

Keithley Residence Additions

103 Brookside Avenue
Belmont, MA

PERMIT AND
CONSTRUCTION
ISSUE

VOLLERTSEN
ARCHITECTURE

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ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	ID	INSIDE DIAMETER
APPX	APPROXIMATE	IN	INCH
ARCH	ARCHITECT, ARCHITECTURAL	INSUL	INSULATION
BD	BOARD	INT	INTERIOR
BLDG	BUILDING	INCL	INCLUDES/ INCLUDING
BLKG	BLOCKING	KP	KICK PLATE
BM	BEAM	LAM	LAMINATE
BO	BOTTOM OF	LAV	LAVATORY
BK	BRUSHED	LBS	POUNDS
		LH	LEFT HAND
CL	CENTERLINE	MAT	MATERIAL
CLG	CEILING	MAX	MAXIMUM
CIR	CIRCLE	MECH	MECHANICAL
CLR	CLEAR/ CLEARANCE	MIN	MINIMUM
CMU	CONCRETE MASONRY UNIT	MISC	MISCELLANEOUS
CODE	ANY BUILDING CODE OR REGULATION PERTAINING TO PROJECT LOCATION OR TYPE	MO	MASONRY OPENING
COL	COLUMN	MTD	MOUNT/ MOUNTED
CONC	CONCRETE	MTL	METAL
CONSTR	CONSTRUCTION	NAT	NATURAL
CONT	CONTINUOUS	NIC	NOT IN CONTRACT
CPT	CARPET	NOM	NOMINAL
CTR	COUNTER	NUM	NUMBER
CT	CERAMIC TILE	NTS	NOT TO SCALE
DET	DETAIL	OD	OUTSIDE DIAMETER
DIA	DIAMETER		
DIM	DIMENSION	PLUMB	PLUMBING
DN	DOWN	PLAM	PLASTIC LAMINATE
D.O.	DOOR OPENING	PL	PLATE
DR	DOOR	PR	PAIR
DWG	DRAWING	PT	PAINT/ PAINTED
EA	EACH	PRTN	PARTITION
ELEC	ELECTRIC/ ELECTRICAL	PLYWD	PLYWOOD
EQ	EQUAL	QT	QUARRY TILE
EQUIP	EQUIPMENT	R	RADIUS
EXH	EXHAUST	RAD	RADIATOR
EX	EXISTING	REC	RECESSED
EXT	EXTERIOR	REQ	REQUIRED
		RH	RIGHTHAND
FIN	FINISH	RM	ROOM
FXT	FIXTURE	RO	ROUGH OPENING
FOC	FACE OF CONCRETE/ CMU	RVL	RAIN WATER LEADER
FOM	FACE OF MASONRY		
FOS	FACE OF STUD	SC	SOLID CORE
FT	FOOT/ FEET	SF	SQUARE FOOT/ FEET
		SHT	SHEET
GC	GENERAL CONTRACTOR	SIM	SIMILAR
GL	GLASS	SPEC	SPECIFICATION
GWB	GYPSUM WALL BOARD	SQ	SQUARE
		SS	STAINLESS STEEL
HC	HOLLOW CORE	STL	STEEL
HM	HOLLOW METAL		
HVAC	HEATING VENTILATING AND AIR CONDITIONING	T&G	TONGUE AND GROOVE
WH	(HOT) WATER HEATER	TBD	TO BE DETERMINED
HW	HOT WATER	THR	THRESHOLD
HOR	HORIZONTAL/ LEVEL	TYP	TYPICAL

SYMBOLS LEGEND

06.01	CONSTRUCTION NOTE
01.01	DEMOLITION NOTE
lt	PLUMBING TYPE
lt	WINDOW TYPE
lt	EQUIPMENT TYPE
lt	MILLWORK INDICATOR
101	DOOR NUMBER

Room name	ROOM NAME [GC TO VERIFY SF IN FIELD]
150 SF	

SIM	SECTION INDICATOR
A101	

SIM	DETAIL INDICATOR
A101	

View Name	
1/8" = 1'-0"	

Centerline	
Level Indicator	

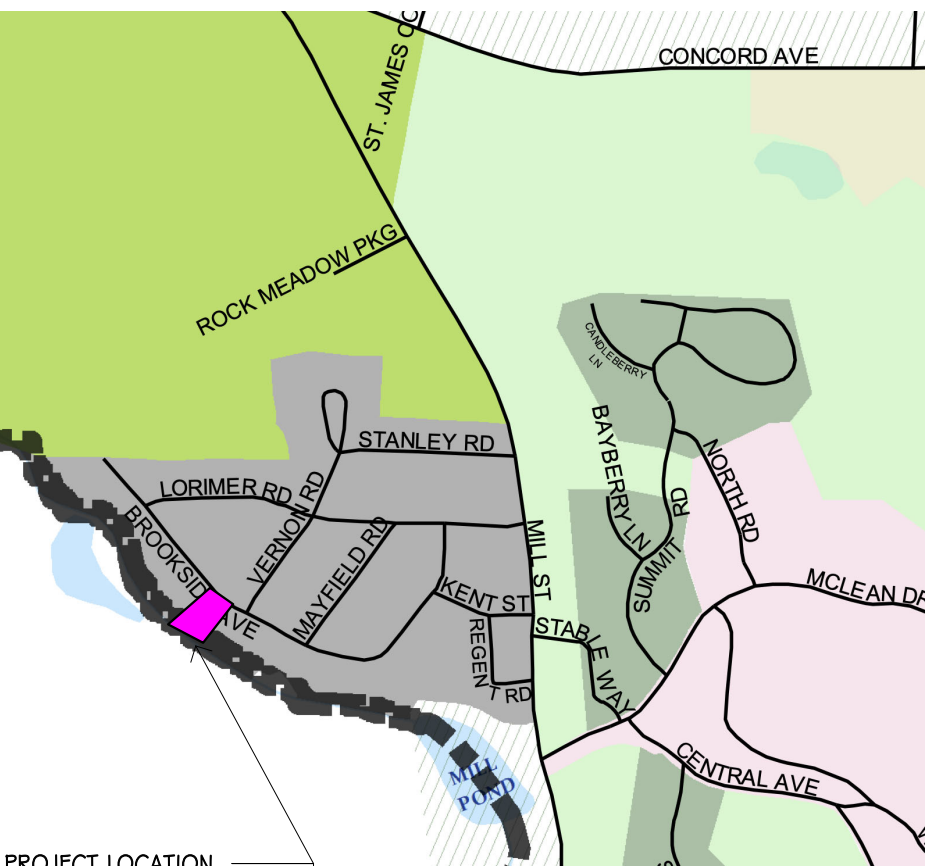
North Arrow	

Elevation Indicator	

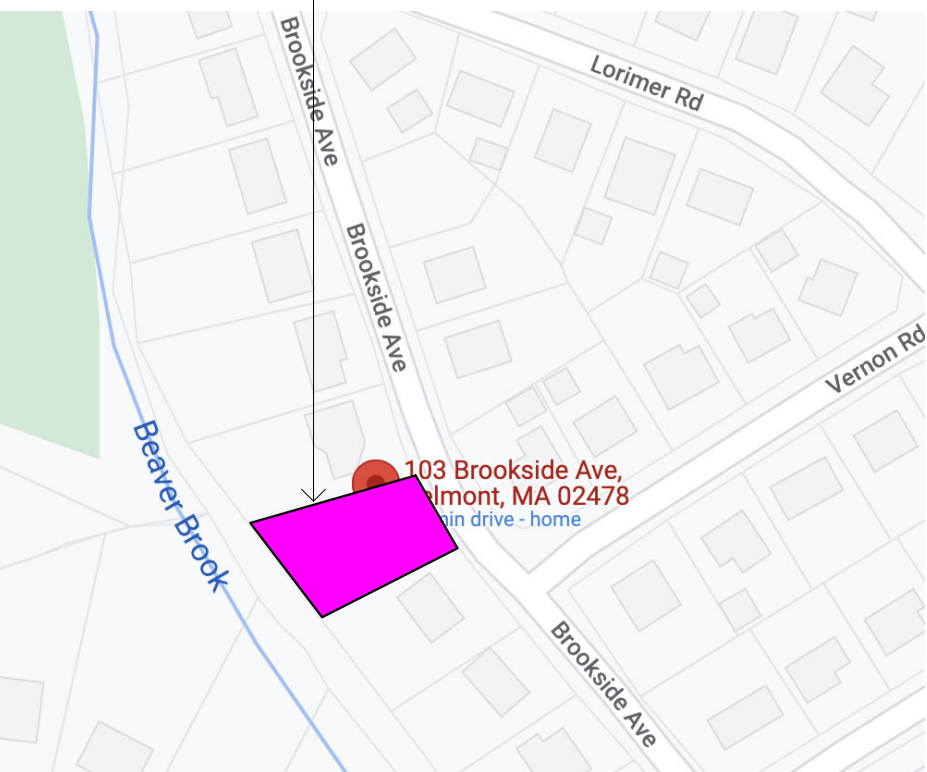


DRAWING LIST

Sheet Number	Sheet Name
TO.0	TITLE SHEET
A1.0	BASEMENT FLOOR/ FOUNDATION PLAN
A1.1	FIRST FLOOR PLAN/ SCHEDULES
A1.3	ROOF PLAN
A3.2	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A4.2	BUILDING SECTIONS
A4.1	BUILDING SECTIONS
A5.1	ENLARGED PLANS



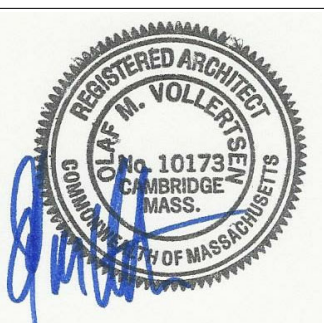
PROJECT LOCATION



LOCUS PLAN

ZONING SUMMARY
TOWN OF BELMONT ZONING BY-LAW
SCHEDULE OF DIMENSIONAL REGULATIONS
SINGLE RESIDENCE C (SR-C)

	BY-LAW	EXISTING	PROPOSED
LOT SIZE: MIN.	9,000 SF	8,935 SF	NO CHANGE
MIN FRONTAGE:	75 FT	70 FT	NO CHANGE
YARD FRONT:	25 FT	25 FT	NO CHANGE
SIDE:	10 FT	18.9 FT / 10.6 FT	10.25 FT / 10.6 FT
REAR:	30 FT	45.6 FT	32 FT
BUILDING HEIGHT MAX:	30 FT	28.89 FT	NO CHANGE
BUILDING STORIES MAX:	2 1/2	3	NO CHANGE
LOT COVERAGE MAX:	25%	14.4 %	SEE SURVEY
OPEN SPACE MIN.:	50%	78.3 %	SEE SURVEY



