

190 Lexington Street

Community Meeting Summary

April 2, 2024

On April 2, 2024, Community Matters, with project applicant, Don Cusano, hosted a community meeting at the Holy Cross Armenian Catholic Church located on Lexington Street. In attendance were Father Ghazor Bedros, two members of the Holy Cross Church, and eight other residents of the neighborhood. Community Matters noticed a total of eleven properties (see attached abutters map).

The meeting was an informal setting during which attendees sat around a single table to review the proposed project plans as well as an information sheet prepared by Community Matters in response to comments presented at the March 19th meeting. (See attached information sheet.) The group had a friendly and productive conversation regarding neighborhood and individual concerns.

The following list summarizes comments and questions from the group, as well as responses provided by the project applicant and Community Matters at the meeting.

Site Design:

- Comment: Ensure the landscape architect reviews the trees proposed to be planted along the sidewalk on Lexington Street to ensure root systems won't damage the sidewalk.
Response: Mr. Cusano stated that he will request the landscape architect review the plans to ensure potential future root damage to adjacent sidewalks is addressed. It was also noted that the trees on Lot A would be set back 3-feet into Lot A from the lot line fronting Lexington Street. Much of the group appreciated the trees proposed and the overall landscape plan.
- Comment: Consider placing both driveways between the proposed new dwellings.
Response: Although in some cases that may be a good plan, in this specific case having abutting driveways little or no green space would appear as a "road" and would not be an ideal aesthetic and buffer between the two properties.
- Holy Cross – Holy Cross requested coordinating with the church once construction begins regarding the rear fence and possible removal of one dead tree on the church's property.
Applicant – Mr. Cusano agreed to work with the Holy Cross during construction and to see if he can assist with removal of the dead tree on the Holy Cross's property.
- Neighborhood - Consider installing a sidewalk along the south side of Ripley Road.

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Applicant – Installation of a sidewalk would be under the Town's Highway Department's purview. Based on comments from Town staff at the March 19th hearing, there was not enough space to install a sidewalk along the front of the proposed project and down the remainder of Ripley Road. The sidewalk on Ripley Road is currently on the north side of the road. The sidewalk on Ripley Road is currently only located on the north side of the road.

After talking to Town staff on April 4th, it should be corrected that it was stated that "a public tree would need to be removed or relocated along with some vegetation from 190 Lexington Street. Further that it may be an issue that the sidewalk would not continue down to White Street."

- Neighborhood - Will shade be an issue on surrounding properties?
Applicant – Community Matters and Mr. Cusano shared the shade and shadow exhibits prepared for the meeting showing no or minimal casting on adjacent properties based on existing conditions and the fact that the proposed development would have similar castings of shade.

Architecture:

- Neighborhood - Consider making the roof (ridge height) taller for a half-story living space.
Applicant – Community Matters and Mr. Cusano expressed that previous understanding from other projects in the area and comments by Town staff and Board Members was that minimizing height and massing was important.
- Neighborhood - Consider additional architectural treatment (e.g., bump-out) on the Lexington Street elevation of the Lot A dwelling unit.
Applicant – Mr. Cusano expressed his desire to maintain the existing elevation and noted that the additional trees planted along the Lexington Street frontage would soften the view of the new dwelling.
- Neighborhood - Consider making both dwellings with a gable roof rather than two different roof styles.
Applicant – Mr. Cusano expressed his desire to have some different architectural treatments to differentiate the new dwellings from each other and have their own style. As with the comments regarding ridge height, it is the understanding from

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other projects in the area and comments by Town staff and Board Members was that some variation between the two dwellings would be desired.

- Neighborhood - Why have a “faux” window to the non-habitable attic space?
Applicant – Mr. Cusano referenced that the window was requested by the Town staff and the Board previously. Additionally, it added more architectural treatment and “curb appeal” to the dwelling.
- Neighborhood - What color will the home be?
Applicant – Mr. Cusano has not determined the color of the dwellings at this point in the project.
- Neighborhood - Can you place a placard on the property to recognize the architect of the existing dwelling.
Applicant – Community Matters and Mr. Cusano noted that it would not be typical for a placard to be installed at the property for a building that is not categorized as a historic property and that the architect did not appear to live at the property and therefore this may not be appropriate for this site.

Conclusion

Overall, the neighborhood comments were positive and the meeting participants seemed to understand why the project’s driveways, rooflines, and architecture have been designed the way they show on the plans. Further, several members of the group were pleased with the updated landscape plan and proposed trees to be planted.

Attachments:

- Community Meeting Notice and abutters map
- 190 Lexington Street Informational Sheet
- Shade and shadow exhibit
- Update Landscape Plan
- Update Zoning Analysis Tables

