

# DESIGN & SITE PLAN REVIEW & SIGNAGE SPECIAL PERMIT

PURSUANT TO SECTION 7.3 & 7.4 OF THE CITY OF BELMONT ZONING BY-LAW

FOR



## CITYSIDE SUBARU

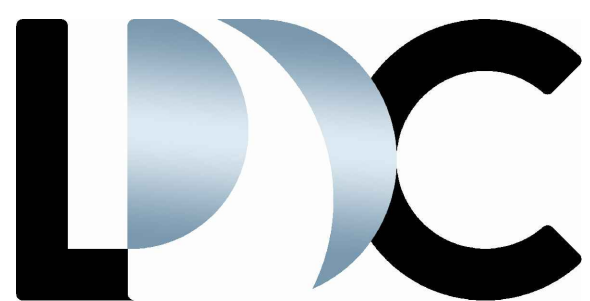
774A, 778, 782, 790 Pleasant Street, Belmont, MA 02478

DATE  
July 12, 2021

REVISED  
November 9, 2021

### PROJECT TEAM

Site Planning | Landscape Architecture



LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581  
508.952.6300 | LDCollaborative.com

Surveying | Engineering

Brennan Consulting  
24 Ray Avenue, Suite 203  
Burlington, MA 01803

Architecture

UDA Architects  
486 High Plain Street  
Walpole, MA 02081

### PROJECT OWNER | APPLICANT

Empire Management  
Corporation  
171 Great Road  
Acton, MA 01720



### SHEET INDEX

SHEET NO.	SHEET TITLE
C-001	General Notes and Legend
C-002	Erosion and Sediment Control Plan
1 of 2	Existing Conditions Plan (Brennan Consulting)
2 of 2	Existing Conditions Plan (Brennan Consulting)
CPP-1	Certified Plot Plan
C-101	Layout and Materials Plan (Level 1)
C-102	Layout and Materials Plan (Level 2)
C-201	Grading and Drainage Plan (Brennan Consulting)
C-301	Utility Plan (Brennan Consulting)
L-101	Landscape Plan
C-401	Details (Brennan Consulting)
C-402	Details (Brennan Consulting)
C-403	Details
C-404	Details
SL-101	Photometrics Plan - Level 1 (Holophane Lighting)
SL-102	Photometrics Plan - Level 4 (Holophane Lighting)
EX-101	Turning Movement Exhibit (Fire Apparatus)
EX-102	Signage Exhibit
A-101	Architectural Floor Plan Level 1 (UDA Architects)
A-102	Architectural Floor Plan Level 2 (UDA Architects)
A-103	Architectural Floor Plan Level 3 (UDA Architects)
A-104	Architectural Floor Plan Level 4 (UDA Architects)
A-105	Architectural Exterior Elevations (UDA Architects)
A-106	Architectural Exterior Renderings (UDA Architects)
---	Site Precedent Images



1

2

3

4

5

6

GENERAL NOTES:

1. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND IS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) JURISDICTION. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO SUBMIT A NOTICE OF INTENT WITH THE EPA AND SECURE AND COMPLY WITH THE CG IN ACCORDANCE WITH THE NPDES REGULATIONS.

2. A MINIMUM OF SEVENTY-TWO (72) HOURS BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 (PER 220 CMR 99), MUNICIPAL UTILITY DEPARTMENTS, AND UTILITY DISTRICTS TO ACCURATELY LOCATE UNDERGROUND UTILITIES.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION NOTIFICATION AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE WORK AND COORDINATE WITH THE PROJECT ARCHITECT AND ENGINEER AS NECESSARY.

4. THE CONTRACTOR SHALL OBTAIN PERMIT(S) FOR TRENCH EXCAVATION (PER 520 CMR 14).

5. ALL ITEMS NOTED FOR REMOVAL AND DISPOSAL, AS WELL AS THOSE ITEMS DISCOVERED DURING EXCAVATION THAT REQUIRE REMOVAL AND REPLACEMENT, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST EITHER BE RECYCLED OR DISPOSED OF OFF SITE ACCORDING TO APPLICABLE REGULATIONS (510 CMR 7, 18 & 19 AND 453 CMR 6). CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR DEMOLITION, HAULING AND DISPOSING OF SAID MATERIALS.

6. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY, JOB SAFETY AND CONSTRUCTION MEANS AND METHODS. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND STATE AND LOCAL REQUIREMENTS.

8. REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT BE CONDUCTED IN PROXIMITY TO CATCH BASINS, STORMWATER BASINS OR WETLAND RESOURCES.

9. ANY ALTERATIONS MADE IN THE FIELD TO THE WORK SHOWN ON THESE DRAWINGS SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.

10. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

11. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND MAINTAINING RECORD AS-BUILT DRAWINGS OF ALL SUBSURFACE UTILITIES.

12. ANY AREA DISTURBED BY THE CONTRACTOR OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITIONS AT NO COST TO THE OWNER.

EROSION AND SEDIMENT CONTROL NOTES:

1. PRIOR TO CONSTRUCTION A FENCE SHALL BE PLACED AROUND ALL TREES THAT ARE TO BE MAINTAINED AND PROTECTED. NO CONSTRUCTION ACTIVITY OR STOCKPILING OF MATERIAL SHALL BE ALLOWED WITHIN THE DRIPLINE OF THE EXISTING TREES THAT ARE TO REMAIN.

2. SITE ELEMENTS TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.

3. PRIOR TO CONSTRUCTION AN EROSION CONTROL BARRIER (ECB) SHALL BE PROVIDED AT THE EDGE OF THE DEVELOPMENT AREA AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE ECB THROUGHOUT ALL PHASES OF CONSTRUCTION.

4. THE CONTRACTOR SHALL TAKE SUFFICIENT PRECAUTIONS DURING CONSTRUCTION TO MINIMIZE THE RUNOFF OF POLLUTING SUBSTANCES SUCH AS SILT, CLAY, FUELS, OILS, BITUMENS, CALCIUM CHLORIDE OR OTHER POLLUTING MATERIALS HARMFUL TO HUMANS, FISH, OR OTHER LIFE, INTO WATER SUPPLIES AND SURFACE WATERS. SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION.

5. CONTRACTOR SHALL UTILIZE TEMPORARY SEDIMENT PITS OR BASINS AS NECESSARY TO PREVENT SEDIMENT LADEN WATERS FROM ENTERING DRAINAGE FACILITIES. SPECIAL ATTENTION SHALL BE GIVEN TO AREAS FOR PROPOSED STORMWATER INFILTRATION SYSTEMS. IF ADDITIONAL SILTATION CONTROL IS REQUIRED, CHECK DAMS OR SILT FENCES MAY BE PLACED IN DITCHES RECEIVING STORMWATER FROM DISTURBED AREAS, UPON APPROVAL OF THE PROJECT ENGINEER.

6. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED AND TO PROVIDE ADDITIONAL FACILITIES OVER THE ABOVE MINIMUM REQUIREMENTS AS MAY BE REQUIRED.

7. MEASURES FOR CONTROL OF EROSION MUST BE ADEQUATE TO ASSURE THAT TURBIDITY IN THE RECEIVING WATER WILL NOT BE INCREASED BEYOND LEVELS ESTABLISHED BY THE STATE OR OTHER CONTROLLING BODY, IN WATERS USED FOR PUBLIC SUPPLY OR FISHING UNLESS OTHER LIMITS HAVE BEEN ESTABLISHED FOR THE PARTICULAR WATER.

8. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING THE DURATION OF CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT EROSION CONTROL BARRIERS ARE INTACT. EROSION CONTROL BARRIERS SHALL BE CLEANED AND MAINTAINED AS REQUIRED TO ENSURE FUNCTIONALITY.

9. AN ANTI-TRACKING CONSTRUCTION ENTRANCE SHALL BE MAINTAINED AT ALL POINTS OF CONSTRUCTION ACCESS AND EGRESS TO PUBLIC RIGHTS-OF-WAY FOR THE DURATION OF CONSTRUCTION.

10. ANY SEDIMENT TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE SWEEPED AND CLEANED AT THE END OF EACH WORK DAY.

11. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL, WHICH INCLUDES STREET SWEEPING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION.

12. ALL TOPSOIL WITHIN THE LIMITS OF THE EXCAVATED AREAS SHALL BE STRIPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE AND SEGREGATED FROM SUBSURFACE SOIL MATERIAL. EXCESS TOPSOIL SHALL BE DISPOSED OF ON SITE AS DIRECTED BY THE PROJECT ENGINEER.

13. ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN THE LIMIT OF WORK LINE AND STABILIZED TO PREVENT EROSION.

14. SILT SACKS SHALL BE INSTALLED IN ALL DOWNSTREAM DRAIN INLETS PRIOR TO CONSTRUCTION TO CONTROL SILTATION.

15. WITHIN THE LIMIT OF WORK TREES THAT ARE TO BE REMOVED MAY BE CUT BUT BRUSH AND STUMPS SHALL NOT BE REMOVED UNTIL ONE WEEK PRIOR THE START OF CONSTRUCTION. DISTURBANCE OF THE EXISTING GROUND SURFACE SHALL BE MINIMIZED PRIOR TO THE START OF CONSTRUCTION.

16. SILTATION AND SEDIMENTATION BASINS SHALL BE INSTALLED ON SITE TO DE-SILT ALL STORMWATER OR WATER PUMPED FROM EXCAVATED AREAS. PROPOSED DETENTION AND INFILTRATION BASINS MAY BE UTILIZED AS SILTATION PONDS PROVIDED THAT TOPSOIL AND SUBSOIL IS NOT STRIPPED FROM THE BOTTOM OF THE BASINS. SILTATION AND SEDIMENTATION BASINS SHALL BE CONSTRUCTED TO RECEIVE DISCHARGE FROM SILTATION AND SEDIMENTATION PONDS IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION. FOLLOWING STABILIZATION OF UPSTREAM TRIBUTARY AREAS, TOPSOIL AND SUBSOIL SHALL BE REMOVED FROM BASINS AND FREE-DRAINING SOIL FILL MATERIAL PLACED FROM PARENT MATERIAL UP TO SUBGRADE. BASIN BOTTOMS SHALL RECEIVE FINAL LOAM AND SEED.

17. EROSION CONTROL BLANKETS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS FOR AREAS REQUIRING SLOPE STABILIZATION AND SHALL BE LOAMED, SEEDED AND FERTILIZED PRIOR TO THE PLACEMENT OF THE BLANKETS.

18. CONTRACTOR SHALL DIVERT STORMWATER RUNOFF AROUND THE SITE AS REQUIRED AND DRAINAGE SHALL BE RESTORED TO CONDITION EXISTING PRIOR TO CONSTRUCTION UNLESS OTHERWISE SHOWN ON THE DRAWINGS.

19. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED OR MULCHED AS SOON AS PRACTICABLE.

CONSTRUCTION SEQUENCING NOTES:

1. INSTALL CONSTRUCTION ENTRANCE.

2. CLEAR AND GRUB ONLY AS NECESSARY FOR SAFE ACCESS TO SITE FOR TREE REMOVAL EQUIPMENT AND MACHINERY AND THE THE INSTALLATION OF EROSION CONTROL BARRIER AND SEDIMENT CONTROL MEASURES AROUND THE INITIAL STAGING AREA(S).

3. FELL TREES WITHIN APPROVED LIMITS OF CLEARING (WORK AREA).

4. INSTALL EROSION CONTROL BARRIERS AND SEDIMENT CONTROL MEASURES AS WELL AS LIMIT OF WORK DEMARCATION (FLAGGING OR FENCING) AS MAY BE SHOWN ON THE DRAWINGS OR REQUIRED BY PERMIT GRANTING AUTHORITIES.

5. EXCAVATE TEMPORARY SEDIMENTATION BASINS TO ONE FOOT ABOVE BOTTOM OF BASIN ELEVATION AND CONSTRUCT TEMPORARY DIVERSION SWALES TO DIRECT SEDIMENTATION RUNOFF TO BASINS.

6. CLEAR AND GRUB WITHIN LIMIT OF WORK AREA AND PROPERLY DISPOSE OF STUMPS AND BRUSH.

7. PERFORM SITE CUT AND FILL OPERATIONS AND ESTABLISH ROUGH SUB-GRADES.

8. ROUGH GRADE PAVED AREAS.

9. LOAM AND SEED TEMPORARY SEDIMENT BASINS AND TEMPORARY DIVERSION SWALES.

10. ESTABLISH STOCKPILE AREA AND SURROUND WITH EROSION CONTROL BARRIER. AVOID STOCKPILING IN VALLEYS OR LOW-LYING AREA WHERE SUSCEPTIBLE TO EROSION.

11. MAINTAIN CONSTRUCTION ENTRANCE, EROSION CONTROL MEASURES, TEMPORARY DIVERSION SWALES AND TEMPORARY SEDIMENTATION BASINS THROUGHOUT DURATION OF CONSTRUCTION. REMOVE SEDIMENT IN TEMPORARY BASIN(S) WHEN ACCUMULATED TO A DEPTH OF TWELVE (12) INCHES.

12. SEDIMENTATION BASINS TO REMAIN DURING EARTHWORK OPERATIONS. ALL SEDIMENT SHALL BE REMOVED FROM BASINS AND BOTTOM OF BASINS EXCAVATED TO FINAL BOTTOM ELEVATION FOLLOWING STABILIZATION OF DISTURBED AREAS.

13. EROSION AND SEDIMENT CONTROL IS SUBJECT TO CHANGE BASED UPON FIELD CONDITIONS, CONSTRAINTS, AND OTHER UNFORESEEN FACTORS.

LAYOUT AND MATERIAL NOTES:

1. ALL SETBACK LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED, UNLESS NOTED OTHERWISE.

2. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND CENTERLINE OF PAVEMENT MARKINGS UNLESS NOTED OTHERWISE.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE GROUND AND REPORT ANY DISCREPANCIES TO THE PROJECT ENGINEER.

4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING.

5. EXISTING PROPERTY LINE MONUMENTATION SHALL BE PROTECTED DURING CONSTRUCTION. ANY MONUMENTATION DISTURBED DURING CONSTRUCTION OR ANY PROPOSED MONUMENTATION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.

6. SYMBOLS OF PROJECT FEATURES DEPICTED IN THESE DRAWINGS ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S SPECIFICATIONS, SHOP DRAWINGS AND FIELD MEASUREMENTS FOR ACCURATE INFORMATION.

7. EACH ACCESSIBLE PARKING SPACE SHALL BE IDENTIFIED BY A SIGN CONTAINING THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" AS DESCRIBED IN THE AMERICANS WITH DISABILITIES ACT, PUBLIC LAW 101-366, AND DETAILED IN THE FHWA/USDOT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED.

PLANTING NOTES:

1. ALL PLANT MATERIAL SHALL MEET THE THE SPECIFICATIONS AND GUIDELINES OF THE AMERICAN STANDARD FOR NURSERY STOCK ISSUED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

2. ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL BE EQUAL IN OVERALL SIZE, HEIGHT, LEAF, FORM, BRANCHING HABIT, FRUIT, FLOWER, COLOR, AND CULTURE. ALL PROPOSED SUBSTITUTIONS SHALL BE REVIEWED AND APPROVED IN WRITING BY LANDSCAPE ARCHITECT PRIOR TO PURCHASING.

3. FINAL QUANTITIES FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLANS. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL REPORT AND DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.

4. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL AT THE SITE. MATERIAL SHALL BE REMOVED FROM THE PROPERTY BY THE LANDSCAPE CONTRACTOR AND REPLACED WITH PLANT MATERIAL APPROVED BY LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.

5. ALL TREES SHALL BE BALLED AND BURLAPPED UNLESS OTHERWISE SPECIFIED.

6. THE LANDSCAPE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW AND ABOVE GRADE UTILITIES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS.

7. ALL TREE PLANTINGS TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION FROM PROPOSED AND EXISTING SEWER AND WATER LINES.

8. ALL PLANTING BEDS ARE TO BE CROWNED WITH TOPSOIL AND MULCH ABOVE ADJACENT AREAS.

9. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICT.

