.
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 5. PARCEL IS ZONED SR-A.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
91 BEATRICE CIRCLE
BELMONT, MASS.

PLAN TITLE:

CONSTRUCTION DETAILS

PREPARED FOR:

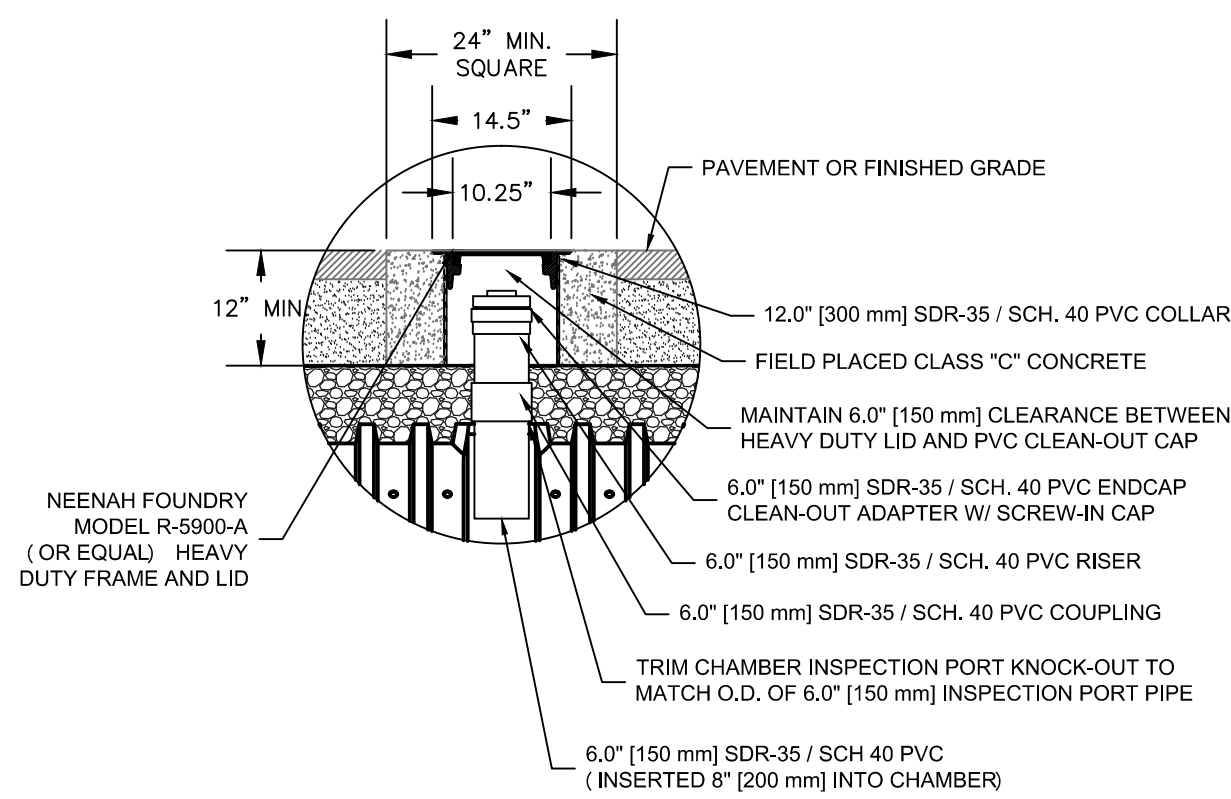
91 BEATRICE CIRCLE LLC
c/o REGNANTE STERIO
401 EDGEWATER PL, SUITE 630
WAKEFIELD, MA 01880