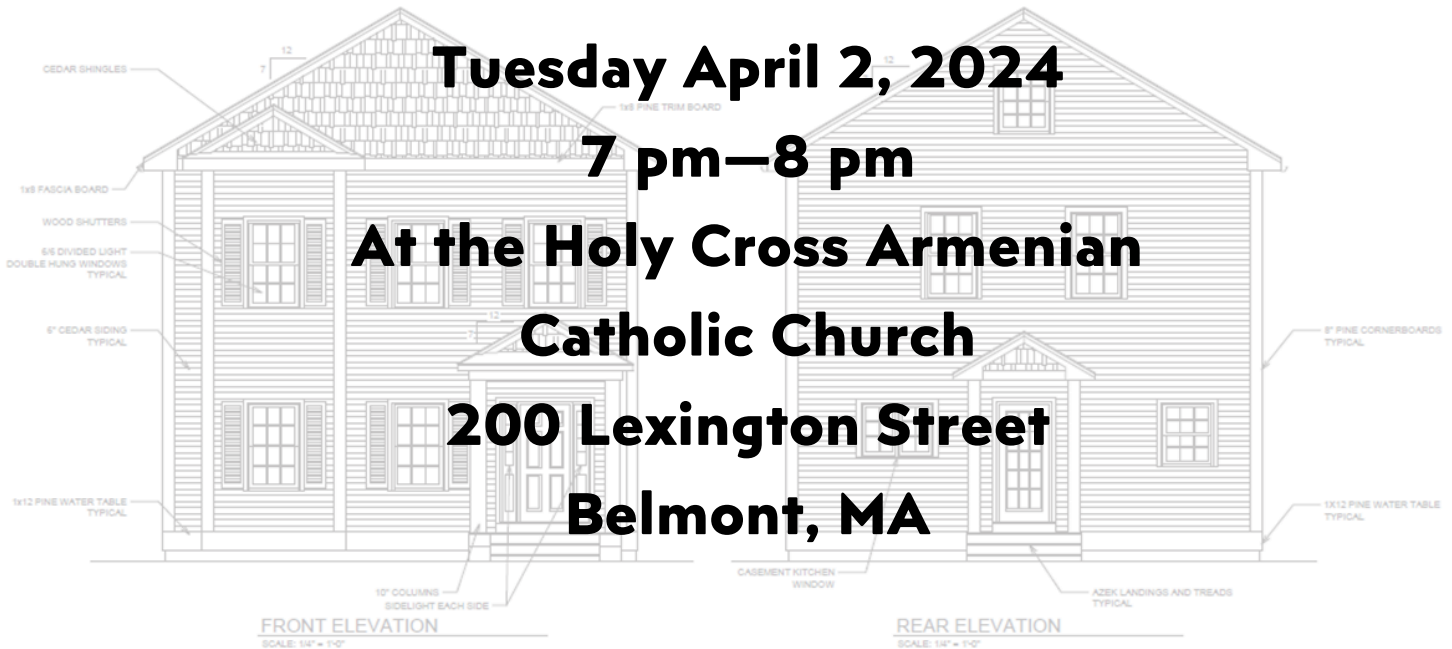
Community Meeting Notice

To discuss the future redevelopment of
190 A & B Lexington Street, Belmont MA

Tuesday April 2, 2024

7 pm–8 pm

**At the Holy Cross Armenian
Catholic Church
200 Lexington Street
Belmont, MA**



Meeting hosted by
Community Matters

Please contact Mike Mena at
communitymattersma@gmail.com or 530-518-0449
with any questions.

Project Plans available on the Town's website at
<https://www.belmont-ma.gov/planning-board/pages/2024-cases>

Permitting, General Contractor, and Construction Management Services
www.communitymattersma.com
communitymattersma@gmail.com • 530-518-0449