10. THE LANDSCAPE CONTRACTOR SHALL LAYOUT ALL PLANT MATERIAL AS SHOWN ON THE PLANS AND SHALL NOTIFY THE LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.

11. PROVIDE A 3" DEPTH OF MULCH AS SHOWN ON THE PLANTING DETAILS UNDER AND AROUND ALL PLANT MATERIAL AND IN ALL PLANT BEDS AND LANDSCAPE ISLANDS. MULCH SHALL BE CLEAN, SHREDDED PINE BARK MULCH UNLESS OTHERWISE SPECIFIED. PRIOR TO SPREADING MULCH, APPLY A WEED PRE-EMERGENT SUCH AS "PREEN" OR APPROVED EQUAL. FOLLOW MANUFACTURER'S APPLICATION INSTRUCTIONS.

12. ALL TREES ADJACENT TO SIDEWALKS SHALL HAVE A 6'-8" MINIMUM BRANCHING HEIGHT AT TIME OF PLANTING.

13. LAWN AND DISTURBED SHALL RECEIVE A MINIMUM OF 6" OF LOAM AND SPECIFIED SEED MIX UNLESS OTHERWISE NOTED. AREAS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.

14. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE MAINTENANCE OF THE PLANT MATERIAL AND LAWN AREAS UNTIL DATE OF FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. WATERING SHALL BE PROVIDED DURING THE FIRST GROWING SEASON WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.

15. IF AN IRRIGATION SYSTEM IS PROVIDED THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL COORDINATION WITH THE IRRIGATION CONTRACTOR TO PROVIDE PROPER IRRIGATION TO ALL TREES, PLANT BEDS AND LAWN AREAS UNLESS OTHERWISE NOTED. IRRIGATION DESIGN AND PERMITTING TO BE PROVIDED BY OTHERS.

16. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. ALL REPLACEMENTS SHALL BE AT NO ADDITIONAL COST TO OWNER.

ABBREVIATIONS

ACRES

BITUMINOUS CONCRETE

CONCRETE

DIAMETER

FOUND

LINEAR FEET

MAINTAIN AND PROTECT

NOT TO SCALE

NOW OR FORMERLY

PLUS OR MINUS

SQUARE FEET

REMOVE AND DISPOSE

REMOVE AND REPLACE

AC.

BIT. CONC.

CONC.

DIA.

FND

L.F.

M&P

N.T.S.

N / F

±

S.F.

R&D

R&R

LEGEND

ENVIRONMENTAL

100' FLOOD ZONE

100' WETLAND BUFFER ZONE

200' RIVERFRONT AREA

APPROX. BOUNDARY BORDERING VEGETATED WETLAND

BOUNDARY BORDERING VEGETATED WETLAND

EROSION CONTROL BARRIER

STREAM - INTERMITTENT

STREAM - PERENNIAL

WATER BODY

MATERIALS

BOLLARD POST

BUILDING

BUILDING - DOOR

BUILDING - GARAGE DOOR

BUILDING - OVERHANG

CAPE COD BERM

CURB - BITUMINOUS CONCRETE

CURB - CONCRETE

CURB - HAUNCHED

CURB - SLOPED GRANITE

CURB - VERTICAL GRANITE

EDGE OF PAVEMENT

FENCE - CHAIN LINK

FENCE - POST & RAIL

FENCE - STOCKADE

GUARDRAIL - STEEL

GUARDRAIL - STEEL BACK WOODEN

GUARDRAIL - WOODEN

HANDICAP ACCESSIBLE PARKING SPACE

HANDICAP ACCESSIBLE RAMP

HANDRAIL - STEEL

HANDRAIL - WOODEN

LIGHTPOLE

RIPRAP

SIGN

WALL - CONCRETE

WALL - HEAD

WALL - RAILROAD TIE

WALL - STONE

WALL - WING

LAND DESIGN COLLABORATIVE

Chauncy Place | Terrace North | Suite 1

45 Lyman Street

Westborough, MA 01581

508.952.6300 | LDcollaborative.com

THE CONTENT, INFORMATION AND DESIGN OF THIS PLAN ARE PROPRIETARY AND DUPLICATION AND/OR UTILIZATION FOR ANY PURPOSES IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM LAND DESIGN COLLABORATIVE. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES.

© LAND DESIGN COLLABORATIVE, LLC

Project Owner:

Empire Management Corporation

171 Great Road

Acton, MA 01720

Project Applicant:

Empire Management Corporation

171 Great Road

Acton, MA 01720

Project Title:

Cityside Subaru

740A - 790 Pleasant Street

Belmont, MA

(Middlesex County)

Sheet Title:

GENERAL NOTES AND LEGEND

Town Permits

11/09/2021

NO CHANGES

No: Date: Revision | Issue:

Drawn By: JTA Checked By: JTA

Date: 07/12/2021 Project No.: 20-0007

Sheet No.:

C-001

1

2

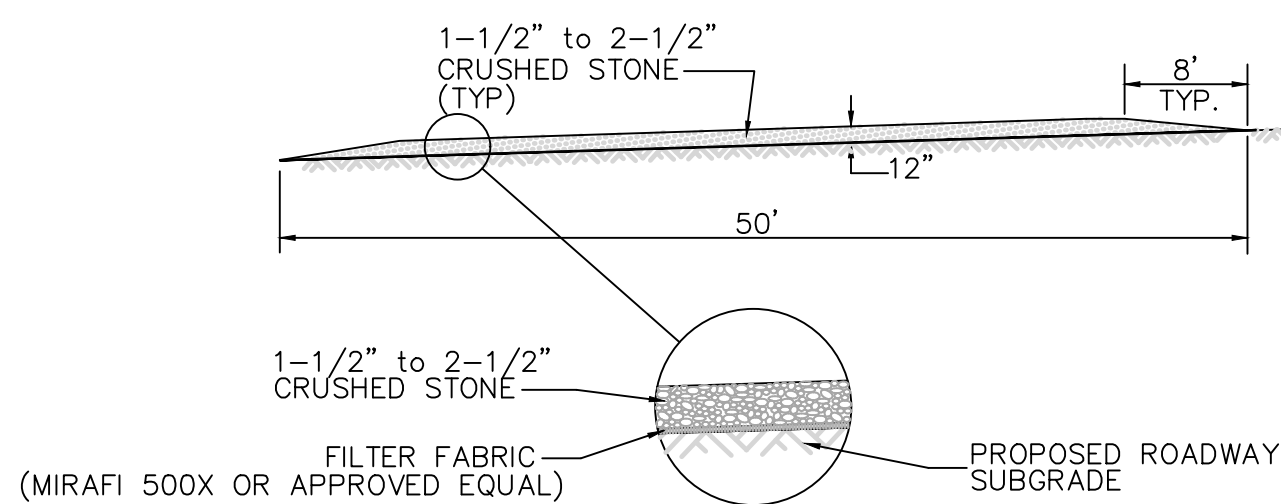
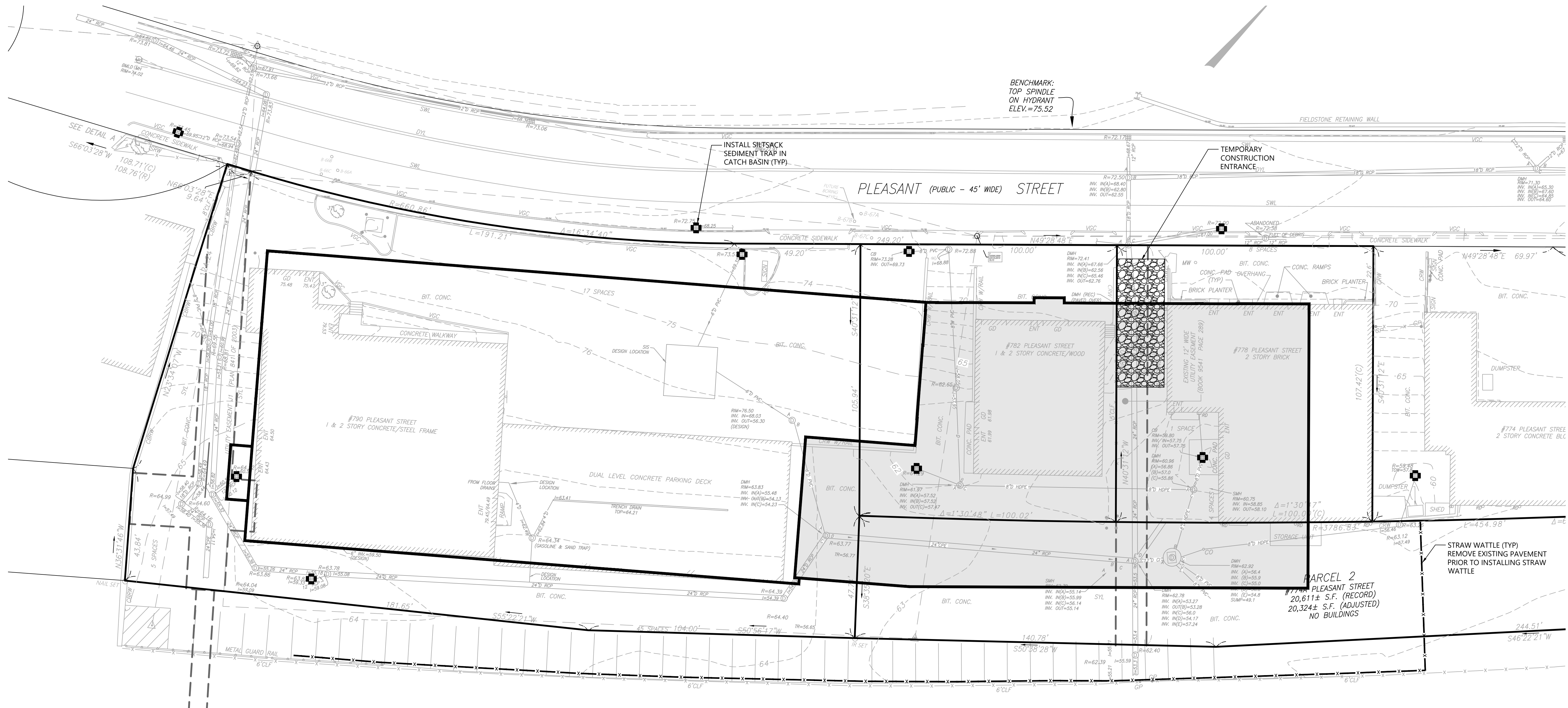
3

4

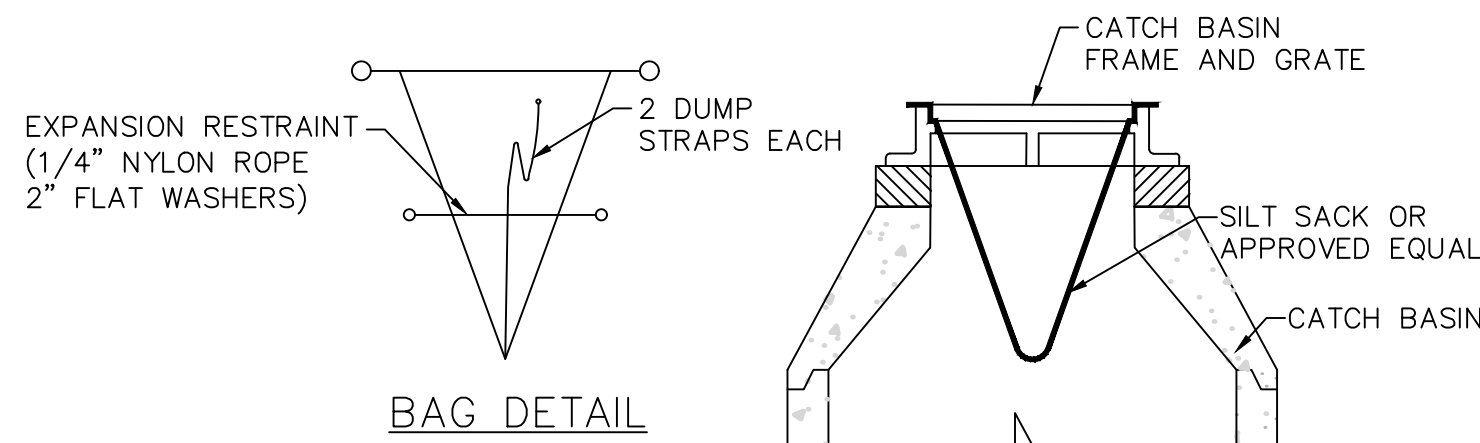
5

6



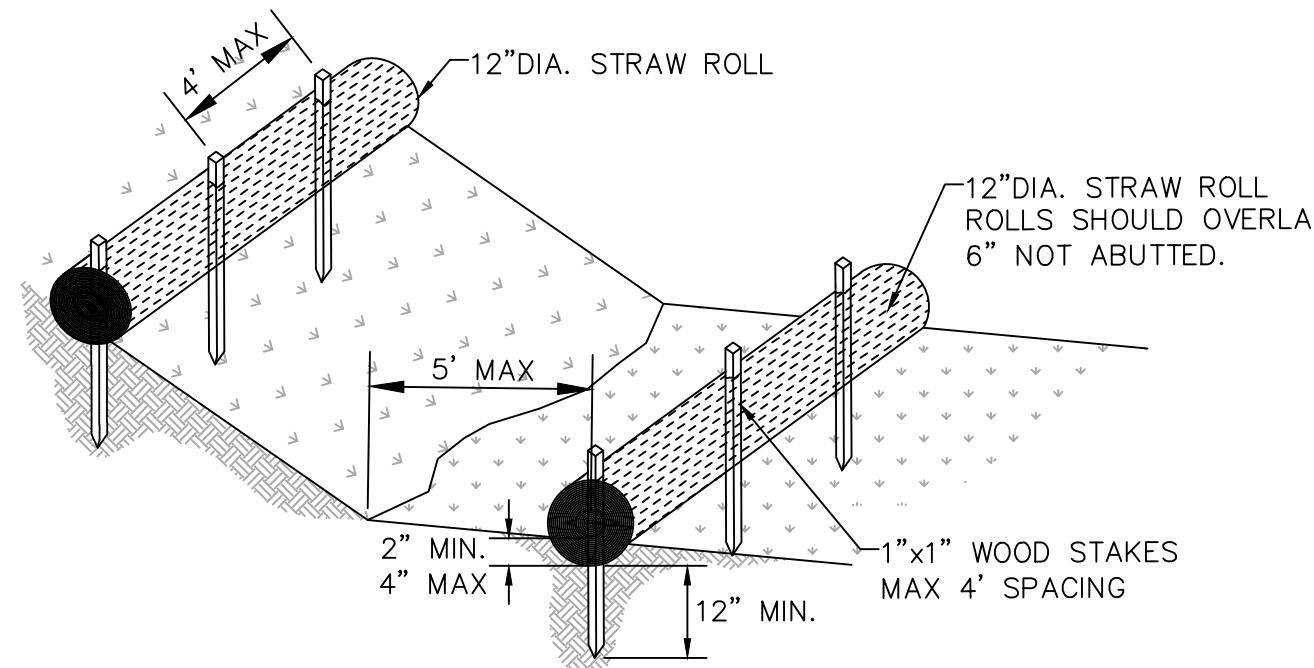


TEMPORARY CONSTRUCTION ENTRANCE DETAIL  
NOT TO SCALE



- NOTES:
1. TO BE INSTALLED IN ALL CATCH BASINS THAT COULD RECEIVE RUNOFF FROM DISTURBED AREAS UNTIL COMPLETION OF CONSTRUCTION.

