

# McLean Zone 3 | The Residences at Bel Mont

Land Management Committee

Meeting July 12, 2021



McLean District| Zone 3

# The Residences at Bel Mont

Project Team:



RYAN ASSOCIATES





# Masterplan Comparison

## Original Concept Plan

**Subdistrict A**  
 40 Townhouse Units 2.5-Stories  
 +2 Bonus Units in Eliot Chapel

**Subdistrict B**  
 110 Units  
 Two 4-Story Elevator Buildings



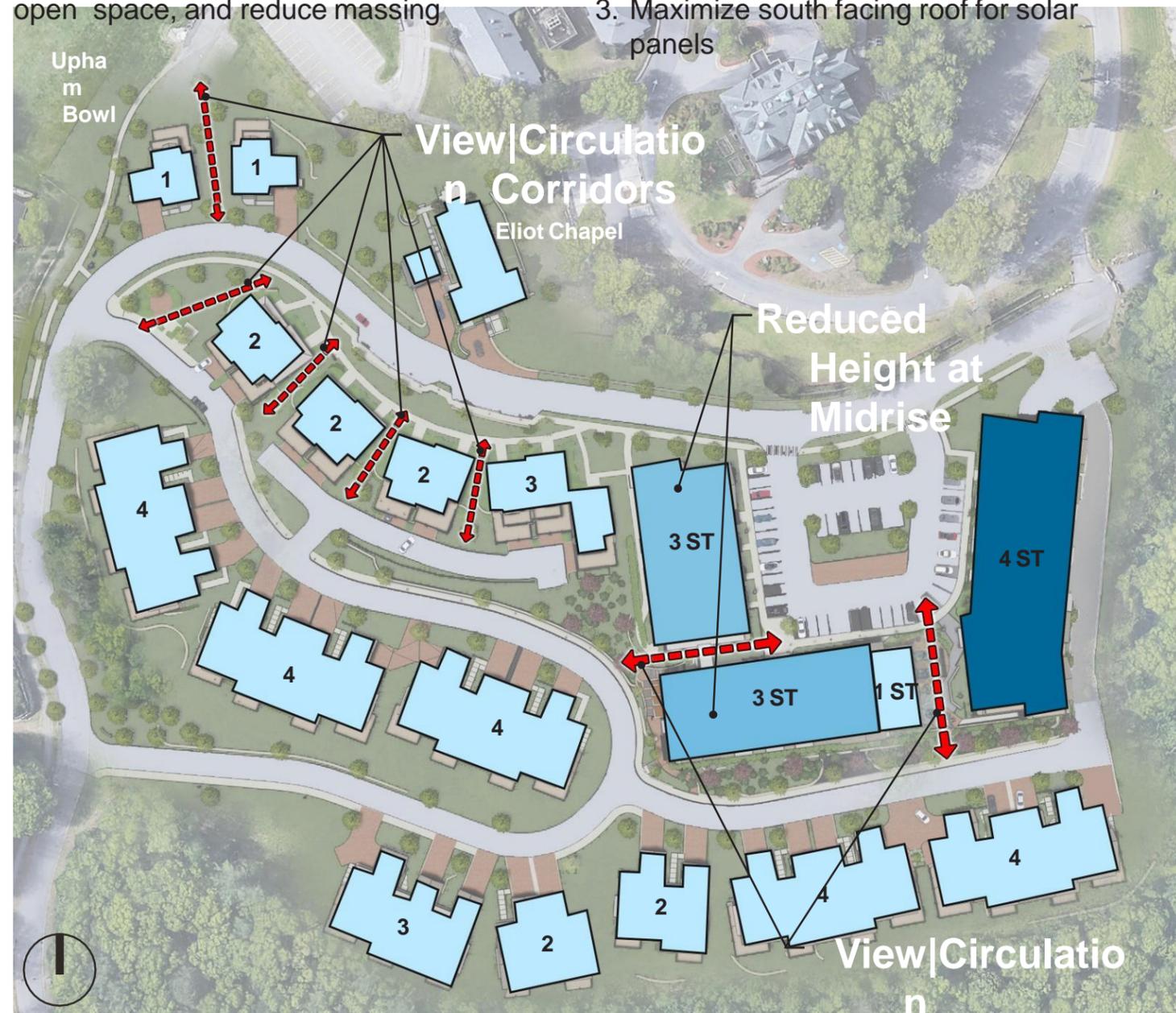
## Revisions to Masterplan

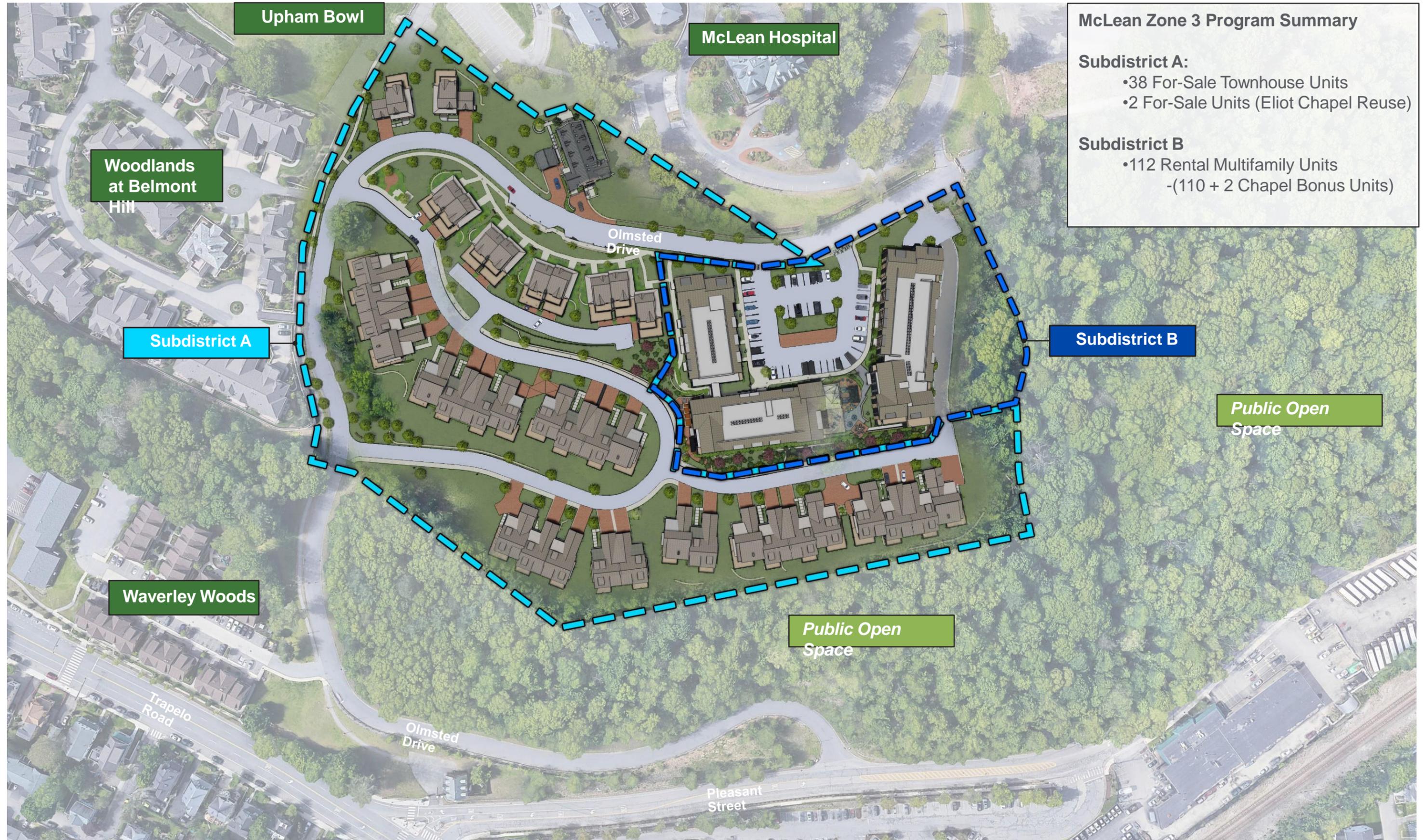
**Subdistrict A**  
 Reduce Townhouse Unit Count from 40 to 38 Units; 2.5-Stories. +2 Chapel Units