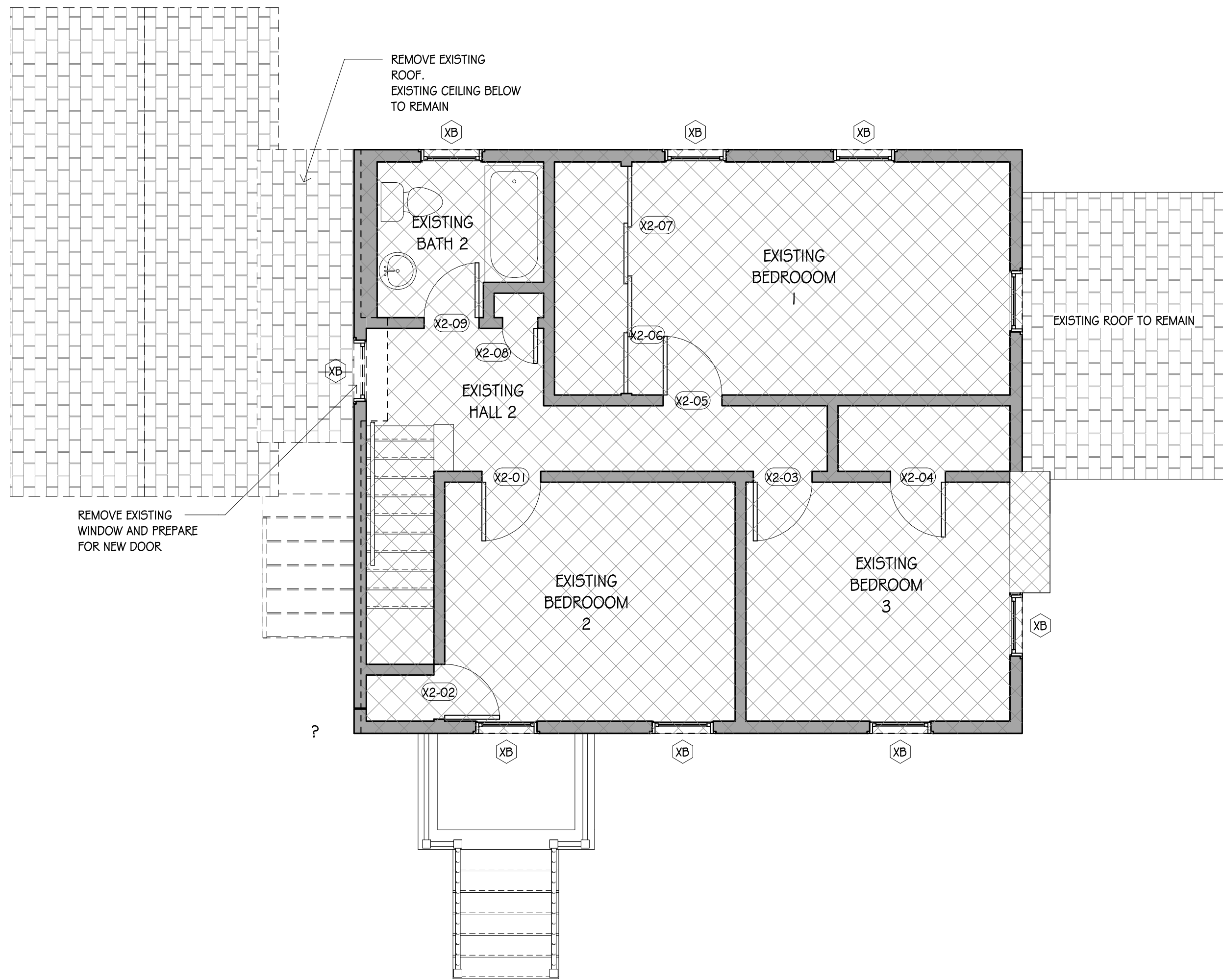
TITLE SHEET

project number	21122
date	09-13-2022
scale	As indicated

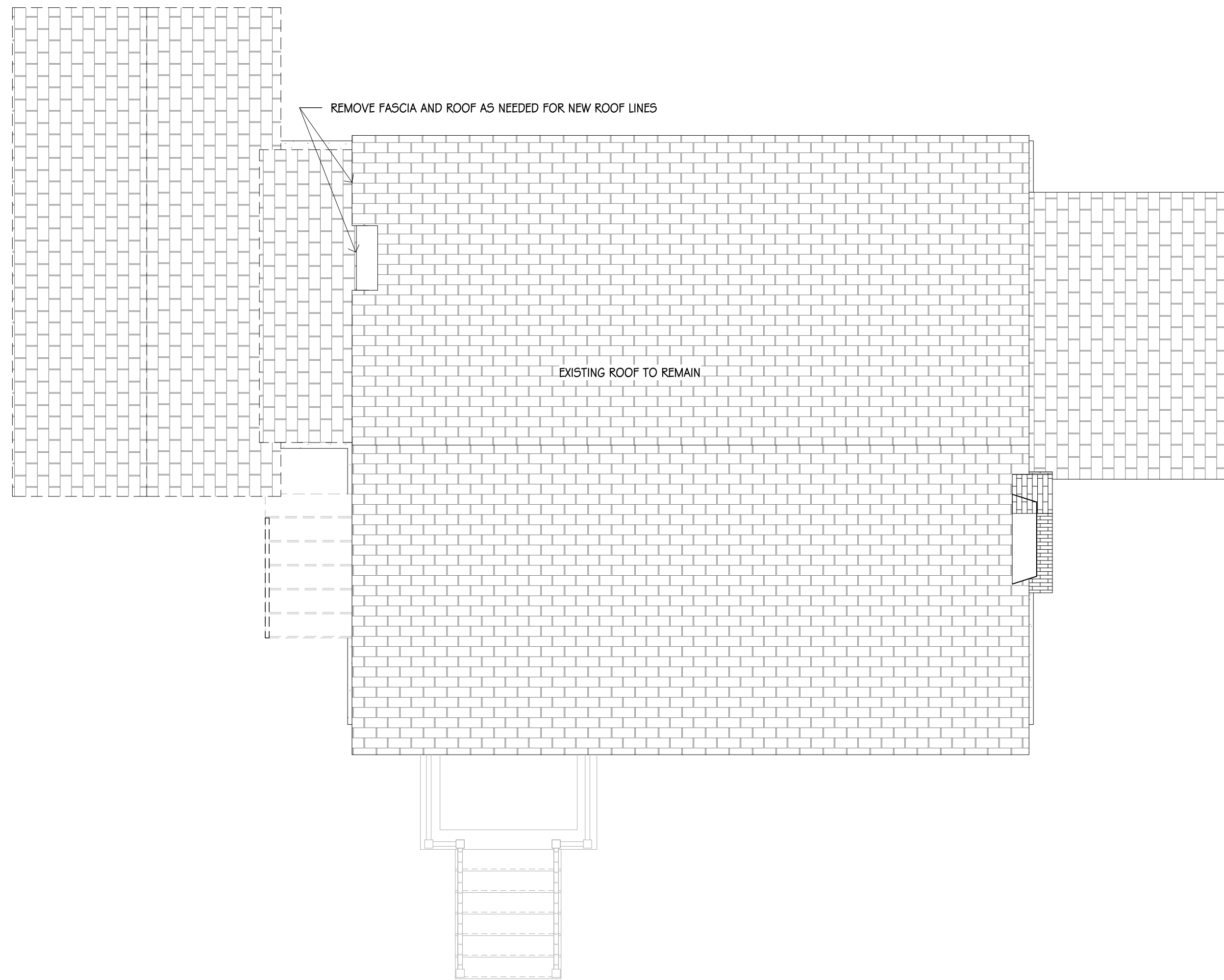
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TO.0