COMMUNITY
 **MATTERS**

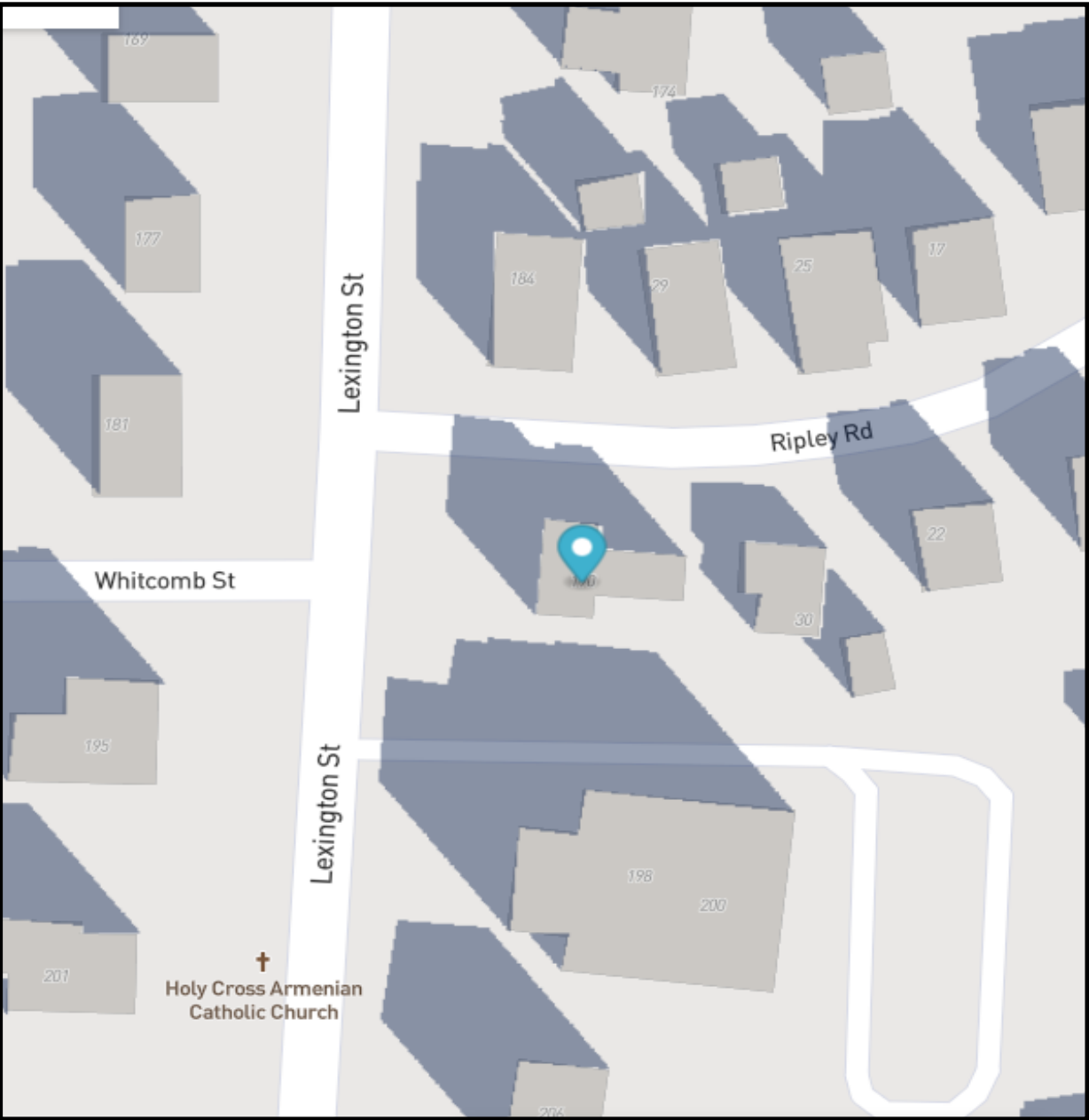


The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

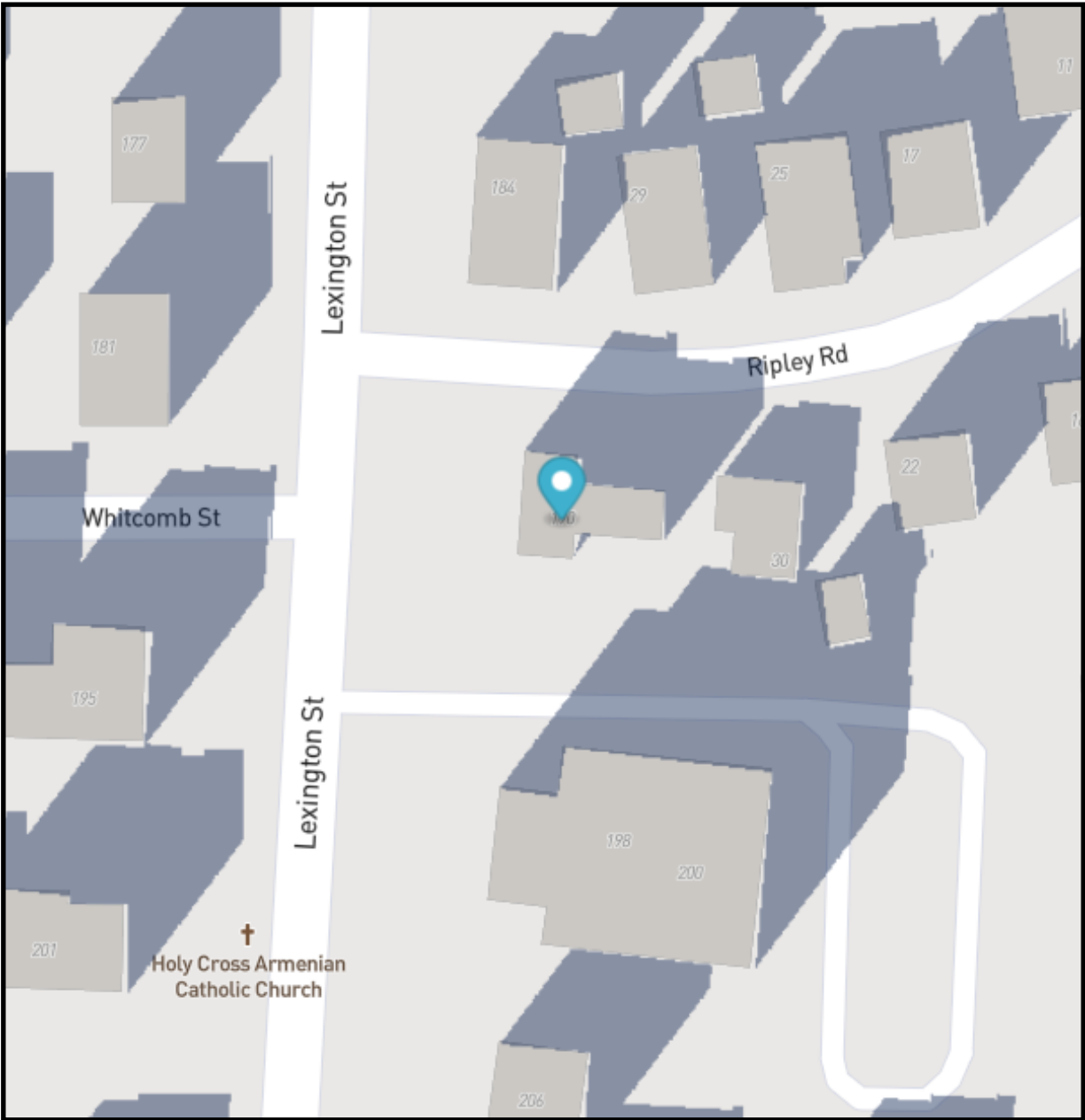
190 Lexington Street

Information Sheet

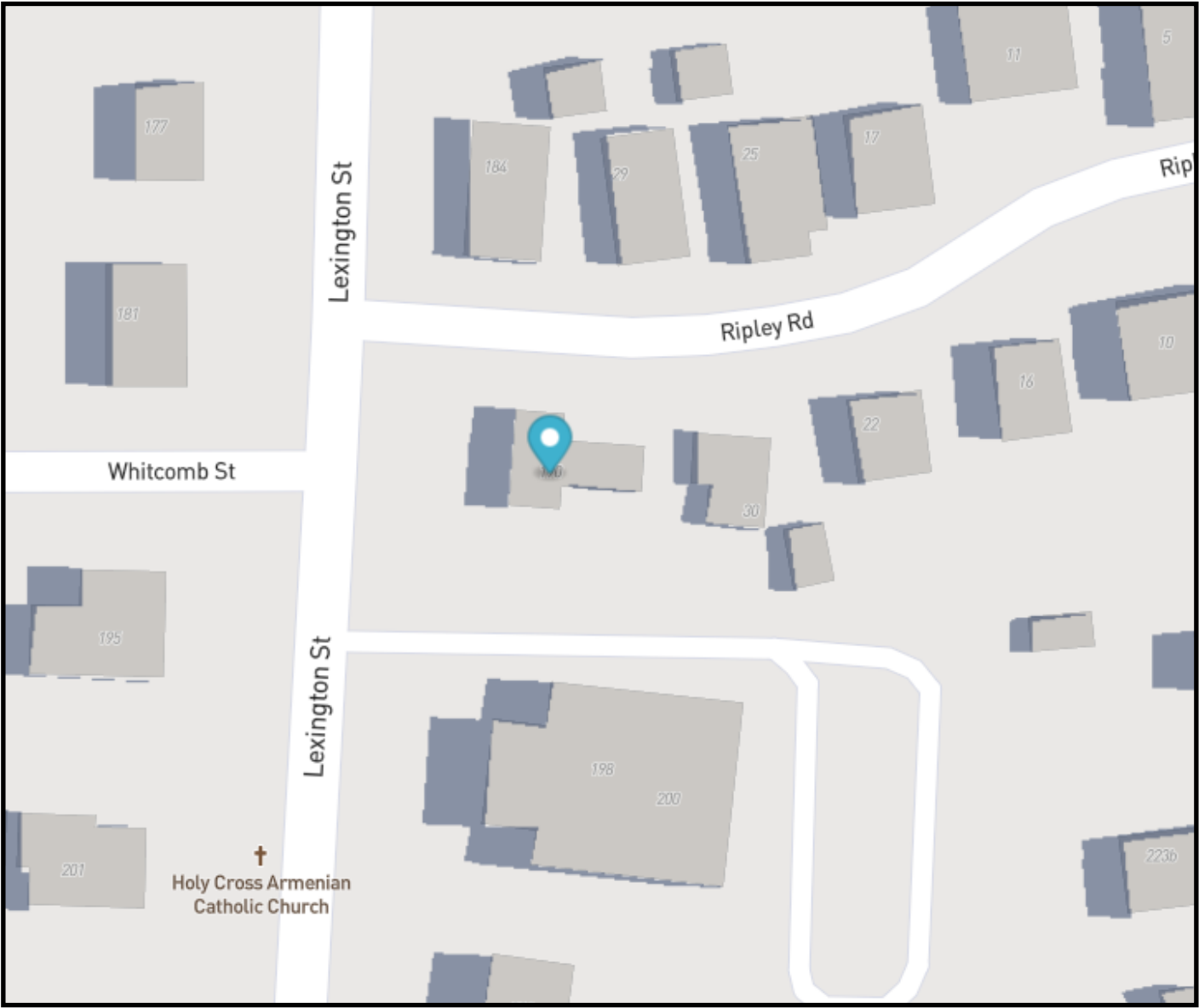
Traffic	According to the Institute of Transportation Engineers (ITE), a single-family detached residential unit can be expected to generate an average of 9 total vehicle trips per day, including 1 trip during each of the AM and PM peak hours. Adding one additional dwelling unit can therefore be expected to increase the total daily trips by 9 and commute hour trips by 1 per commute period. This increase would be negligible and would not have a noticeable effect on the current conditions in the neighborhood.
Parking	Each dwelling would be constructed with an approximately 54-foot-long driveway. The minimum length of a parking space, as required by local code, is 18 feet. Therefore, each driveway will be able to accommodate up to 3 standard vehicles, thus minimizing spillover parking impacts on the public street.
Shade/Shadow	Given the sun’s position to the south of the project site and sunrise and sunset occurring from east to west, respectively, shadows are cast northward in the same east-to-west direction. As shown on the accompanying shade/shadow exhibits, the existing building does not significantly impact the abutting properties, with the greatest amount of shade impact occurring during the summer, when shadows are cast on the abutting property to the east. The existing dwelling’s height is