

DESCRIPTION OF PROPOSAL TO ADD PARKING SPOTS TO THE W.F. HOMER HOUSE

The Belmont Woman's Club seeks to add parking spots to the left side of the W.F. Homer House, located at 661 Pleasant Street. The area where the parking spots will be created is currently unused land filled with unsightly scrub trees, dead trees, weeds, and tree stumps.

The project will take place in phases, with the first phase involving the removal of vegetation and grading of the land behind the parking spots, back toward Concord Ave. The area will then be dug to remove the soil and create level ground. The soil removed will be transplanted to the front lawn, which has eroded over time and is desperate need of landfill.

The next phase will entail the installation of a granite retaining wall and eleven parking spots, including one handicapped spot at the top of the area, adjacent to the left-side of the house (facing). The driveway area of the house is currently used for parking by three-five cars per day, usually by police department and town employees when overflow parking is needed. It is not anticipated that more people will use the spaces than currently use the driveway. Additional parking spots will be used by guests during events, renters, and by Woman's Club members during meetings. The Woman's Club currently meets twice a month from October to May, although they generally meet offsite during January, February, and March because many members are older and cannot navigate the driveway and stairs when icy conditions are present. The Woman's Club also hosts lectures several times a year, which brings members of the public to the Club.

The Woman's Club also plans to add new plantings to the area behind the parking spots, including plantings that will help to screen or hide the parking spots as much as possible, and to preserve to the extent we can the natural beauty of the land surrounding the parking spots.

The Woman's Club is pursuing this project because it wants to make the Homer House more inviting and accessible to the public. The property has never had designated parking on site. Adding parking spots will make the property safer by preventing people from parking precariously on the side of the existing driveway, and on the lawn. Parking problems have already caused deterioration of the driveway on the right side (facing) at the point where the driveway turns toward the House. A vehicle fell over and nearly rolled down onto the front lawn. When the Homer House was built in 1853, there was no asphalt in the front yard, but asphalt was added at some point to create the driveway, so this project is not seeking to add a new material to the property. Likewise, because three-five cars a day park on the edge of the driveway, there will not be a visible change to the property by the addition of parking spots. There will be only an improvement to the current situation, which has cars parking in haphazard ways. This does not look appealing and can be dangerous. Many historic properties in Massachusetts that were not initially built with parking spots have added parking spots over the years in order to improve public access and enjoyment. The Woman's Club believes that new parking spots will improve the appearance and safety of the Homer House.

The availability of designated parking spots will also improve community awareness of the House by making the property look more like a place where the public is welcome. The Woman's Club expects the parking spots to inspire more people to take tours and learn about the important history of the Homer House. The Woman's Club also expects that parking spots will increase rental opportunities, which is extremely important as a source of income for the Club as rental income enables the Club to pay utility bills, insurance, and other expenses associated with maintaining and preserving the House for future generations. Many potential renters have selected other properties to host their functions because of the lack of dedicated parking spots at the Homer House.



IN

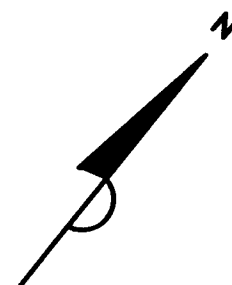
(MIDDLESEX COUNTY)

A horizontal bar divided into four equal segments of 20 ft each. The segments are labeled 0, 20, 40, 60, and 80 ft.