SILT SACK DETAIL  
NOT TO SCALE



STRAW WATTLE DETAIL  
NOT TO SCALE

NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED AND UPGRADED AS NECESSARY DURING CONSTRUCTION BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND INSTALL ADDITIONAL CONTROL MEASURES AS NEEDED DURING CONSTRUCTION.
2. STABILIZATION OF ALL RE-GRADED AND SOIL STOCKPILE AREAS MUST BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
3. SEDIMENT REMOVED FROM EROSION AND SEDIMENT CONTROL DEVICES MUST BE PROPERLY REMOVED AND DISPOSED. ALL DAMAGED CONTROLS MUST BE REMOVED AND REPLACED.
4. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THIS INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE PROPER CITY AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING WIND EROSION AND DUST THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL MAY INCLUDE, BUT IS NOT LIMITED TO, SPRINKLING OF WATER ON EXPOSED SOILS AND STREET SWEEPING ADJACENT ROADWAYS.
6. IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN 21 DAYS AFTER LAND DISTURBANCE ACTIVITIES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZED SOILS WITHIN 14 DAYS OF THE LAST DISTURBANCE.
7. IF A DISTURBED AREA WILL BE EXPOSED FOR GREATER THAN ONE YEAR, PERMANENT GRASSES OR OTHER APPROVED COVER MUST BE INSTALLED.
8. THE CONTRACTOR MUST KEEP ON-SITE AT ALL TIMES ADDITIONAL FILTER BERMS AND/OR SILT FENCE FOR THE INSTALLATION AT THE DIRECTION OF THE ENGINEER OR CONSERVATION COMMISSION TO MITIGATE ANY EMERGENCY CONDITION.
9. THE CONSTRUCTION FENCING AND EROSION AND SEDIMENT CONTROLS AS SHOWN MAY NOT BE PRACTICAL DURING ALL STAGES OF CONSTRUCTION. EARTHWORK ACTIVITY ON-SITE MUST BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO A SEDIMENT CONTROL DEVICE OR INFILTRATED TO THE GROUND.
10. DEMOLITION AND CONSTRUCTION DEBRIS MUST BE PROPERLY CONTAINED AND DISPOSED OF.
11. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE HAULED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
12. CONTRACTOR TO CLEARLY MARK AND PROTECT THE LOCATION OF THE PROPOSED SUBSURFACE INFILTRATION SYSTEM. EQUIPMENT STAGING AND STOCKPILING OF MATERIALS SHALL AVOID THESE AREAS.
13. STOCKPILES OF SOILS, AGGREGATE, OR ANY OTHER UNCONSOLIDATED CONSTRUCTION MATERIALS WITHIN 100-FOOT BUFFER ZONES SHALL BE COVERED WITH TARPULINS WHEN NOT BEING WORKED WITH. STOCKPILES IN PLACE FOR GREATER THAN TWENTY-FOUR (24) HOURS SHALL BE RINGED WITH AN ENTRENCHED HAY BALE BARRIER AND COVERED BY PROPERLY SECURED TARPULINS AT THE CLOSE OF EACH WORK DAY.
14. ANY MATERIAL TRACKED INTO THE RIGHT OF WAY SHALL BE CLEANED IMMEDIATELY AND THE RIGHT OF WAY SHALL BE CLEANED OF MATERIAL AT THE END OF EACH WORK DAY.
15. REMOVE AND PROPERLY DISPOSE EROSION AND SEDIMENT CONTROLS AFTER SITE HAS BEEN STABILIZED.
16. SECURITY FENCING SHALL BE INSTALLED AROUND THE PROJECT AREA AND MAINTAINED FOR THE DURATION OF CONSTRUCTION.



EROSION AND SEDIMENT CONTROL PLAN

LOCATED IN  
740A - 790 PLEASANT STREET  
BELMONT, MA

PREPARED FOR  
**EMPIRE MANAGEMENT CORPORATION**

DATE: 07-12-2021 REV 11-09-2021

SCALE: 1" = 20'

**Brennan Consulting**  
ENGINEERING · TRANSPORTATION · SURVEYING

24 RAY AVENUE, BURLINGTON, MA  
PHONE: (781) 273-3434 FAX: (781) 273-3430

REVISIONS

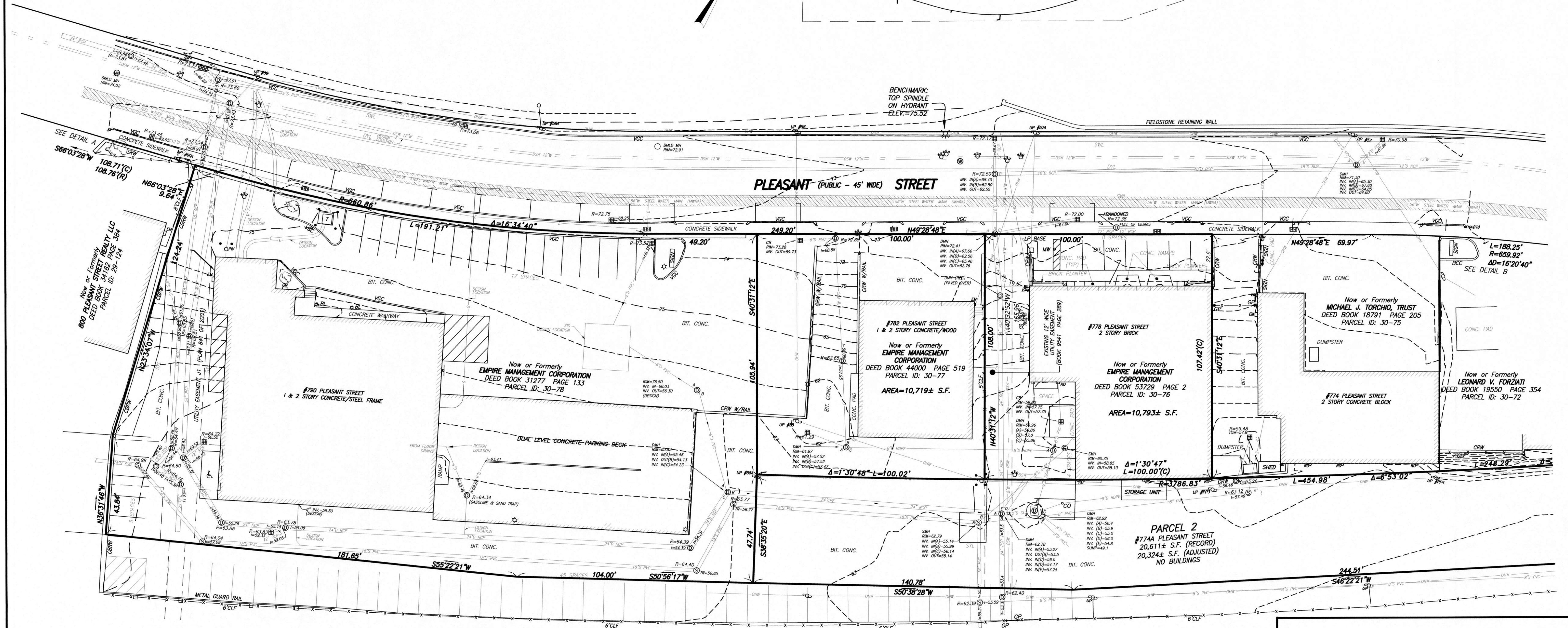
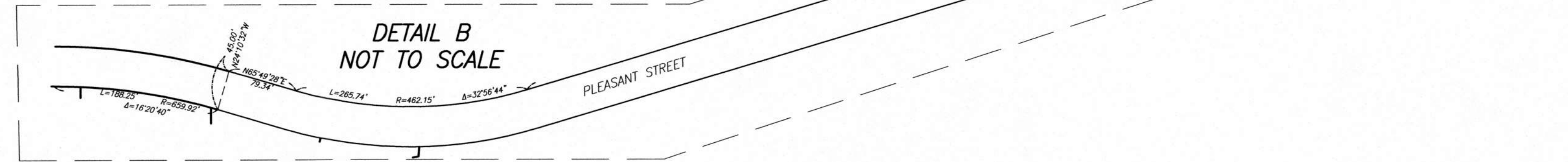
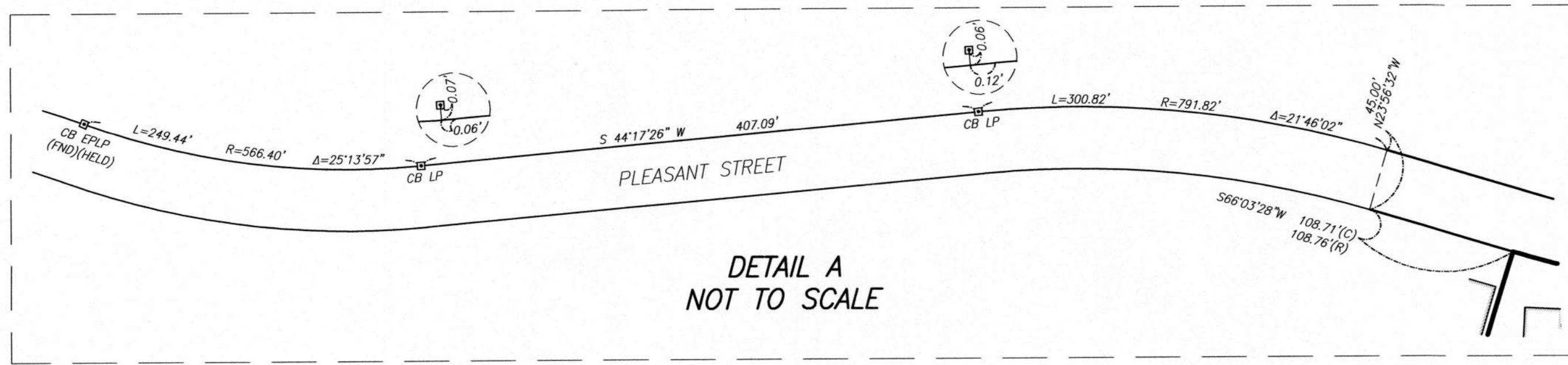
NO.	DATE	DESCRIPTION	BY

CHECKED BY: CE  
DRAWN BY: CG

PROJECT 20012

C-002





- SEWER MANHOLE
- DRAIN MANHOLE
- WATER MANHOLE
- MANHOLE
- HYDRANT
- WATER SHUT OFF/WATER GATE
- GAS SHUT OFF/GAS GATE
- CATCH BASIN
- UTILITY POLE
- LIGHT POLE
- ELECTRIC HANDHOLE
- BOLLARD
- SIGN
- CLEAN OUT
- POST INDICATOR VALVE
- ROOF DRAIN
- BOUND
- CONCRETE BOUND
- ESCUTCHEON PIN IN LEAD

#### LEGEND

- UTILITY POLE W/ LIGHT
- GAS METER
- ELECTRIC METER
- DECIDUOUS TREE
- LIGHT POLE
- BIT. CONC. BERM
- BITUMINOUS
- CONCRETE BLOCK RETAINING WALL
- CONCRETE RETAINING WALL
- CALCULATED
- DOUBLE YELLOW LINE
- GARAGE DOOR
- DELTA ANGLE
- ENTRANCE
- FOUND
- INVERT ELEVATION
- ARC LENGTH
- LOADING DOCK
- RADIUS OR RIM ELEVATION
- RECORD

- SINGLE WHITE LINE
- STONE RETAINING WALL
- SQUARE FEET
- TEMPORARY BENCH MARK
- CENTERLINE OF TROUGH
- TYPICAL
- VERTICAL GRANITE CURB
- DRAIN
- ELECTRIC
- GAS
- OVERHEAD WIRES
- SEWER
- WATER
- POLYVINYL CHLORIDE
- REINFORCED CONCRETE PIPE
- METAL FENCE
- DIGSAFE WATER

#### NOTES:

- THIS PLAN WAS CREATED BY ADOPTING A SURVEY PERFORMED BY WATERMAN DESIGN ASSOCIATES (WDA) AND PROVIDED BY THE CLIENT. BRENNAN CONSULTING SPOT CHECKED UTILITY LOCATIONS BY RESEARCH AND FIELD SURVEY, AND PERFORMED A PROPERTY LINE SURVEY. THE WDA SURVEY PROVIDED PLANIMETRICS, TOPOGRAPHY AND THE REMAINING UTILITY LOCATIONS.
- UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.

#### REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D

### EXISTING CONDITIONS PLAN OF LAND 778-790 PLEASANT STREET BELMONT, MASSACHUSETTS MIDDLESEX COUNTY

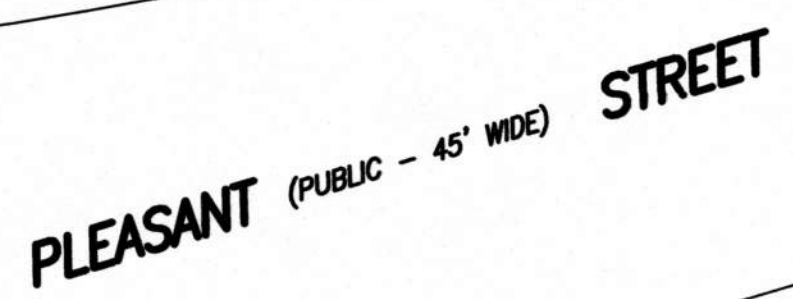
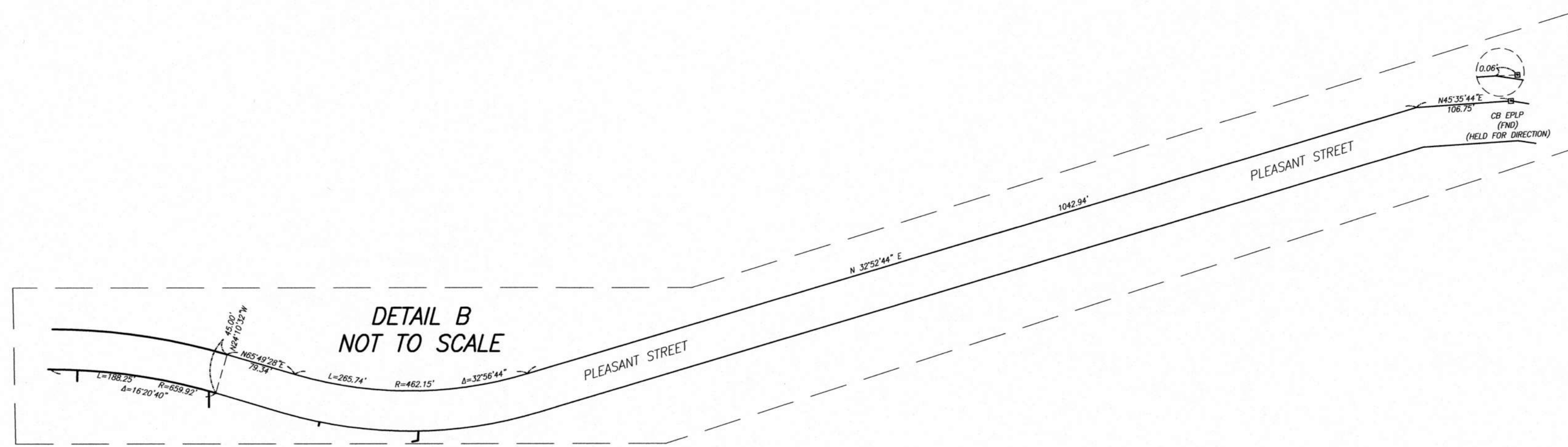
PREPARED FOR  
EMPIRE MANAGEMENT CORPORATION  
SCALE: 1" = 20'  
DATE: JULY 23, 2020

**Brennan Consulting**  
ENGINEERING TRANSPORTATION SURVEYING  
24 RAY AVENUE, BURLINGTON, MA  
PHONE: (781) 273-3434 WWW.BRENNANCONSULTS.COM

RESEARCH: BT	COMP:	CADD: TMT	JOB NO. 20012-1
FIELD CHIEF: JA	APPROVED:	PM: BT	SHEET NO. 1 OF 2

FILE: P:\20012-1 Cityside Subaru, Belmont Survey, EMG\Survey\Drawg\Submitted to Client\20012-1