approximately 26 feet to the ridge. The new dwelling’s would be approximately 28.5 feet to the ridge, an additional 2.5 feet. This small increase in height would result in minimal change in shade or shadows on abutting properties. Further, the proposed dwellings are lesser in height than the surrounding dwellings, by 1 to 5 feet.
Zoning	The project will meet or exceed all setback, building coverage, and height requirements set by local ordinance. Both proposed lots meet or exceed the required minimum size and frontage required under Section 6.D.7 of the local zoning ordinance.
Stormwater Runoff	State and local codes require all stormwater to be retained on site. The project would have drainage to on-site drywells that would be reviewed and approved by the DPW. The project would comply with all local and State codes and be inspected by local inspectors prior to occupancy of the dwellings.
Historic Buildings	Protected buildings are those identified on a local list or district, or designated as such on a state or federal register. The existing dwelling is not located on the local list of buildings subject to demolition delay, is not within a historic district, nor is it listed on a state or federal register. The building’s inclusion in the State survey report does not constitute a designation as a “historically significant building.” The building was surveyed at the time because it was/is more than 50 years old.
Noise and A/C Condenser Units	The proposed condensers are Goodman Energy Efficient Split System Air Conditioners. The condensers’ specifications state that the noise decibel levels would be 70-73 dBA (decibels) measured at the source (vacuum). Noise levels generally decrease by approximately 6 decibels for each doubling of distance, conservatively not taking into account attenuating factors such as air absorption, ground effects, and any shielding factors. The condensers would be approximately 20 feet from the rear lot line and 12 feet from the side lot lines. Given this distance and proposed landscaping screening, and taking into account existing ambient noise sources (e.g. vehicle traffic on Lexington Street and common neighborhood noises from nearby homes and establishments), noise at the abutting lot lines would be relatively inaudible.
Density/ Neighborhood Combability	In the face of Massachusetts’ housing shortage, the Commonwealth is demanding through Chapter 40 that all MBTA Communities adopt districts that allow multifamily housing by right (i.e., with no public hearing). Belmont has encouraged small-lot, single-family homes in order to allow greater density while still keeping a low-density, single-family character in single- and two-family districts, such as the project neighborhood.
Screening/ Landscaping	In response to neighbor concerns, additional landscaping has been added along Lexington and Ripley Streets to soften and screen the new dwellings. Landscaping has also been added to screen the A/C condenser units at the rear of each dwelling.



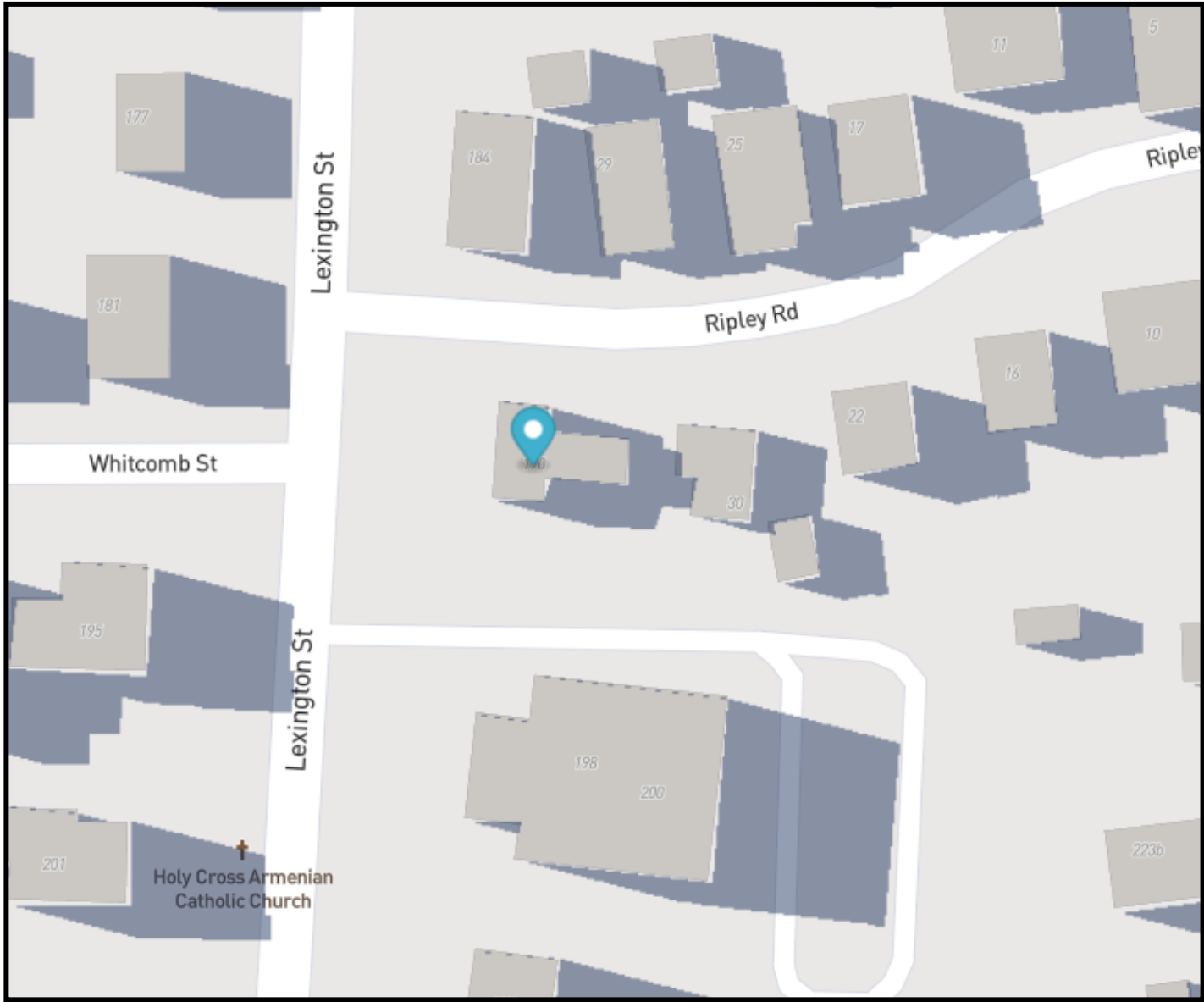
Winter Solstice—December 20-22
2 Hours After Sunrise
9 a.m.