6003PL1.DWG

REFERENCES

MIDDLESEX REGISTRY OF DEEDS
DEED BOOK 5069 PAGE 404 (LOCUS DEED)
PLAN 523 OF 2010
PLAN 122 OF 1955
1879 PLEASANT STREET COUNTY LAYOUT



CONCORD AVENUE

PLEASANT STREET

BELMONT WOMAN'S CLUB

661 PLEASANT STREET BELMONT
MA 02478

SITE IMPROVEMENTS

Job: 2889
Date: 06/03/2021
Scale: AS NOTED
Drawn: ISP
Checked: ATR

PROPOSED SITE PLAN (REVISED)

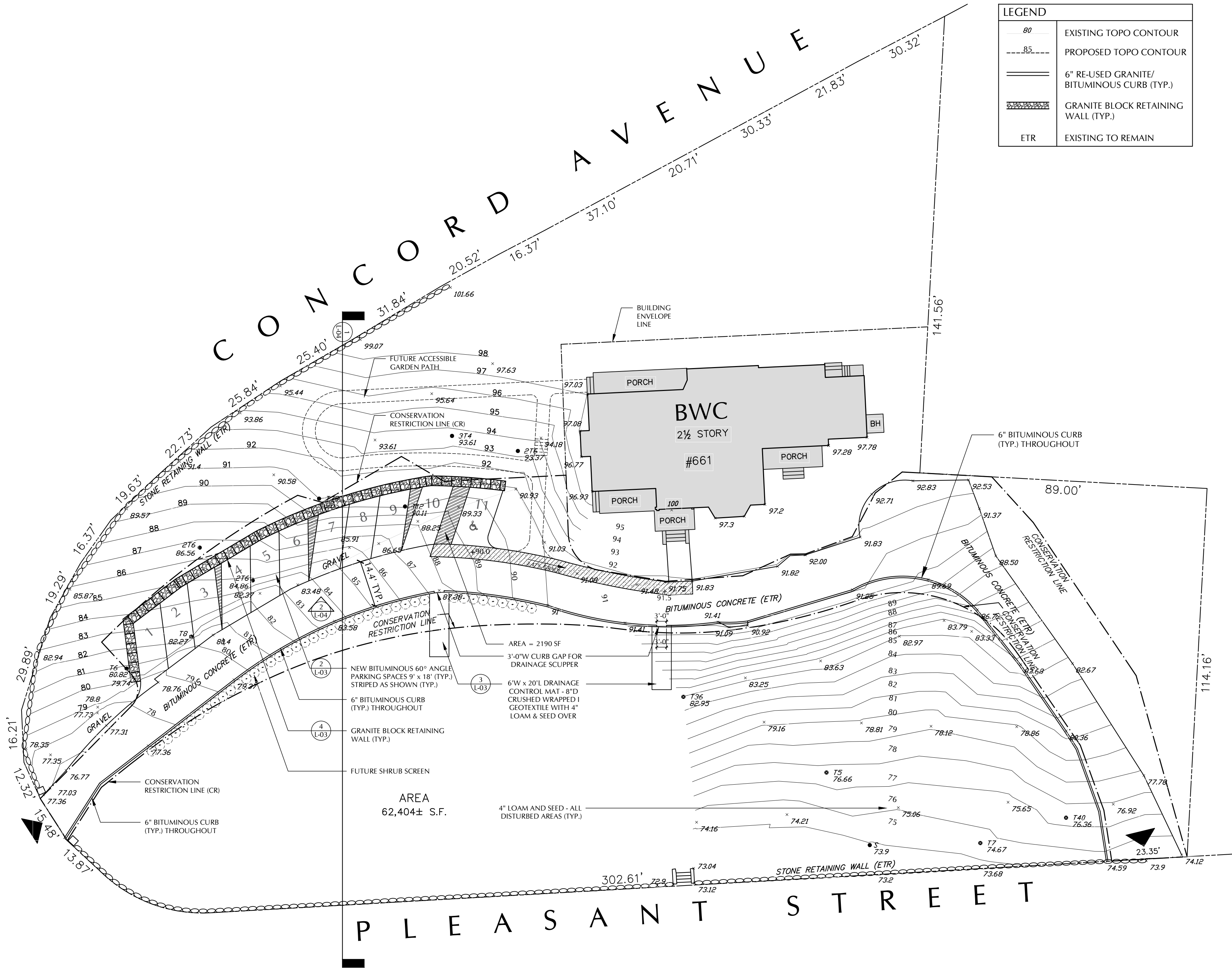
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Rojas