- LEGEND**

PREPARED FOR  
EMPIRE MANAGEMENT CORPORATION  
SCALE: 1" = 20' DATE: JULY 23, 2020

24 RAY AVENUE, BURLINGTON, MA  
PHONE: (781) 273-3434 WWW.BRENNANCONSULTS.COM

REVISONS					PHONE: (781) 273-3434 WWW.BRENNANCONSULTS.COM			
					RESEARCH: BT	COMP:	CADD: TMT	JOB NO. 20012-1
					FIELD CHIEF: JA	APPROVED:	PM: BT	SHEET NO. 2 OF 2
NO.	DATE	DESCRIPTION	BY	CHK'D	FILE:P:\20012-1 Cityside Subaru, Belmont Survey, EMG\Survey\Draw\Submitted to Client\20			

FILE: P:\20012-1 Cityside Subaru, Belmont Survey, EMG\Survey\Dwg\Submitted to Client\20012-1
--



ZONING SUMMARY TABLE

DISTRICT LBII - LOCAL BUSINESS II

	REQUIRED	EXISTING				PROPOSED
		790 PLEASANT STREET	782 PLEASANT STREET	778 PLEASANT STREET	7774A PARCEL 2	
MINIMUM LOT AREA	N/A	42,231± S.F.	10,719± S.F.	10,793± S.F.	20,611± S.F.	63,743± S.F. (LOTS 790, 782 & 778 COMBINED)**
MINIMUM FRONTAGE	20'	250.0'	100.0'	100.0'	0.0'	450.0'
FRONT YARD SETBACK	10'	30.4'	29.0'	22.6'	NO BUILDINGS	15.2'
SIDE YARD SETBACK (WEST)	0'	20.2'	44.3'	19.6'	NO BUILDINGS	25.0'
SIDE YARD SETBACK (EAST)	0'	137.4'	4.5'	0'	NO BUILDINGS	33.7'
REAR YARD SETBACK	20'	20.5'	17.9'; (41.5' TO PARCEL 2)	0.3 ENCROACHMENT; (45.4' TO PARCEL 2)	NO BUILDINGS	20.4'
MAXIMUM BUILDING HEIGHT (FEET)	32'	LESS THAN 32'	LESS THAN 32'	LESS THAN 32'	NO BUILDINGS	38' ****
MAXIMUM BUILDING HEIGHT (STORIES)	2 STORIES	2 STORIES	2 STORIES	2 STORIES	NO BUILDINGS	3 STORIES ****
MAXIMUM LOT COVERAGE	35%	35.4%* [37.6%* ** FOR 790, 782 & 778 PLEASANT STREET LOTS COMBINED	28.3%	55.2%*	NO BUILDINGS	72.6% ****
MINIMUM OPEN SPACE	N/A	N/A	N/A	N/A	N/A	N/A
MAXIMUM FLOOR AREA RATIO***	1.05	0.41 [0.53 ** FOR 790, 782 & 778 PLEASANT STREET LOTS COMBINED	0.43	1.10*	NO BUILDINGS	0.62

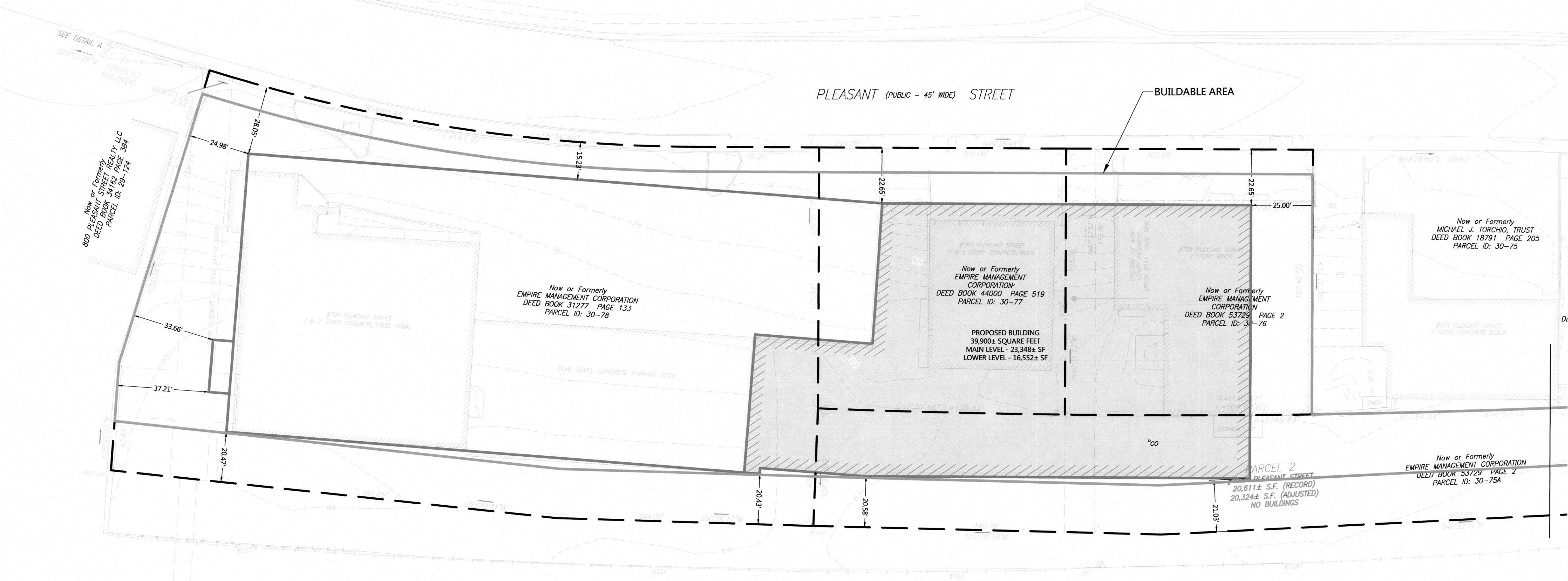
\* PRE-EXISTING NONCONFORMING

\*\* PARCEL 2 IS EXCLUDED FROM CALCULATION PER SECTION 1.4 OF THE TOWN OF BELMONT ZONING BY-LAW, LOT AREA DEFINITION... "IF THE DISTANCE BETWEEN ANY TWO POINTS ON LOT LINES IS LESS THAN 50 FEET, AS MEASURED IN A STRAIGHT LINE, THE SMALLER PORTION OF THE LOT AS DIVIDED BY THAT LINE SHALL NOT BE INCLUDED IN LOT AREA UNLESS THE TWO POINTS ARE SEPARATED BY LESS THAN 150 FEET MEASURED ALONG LOT LINES."

\*\*\* FLOOR AREA RATIO - ANY BUILDING AREA HAVING A FLOOR TO CEILING HEIGHT IN EXCESS OF 15 FEET SHALL BE COUNTED TWICE.

\*\*\*\* VARIANCE AND SPECIAL PERMIT GRANTED (CASE NO. 19-42)

REFER TO THE TOWN OF BELMONT ZONING BYLAW FOR ADDITIONAL REQUIREMENTS.



OWNER OF RECORD:

EMPIRE MANAGEMENT CORPORATION  
171 GREAT ROAD  
ACTON, MA 01720

ASSESSORS MAP REFERENCES:

MAP 30 PARCEL 78 (DEED BOOK 31277 PAGE 133)  
MAP 30 PARCEL 77 (DEED BOOK 44000 PAGE 519)  
MAP 30 PARCEL 76 (DEED BOOK 53729 PAGE 2)  
MAP 30 PARCEL 75A (DEED BOOK 53729 PAGE 2)

DEED REFERENCES:

DEED BOOK 31277 PAGE 133 (MAP 30 PARCEL 78)  
DEED BOOK 44000 PAGE 519 (MAP 30 PARCEL 77)  
DEED BOOK 53729 PAGE 2 (MAP 30 PARCEL 76)  
DEED BOOK 53729 PAGE 2 (MAP 30 PARCEL 75A)

PLAN REFERENCES:

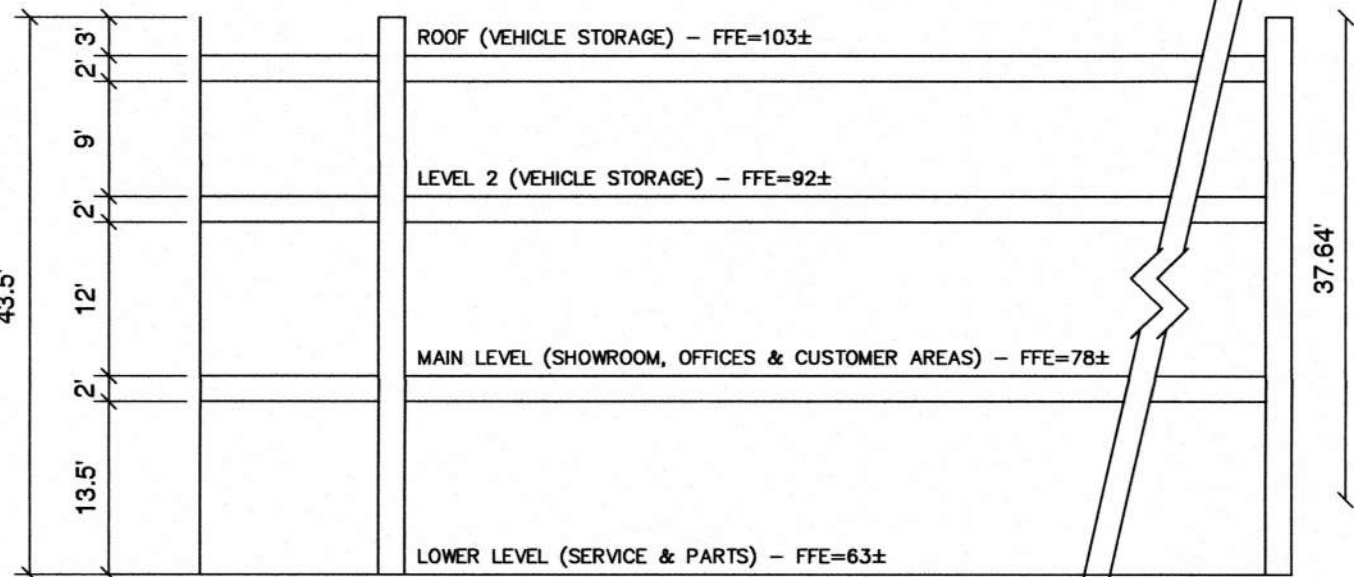
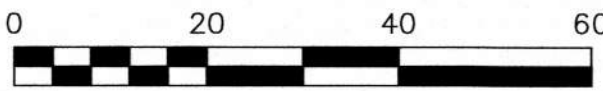
PLAN 418 OF 1952  
PLAN 165 OF 1956  
PLAN 128 OF 1960  
PLAN 208 OF 1960  
PLAN 641 OF 2003  
1997 RECONSTRUCTION PLANS  
OF PLEASANT STREET

FIRM CLASSIFICATION:

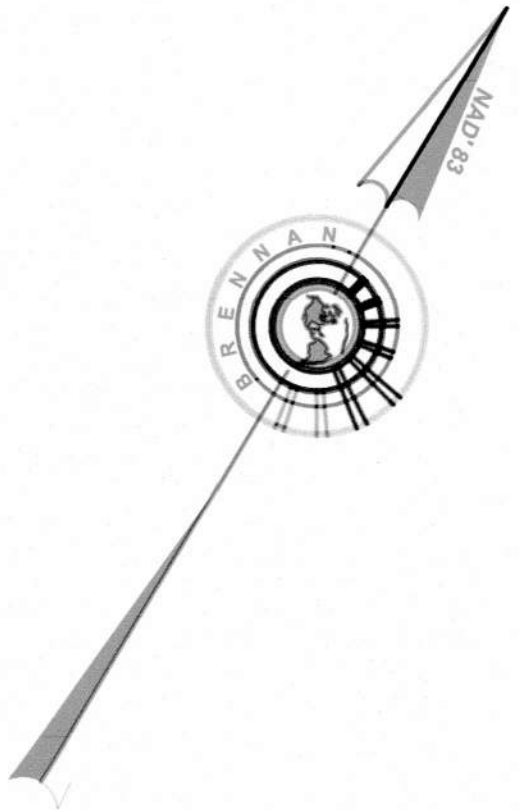
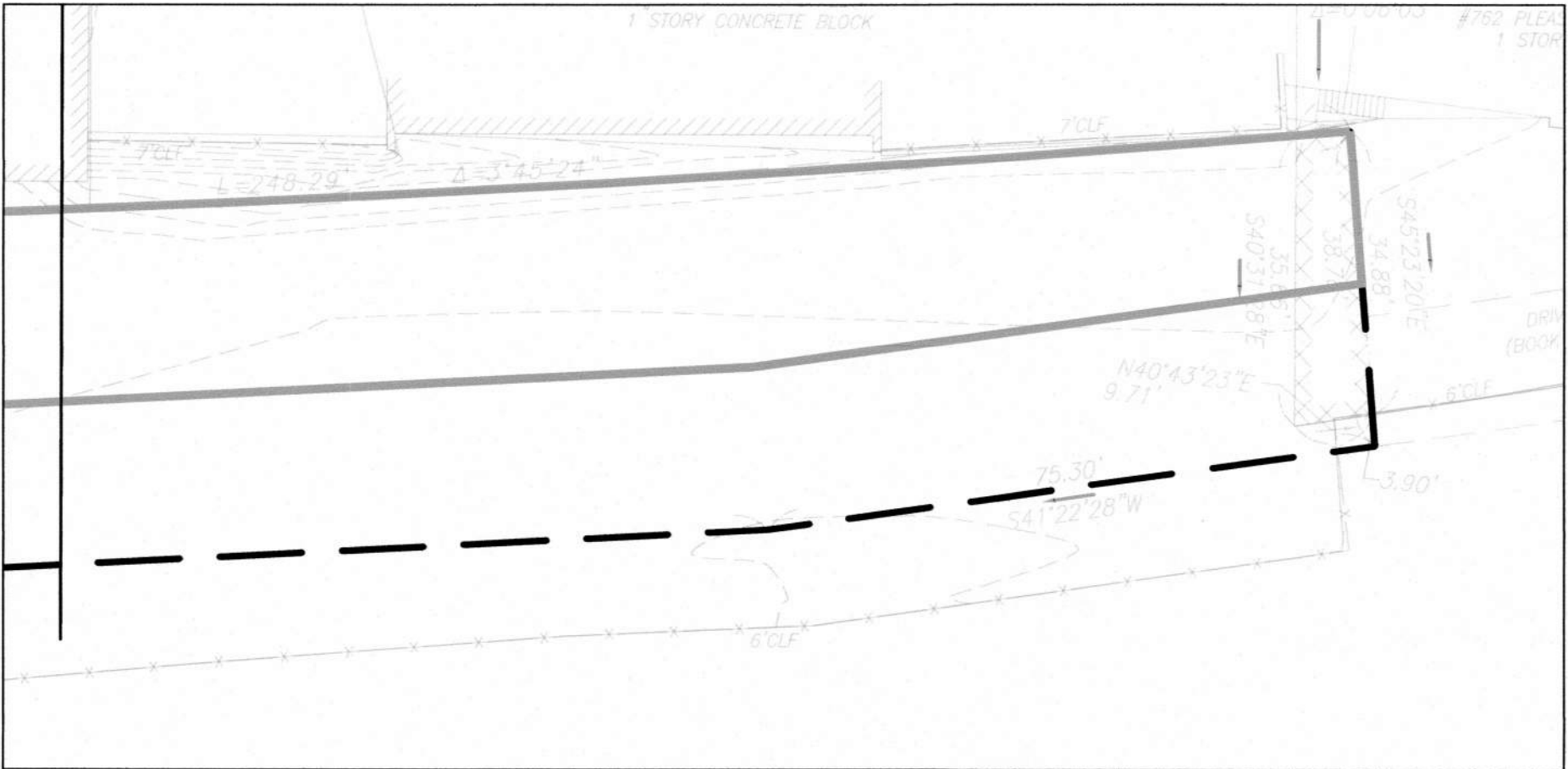
FLOOD INSURANCE RATE MAP  
NUMBER 25017C0418E  
EFFECTIVE JUNE 4, 2010

NOTES:

- PROPERTY LINE AND EXISTING CONDITIONS INFORMATION IS BASED ON AN ON THE GROUND FIELD SURVEY BY WATERMAN DESIGN ASSOCIATES, INC., IN JULY 2009, FIELD CHECKED AND UPDATED IN AUGUST, 2017. ELEVATIONS ARE BASED ON NAVD 1988.
- LOCATIONS OF UNDERGROUND UTILITIES SHOWN HERON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES PRESENT AT THE SITE THAT ARE NOT DEPICTED HERON. BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 TO ACCURATELY LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY DEPARTMENTS / COMPANIES OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF THE UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED.
- APPROXIMATE LIMITS OF ZONE A (AREAS OF 100-YEAR FLOOD) AND ZONE C (AREAS OF MINIMAL FLOODING) DO NOT EXIST WITHIN THE LOCUS PARCELS AS COMPILED FROM NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBER 25017C0418E, MIDDLESEX COUNTY, EFFECTIVE JUNE 4, 2010.
- SEE CONCEPTUAL SITE PLANS C2.01-C2. DATED 10/02/19 FOR ADDITIONAL SITE PLAN AND BUILDING INFORMATION.