Winter Solstice—December 20-22
2 Hours Before Sunset
2:30 p.m.



Summer Solstice—June 20-22
2 Hours After Sunrise
9 a.m.



Summer Solstice—June 20-22
2 Hours Before Sunset
6:30 p.m.

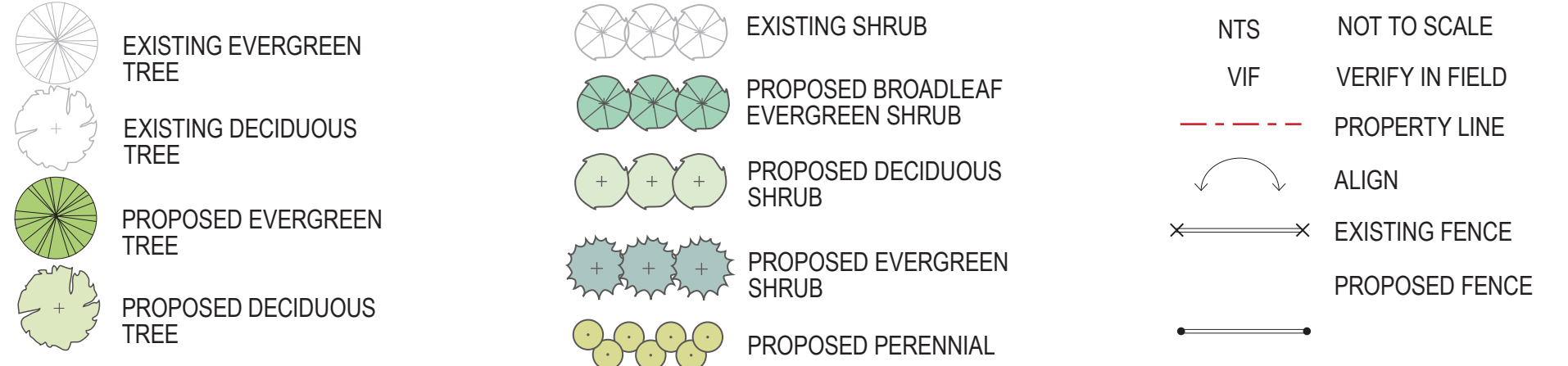
Source: Shade Map App—www.shademap.app



PLANT NOTES

- PROTECTION OF EXISTING VEGETATION:** Trees and other vegetation designated to remain shall be protected throughout the duration of the construction period with bright orange plastic fence placed in a circle 10' away from trunk. Any damages resulting from the Contractor's operations or neglect shall be repaired or replaced by the Contractor. No equipment or materials shall be stored or stockpiled within the drip line of the trees. If, in order to perform excavation work, it becomes necessary to cut a tree's roots, such roots must be cleanly cut by a Certified Arborist. Tree protection must remain in place throughout construction until final acceptance by Owner.
- CLEARING AND GRUBBING:** Verify all items to be removed and to remain before commencing any demolition work. Do no clearing without full knowledge of existing conditions to be preserved. Tree and shrub removal includes the cutting and grubbing of all stumps, roots and root clusters that have a diameter of 1 inch or larger to a depth of at least 2 feet below finish grade elevations. The Contractor is responsible for complying with local and state rules and regulations pertaining to the off-site disposal of all soil, trees, shrubs, stumps, vegetative, and extraneous debris produced by removal and construction operations.
- Maintain existing grade at trees to remain.
- CUT AND FILL:** During grading operations, stockpile existing loam to be used for proposed lawn and plant bed areas. Any existing or introduced fill shall be well-graded, natural, inorganic soil, free of debris, stones larger than 4", & all materials subject to decomposition including roots & limbs. It shall also be free of highly plastic clays. Fill shall be placed in 6" horizontal layers, and compacted before adding the next layer. Never place wet or frozen fill. Compact the top 18" of fill/soil in lawn and plant bed areas to 80% density.
- PLANT BED PLANTING MIX:** Planting soil mix shall consist of onsite loam supplemented with loam from off-site sources, if required. Contractor shall have on and off site samples tested at either a state or recognized commercial laboratory. The soil test shall determine the soil texture, pH, magnesium, phosphorus, potassium, soluble salts, total calcium, nitrogen, and percent organic matter. Soil test results shall include laboratory recommendations for soil amendments to correct deficiencies and accomplish planting objectives. The pH for soil for lawn areas shall be between 6.0-7.0, and contain more than 3% organic matter. The soil for plant bed areas shall be based on the specific plant requirements but shall be within the pH range of 5.5-6.5, and contain between 5%-15% organic matter. Planting soil shall be fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, reasonably free of lumps, stones, plants, roots, & other foreign matter. Planting mix and subsoil in all plant beds shall freely drain.
- PLANT MATERIALS: NO PLANT SUBSTITUTIONS MAY BE MADE WITHOUT CONSENT OF LANDSCAPE ARCHITECT.** The Contractor shall adjust quantities of plant materials & their layout to fit actual site conditions. All plant material shall conform to the sizing & grading standards of the latest edition of The American Standard For Nursery Stock, published by the American Nursery & Landscape Association. The Contractor shall provide stock true to botanical name, and legibly labeled. Plants shall be delivered free of defects, diseases, & all forms of insect infestation.
- WARRANTY:** The Contractor shall provide a 1 year warranty on all plant materials.
- PLANTING:** *Till all soils compacted by construction:* The subgrade for all plant beds and lawn areas shall be loosened by discing or rototilling to a depth of twelve inches (12") to permit bonding of loam to the subsoil. Place all trees, shrubs, & individual herbs and perennials for approval by the Owner's representative prior to planting. The Owner's representative reserves the right to adjust the spacing and placement of the plants according to actual site conditions. The Contractor shall remove all artificial burlap and twine, if used, at time of installation. The Contractor shall cut all wire baskets, if used, down to a maximum of 6" from the bottom of each root ball. **The width of the holes dug for shrubs & trees shall be 2 1/2 times the diameter of the root ball.** It is more important that the hole for plants be wide rather than deep. **All shrubs & trees shall bear the same relationship to the final grade as to the original grade before planting.** Remove all nursery mulch to determine correct root flare. After removing the plant from its container, rough up the sides of the root ball to loosen soil and encourage roots to spread into hole. Place plant in hole and back fill 6" deep with loam. Water thoroughly. After water has soaked into backfilled loam, resume filling the remainder of the hole in 6" lifts. Form a saucer around the outside edge of the plant, and fill with water again.
- LAWN:** to be seeded with a sun/shade grass seed, Scotts Turf Builder Grass Seed Sun and Shade Mix. *Till all soils compacted by construction* to loosen and to ensure that the added loam is well-bonded to subgrade. After top layer of loam has been brought to finish grade, rake in limestone and compost. Spread seed at rate recommended by manufacturer. The ideal time to seed lawns is from April 1-June 1 or from August 15-October 15.
- MULCH:** The Contractor shall spread a 2-3" deep bed of dark aged mulch in all plant beds & throughout the planting area. **Keep mulch away from the base of all trunks to prevent rotting of the bark.**
- WATERING:** The Contractor is responsible for watering all plant materials while on site until irrigation system is fully functioning and the landscape improvements are accepted by the Owner. The following suggested watering schedule depends on rain frequency: Water plants every day for the first week, every other day for the second week, & two-three times a week for the third and fourth weeks. After the fourth week water once a week if less than 1" of rain falls during the week. The Contractor shall apply 10-20 gallons of water per application on trees greater than 2" caliper.

LEGEND



CONSTRUCTION NOTES

- Layout information based on the following: 1. "Proposed Plot Plan, Unit A, Ripley Road, Belmont MA", and "Proposed Plot Plan, Unit B, Ripley Road, Belmont MA", provided by H-Star Engineering, dated February 7, 2024; 2. "Lexington Street, LLC House A First Floor Plan", and "Lexington Street, LLC House B First Floor Plan", by Costa Architects, dated February 7, 2024. Shoplick Associates assumes no responsibility for errors, inconsistencies, updates, or omissions of these drawings.
- Contractor shall be responsible for damage inside and outside the Limit of Work line due to contract operations. Contractor shall restore damaged areas to their original condition at no additional cost to the Owner.
- Contractor shall verify all conditions in the field and report any and all discrepancies to the Owner prior to commencing work. Any alterations to these drawings made in the field shall be promptly reported by the Contractor to the Owner for review, direction and/or approval and recorded on the Record Drawings.
- The Contractor is responsible for obtaining all applicable permits and inspections from any town department, utility company, or other authority having jurisdiction over any part of the work. The Contractor shall comply with all requirements of permits and licenses issued by cognizant Federal, State and Local agencies.
- Contact the DIGSAFE to confirm the locations of all existing utilities before commencing work. Any damage due to the failure of the Contractor to contact authorities shall be borne by the Contractor. The Contractor shall repair damage incurred during construction to existing utilities at no cost to the Owner.
- Existing structures, improvements, appurtenances and vegetation to remain shall be protected from damage.
- Provide temporary and permanent erosion and sediment control as required by governing agencies. Control storm water runoff to prevent siltation, erosions and flooding of onsite excavations and adjacent properties. Install erosion control matting on all slopes greater than 3:1.
- All layout lines and dimensions are parallel or perpendicular to the lines from which they are measured unless otherwise indicated.
- All dimensions are given to the front faces of walls and structures, unless otherwise noted.
- Where new paving meets existing paving, meet the line and grade of existing with new construction.
- Excavation adjacent to existing and proposed utility lines shall be done by hand. Protect existing utilities and repair all damage done to utilities throughout the duration of this project.
- Finished grade of paving and improvements shall not deviate from spot elevations by more than 1/2". Finish grades in unpaved areas shall not deviate from spot elevations by more than 1".
- Pitch evenly between spot elevations. All paved areas must pitch to drain at a minimum of 1/8" per foot unless otherwise shown. Report any discrepancies to the Owner's Representative before commencing work.
- Maintain a maximum of 1% cross slope on all paved pathways, unless otherwise noted
- Do not scale drawings.