DATE: AUGUST 12, 2020

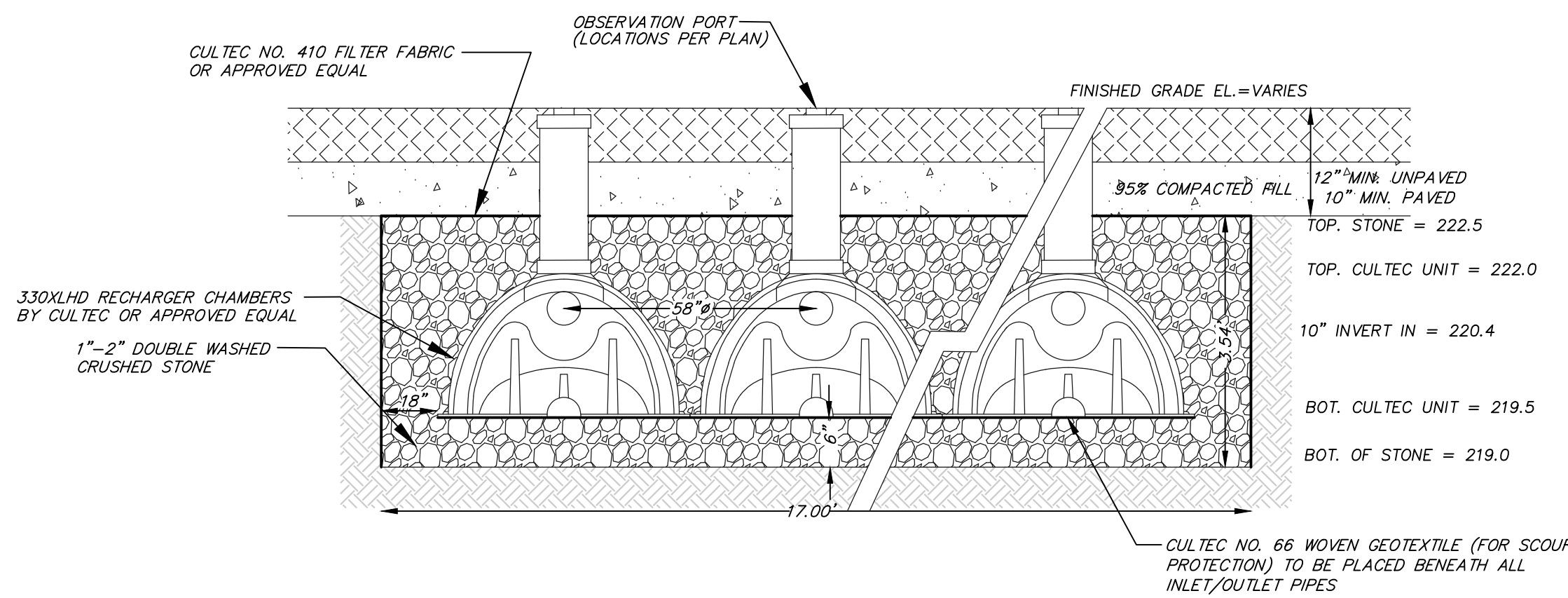
REVISED:

JOB NUMBER: 19.085

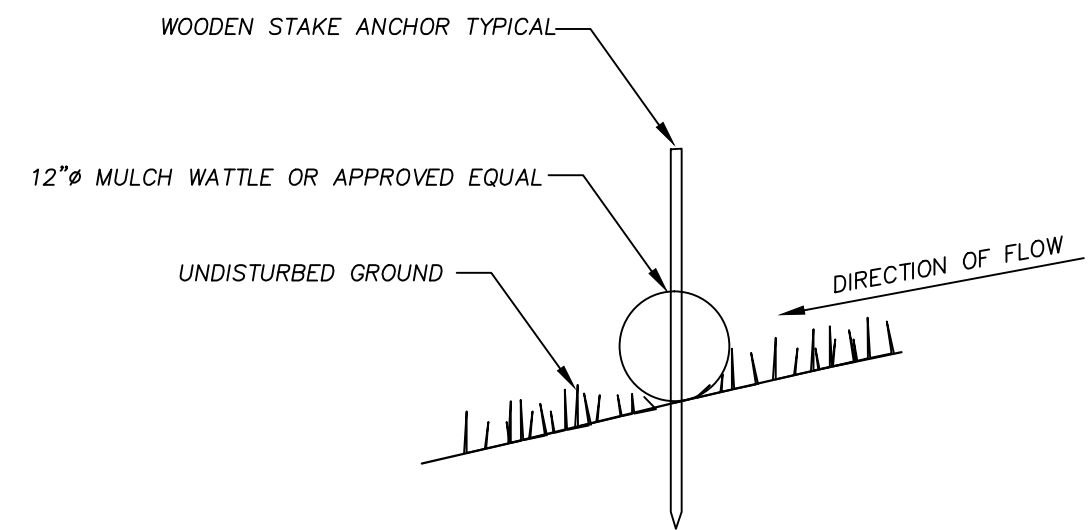
SHEET 7 OF 8



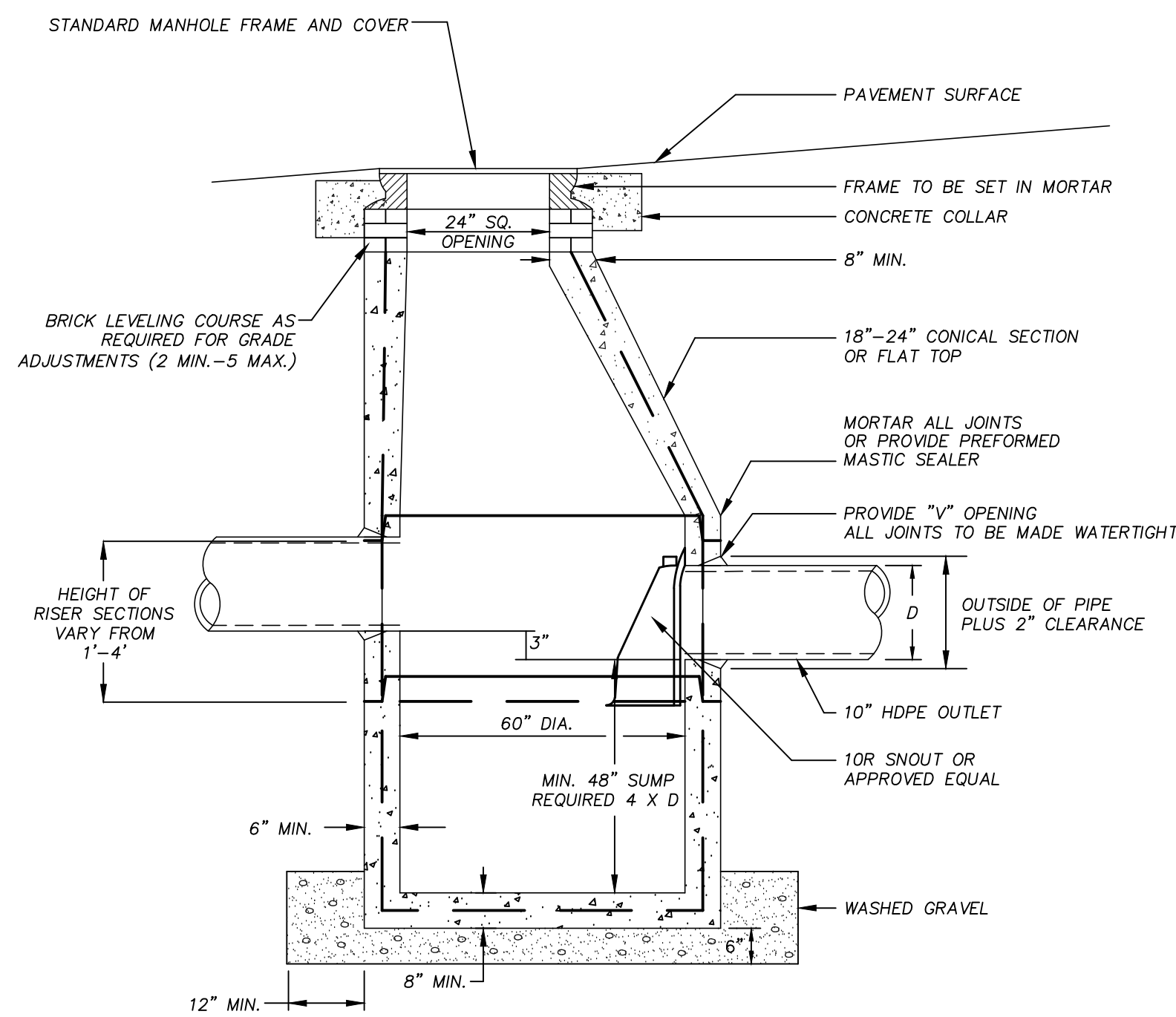
INSPECTION PORT UNDER PAVEMENT
NOT TO SCALE



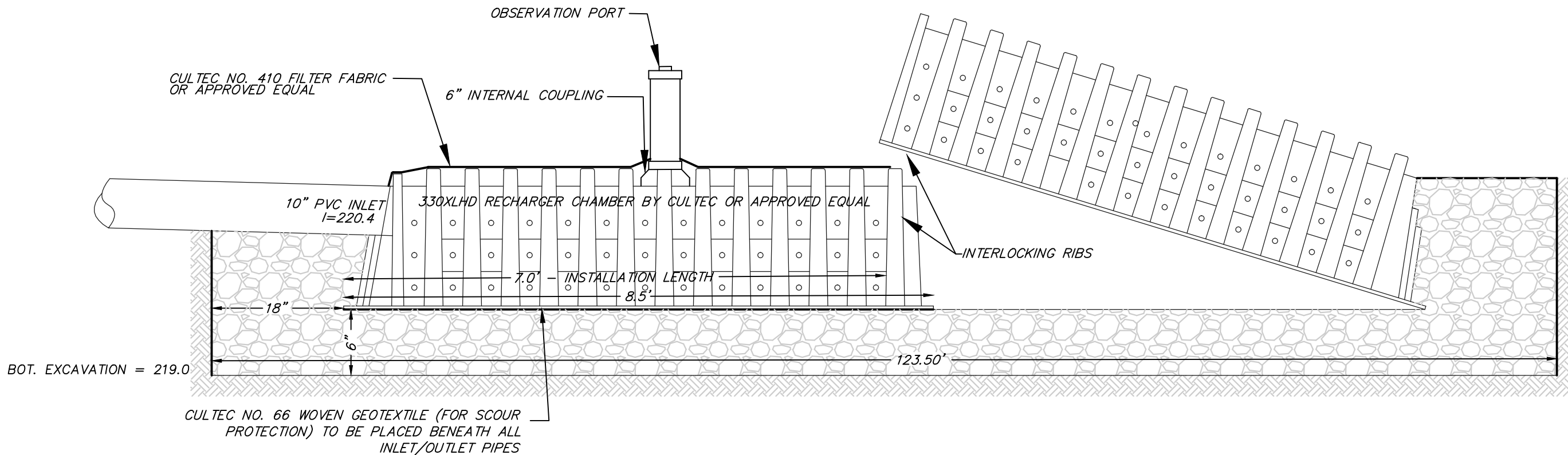
CULTEC CHAMBER TYPICAL SECTION
NOT TO SCALE