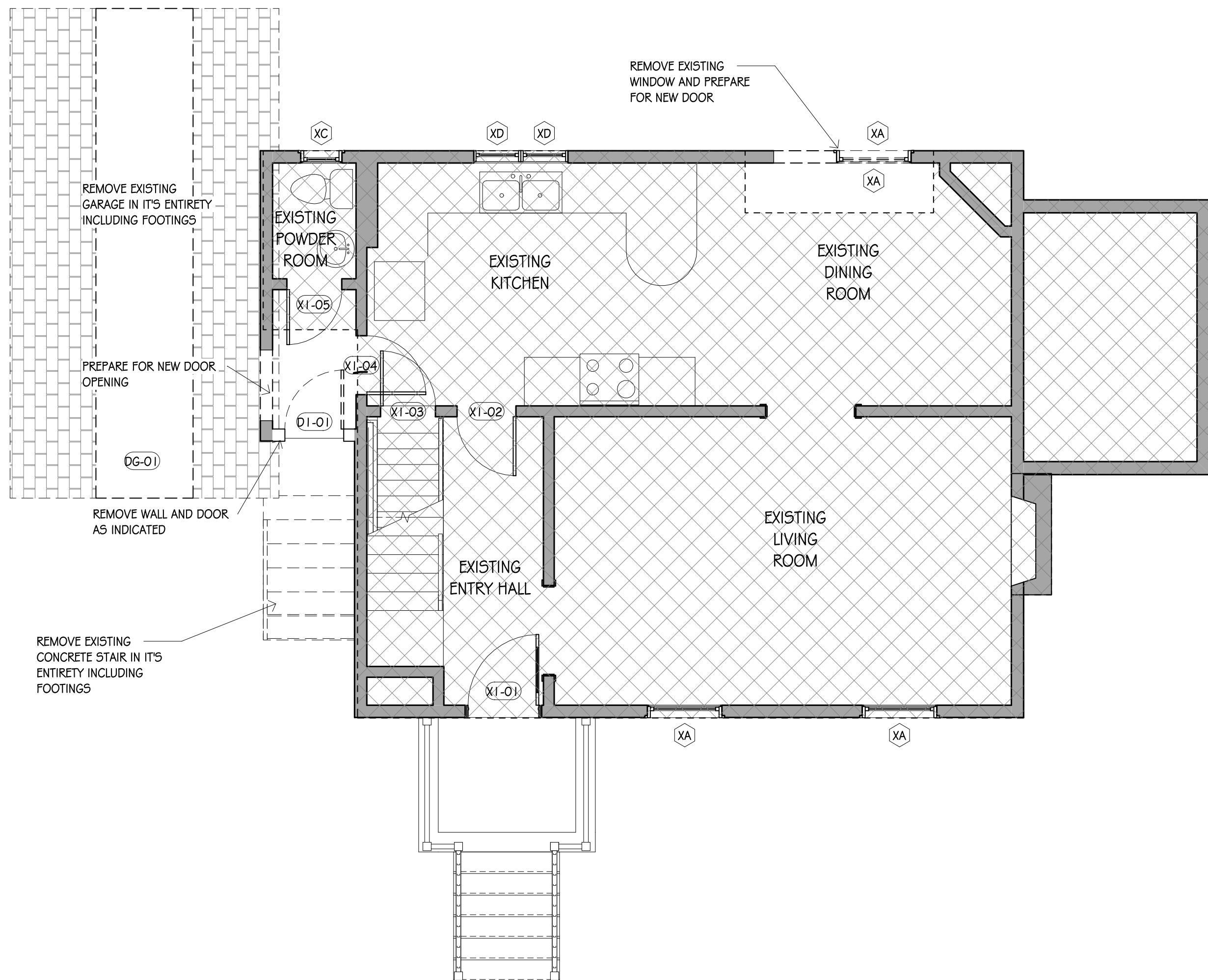
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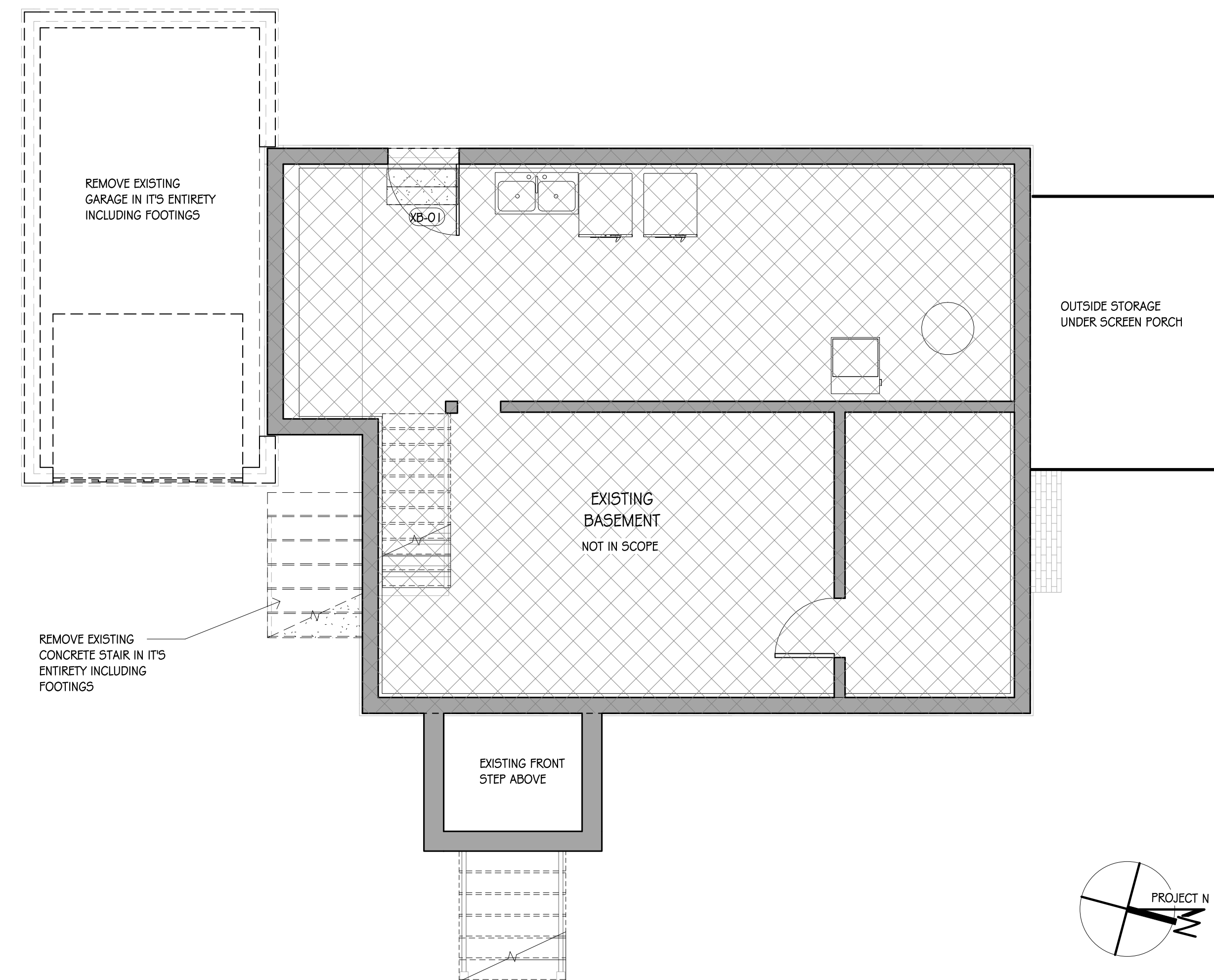
3 SECOND FLOOR EXISTING CONDITIONS/ DEMOLITION PLAN
1/4" = 1'-0"



4 ROOF EXISTING CONDITIONS/ DEMOLITION PLAN
1/4" = 1'-0"



2 FIRST FLOOR EXISTING CONDITIONS/ DEMOLITION PLAN
1/4" = 1'-0"



1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

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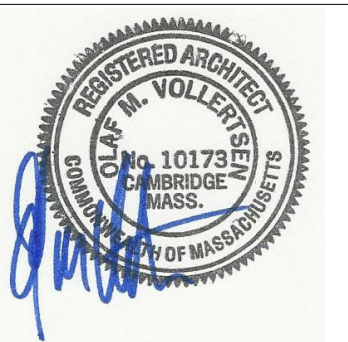
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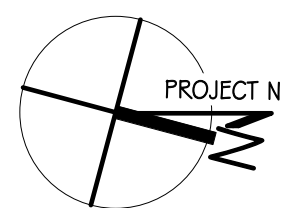


EXISTING CONDITIONS/ DEMOLITION PLANS

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date 09-13-2022
scale 1/4" = 1'-0"

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Al.O



ROOM FINISH SCHEDULE								
FLOOR	ROOM NAME	Area	Perimeter	FLOOR	TRIM	WALL	CEILING	Comments
EX BASEMENT	EXISTING BASEMENT	545 SF	134'-9 3/4"					
	PROPOSED GARAGE	768 SF	157'-6"					
FIRST FLOOR	EXISTING DINING ROOM	141 SF	48'-0 1/4"					
	EXISTING LIVING ROOM	238 SF	63'-4"					
	EXISTING POWDER ROOM	17 SF	16'-11 1/8"					
	EXISTING ENTRY HALL	51 SF	32'-11 1/2"					
	PANTRY/ LAUNDRY	86 SF	43'-9 1/8"					
	EXISTING KITCHEN	139 SF	47'-11 3/4"					
	HALL CL	3 SF	8'-0"					
	EXISTING HALL I	22 SF	19'-5 3/8"					
	MUDROOM	74 SF	43'-10 1/8"					
	SCREEN PORCH	78 SF	35'-10 1/4"					
	EXISTING STAIR B	16 SF	15'-11 1/4"					
	STAIR I	20 SF	17'-3 3/4"					
	PROPOSED REAR DECK	60 SF	31'-4 5/8"					
	EXISTING FRONT STEPS	63 SF	35'-7 1/8"					
SECOND FLOOR	PROPOSED PRIMARY BEDROOM SUITE	175 SF	56'-6 5/8"					
	EXISTING BEDROOM 3	114 SF	42'-9 1/2"					
	EXISTING BEDROOM 1	159 SF	52'-0"					
	EXISTING BATH 2	43 SF	27'-5"					
	EXISTING BEDROOM 2	126 SF	45'-0 1/2"					
	PROPOSED PRIMARY BATH	110 SF	50'-8 7/8"					
	EXISTING STAIR 1	31 SF	27'-2 1/2"					
	PROPOSED PRIMARY CLOSET	86 SF	37'-0 7/8"					
	EXISTING HALL 2	72 SF	51'-4 1/2"					
	EX CLOSET 2	20 SF	20'-2 1/2"					
	PROPOSED PRIMARY SLEEPING ROOM	150 SF	49'-2 1/8"					

WINDOW SCHEDULE									
COUNT	Type	MFR	Description	Width	Height	GLAZING- OPTION	U -VALUE	Type Comments	Comments
3	A	TBD	DOUBLE HUNG	2'-6"	4'-5 1/2"	LOW E ARGON FILLED	.28	EGRESS WINDOW	
8	B	TBD	DOUBLE HUNG	2'-7 1/4"	3'-7 1/2"	LOW E ARGON FILLED	.28		
1	C	TBD	DOUBLE HUNG	1'-9"	3'-0"	LOW E ARGON FILLED	.28		
3	D	TBD	DOUBLE HUNG	3'-0"	5'-0"	LOW E ARGON FILLED	.28		CONFIRM TEMPERED UNITS

PLUMBING FIXTURE SCHEDULE			
Count	Type	Description	Comments
1	P1	LAUNDRY SINK	
PROPOSED PRIMARY BATH			
1	P2	TOILET	
1	P3	TUB FREESTANDING	VERIFY POWER REQUIREMENTS
1	P4	SHOWER PAN AND DRAIN	
2	P5	LAVATORY	

DOOR SCHEDULE						
Mark	Description	MFR	Width	Height	U - VALUE	Comments
1-01	SINGLE POCKET	TBD	3'-0"	6'-8"	.28	JOHNSON 2060 POCKET DOOR HARDWARE
1-02	EXTERIOR SLIDING DOOR	TBD	5'-8"	6'-8"		
2-01	SINGLE DOOR	TBD	2'-6"	6'-8"		
2-02	SINGLE DOOR	TBD	2'-6"	6'-8"		
2-03	SHOWER DOOR	TBD	5'-0"	6'-8"		
2-04	SINGLE DOOR	TBD	2'-6"	6'-8"		
2-05	SINGLE POCKET	TBD	3'-0"	6'-8"		JOHNSON 2060 POCKET DOOR HARDWARE
G-01	GARAGE DOOR	TBD	9'-0"	8'-0"		
G-02	EXTERIOR DOOR	TBD	3'-0"	6'-8"	.28	
M-02	SINGLE DOOR	TBD	2'-6"	6'-8"		FIRE RATED DOOR WITH CLOSER
M-01	EXTERIOR DOOR	TBD	3'-0"	6'-8"		