BUILDING SECTION EXHIBIT  
BUILDING HEIGHT CALCULATION



CERTIFIED PLOT PLAN  
LOCATED IN  
740A - 790 PLEASANT STREET  
BELMONT, MA  
PREPARED FOR  
EMPIRE MANAGEMENT CORPORATION

Brennan Consulting  
ENGINEERING • TRANSPORTATION • SURVEYING  
24 MY AVENUE, BURLINGTON, MA  
PHONE: (781) 273-3434 FAX: (781) 273-3430

REV	NO.	DATE	DESCRIPTION	BY

CHECKED BY: KJK

DRAWN BY: KL

PROJECT 20012

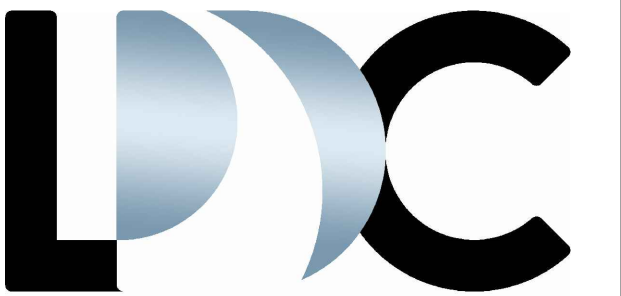
CPP-1



DATE: 07-12-2021

SCALE: 1" = 20'





LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581

508.952.6300 | LDcollaborative.com

THE CONTENT, INFORMATION AND DESIGN OF THIS PLAN ARE  
PROPRIETARY AND DUPLICATION AND/OR UTILIZATION FOR ANY PURPOSES  
IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM  
LAND DESIGN COLLABORATIVE. ONLY APPROVED, SIGNED AND SEALED  
PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES.  
© LAND DESIGN COLLABORATIVE, LLC.

Project Owner:  
**Empire Management  
Corporation**  
171 Great Road  
Acton, MA 01720

Project Applicant:  
**Empire Management  
Corporation**  
171 Great Road  
Acton, MA 01720

Project Title:  
**Cityside Subaru**  
740A - 790 Pleasant Street  
Belmont, MA  
(Middlesex County)

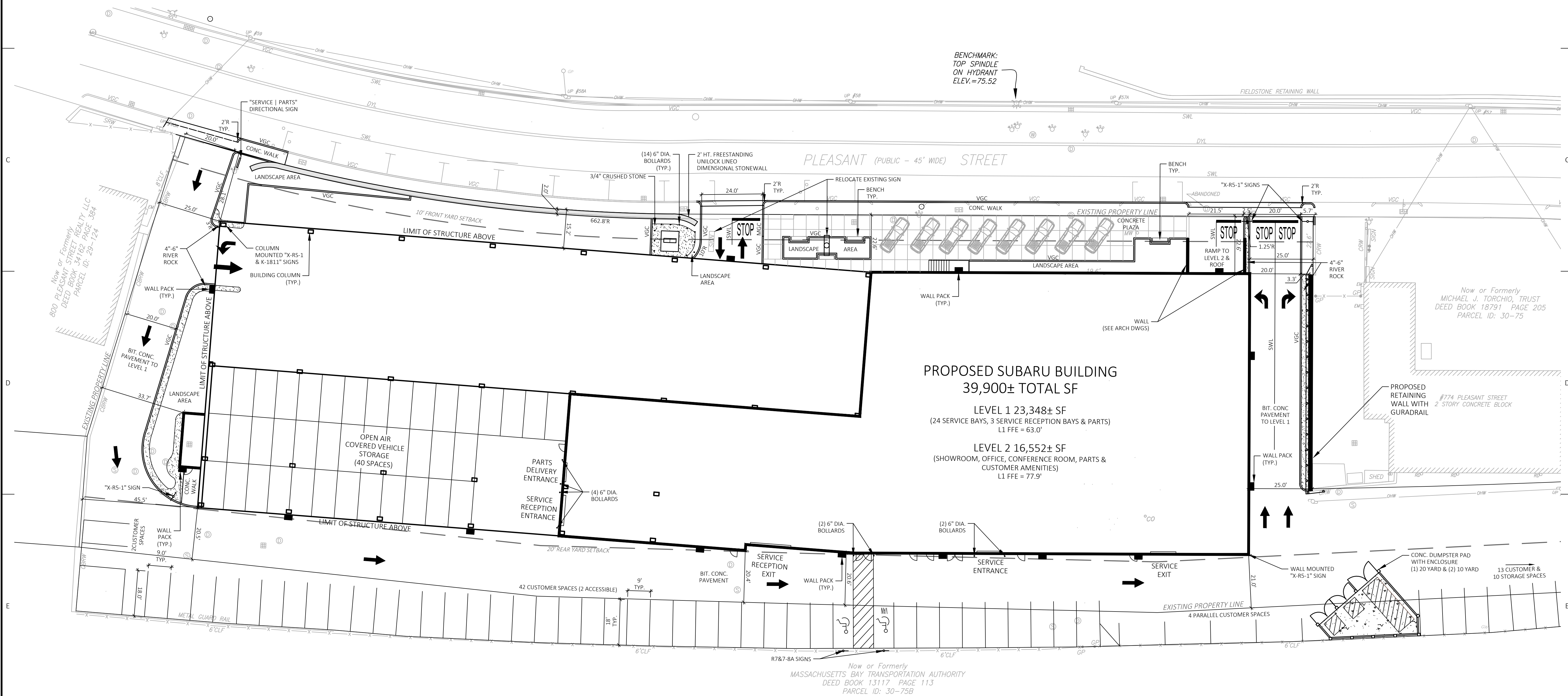
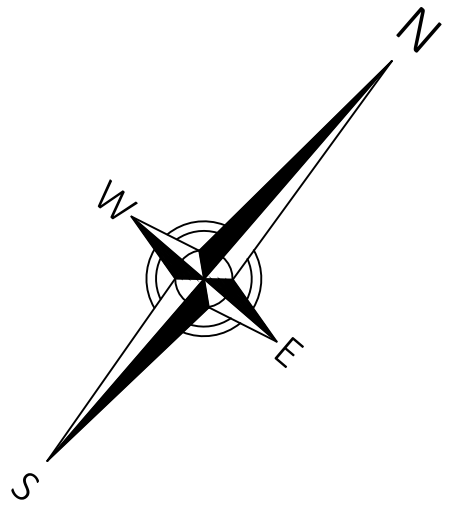
Sheet Title:  
**LAYOUT & MATERIALS PLAN  
(LEVEL 1)**

Town Permits



1	11/09/2021	TOWN COMMENTS
No:	Date:	Revision   Issue:
Drawn By:	JTA	Checked By: JTA
Date:	07/12/2021	Project No.: 20-0007
0 5' 10' 20' 40' 60'		
Scale: 1" = 20'		

Sheet No.:  
**C-101**



SEE SHEET C-001 FOR ADDITIONAL  
NOTES, LEGEND AND ABBREVIATIONS.



## LBII - LOCAL BUSINESS II DISTRICT(S)

\* PRE-EXISTING NONCONFORMING

\*\* PARCEL SIZE IS EXCLUDED FROM CALCULATION PER SECTION 1.4 OF THE TOWN OF BELMONT ZONING BY-LAW, LOT AREA DEFINITION, "...IF THE DISTANCE BETWEEN ANY TWO POINTS ON LOT LINES IS LESS THAN 50 FEET, AS MEASURED IN A STRAIGHT LINE, THE SMALLER PORTION OF THE LOT AS DIVIDED BY THAT LINE SHALL NOT BE INCLUDED IN LOT AREA UNLESS THE TWO POINTS ARE SEPARATED BY LESS THAN 150 FEET MEASURED ALONG LOT LINES."

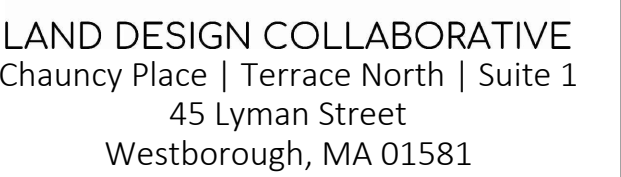
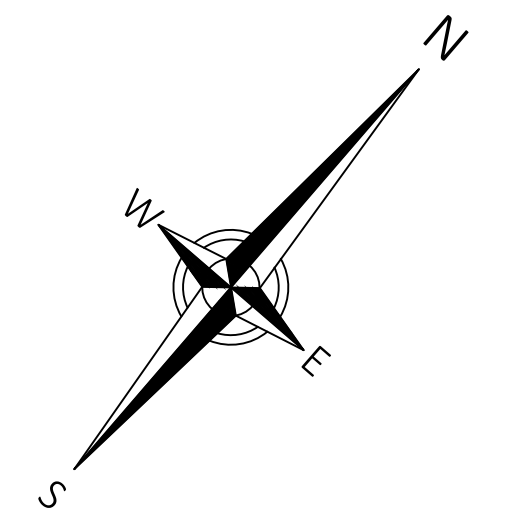
\*\*\* FLOOR AREA RATIO - ANY BUILDING AREA HAVING A FLOOR TO CEILING HEIGHT IN EXCESS OF 15 FEET SHALL BE COUNTED TWICE.

\*\*\*\* VARIANCE AND SPECIAL PERMIT GRANTED (CASE NO. 19-42)

REFER TO THE TOWN OF BELMONT ZONING BYLAW FOR ADDITIONAL REQUIREMENTS.

## DIMENSIONAL REQUIREMENTS

## PARKING REQUIREMENTS



CONTENT, INFORMATION AND DESIGN OF THIS PLAN ARE PROPRIETARY AND DUPLICATION AND/OR UTILIZATION FOR ANY PURPOSES STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM D DESIGN COLLABORATIVE. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES. D DESIGN COLLABORATIVE, LLC.

Project Applicant:  
Empire Management  
Corporation  
171 Great Road  
Acton, MA 01720

Project Title:

Cityside Subaru  
740A - 790 Pleasant Street  
Belmont, MA  
(Middlesex County)

Sheet Title:

LAYOUT & MATERIALS PLAN  
(LEVEL 2)

## own Permits

[illegible]

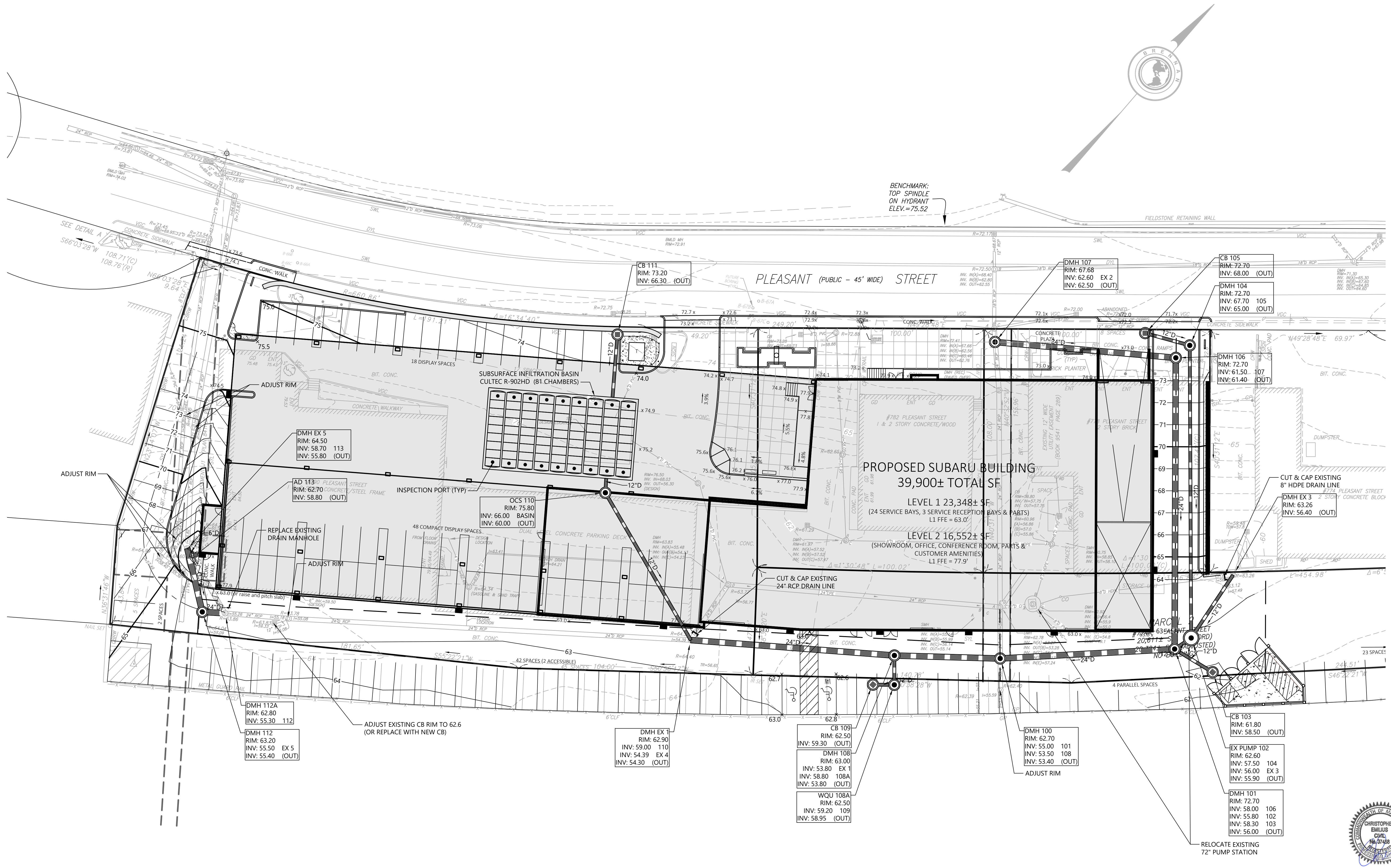
11/09/2021	TOWN COMMENTS		
Date:	Revision	Issue:	
Drawn By:	JTA	Checked By:	JTA
Date:	07/12/2021	Project No.:	20-0007

0 5' 10' 20' 40' 60'

Scale: 1" = 20'

Sheet No.: **C-102**





GRADING AND DRAINAGE PLAN  
LOCATED IN  
740A - 790 PLEASANT STREET  
BELMONT, MA  
PREPARED FOR  
EMPIRE MANAGEMENT CORPORATION  
DATE: 07-12-2021 REV 11-09-2021

**Brennan Consulting**  
ENGINEERING · TRANSPORTATION · SURVEYING  
24 RAY AVENUE, BURLINGTON, MA  
PHONE: (781) 273-3434 FAX: (781) 273-3430