PLANT LIST -UNIT A

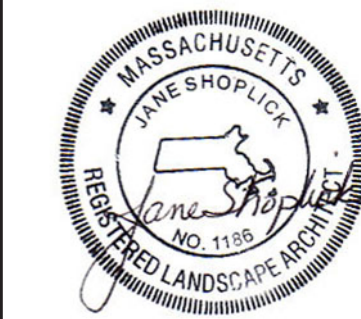
Key	Qty	Botanical Name	Common Name	Mature Size	Installed Size	Remarks
Trees						
AGA	1	Amelanchier g. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	20-30'H x 15-20' W	2-2.5' cal.	specimen
CCA	1	Cercis canadensis 'Appalachian Red'	Appalachian Red Redbud	15-20'H x 10-15'W	2-2.5" cal.	Specimen
MHG	1	Malus 'Harvest Gold'	Harvest Gold Crabapple	20-30' H x 10-15'W	2-2.5" cal.	Can sub Malus Sugar Tyme
POB	3	Picea omorika 'Bruns'	Bruns Serbian Spruce	20-30'H x10-15'W	6-7'	single main leader
Shrubs						
AGR	3	Azalea 'Girard's Renee Michelle'	Girard's Renee Michelle Azalea	2-3'H x 3-4'W	#5	3' spacing
HAIS	2	Hydrangea arbor. 'Invincibelle Spirit II'	Invincibelle Spirit II Hydrangea	3-4'H x 3-4'W	#5	full, rounded form.
HKB	1	Hypericum kalmianum 'Blues Festival'	'Blues Festival' St. John's Wort	2-3'H x 2-3'W	#3	full, rounded form.
ICC	1	Ilex crenata 'Chesapeake' or 'TeePee'	Chesapeake/TeePee Jap. Holly	6-8'H x 3-4'W	#10	pyramidal form
ICH	3	Ilex crenata 'Hoogendorn'	Hoogendorn Japanese Holly	2-2.5'H x3-4'W	#5	3' spacing
JHP	3	Juniperus horizontalis 'Plumosa Compacta'	Youngstown Juniper	18-24"H x 6-8'W	#3	2.5-3' spacing
POSW	1	Physocarpus o. 'Summer Wine'	Summer Wine Ninebark	6-8'H x 5-6'W	#10	upright
PJBB	1	Pieris florib. /Jap.'Brouwer's Beauty'	Brouwer's Beauty Andromeda	4-5'H x 4-5'W	#10	okay to sub P. Karenoma
PMS	1	Pinus mugo 'Slowmound'	Slowmound Mugo Pine	2-3'H x 3-4'W	#10	full flat form
RPE	1	Rhododendron 'PJM Elite'	PJM Elite Rhododendron	4-5'H x 4-5'W	#10	upright rounded form
SJLP	2	Spiraea japonica 'Little Princess'	Little Princess Dwarf Spirea	2.5'H x 3-5'W	#3	3-4' spacing
Perennials						
APC	2	Astilbe chinensis 'Purple Candles'	Purple Candles Astilbe	24-40"H x 18-24"W	#2	18-24" spacing
BMJ	4	Brunnera macrophylla 'Jack of Diamonds'	Jack of Diamonds Bugloss	14-16"H x 28-32"W	#2	24" spacing
GR	3	Geranium x 'Rozanne'	Rozanne Cranesbill	24"H x 18-24"W	#2	18-24" spacing
HFW	5	Hosta sieboldiana 'Frances Williams'	Frances Williams Hosta	32"H x48" W	#2	36-48" spacing

PLANT LIST - UNIT B

Key	Qty	Botanical Name	Common Name	Mature Size	Installed Size	Remarks
Trees						
CKS	1	Cornus kousa 'Satomi'	Satomi Red Flowering Dogwood	15-20'H x 10-15'W	2-2.5" cal.	specimen
PPB	1	Picea pungens 'Baker'	Baker Blue Spruce	15-20'H x 8-10'W	6-7'	specimen, single main leader
TOY	1	Thuja occidentalis 'Yellow Ribbon'	Yellow Ribbon Eastern Arborvitae	10-15'H x 3-5'W	6-7'	specimen, single main leader
TOW	3	Thuja occidentalis 'Wintergreen'	Wintergreen Arborvitae	15-20'H x 5-6'W	5-6'	single main leader
Shrubs						
AZP	1	Azalea 'Pink 'n Sweet' or 'Parade'	Pink 'n Sweet or Parade Azalea	5-6'H x 5-6'W	#5	symmetrical form
CAS	2	Clethra alnifolia 'Sixteen Candles'	Sixteen Candles Summersweet	4-5'H x 2-3'W	#3	matching
FG	1	Fothergilla gardenii	Dwarf Fothergilla	4-5' H x 4-5'W	#10	3' spacing
ICH	4	Ilex crenata 'Hoogendorn'	Hoogendorn Japanese Holly	2-2.5'H x3-4'W	#5	3' spacing
IMB	1	Ilex meserveae 'Blue Princess'	Blue Princess Holly	8-10'H x 6-8'W	3.5-4'	upright pyrmidal form
JCB	1	Juniperus chinensis 'Blue Point'	Blue Point Juniper	7-8'H x 4-6'W	4-5'	single main leader
RO	2	Rhododendron 'Olga Mezitt'	Olga Mezitt Rhododendron	4-5'H x 3-4'W	2-2.5'	Full, dense, matching
RBK	3	Rosa 'Blushing Knockout Radyod'	Blushing Knockout Rose	3-4'H x 3-4'W	#3	ok to sub Sunny Knockout
SJD	2	Spiraea japonica 'Double Play Blue Kazoo'	Double Play Blue Kazoo Spirea	2-3'H x 2-3'W	#3	ok to sub 'Doozie'
Perennials						
GR	5	Geranium x 'Rozanne'	Rozanne Cranesbill	24"H x 18-24"W	#2	18-24" spacing
HG	4	Hosta 'Guacamole'	Guacamole Hosta	20" H x 36"W	#2	36" spacing

PROJECT NAME

STAMP



Shoplick Associates
Landscape Architecture

602 Centre Street
Newton, MA 02458

T: 617-244-7309
F: 617-795-1506

DESCRIPTION

DATE

REV. NO.