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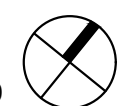
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L-01



1 PROPOSED SITE PLAN

SCALE: 1" = 20'-0"



BELMONT WOMAN'S CLUB

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PROPOSED GRADING PLAN

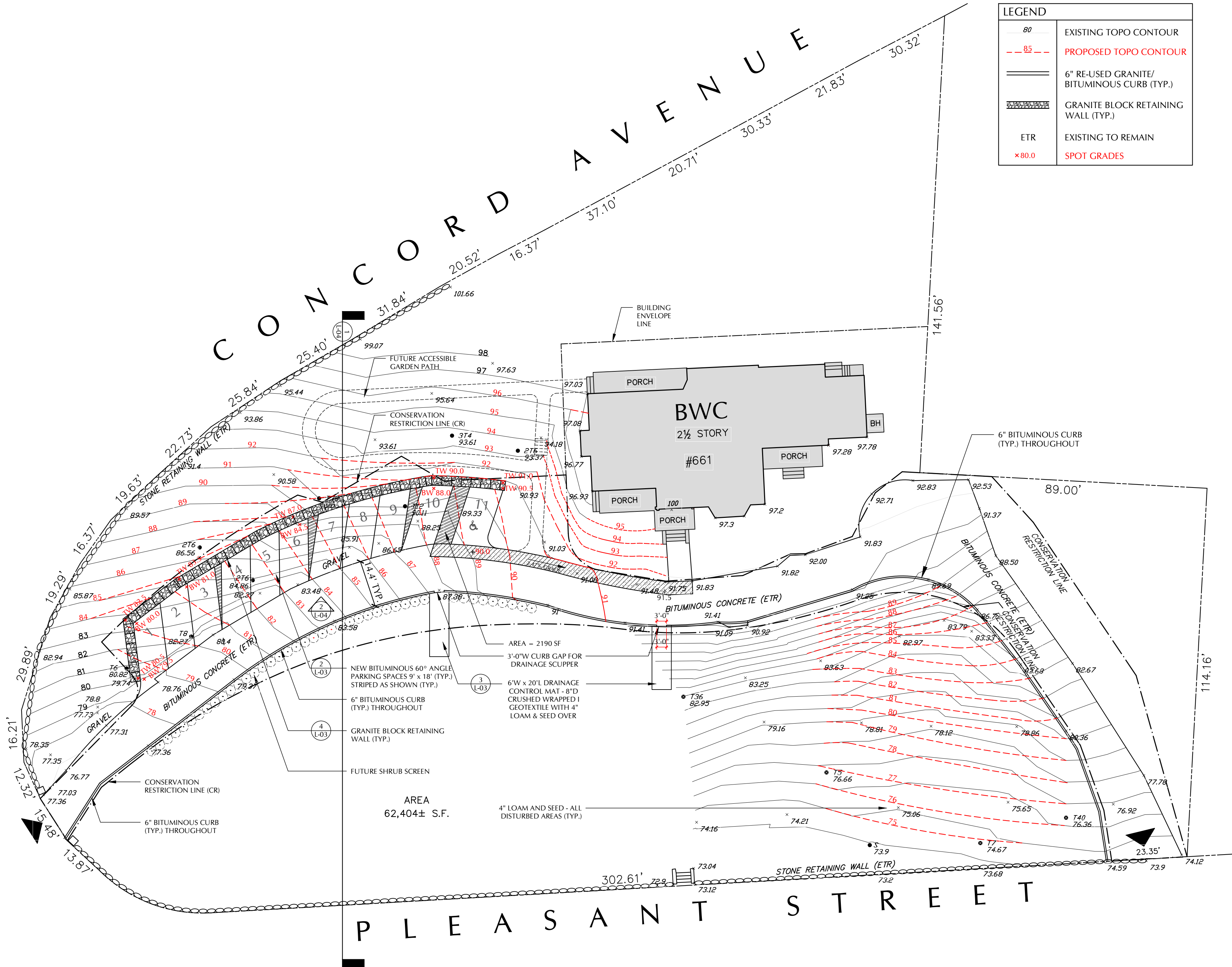
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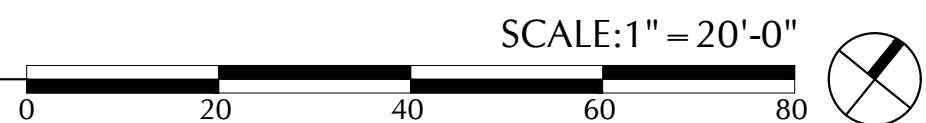
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L-02