REVISIONS				BY
NO.	DATE	DESCRIPTION		

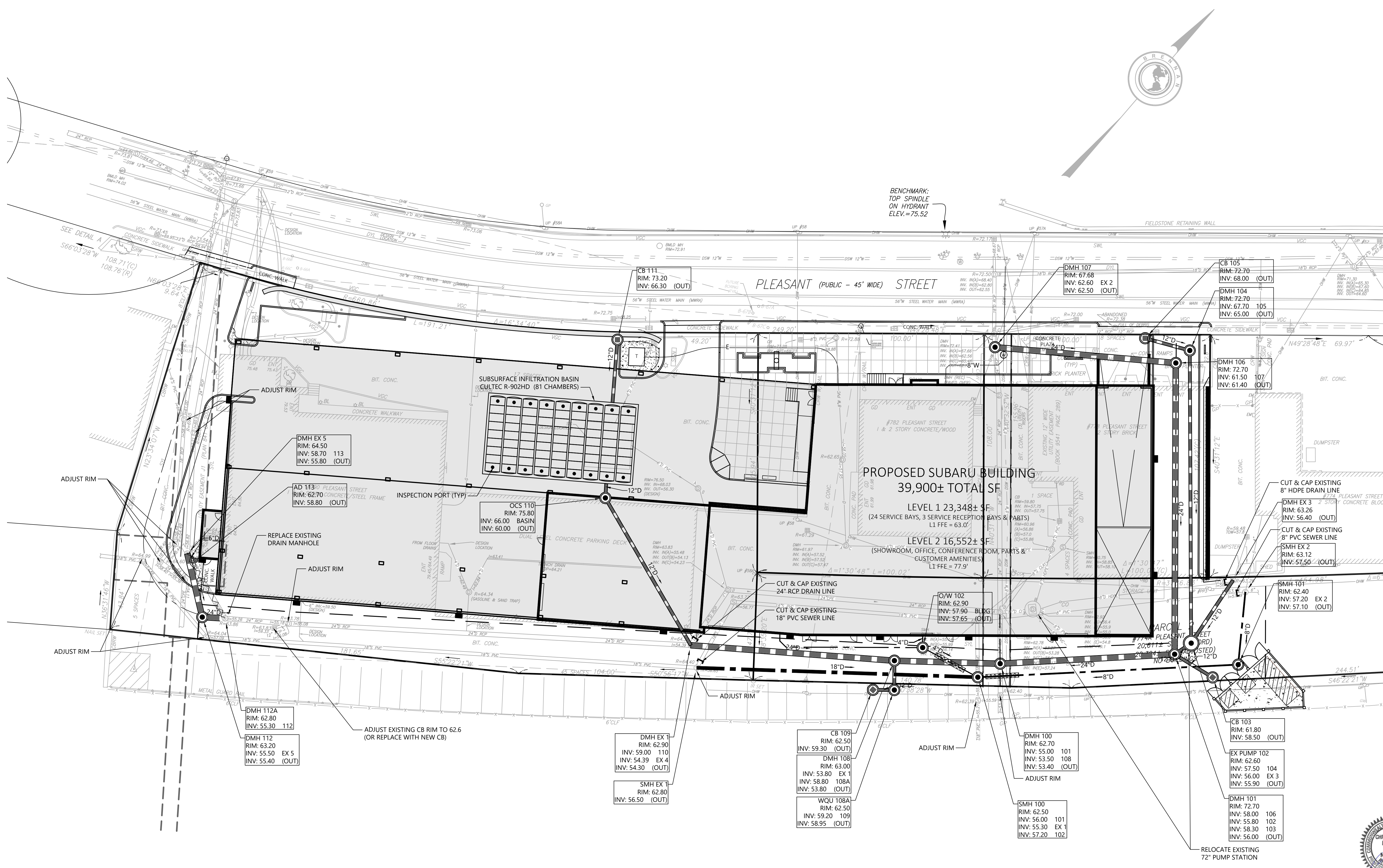
CHECKED BY: CE  
DRAWN BY: CG

PROJECT 20012

C-201



11



UTILITY PLAN  
LOCATED IN  
**740A - 790 PLEASANT STREET**  
BELMONT, MA  
PREPARED FOR  
**EMPIRE MANAGEMENT CORPORATION**  
DATE: 07-12-2021 REV 11-09-2021  
SCALE: 1" = 20'

**Brennan Consulting**  
ENGINEERING · TRANSPORTATION · SURVEYING  
24 RAY AVENUE, BURLINGTON, MA  
PHONE: (781) 273-3434 FAX: (781) 273-3430

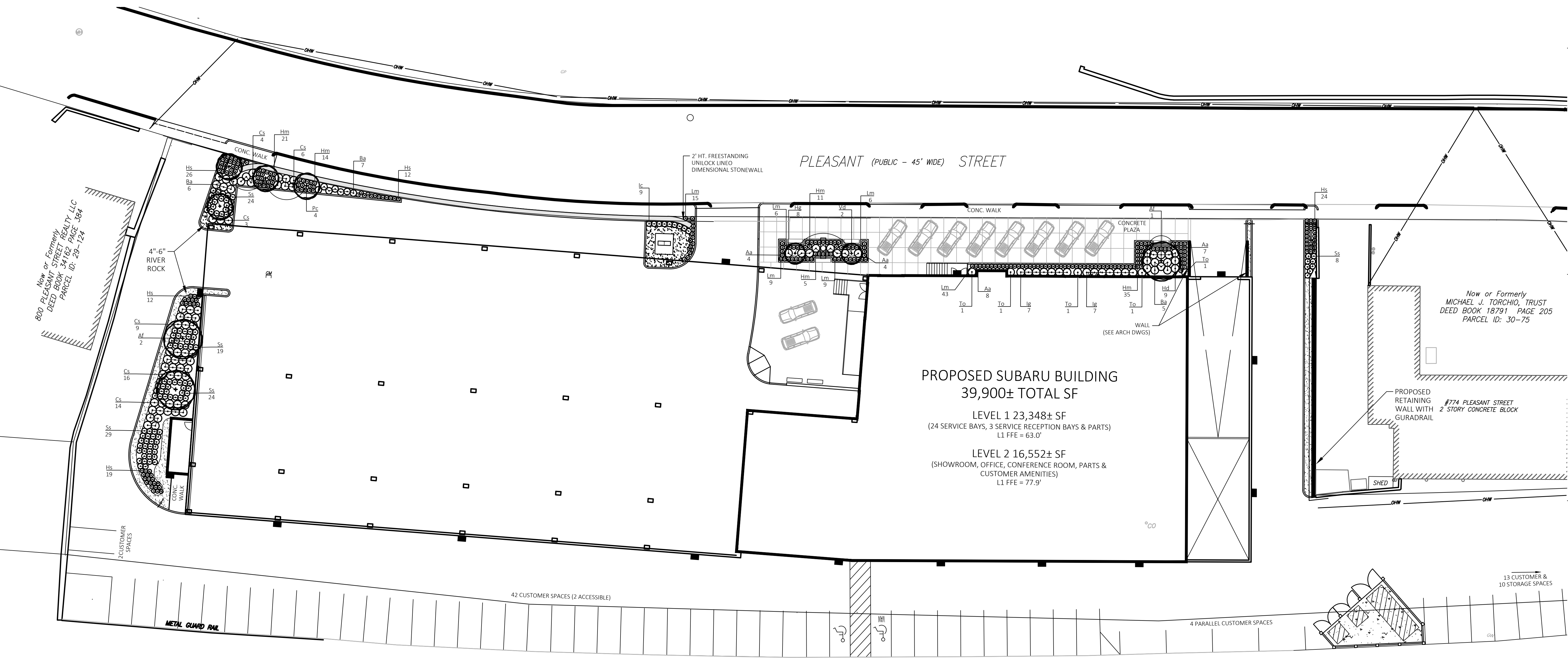
REVISIONS		NO.	DATE	DESCRIPTION	BY

CHECKED BY: CE  
DRAWN BY: CG  
PROJECT 20012  
**C-301**

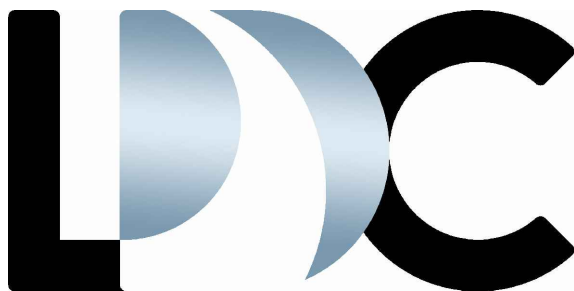
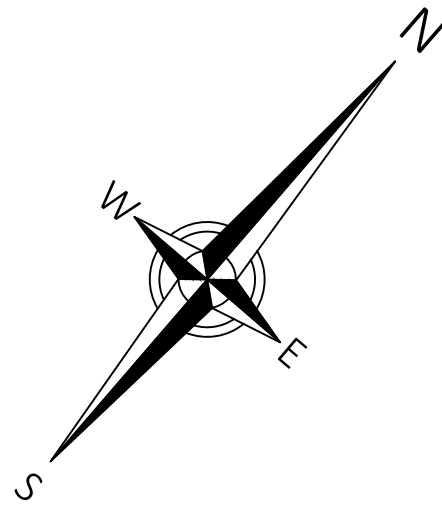


PLANT SCHEDULE							
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	COMMENTS
DECIDUOUS TREES							
3	Af	Acer x freemani 'Armstrong'	Armstrong Swamp Maple	2" - 2.5" cal.	B&B	AS SHOWN	Limb up to 6'
4	Pc	Pyrus calleryana 'Chanticleer'	Chanticleer Callery Pear	2" - 2.5" cal.	B&B	AS SHOWN	Limb up to 6'
5	To	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	7' - 8' ht.	B&B	AS SHOWN	AS SHOWN
SHRUBS							
52	Cs	Cornus sericea 'Farrow'	Artic Fire Red Twig Dogwood	2'-3' HT.	CONTAINER	AS SHOWN	AS SHOWN
9	Ic	Ilex crenata 'Sky Pencil'	Sky Pencil Japanese Holly	#5	CONTAINER	AS SHOWN	AS SHOWN
14	Ig	Ilex glabra 'Compacta'	Compact Inkberry	18"-24" HT.	CONTAINER	AS SHOWN	AS SHOWN
2	Vd	Viburnum carlesii	Koreanspice Viburnum	3'-4' HT.	B&B	AS SHOWN	AS SHOWN
PERENNIALS AND ORNAMENTAL GRASSES							
23	Aa	Astilbe 'Amethyst'	False Spirea (lavender)	#1	CONTAINER	AS SHOWN	AS SHOWN
18	Ba	Baptisia australis	Blue False Indigo	#2	CONTAINER	AS SHOWN	AS SHOWN
9	Hd	Hosta 'Big Daddy'	Big Daddy Hosta	#2	CONTAINER	AS SHOWN	AS SHOWN
105	Hm	Hakonechloa macra	Green Japanese Forest Grass	#1	CONTAINER	AS SHOWN	AS SHOWN
93	Hs	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1	CONTAINER	AS SHOWN	AS SHOWN
96	Lm	Liriope muscari 'Big Blue'	Big Blue Lily Turf	#1	CONTAINER	AS SHOWN	AS SHOWN
106	Ss	Schizachyrium 'Standing Ovation'	Upright Little Bluestem	#2	CONTAINER	AS SHOWN	AS SHOWN

SEE SHEET C-001 FOR PLANTING NOTES, GENERAL NOTES, LEGEND AND ABBREVIATIONS.



Now or Formerly  
MASSACHUSETTS BAY TRANSPORTATION AUTHORITY  
DEED BOOK 13117 PAGE 113  
PARCEL ID: 30-75B



LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581

508.952.6300 | LDCollaborative.com

THE CONTENT, INFORMATION AND DESIGN OF THIS PLAN ARE  
PROPRIETARY AND DUPLICATION AND/OR UTILIZATION FOR ANY PURPOSES  
IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM  
LAND DESIGN COLLABORATIVE. ONLY APPROVED, SIGNED AND SEALED  
PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES.  
© LAND DESIGN COLLABORATIVE, LLC

Project Owner:  
**Empire Management Corporation**  
171 Great Road  
Acton, MA 01720

Project Applicant:  
**Empire Management Corporation**  
171 Great Road  
Acton, MA 01720

Project Title:  
**Cityside Subaru**  
740A - 790 Pleasant Street  
Belmont, MA  
(Middlesex County)

Sheet Title:  
**LANDSCAPE PLAN**

Town Permits



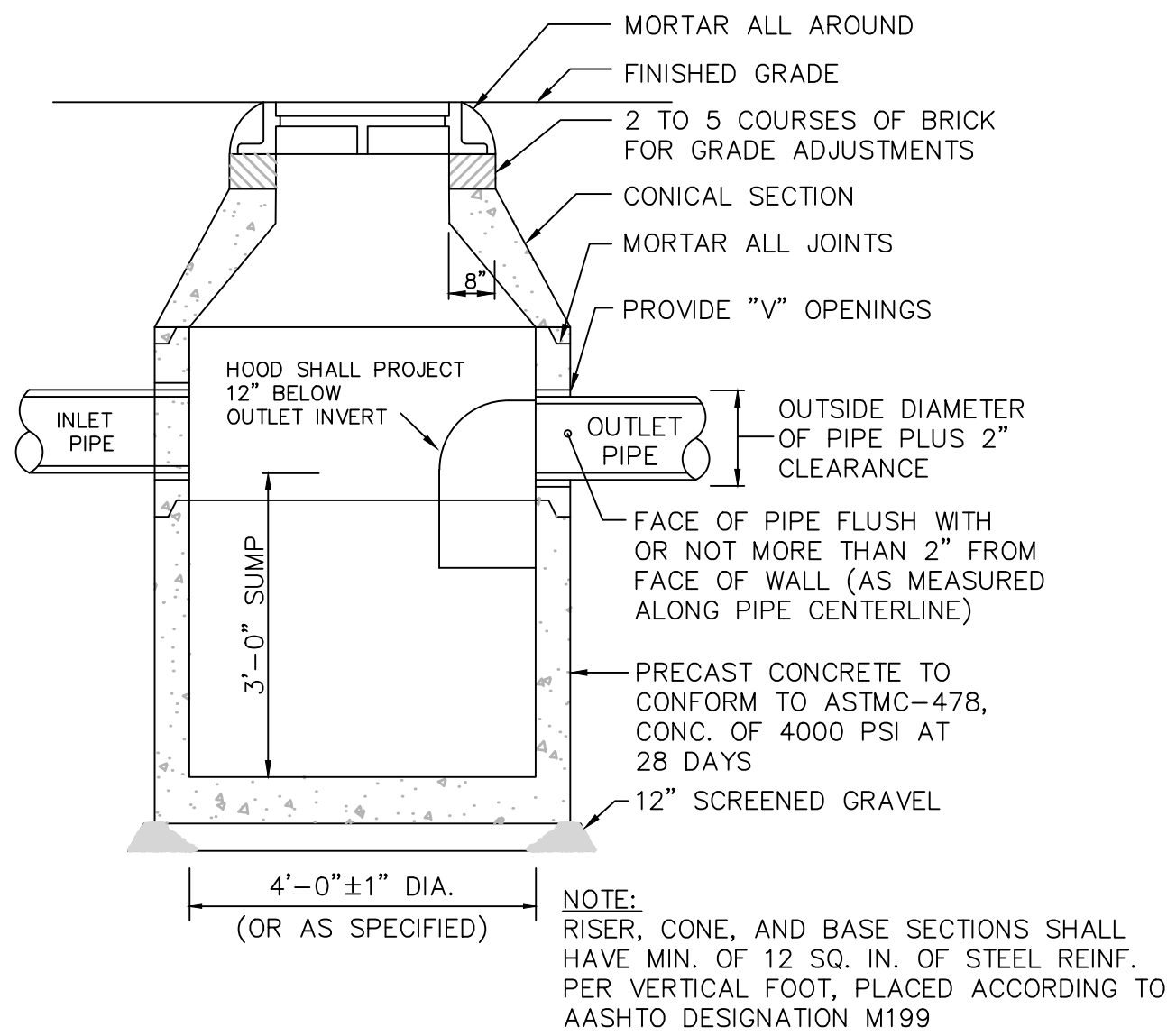
1	11/09/2021	NO CHANGES
No:	Date:	Revision   Issue:
Drawn By: JTA		
Checked By: JTA		
Date:	07/12/2021	Project No.: 20-0007
0'	5'	10'
20'		
40'		
60'		

Sheet No.:

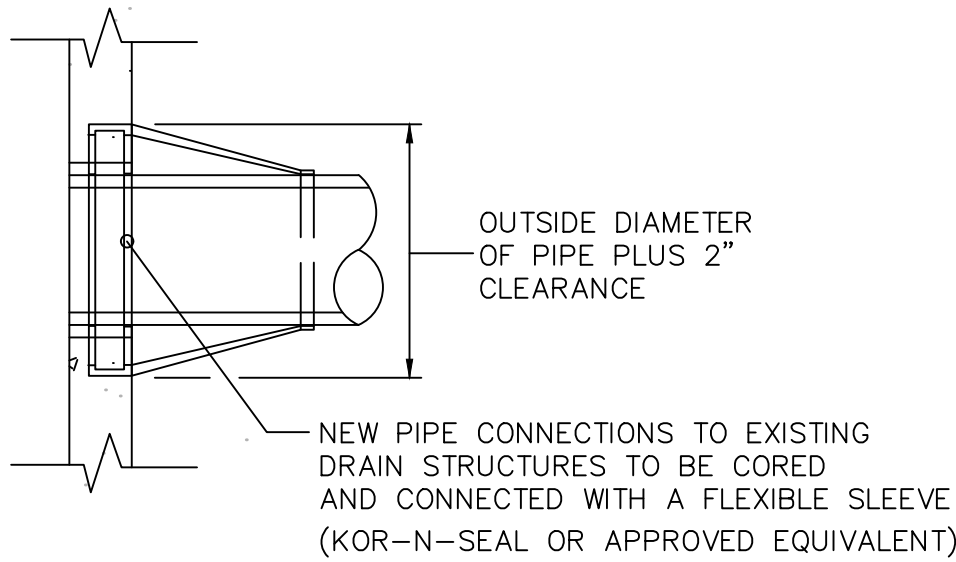
**L-101**



DIAMETER	WALL THICKNESS	FLOOR THICKNESS
4 FT.	5 IN.	6 IN.
5 FT.	6 IN.	7 IN.
6 FT.	7 IN.	8 IN.