DRAWING TITLE

DRAWING NUMBER

SHEET

OF

1	2	3	4	5
PLANTING PLAN				
SCALE		DRAWN BY		
DATE		CHECKED		
March 20, 2024		J.S.		
AS NOTED				

L-1

1 OF 1

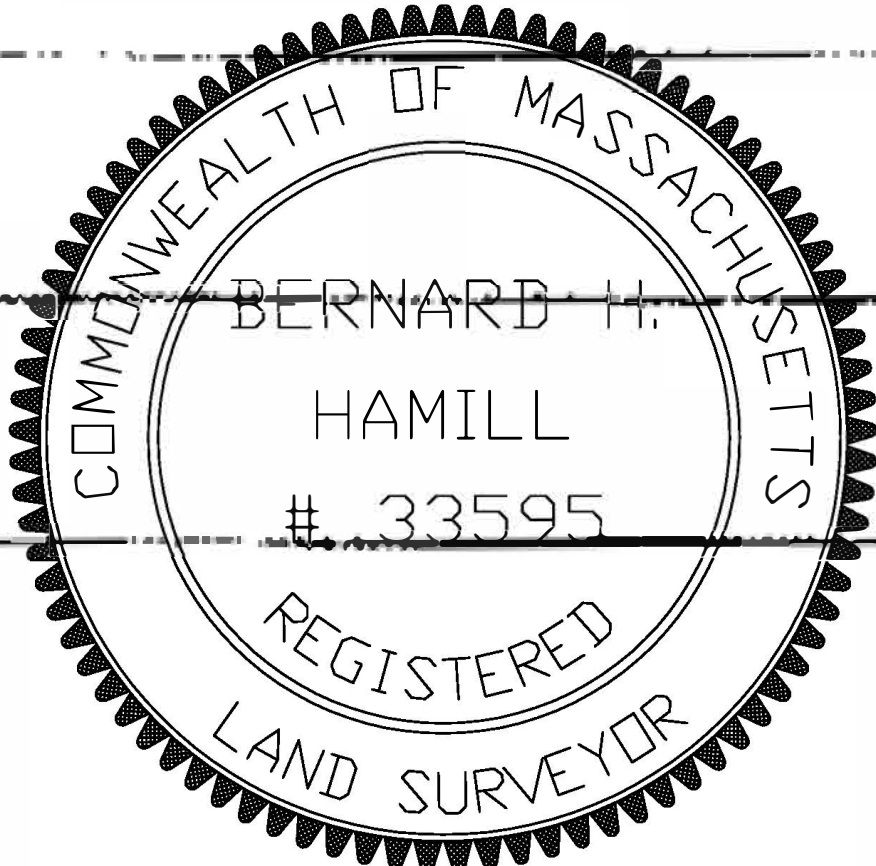
Zoning Compliance Check List
(Registered Land Surveyor)

Property Address: UNIT A, RIPLEY ROAD (190 Lexington St.) Zone: GR

Surveyor Signature and Stamp: BERNARD H. HAMILL Date: 4 APRIL 2024
MA PLS #33595

	REQUIRED	EXISTING	PROPOSED
Lot Area	5000 (1)	N/A	4826
Lot Frontage	50	N/A	60 (Ripley)
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	30%	N/D	22.1%
Open Space	40%	N/A	67%
Front Setback	20	N/A	17' (RIPLEY) 21' (LEXINGTON)
Side Setback	10	N/A	13
Side Setback	10	N/A	N/A
Rear Setback	20	N/A	21'
Building Height	32'	N/A	26 (AVE.)
Stories	2.5	N/A	2.5
1/2 Story Calculation			
SEE ATTACHED CALCULATIONS FOR BASEMENT			
(1) 4000 SF LOT/45FT FRONTAGE ALLOWED WITH SPECIAL PERMIT			

NOTES:



Bernard H. Hamill

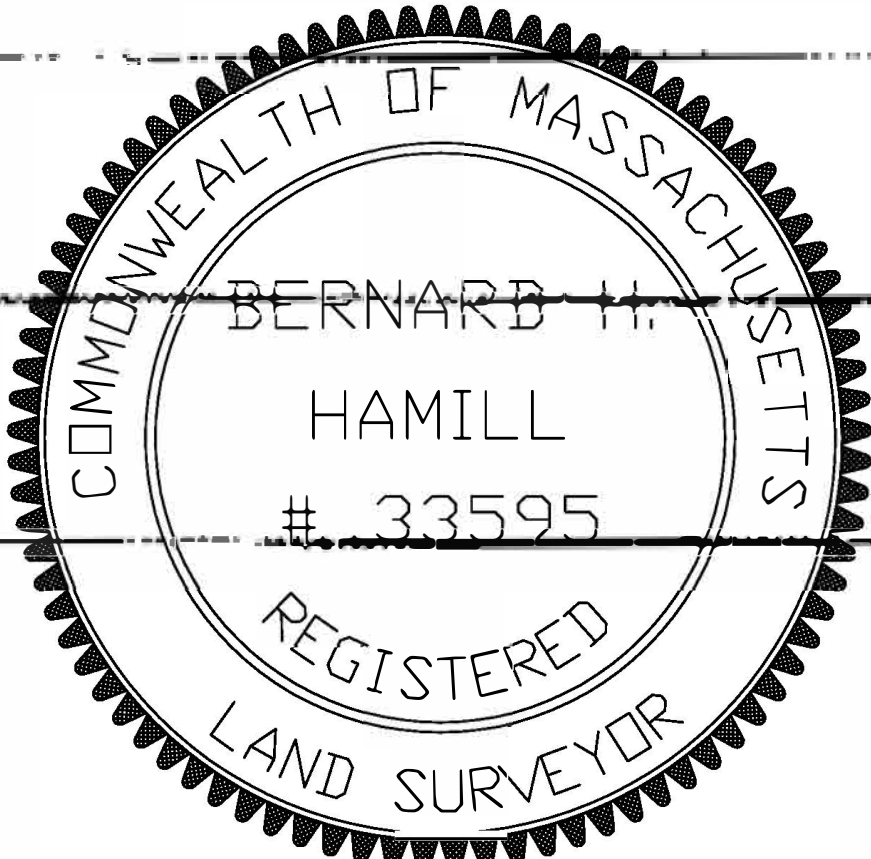
Zoning Compliance Check List
(Registered Land Surveyor)

Property Address: UNIT B, RIPLEY ROAD (190 Lexington St.) Zone: GR

Surveyor Signature and Stamp: BERNARD H. HAMILL Date: 4 APRIL 2024
MA PLS #33595

	REQUIRED	EXISTING	PROPOSED
Lot Area	5000 (1)	N/A	4110
Lot Frontage	50	N/A	54 (Ripley)
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	30%	N/D	25.9%
Open Space	40%	N/A	61%
Front Setback	20	N/A	17' (RIPLEY)
Side Setback	10	N/A	13
Side Setback	10	N/A	12
Rear Setback	20	N/A	21'
Building Height	32'	N/A	26 (AVE.)
Stories	2.5	N/A	2.5
½ Story Calculation			
SEE ATTACHED CALCULATIONS FOR BASEMENT			
(1) 4000 SF LOT/45F FRONTAGE ALLOWED WITH			

NOTES:



Bernard H. Hamill