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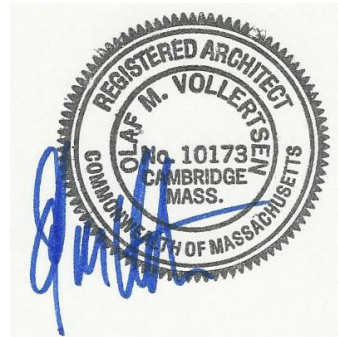
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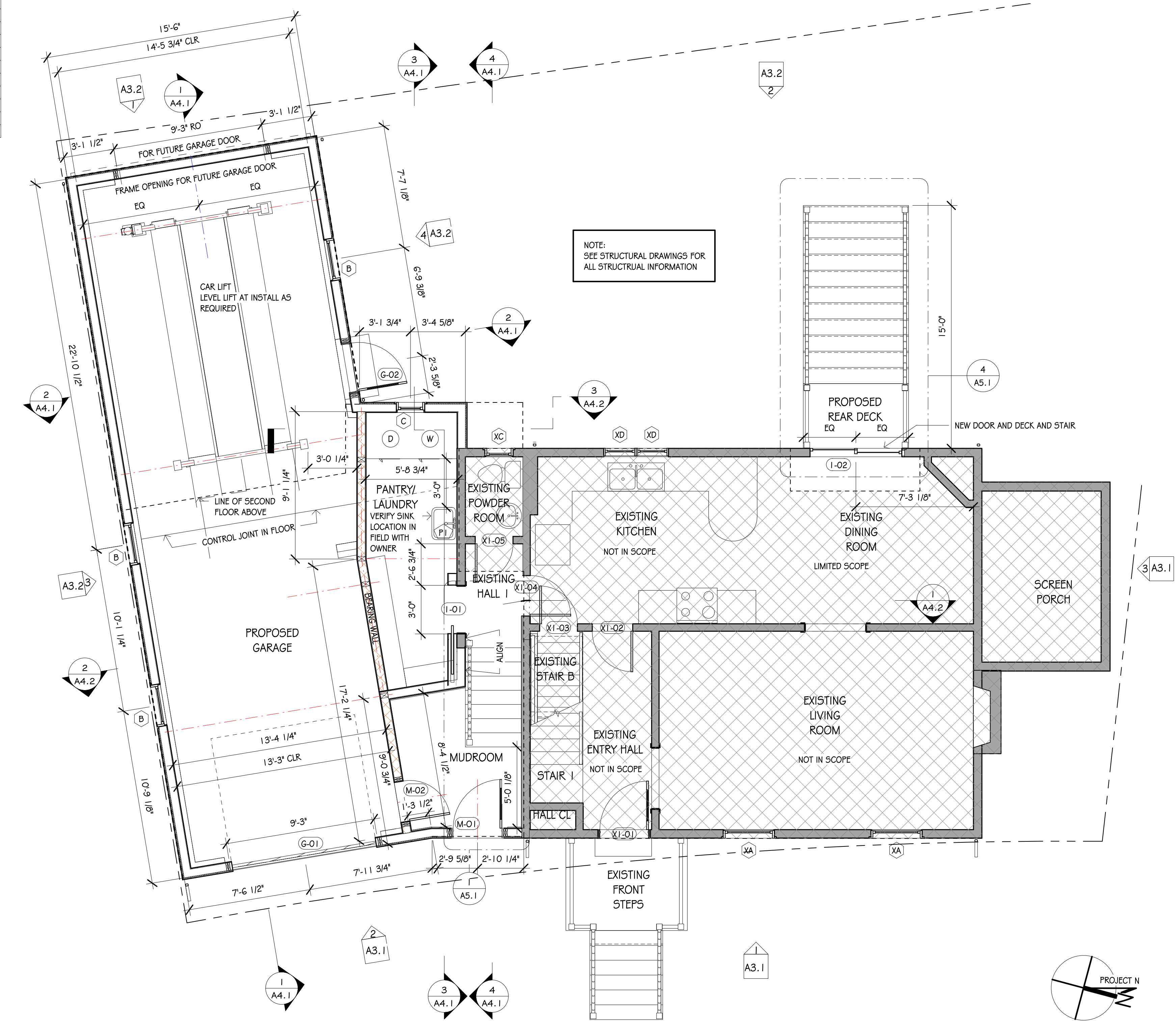


FIRST FLOOR PLAN/
SCHEDULES

project number	21122
date	09-13-2022
scale	1/4" = 1'-0"

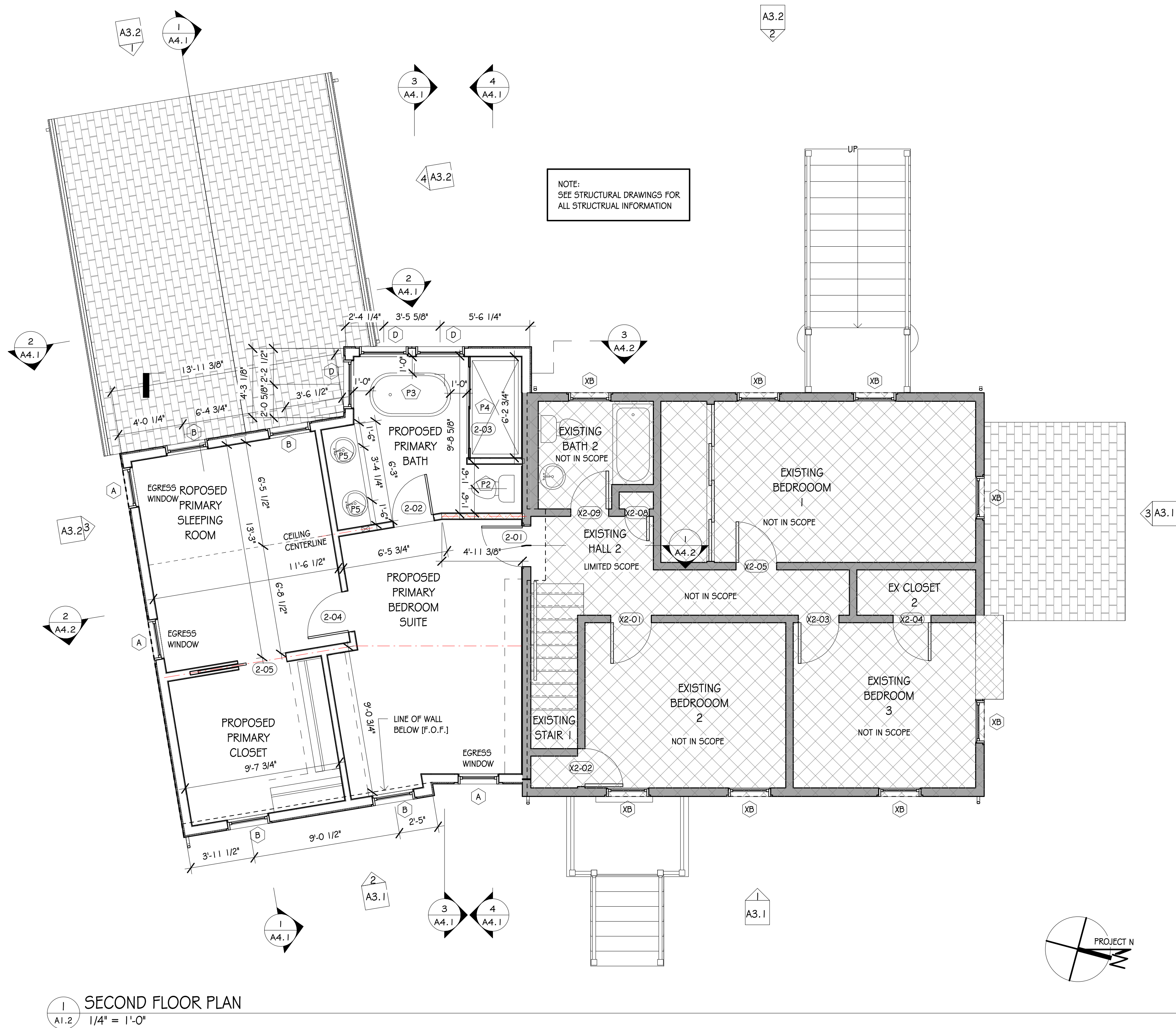
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A1.1



1 FIRST FLOOR PLAN
A1.1 1/4" = 1'-0"

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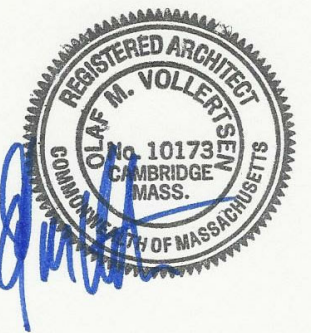
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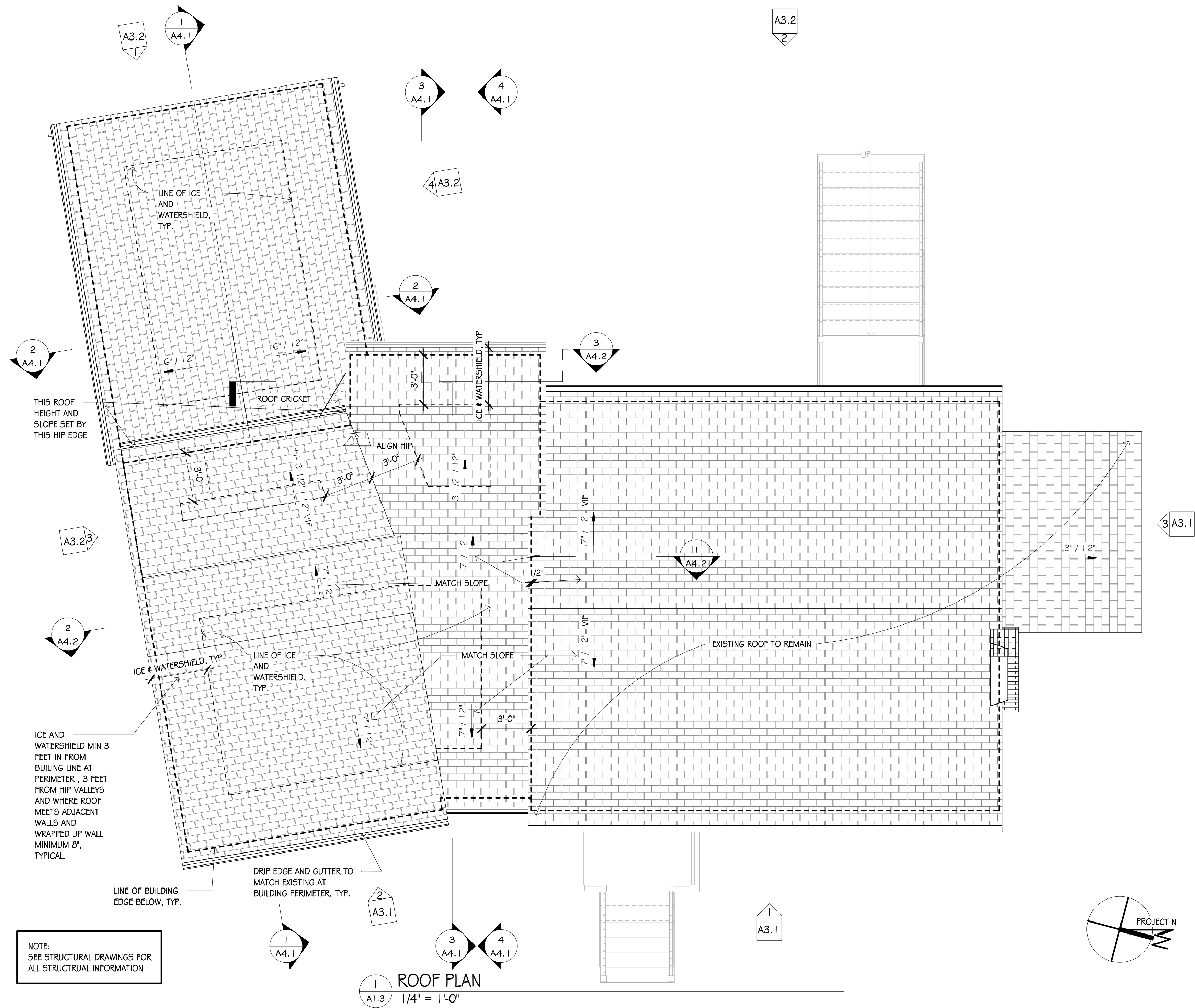
SECOND FLOOR PLAN