MULCH WATTLE OR EQUIVALENT
NOT TO SCALE



DEEP SUMP DRAIN MANHOLE
NOT TO SCALE



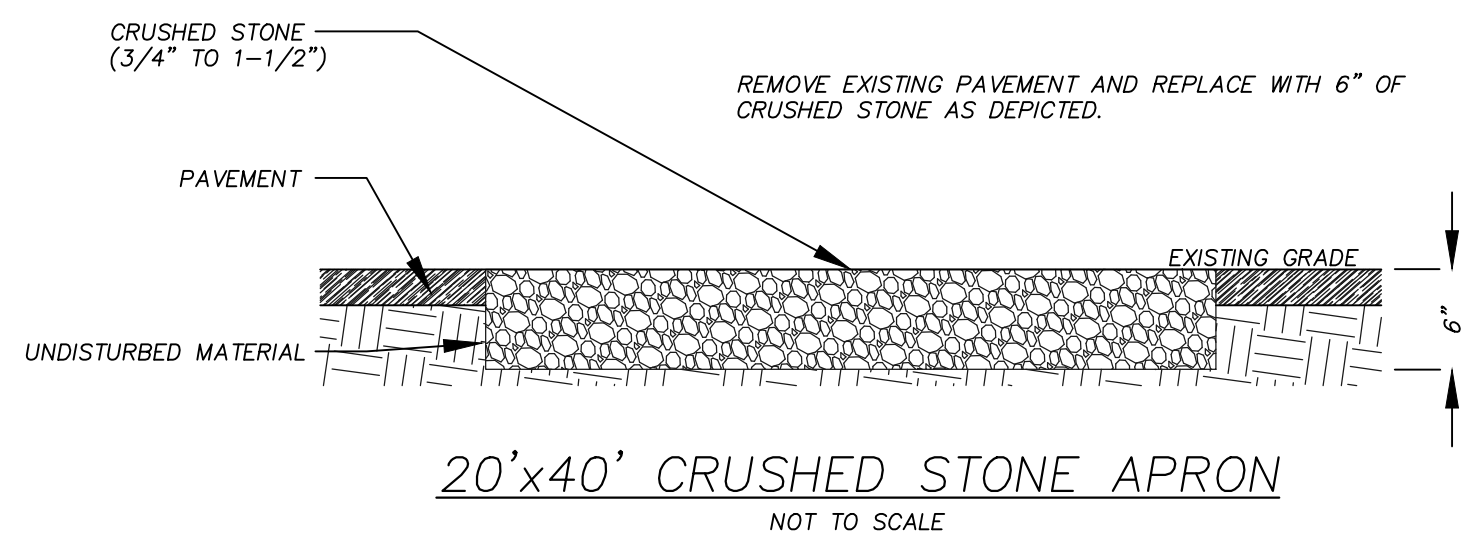
CULTEC CHAMBER TYPICAL PROFILE
NOT TO SCALE

OBSERVATION PORT INSTALLATION NOTES:

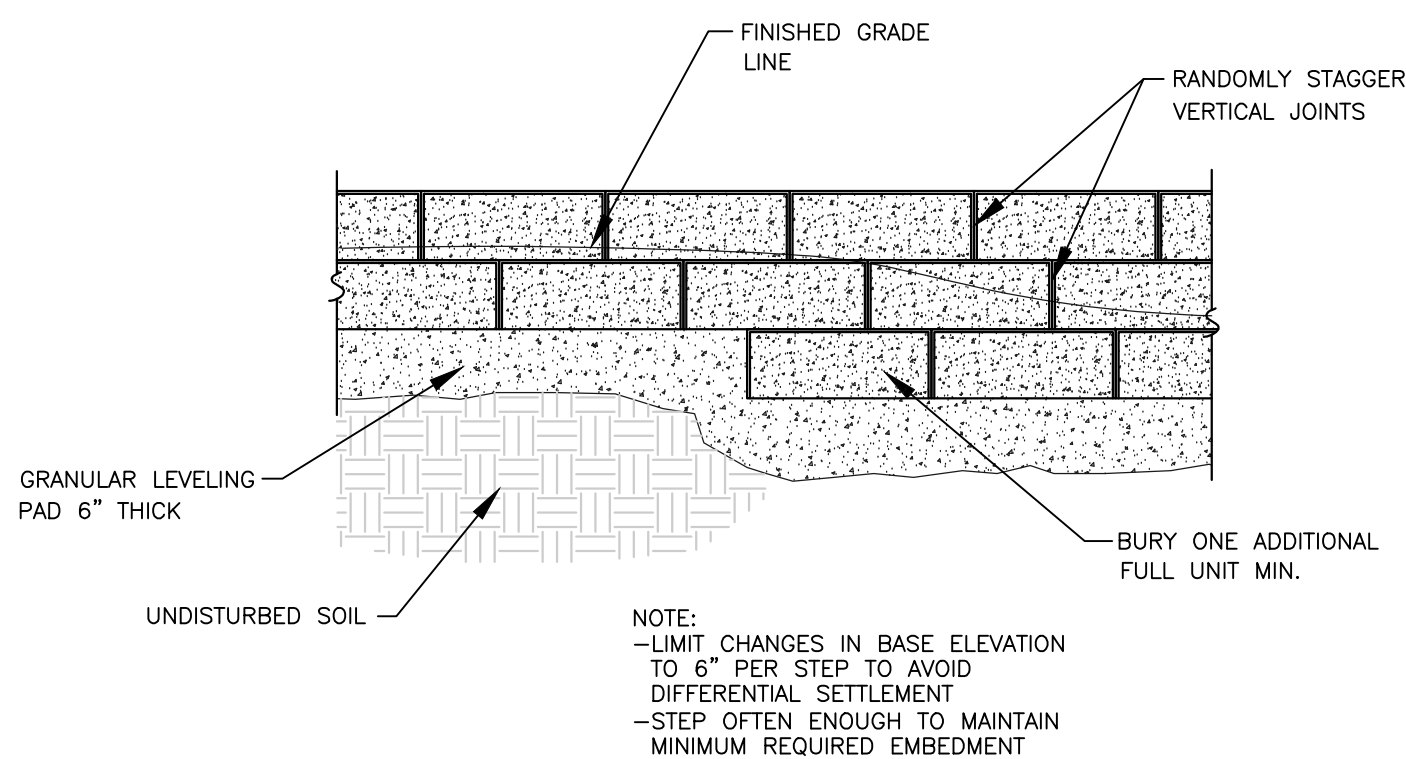
CONTRACTOR TO CUT 6" HOLE AT TOP OF CHAMBER IN THE CENTER OF THE UNIT.
INSERT A 6" INTERNAL COUPLING INTO INSPECTION PORT OPENING.
USE A 6" SCH.40 PVC PIPE TO BRING INSPECTION PORT TO WITHIN 6" OF FINISHED GRADE.
INSTALL A 6" SCH.40 END CAP OR PLUG.
BACKFILL IN ACCORDANCE WITH SPECIFICATIONS.