1 PROPOSED GRADING PLAN



BELMONT WOMAN'S CLUB

661 PLEASANT STREET BELMONT
MA 02478

SITE IMPROVEMENTS

Job:	2889
Date:	06/03/2021
Scale:	AS NOTED
Drawn:	ISP
Checked:	ATR

PROPOSED SITE PLAN - PARTIAL & DETAILS

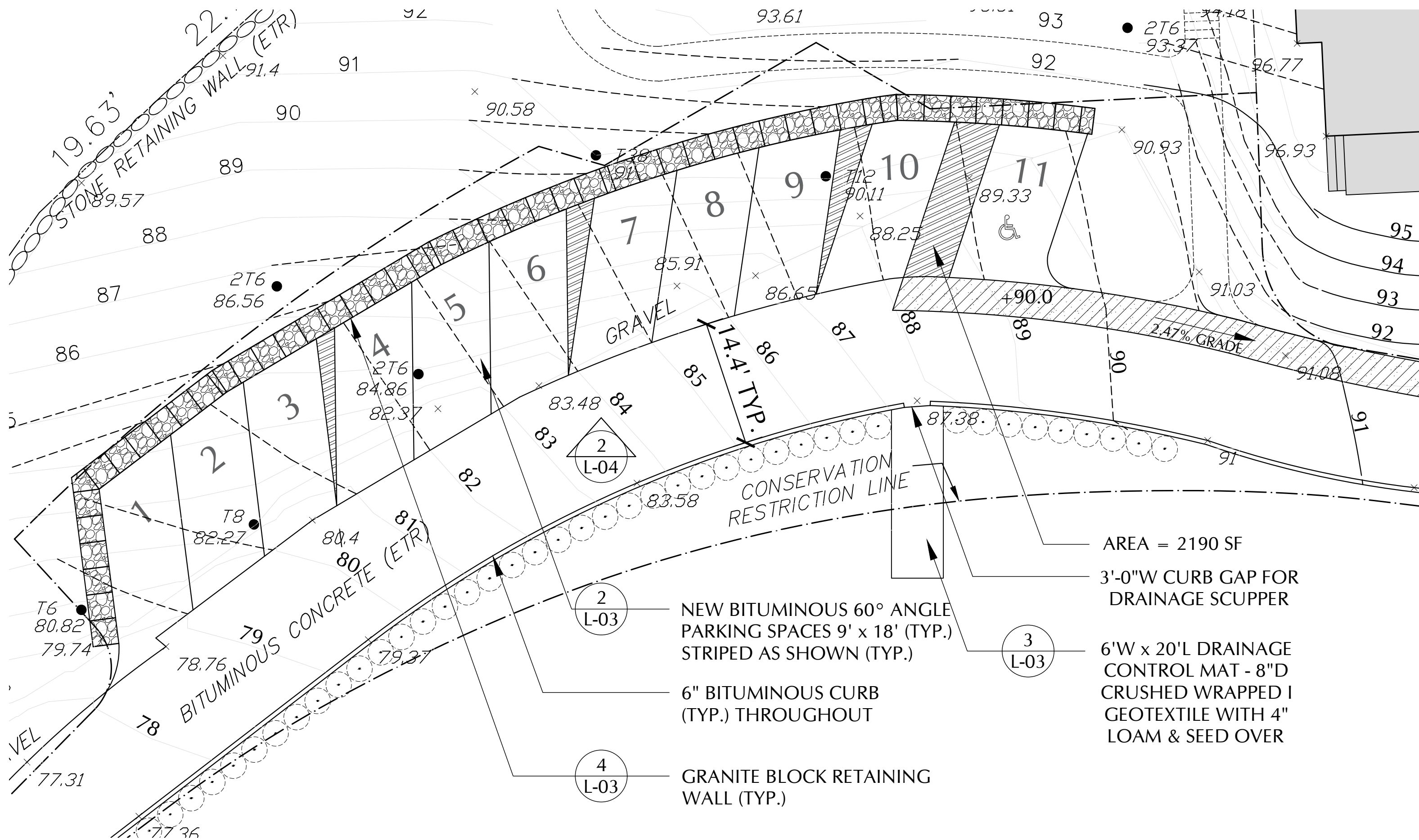
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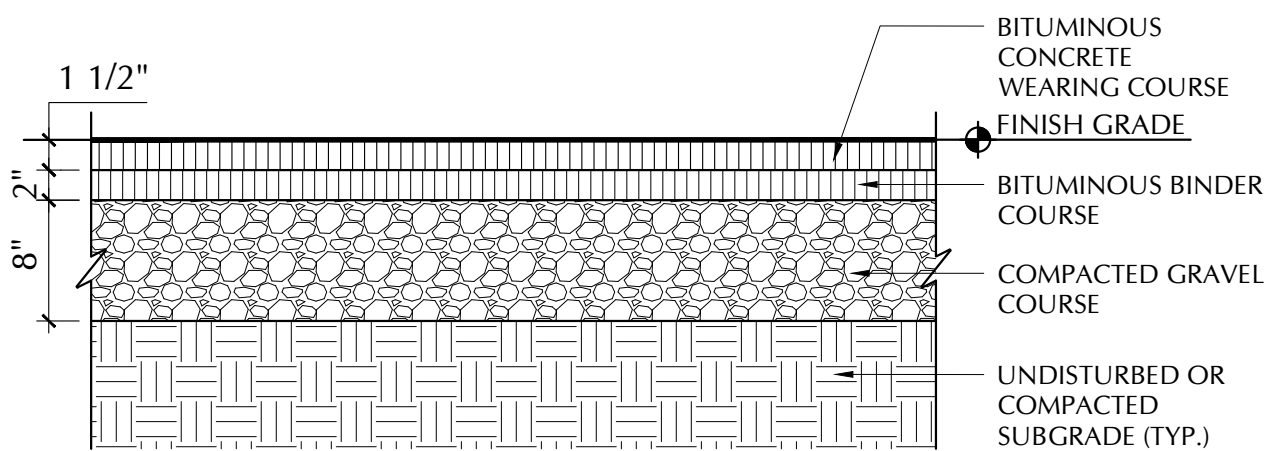
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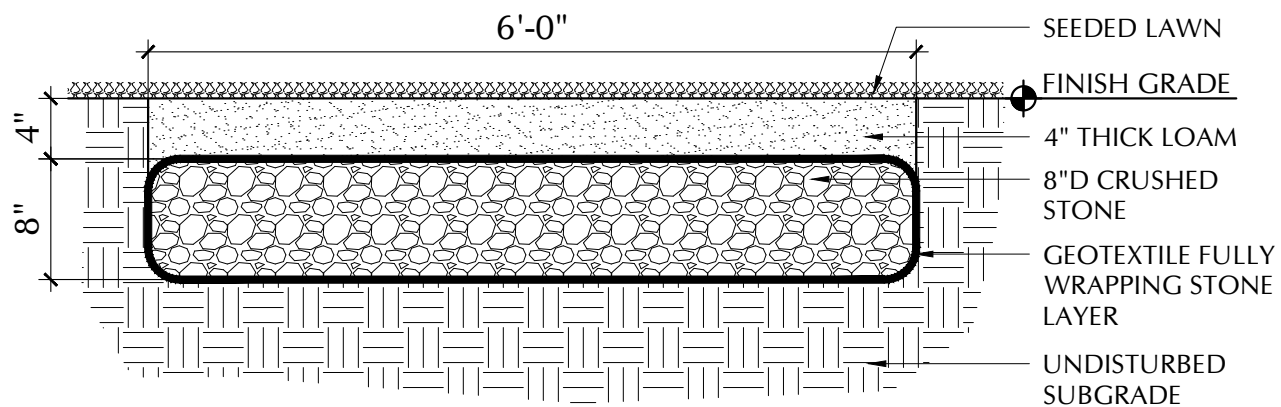
L-03