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A1.2

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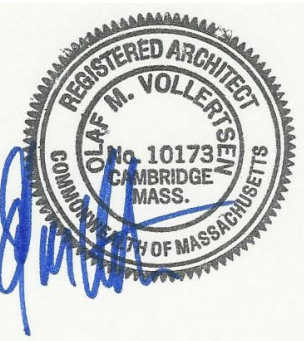
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ROOF PLAN

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A1.3

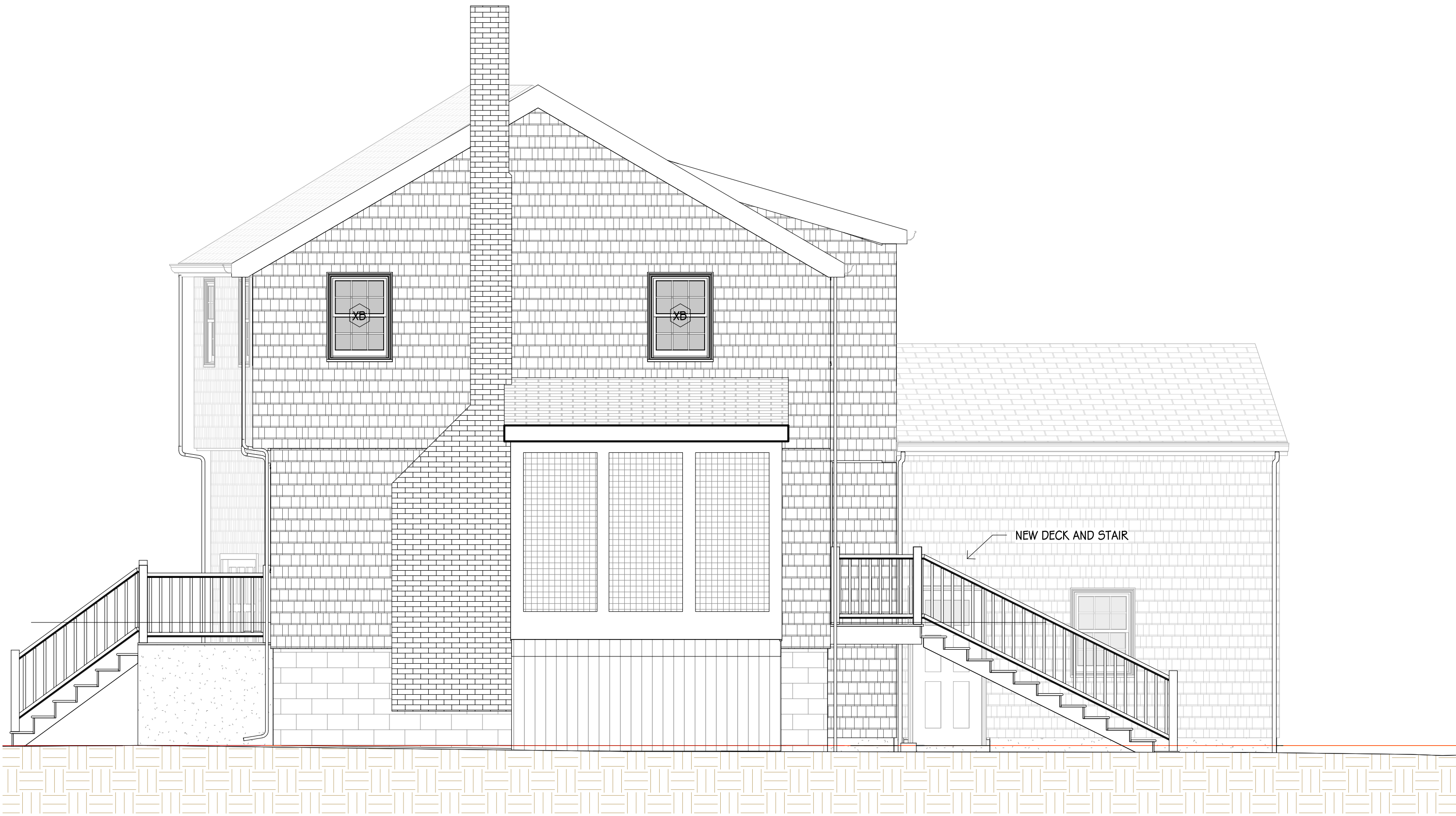
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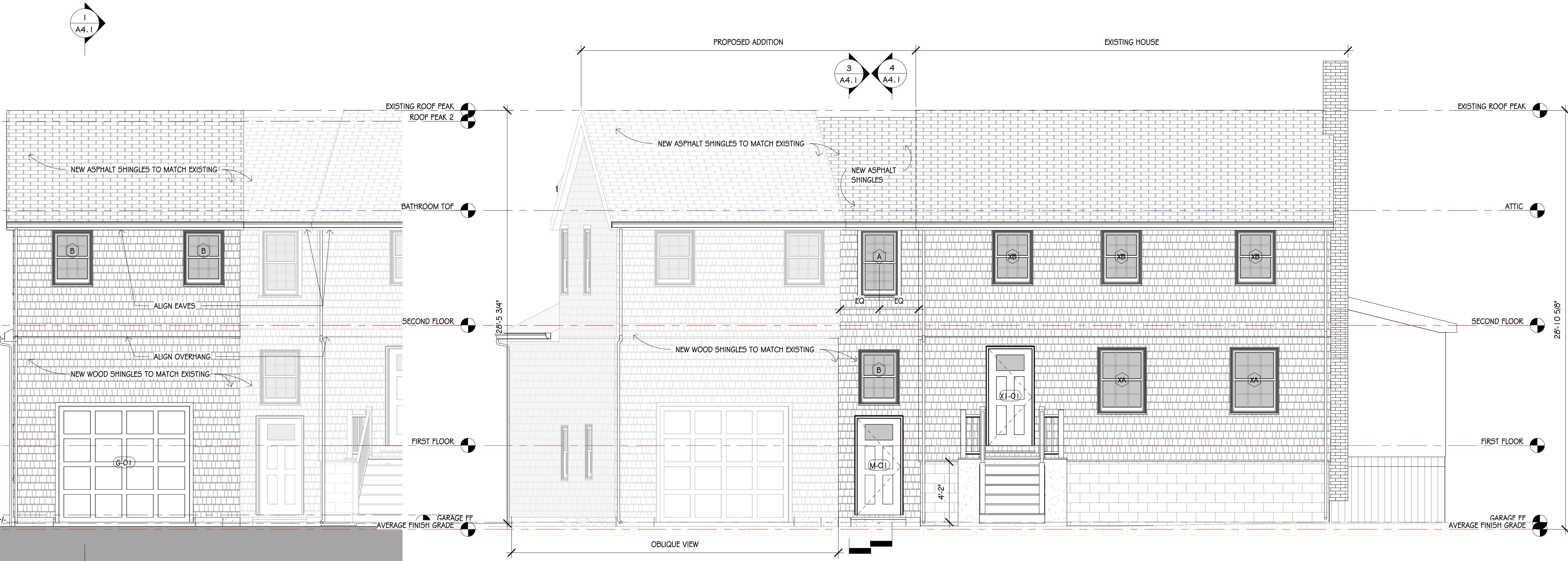
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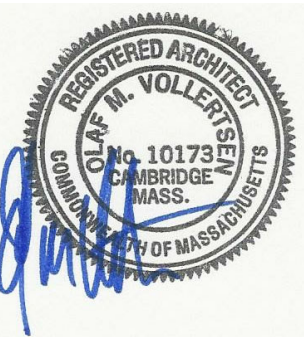
3 EXTERIOR ELEVATION - NORTH
A3.1 1/4" = 1'-0"



2 EXTERIOR ELEVATION - EAST 2
A3.1 1/4" = 1'-0"

1 EXTERIOR ELEVATION - EAST
A3.1 1/4" = 1'-0"

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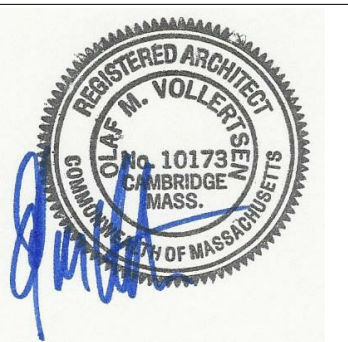