1. Covert triplex to duplex units to open up views to Eliot Chapel, increase open space, and reduce massing
2. Covert triplex to two single units to open up views to Upham Bowl, increase open space, and reduce massing

**Subdistrict B**  
 112 Units (110 + 2 Chapel Bonus Units) 3-Story & 4-Story Buildings

1. Lower height of west building to better transition to scale of townhomes
2. Reduce Scale of west buildings by dividing into two parts creating a physical and visual connection to the townhome neighborhood
3. Maximize south facing roof for solar panels





### McLean Zone 3 Program Summary

**Subdistrict A:**

- 38 For-Sale Townhouse Units
- 2 For-Sale Units (Eliot Chapel Reuse)

**Subdistrict B**

- 112 Rental Multifamily Units  
-(110 + 2 Chapel Bonus Units)





- Subdistrict**
- A** **T** Buildings 1 •14
    - 38 Age-Restricted For-Sale Townhouse Units
      - 15 2BR (39%) 2,165 SF - 2,272 SF
      - 23 3BR (61%) 2,212 SF - 2,566 SF
    - 33 Market | 5 Affordable
    - 87 Parking Spaces
    - 76 Garage Parking Spaces (2 Per Unit)
    - 11 Guest Surface Parking Spaces (.3/Unit)
  - C** Eliot Chapel Reuse
    - 2 Age-Restricted For-Sale Units
      - 1 3BR 2,753 SF
      - 1 1BR 1,006 SF
      - 1 Market, 1 Affordable
      - 2 Garage Parking Spaces

Subdistrict A	Permitted	Proposed
<b>Dimensional Standards</b>		
Number of Units	40	38
Number of Units in Grouping	4	4
Avg No of Bedrooms	2.6	2.6
Townhome Unit Living Area	2,400 SF	≤ 2,566 SF
Townhome Unit Gross Area	3,600 SF	≤ 3,739 SF
Total Gross Floor Arera	144,000 SF	136,652 SF
Building Height Max (Ft)	36'	less than 36'
Building Height (Stories)	2.5	2 & 2.5
Parking Spaces	2.3 per Unit	2.3 per Unit
Affordable Units	15%	15% (6)
Age-Restricted Units	100%	100% (40)





**Subdistrict B**

- 112 Units (110 + 2 Chapel Bonus Units)
  - Building 100 • 58 Units
  - Building 200 • 54 Units
- Total Unit Mix:
  - 47 • 1BR (42%)
  - 54 • 2BR (48%)
  - 11 • 3BR (10%)
  - 184,306 GSF
- 84 Market/28 Affordable
- 53 Age-Restricted Units (55+)
- 59 Non-Age-Restricted Units
- 99 Garage Parking Spaces
- 58 Surface Parking Spaces
- 157 Total Parking Spaces (1.4 Spaces/Unit)

▶ Main Entry  
▶ Garage | Service Entry

Subdistrict B	Permitted	Proposed
<b>Dimensional Standards</b>		
No. of Units	110	110
Bonus Units	2	2
No. of 3BR units	10% (11 Units)	10% (11 Units)
Total GSF Max	250,000 SF	185,000 SF
Building Height High Side (Ft)	58	45' & 55'
Building Height Overall (Ft)	68	50' & 65'
Building Height Stories	5	3 & 4
Parking Spaces	1.5 per Unit	1.4 per Unit (157 Spaces)
Bicycle Parking	.5 per Unit	.5 per Unit (56)
Affordable Units	25%	25% (28)
Age-Restricted Units	53	53

























# View from Emergency Access Drive off S Cottage Road Culdesac



Upham Bowl

McLean Hospital

Woodlands at Belmont Hill

Public Open Space

Subdistrict A

Subdistrict B

Waverley Woods

Public Open Space

**THANK YOU**

Olmsted Drive

Olmsted Drive

Pleasant Street

Trapelo Road