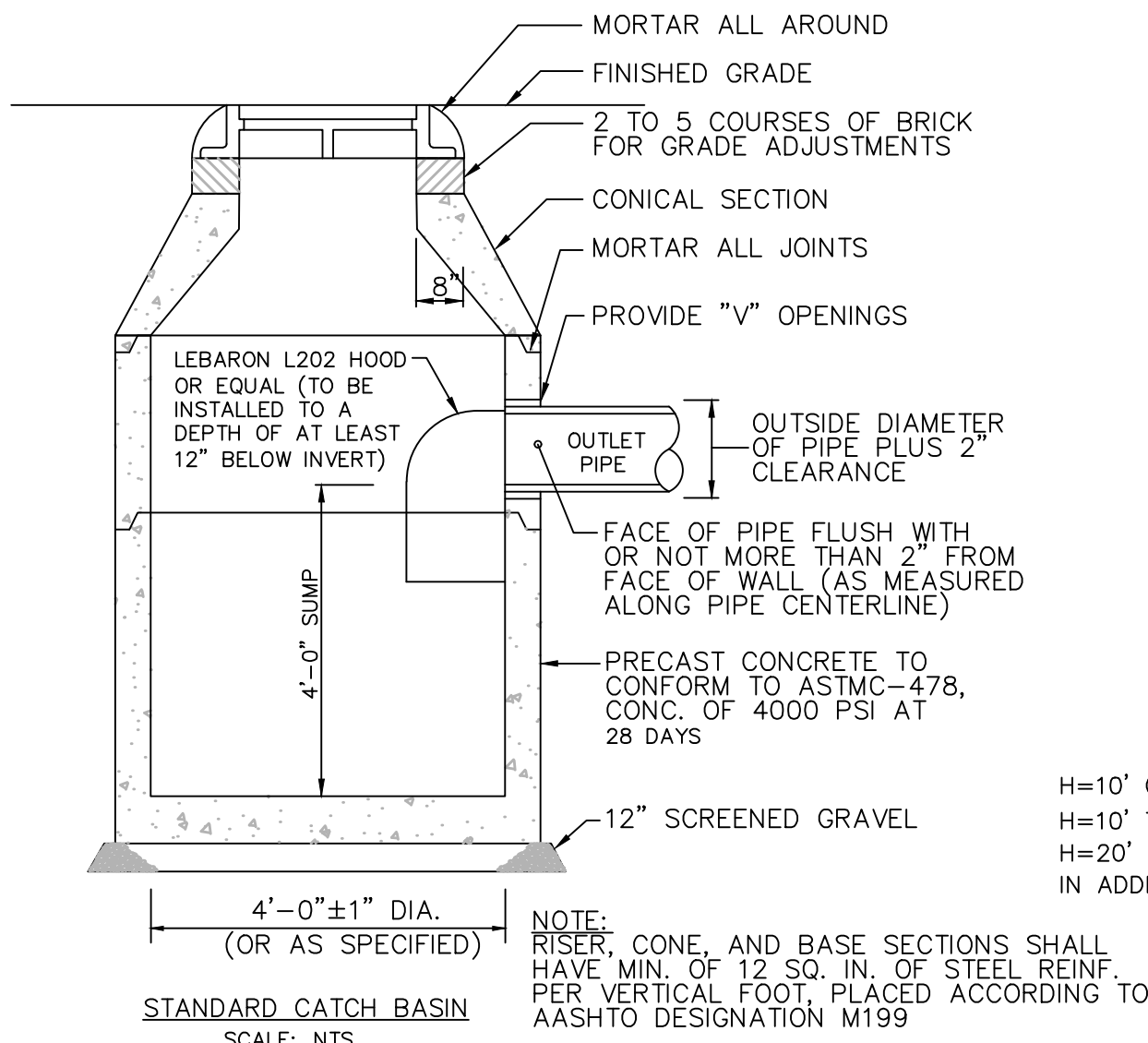


**DRAIN MANHOLE DETAIL**  
NOT TO SCALE



**EXISTING DRAIN MANHOLE CONNECTION DETAIL**  
NOT TO SCALE

DIAMETER	WALL THICKNESS	FLOOR THICKNESS
4 FT.	5 IN.	6 IN.
5 FT.	6 IN.	7 IN.
6 FT.	7 IN.	8 IN.

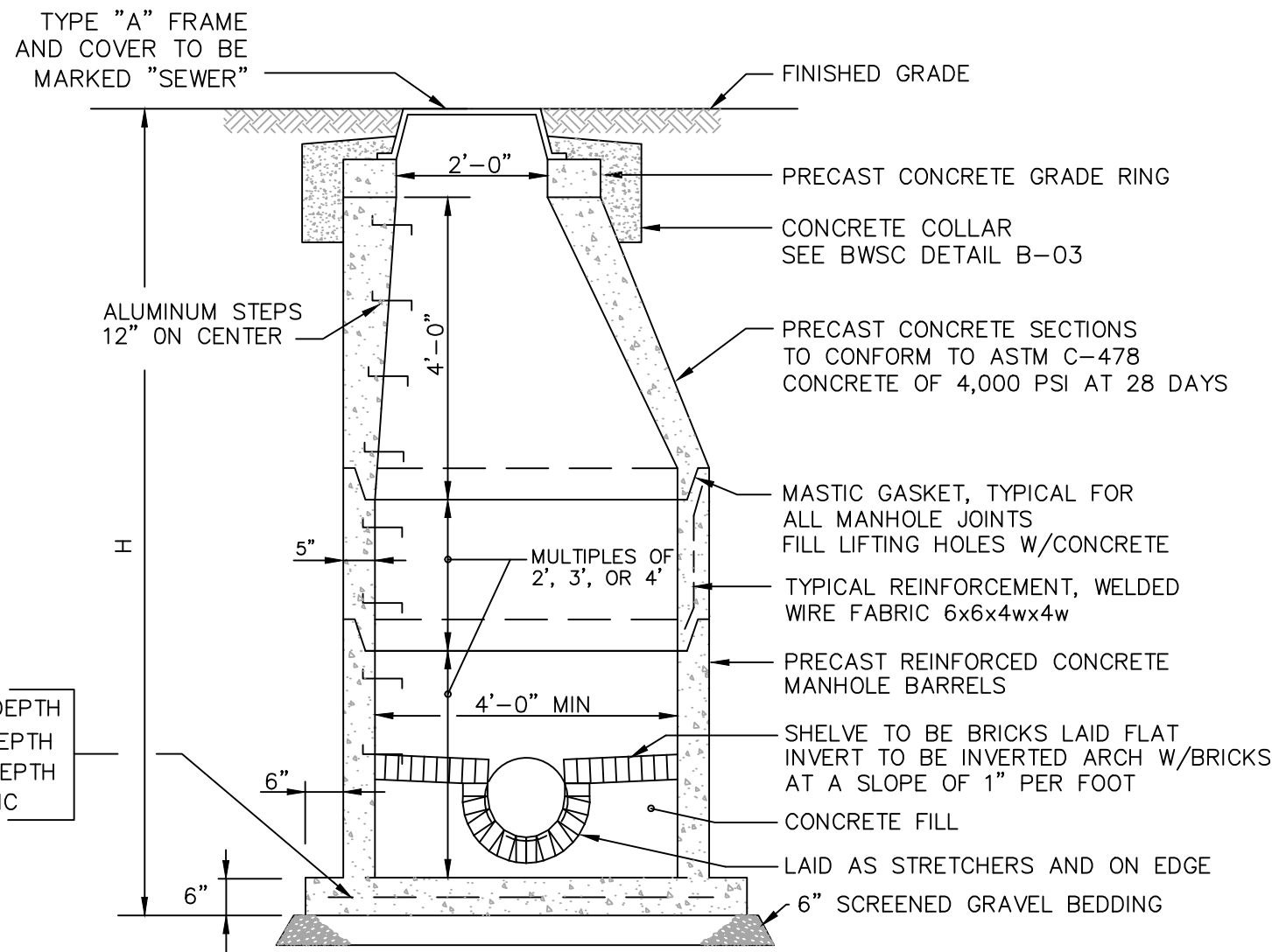


**STANDARD CATCH BASIN DETAIL**  
NOT TO SCALE

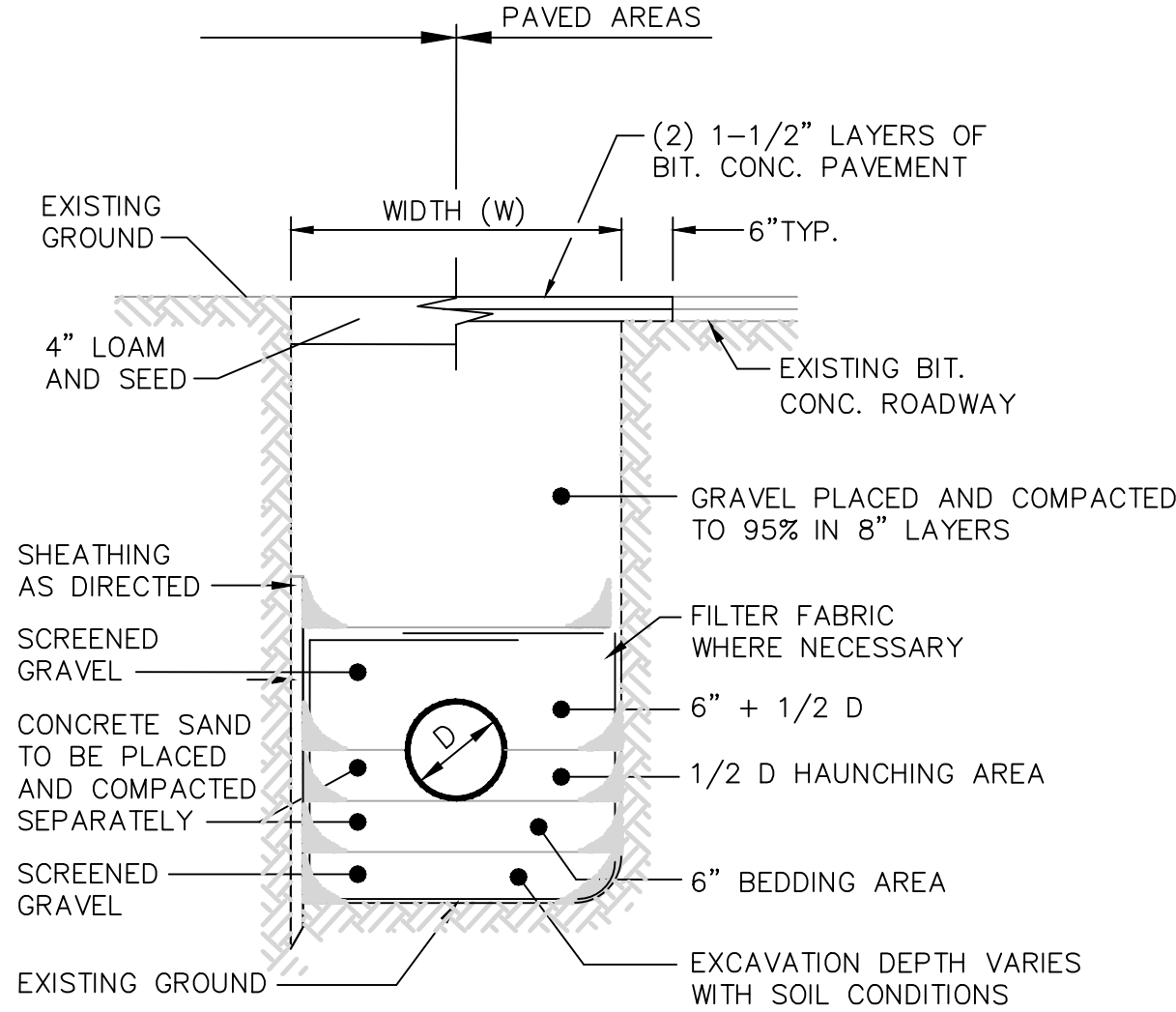
H=10' OR LESS: #4 AT 18 EW MIDDEPTH  
H=10' TO 20': #4 AT 12 EW MIDDEPTH  
H=20' TO 30': #5 AT 12 EW MIDDEPTH  
IN ADDITION TO WELDED WIRE FABRIC

**NOTES:**

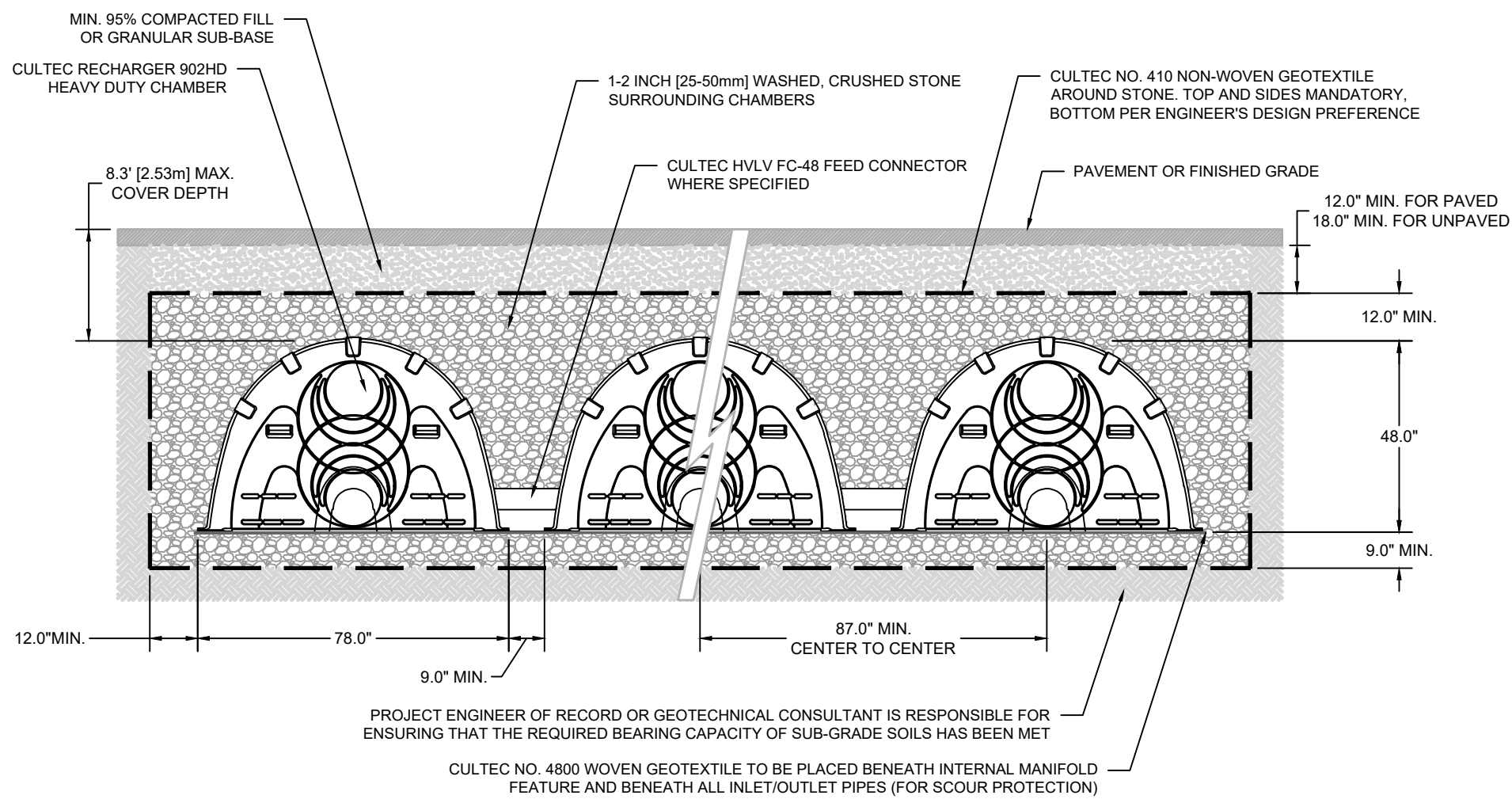
- 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET OR WHEN ORDERED BY THE ENGINEER.
- 6" MIN. WALL THICKNESS AND 7 INCH MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
- 6 INCH LIP OPTIONAL UNLESS OTHERWISE NOTED.