EXTERIOR ELEVATIONS

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A3.1

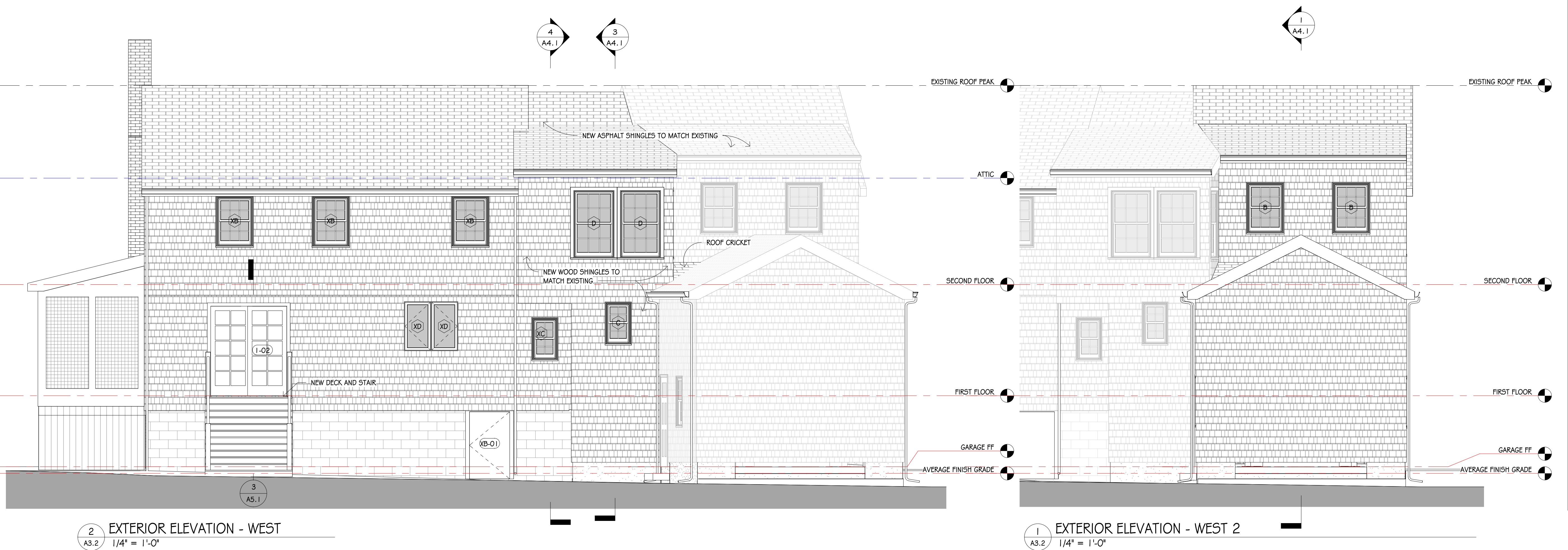


EXTERIOR ELEVATIONS

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A3.2



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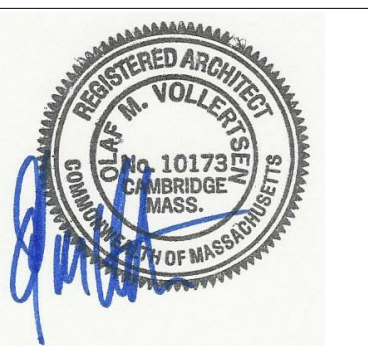
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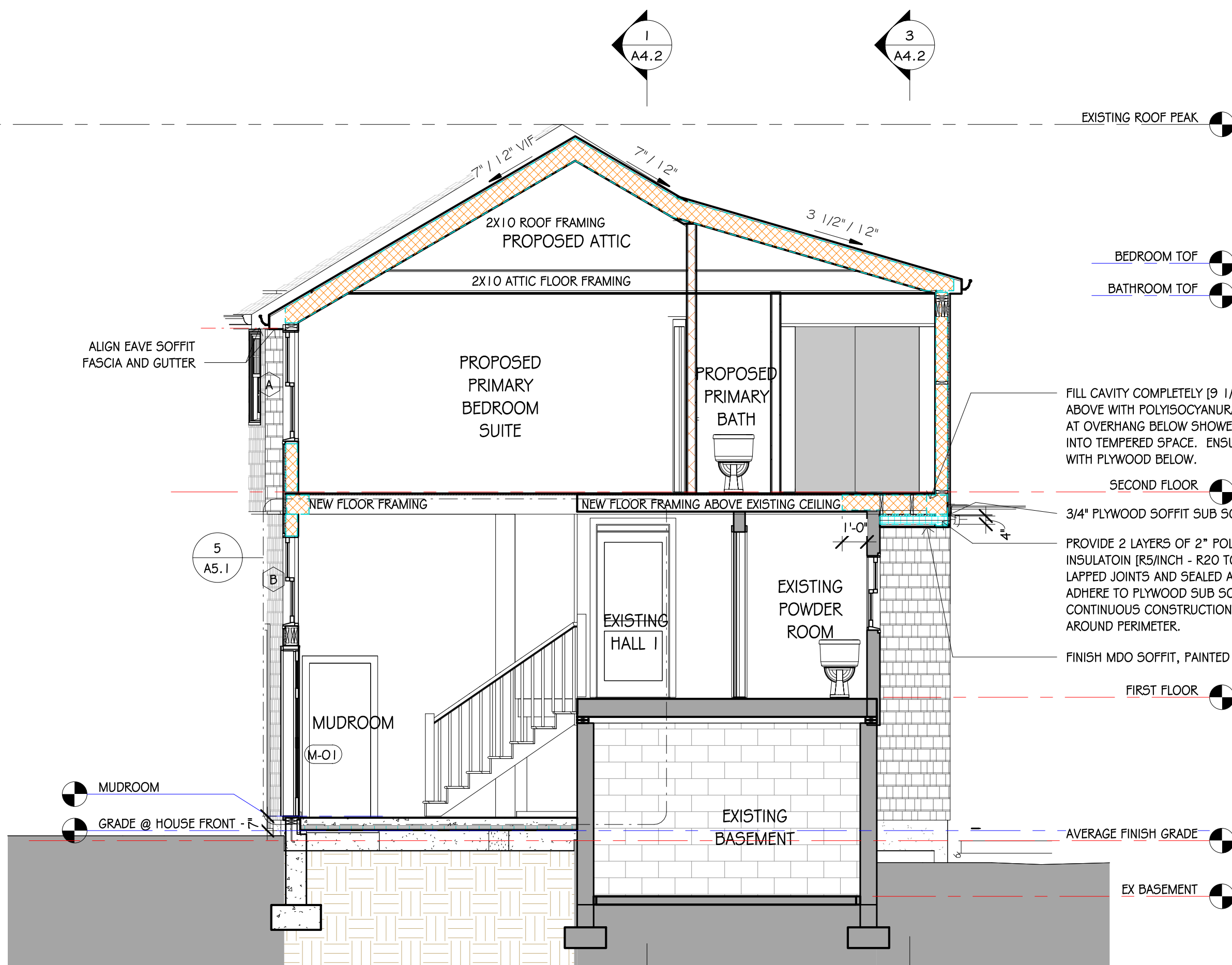


BUILDING SECTIONS

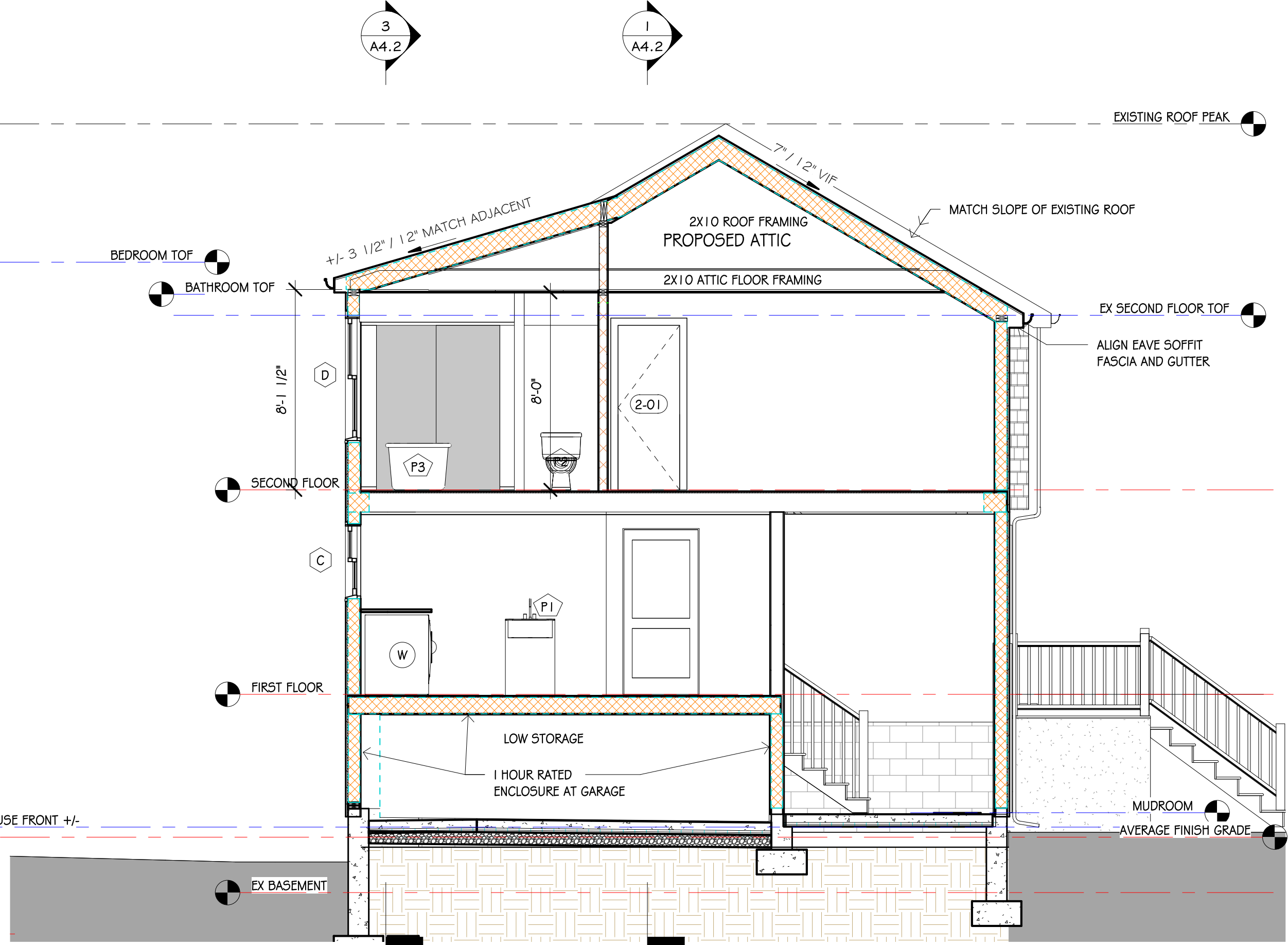
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A4.1