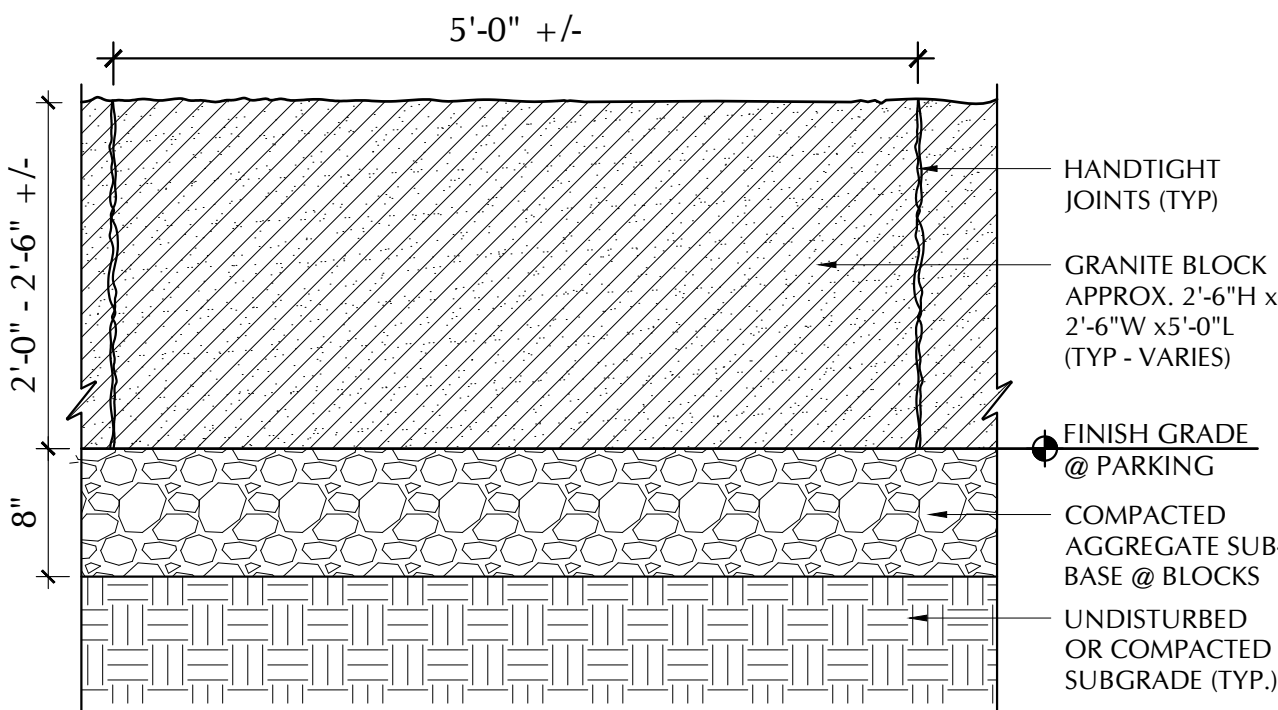
1 PROPOSED SITE PLAN - PARTIAL



2 BITUMINOUS PAVEMENT DETAIL



3 DRAINAGE CONTROL MAT



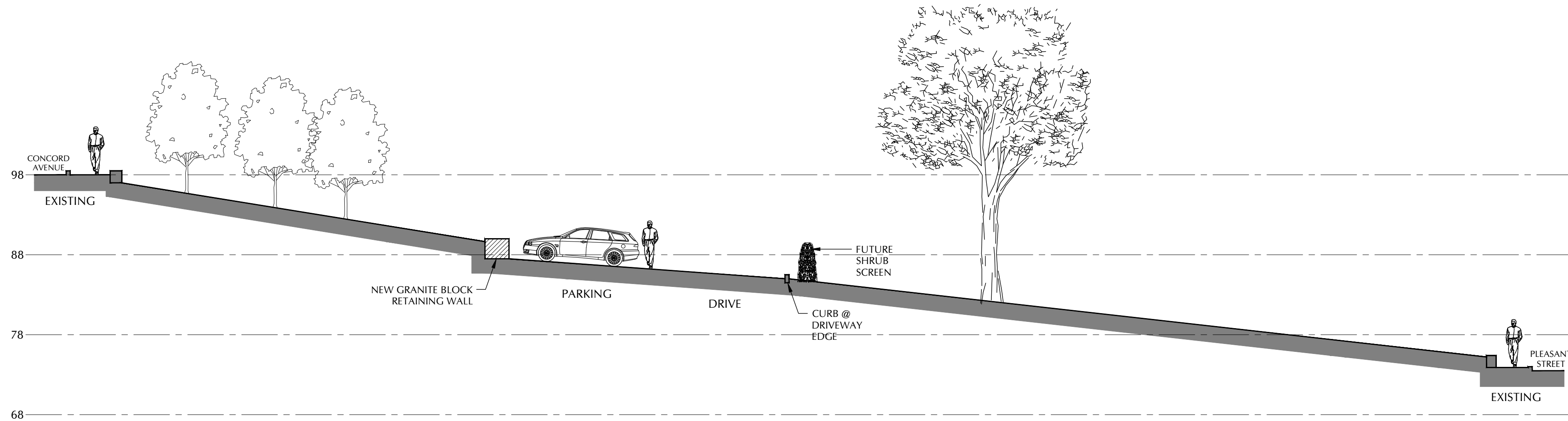
4 GRANITE BLOCK RETAINING WALL

NOT TO SCALE

BELMONT WOMAN'S CLUB

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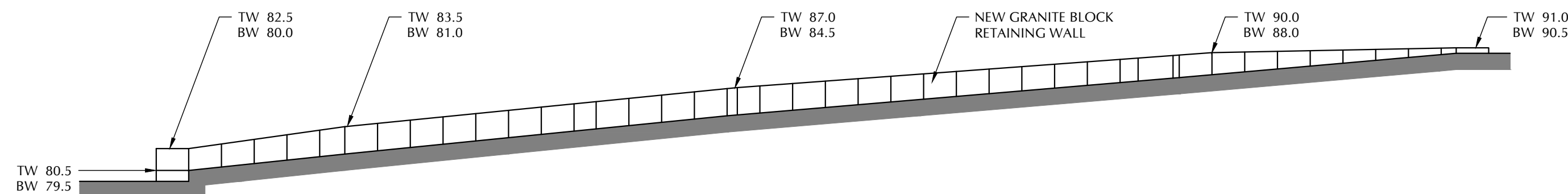
SITE IMPROVEMENTS



1 PROPOSED SITE CROSS-SECTION

Job:	2889
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Checked:	ATR

PROPOSED SITE SECTION & ELEVATION



2 PROPOSED RETAINING WALL ELEVATION FROM DRIVEWAY

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