CULTEC CHAMBER INSTALLATION NOTES:

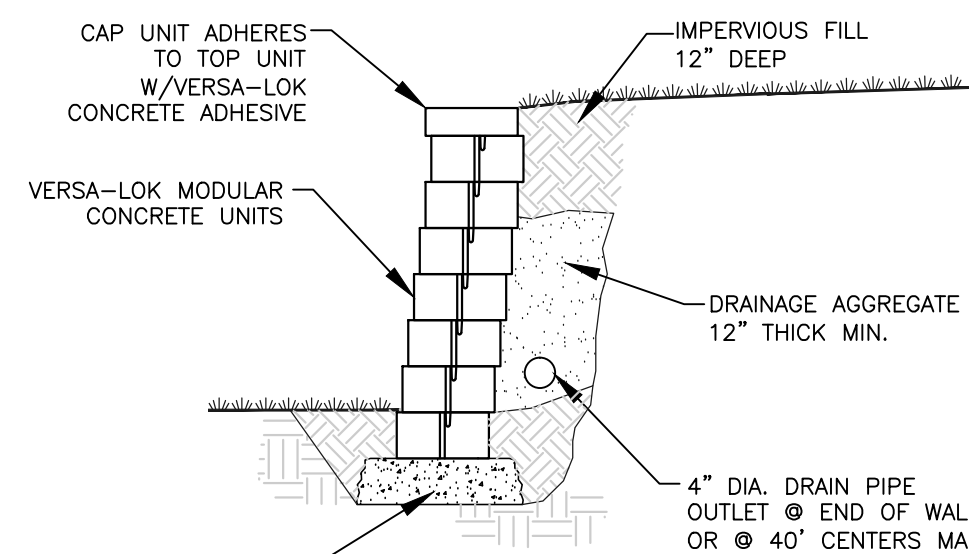
CONTRACTOR TO INSTALL CULTEC CHAMBERS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
CULTEC NO. 410 FILTER FABRIC OR APPROVED EQUAL TO BE PLACED OVER THE TOP OF THE DRAINAGE SYSTEM PRIOR TO BACKFILL.
CONTRACTOR TO REMOVE ALL LOAM, SUBSOIL AND ALL DELETERIOUS MATERIAL FROM EXCAVATION PRIOR TO PLACEMENT OF THE STONE BED.