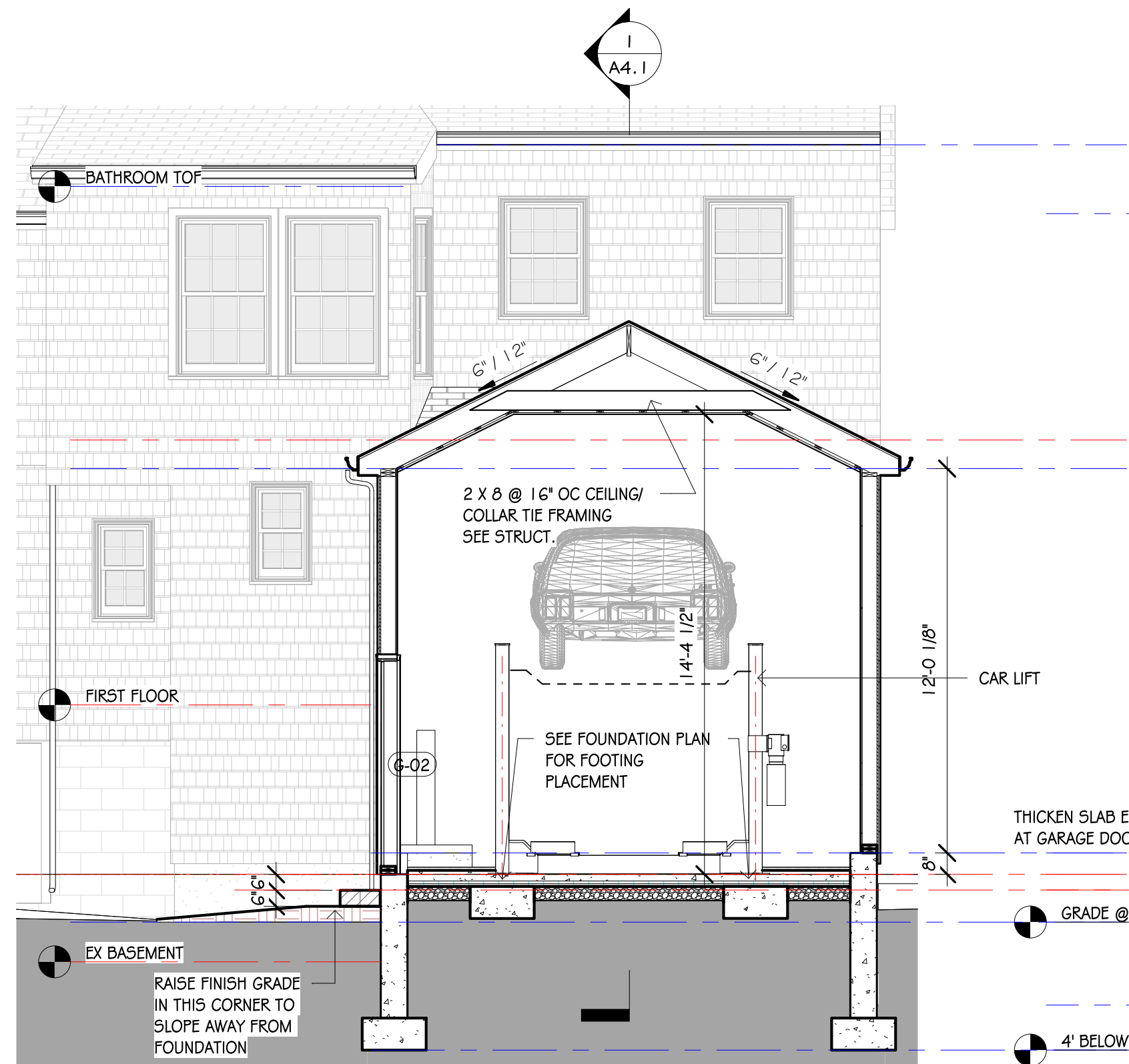


4 BUILDING SECTION 4
A4.1 1/4" = 1'-0"

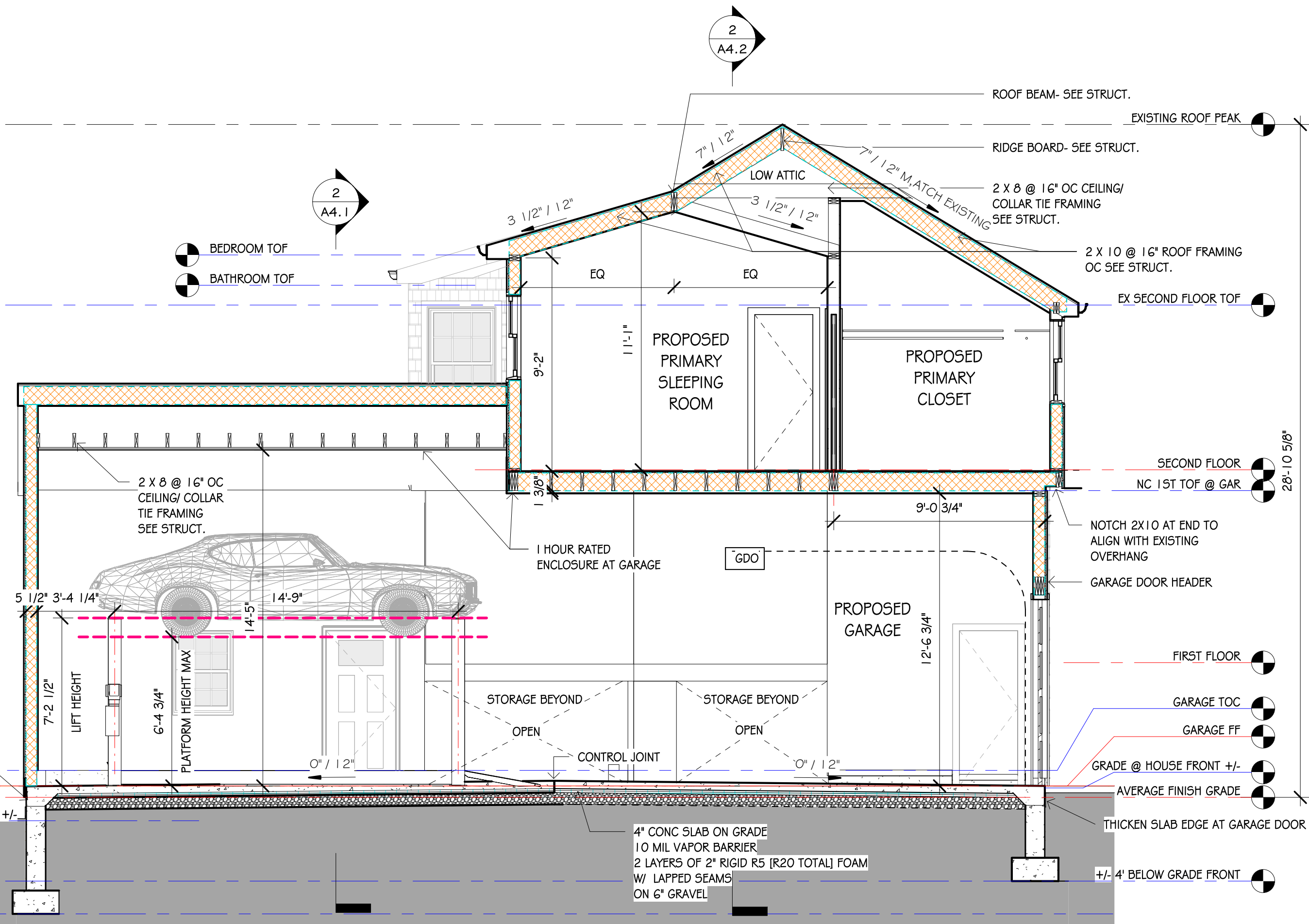


3 BUILDING SECTION 3
A4.1 1/4" = 1'-0"

NOTE:
SEE STRUCTURAL DRAWINGS FOR
ALL STRUCTURAL INFORMATION



2 BUILDING SECTION 2
A4.1 1/4" = 1'-0"



1 BUILDING SECTION 1
A4.1 1/4" = 1'-0"

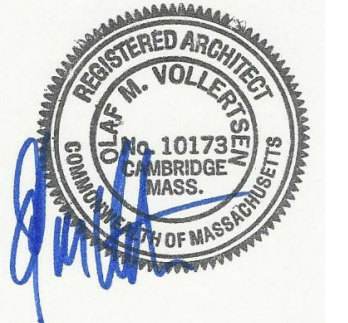
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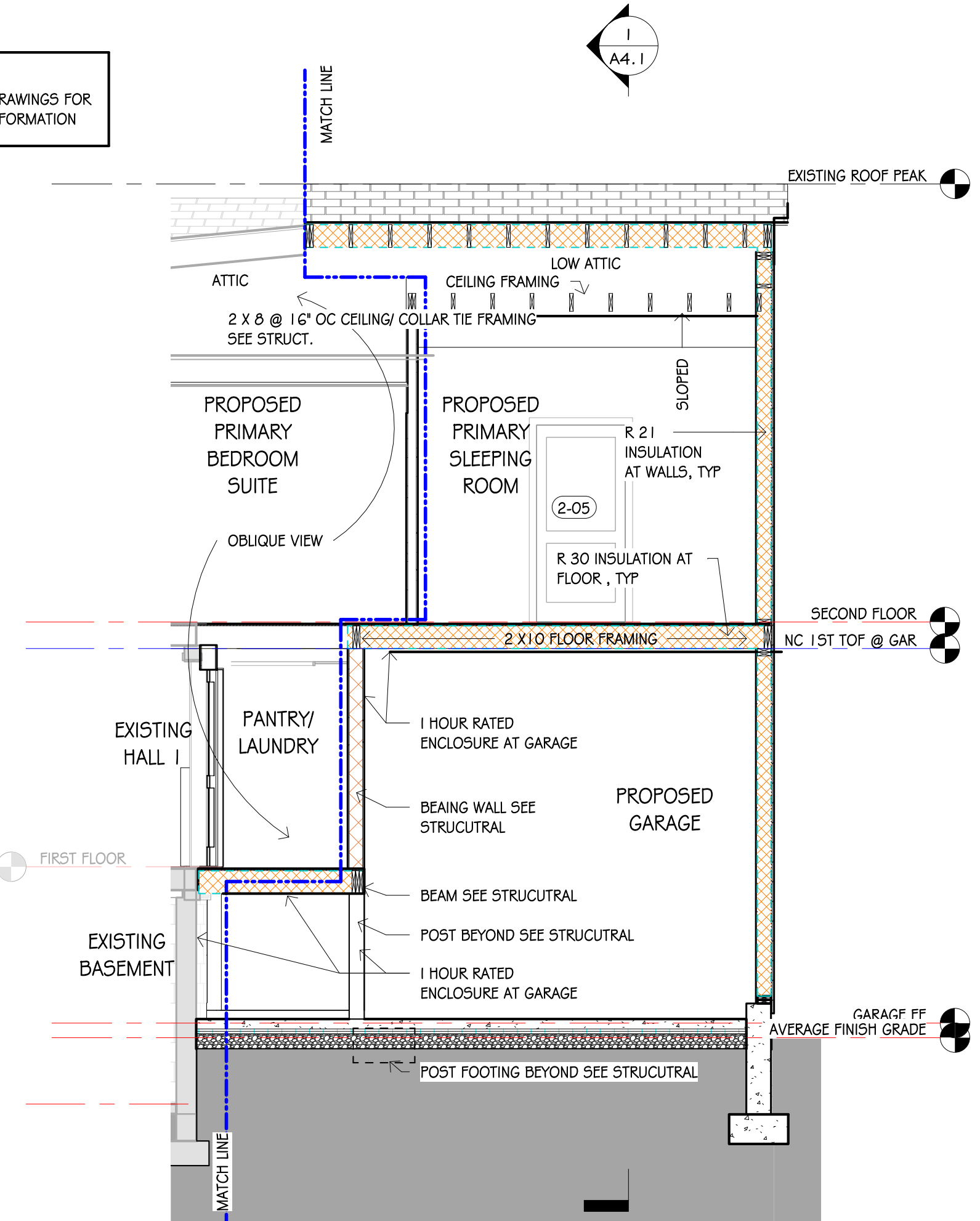