**SEWER MANHOLE DETAIL**  
NOT TO SCALE

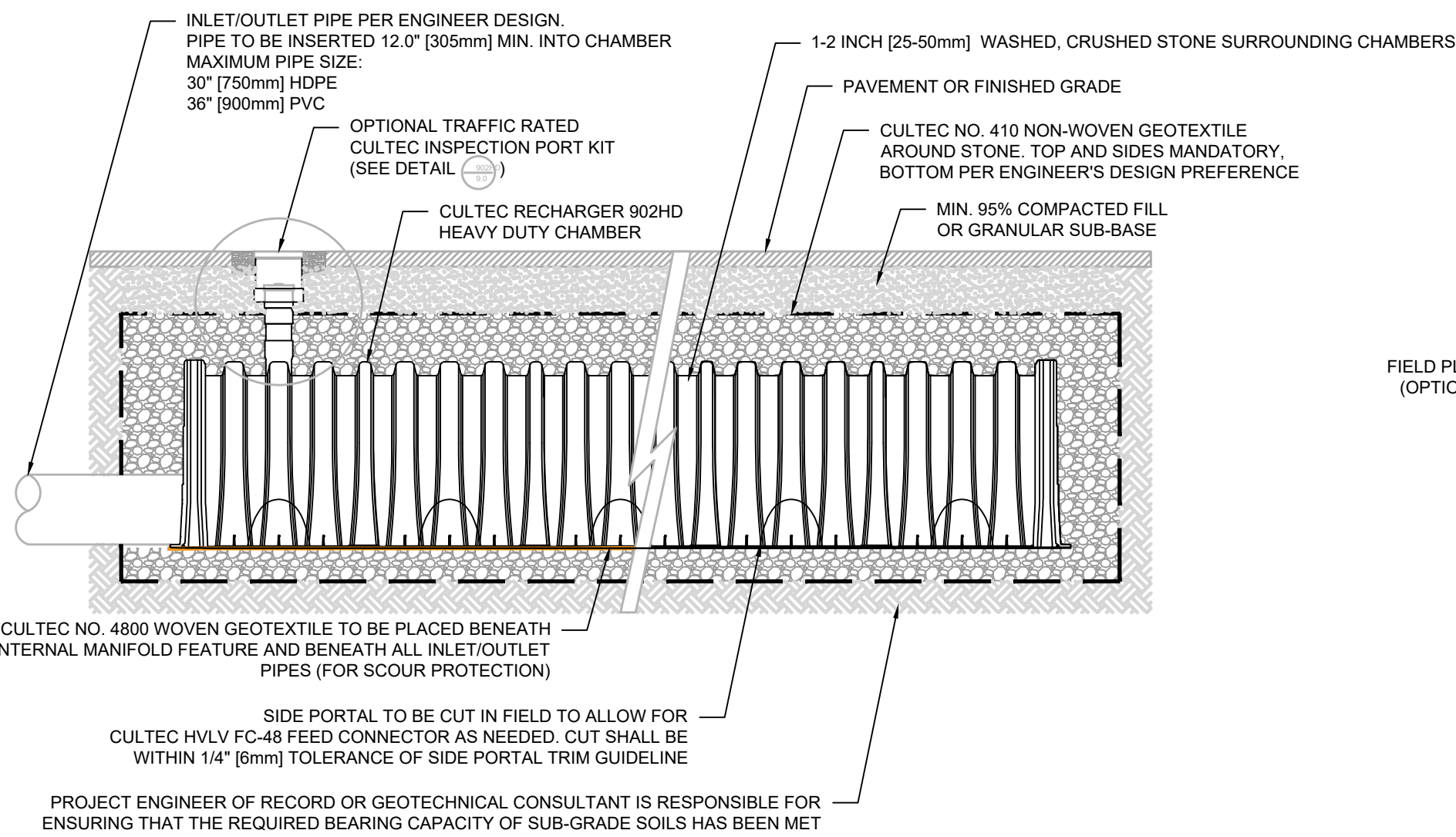


**TYPICAL SEWER TRENCH DETAIL**  
NOT TO SCALE



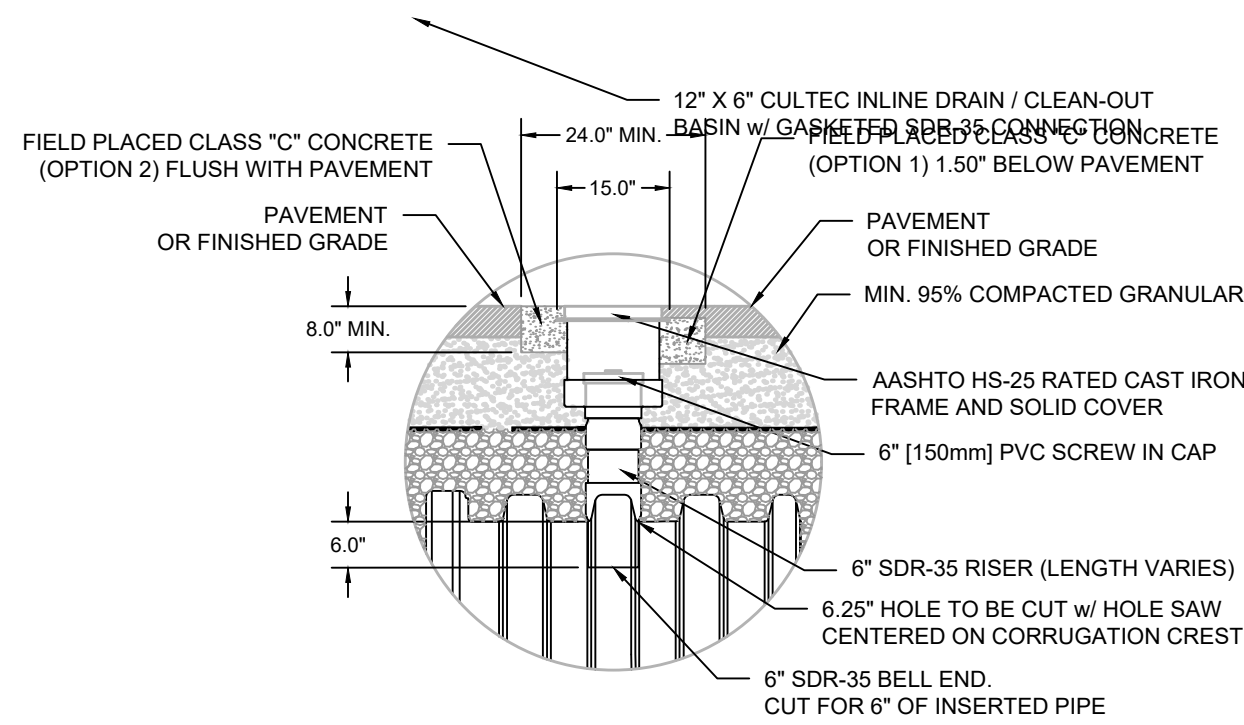
- NOTES:**
- THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS." THE LOAD CONFIGURATION SHALL INCLUDE:
    - INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER
    - MAXIMUM PERMANENT (50-YEAR) COVER LOAD
    - 1-WEEK PARKED AASHTO DESIGN TRUCK LOAD
  - THE CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F3430-20 "STANDARD SPECIFICATION FOR CELLULAR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
  - THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12, WHEN INSTALLED ACCORDING TO CULTREC'S RECOMMENDED INSTALLATION INSTRUCTIONS. THE STRUCTURAL DESIGN OF THE CHAMBERS SHALL INCLUDE THE FOLLOWING:
    - THE CREEP MODULUS SHALL BE 50-YEAR AS SPECIFIED IN ASTM F3430
    - THE MINIMUM SAFETY FACTOR FOR LIVE LOADS SHALL BE 1.75
    - THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.95

**INFILTRATION/DETENTION SYSTEM — RECHARGER 902HD**  
TYPICAL CROSS SECTION  
NOT TO SCALE



- NOTES:**
- THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS." THE LOAD CONFIGURATION SHALL INCLUDE:
    - INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER
    - MAXIMUM PERMANENT (50-YEAR) COVER LOAD
    - 1-WEEK PARKED AASHTO DESIGN TRUCK LOAD
  - THE CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F3430-20 "STANDARD SPECIFICATION FOR CELLULAR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
  - THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12, WHEN INSTALLED ACCORDING TO CULTREC'S RECOMMENDED INSTALLATION INSTRUCTIONS. THE STRUCTURAL DESIGN OF THE CHAMBERS SHALL INCLUDE THE FOLLOWING:
    - THE CREEP MODULUS SHALL BE 50-YEAR AS SPECIFIED IN ASTM F3430
    - THE MINIMUM SAFETY FACTOR FOR LIVE LOADS SHALL BE 1.75
    - THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.95

**INTERNAL MANIFOLD DETAIL — RECHARGER 902HD**  
TYPICAL CROSS SECTION  
NOT TO SCALE



**CULTREC INSPECTION PORT**  
NOT TO SCALE



**DETAILS**  
LOCATED IN  
**740A - 790 PLEASANT STREET**  
BELMONT, MA  
PREPARED FOR  
**EMPIRE MANAGEMENT CORPORATION**

DATE: 07-12-2021 REV 11-09-2021

SCALE: 1" = 20'

**Brennan Consulting**  
ENGINEERING · TRANSPORTATION · SURVEYING  
24 RAY AVENUE, BURLINGTON, MA  
PHONE: (781) 273-3434 FAX: (781) 273-3430

REVISIONS	NO.	DATE	DESCRIPTION	BY

CHECKED BY: CE  
DRAWN BY: CG

PROJECT 20012

**C-401**



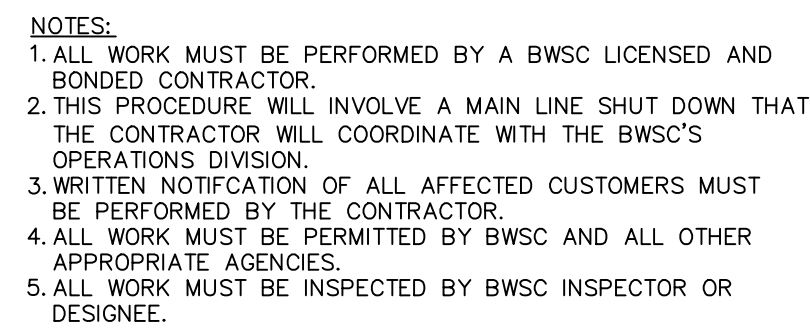


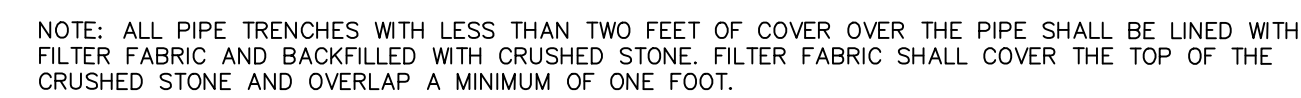
Diagram illustrating the connection between an HDPE area drain and an 8" HDPE main drain through a cast iron grate and concrete collar. The assembly includes a concrete collar, clean backfill, and a slope to drain. The connection is made using an 8" HDPE pipe and a 1/4" / FT. slope.

Diagram illustrating a standard valve box and cover installation. The diagram shows a cross-section of the ground surface and subsurface components. Key elements labeled include:

- FINISHED STREET GRADE**: The top horizontal line representing the ground level.
- EDGESTONE**: The curb or boundary between the sidewalk and the street.
- SIDEWALK**: The paved area on the right side of the diagram.
- PROPERTY LINE**: A vertical dashed line on the right side of the diagram.
- STANDARD VALVE BOX AND COVER**: The vertical structure that connects the underground pipe to the ground surface.
- ACCESS TUBE**: The vertical pipe section extending from the valve box down to the gate valve.
- MASONRY RING**: The horizontal pipe section connecting the access tube to the gate valve.
- MECHANICAL JOINT GATE VALVE**: The valve assembly located at the bottom of the access tube.
- EXISTING WATER MAIN**: The horizontal pipe on the left side of the diagram.
- MJ X MJ TEE**: The connection point between the existing water main and the new access tube.
- MECHANICAL JOINTS**: The connections between the various pipe sections.
- 5'-6" TYPICAL**: A dimension indicating the typical depth from the finished street grade to the top of the valve box.

**NOTES:**

- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
- USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
- SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.



ONE TO THREE  
THREADS SHOWING

TYPE K COPPER

SIZE VARIES

This diagram shows a cross-section of a probe. It has a circular base with a hatched pattern. A threaded stem extends from the center of the base. A callout shows a magnified view of the threads, labeled 'ONE TO THREE THREADS SHOWING'. The stem is labeled 'TYPE K COPPER'. A dimension line across the base is labeled 'SIZE VARIES'.

NOTES:

1. SERVICE CONNECTIONS WILL BE INSTALLED SO THAT THE OUTLET IS AT AN ANGLE OF NOT MORE THAN 45° ABOVE THE HORIZONTAL. ALWAYS PUT A BEND OR "GOOSENECK" IN THE SERVICE LINE PRIOR TO CONNECTING TO PROVIDE FLEXIBILITY AND "GIVE" TO COUNTER THE EFFECTS OF A LOAD DUE TO SETTLEMENT OR EXPANSION AND/OR CONTRACTION

C-402

**DETAILS**  
**LOCATED IN**  
**740A - 790 PLEASANT STREET**  
**BELMONT, MA**

---

**PREPARED FOR**  
**EMPIRE MANAGEMENT CORPORATION**

**DATE: 07-12-2021**

**SCALE: 1" = 20'**

**Brennan Consulting**  
ENGINEERING · TRANSPORTATION · SURVEYING  
24 RAY AVENUE, BURLINGTON, MA

24 RAY AVENUE, BURLINGTON, MA  
PHONE: (781) 273-3434 FAX: (781) 273-3430