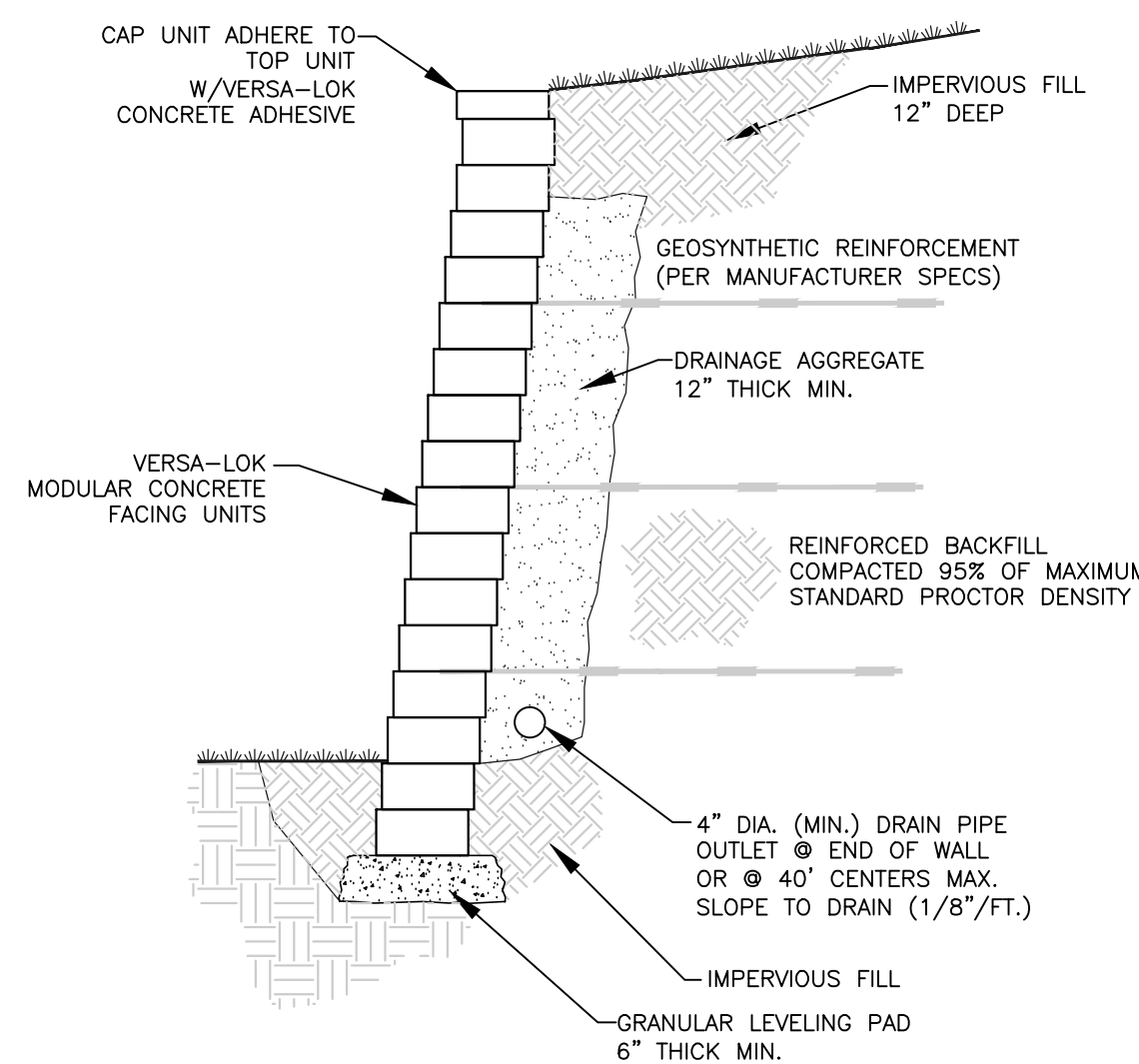
20'x40' CRUSHED STONE APRON
NOT TO SCALE



STEPPING BASE DETAIL
NOT TO SCALE

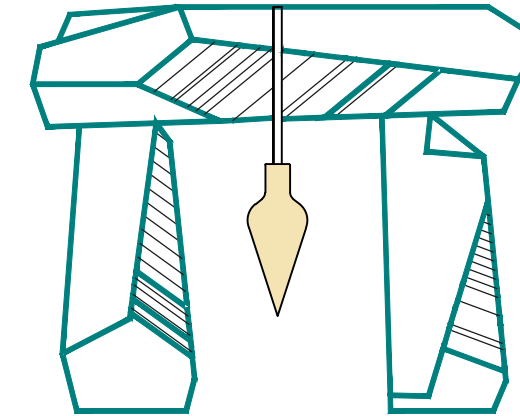


TYPICAL SECTION-UNREINFORCED RETAINING WALL
NOT TO SCALE

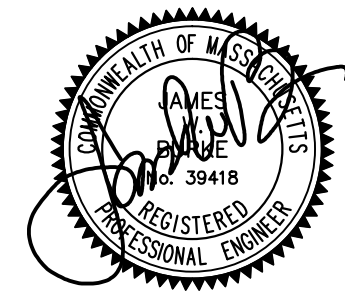


TYPICAL SECTION-REINFORCED RETAINING WALL
NOT TO SCALE

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RECORD OWNER: COMPREHENSIVE LAND HOLDINGS
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SHEET 8 OF 8