BUILDING SECTIONS

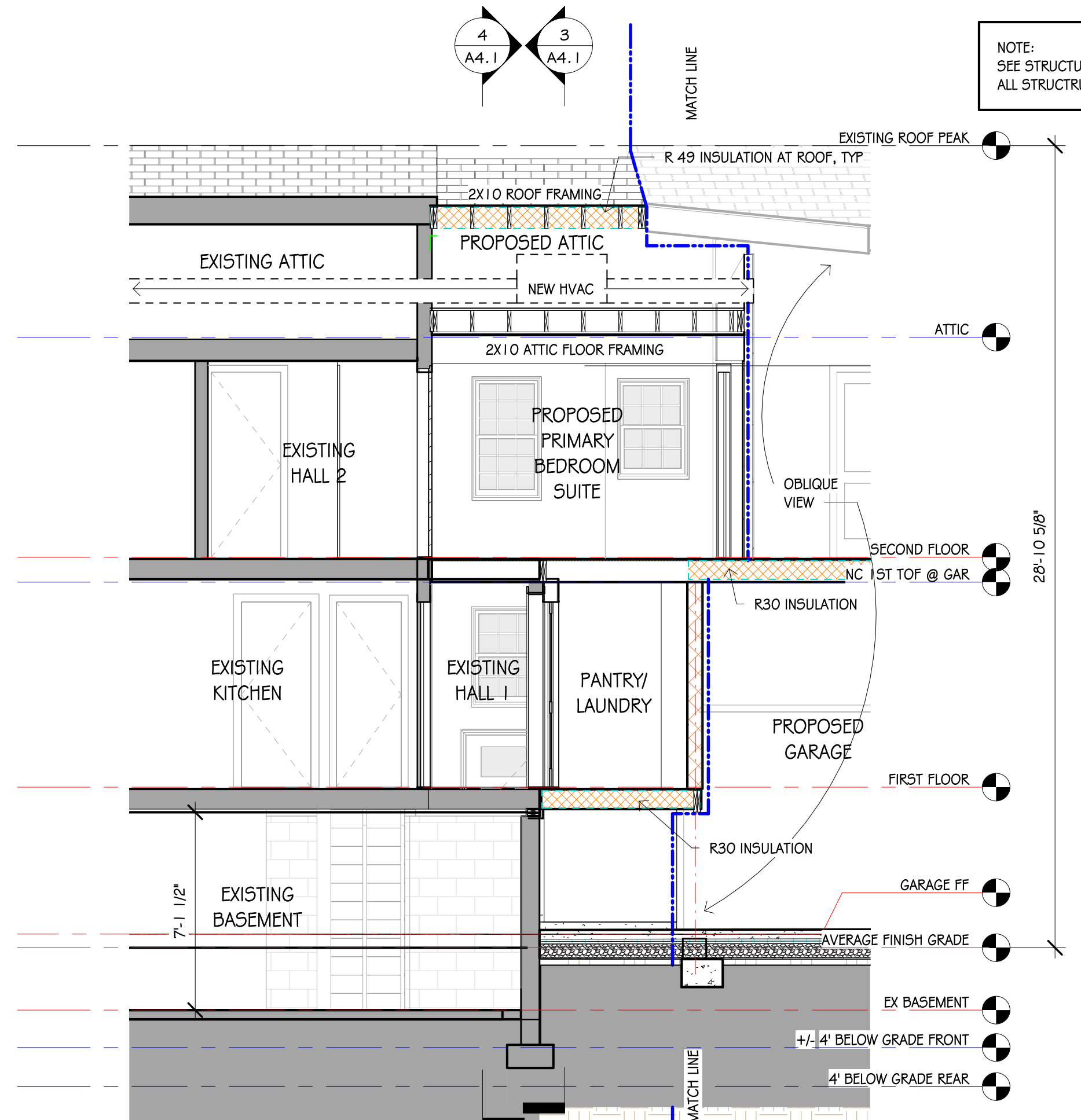
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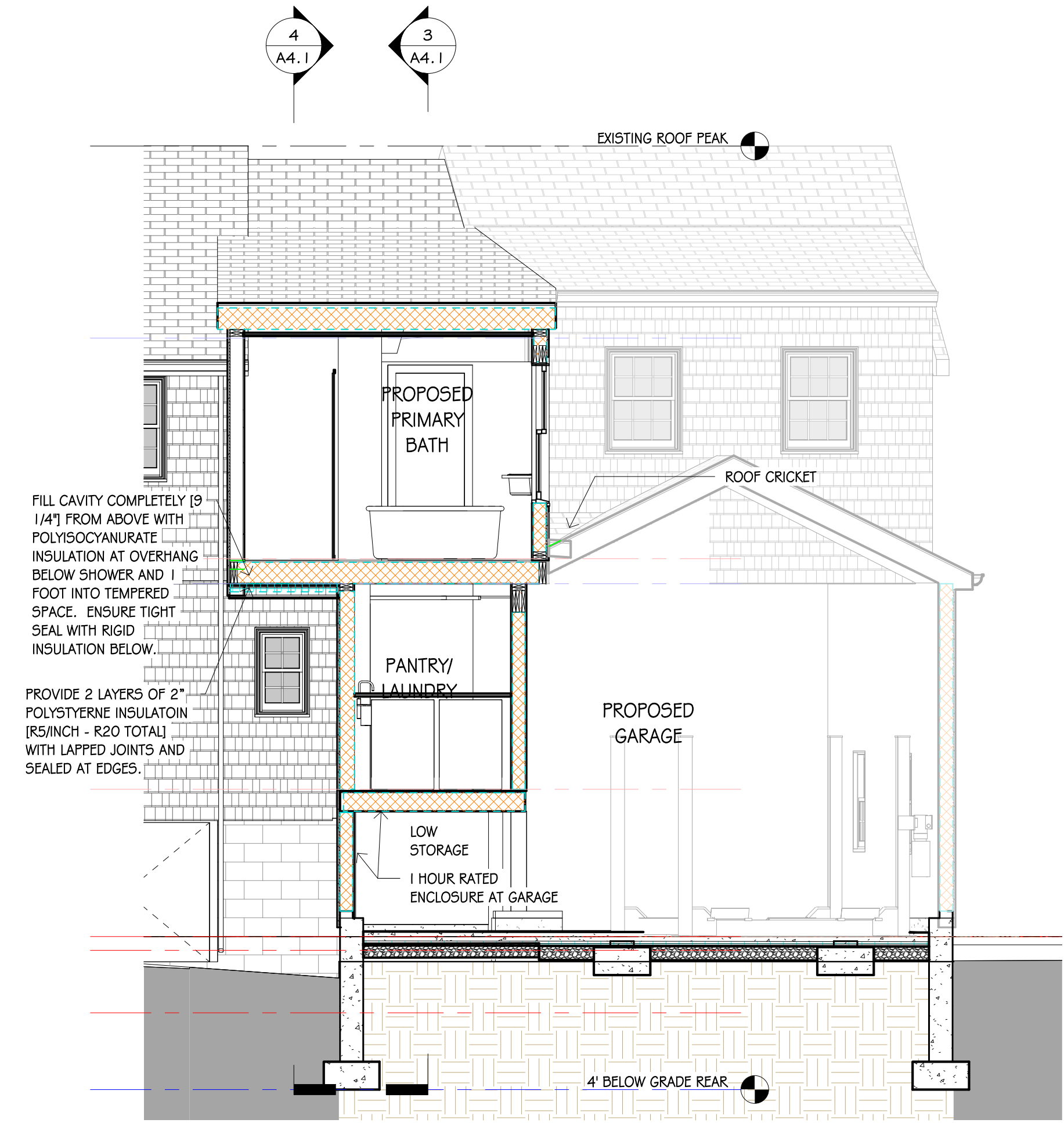
A4.2



2 BUILDING SECTION 5
A4.2 1/4" = 1'-0"



1 BUILDING SECTION 6
A4.2 1/4" = 1'-0"



3 BUILDING SECTION 7
A4.2 1/4" = 1'-0"

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Architectural section drawing showing a cross-section of a building. The drawing includes the following elements:

- MUDROOM**: Labeled in the upper left area.
- STAIR 2**: Labeled above the staircase.
- EXISTING HALL 1**: Labeled in the upper right area, with a circled number **(1-01)** below it.
- EXISTING BASEMENT**: Labeled in the lower right area, showing a brick wall.
- MUDROOM**: Labeled in the bottom left corner, next to a circular symbol with a dot.
- 3'-0" RAIL HT**: A vertical dimension line indicating the height of the railing.
- Red dashed line**: A horizontal line across the middle of the drawing, likely indicating a specific level or finish.

Architectural section drawing showing a staircase and wall assembly. The drawing includes the following details:

- Staircase:** Labeled "MUDROOM" at the bottom. It features a "1/4" RISER" and a "10 1/2" TREAD".
- Wall Assembly:** The wall is composed of several layers, including a "7'-4 5/8" EX V/F" (Exterior Vertical Fin) and a "6'-5" V/F" (Vertical Fin).
- Floors:** The "FIRST FLOOR" is indicated by a red dashed line. The "MUDROOM" floor is indicated by a blue dashed line.
- Other Labels:** "B" is labeled near the top of the wall assembly, and "M-01" is labeled near the bottom of the wall assembly.
- Orientation:** A north arrow is located in the bottom right corner, pointing towards the upper right.

Architectural section drawing of a building facade. The drawing shows a window and a door. The window is labeled '5' and '2' with 'A5.1' below each. The door is labeled 'M-O1'. Dimensions include 3'-5 1/2", 3'-0", 10 1/2", 3'-5 3/4", and 5'-0 1/8".

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