

EXISTING 2 FAMILY DWELLING  
57-59 BURNHAM ST.

APPLICANT: 57-59 BURNHAM ST., LLC  
LOCATION: 57-59 BURNHAM ST., BELMONT, MA

# PLOT PLAN 57-59 BURNHAM ST. BELMONT, MA

## REFERENCE:

SUBJECT TO EASEMENTS AND/OR  
RESTRICTIONS AS SHOWN AND/OR RECORDED.  
BELMONT ASSESSORS MAP 28 PARCELS 37 & 38  
WATERTOWN ASSESSORS GIS ID 521/9/2P  
PLAN DATED 21 OCT. 1905 BOOK 3197 END MSRD.  
PLAN 540 OF 2010 MSRD.  
DEED BOOK 68740 PAGE 184 MSRD.

## NOTE:

BUILDING LOCATION AND OFFSETS SHOWN ARE SPECIFICALLY  
FOR ZONING DETERMINATION ONLY AND NOT TO BE USED TO  
ESTABLISH PROPERTY LINES.

## CERTIFICATION:

PLAN WAS COMPILED FROM EXISTING PLANS IN ACCORDANCE  
WITH THE TECHNICAL STANDARDS FOR FOUNDATION  
INSPECTIONS AS ADOPTED BY THE MASSACHUSETTS  
ASSOCIATION OF LAND SURVEYORS AND CIVIL ENGINEERS.

- A. THE BUILDING CONFORMS TO THE DIMENSIONAL  
REQUIREMENTS OF THE ZONING BYLAWS OF THE TOWN  
OF BELMONT, MA. LOT IS "GRANDFATHERED".  
B. THE BUILDING IS NOT IN THE 100 YEAR FLOOD PLAIN.  
FEMA MAP #2501700414E DATED 4 JUNE 2010.

## LEFT

FRONT YARD SETBACK  
EXIST. DWELLING #61 BURNHAM ST.  
(16 + 20)/2 = 18.0 FT

## COVERAGE

30% OF 4600 SF = 1380 SF  
PRO. HOUSE = 1000 SF OR 21.7%  
DRIVEWAY AREA = 463 SF OR 10.1%  
OPEN SPACE = 68.2%

## RIGHT

FRONT YARD SETBACK  
EXIST. DWELLING #61 BURNHAM ST.  
(16 + 20)/2 = 18.0 FT

## COVERAGE

30% OF 5120 SF = 1536 SF  
PRO. HOUSE = 1000 SF OR 19.5%  
DRIVEWAY AREA = 548 SF OR 10.7%  
OPEN SPACE = 69.8%

## ZONING DISTRICT: GR

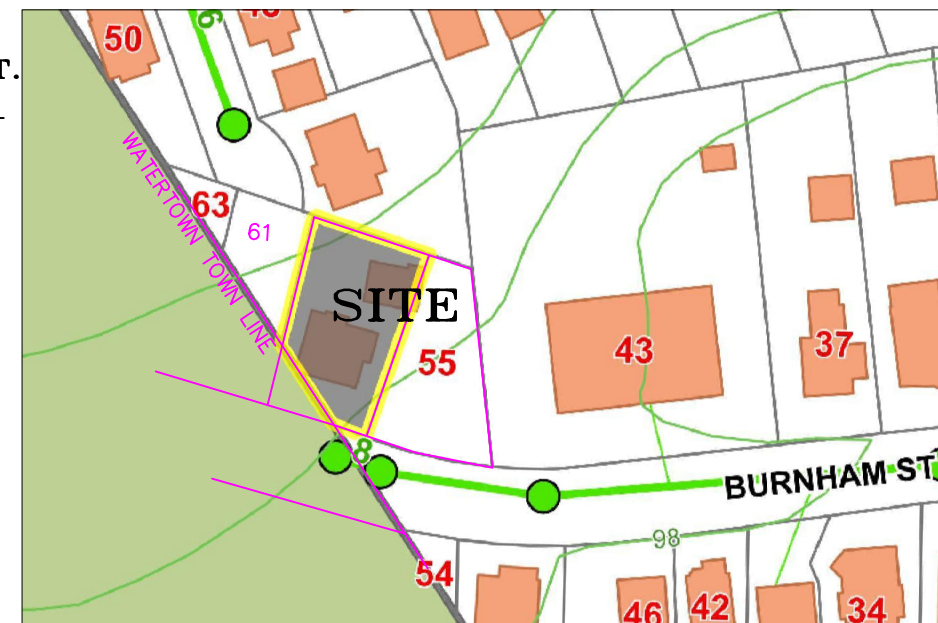
## ZONING DIMENSIONS

## LOT REQUIREMENTS

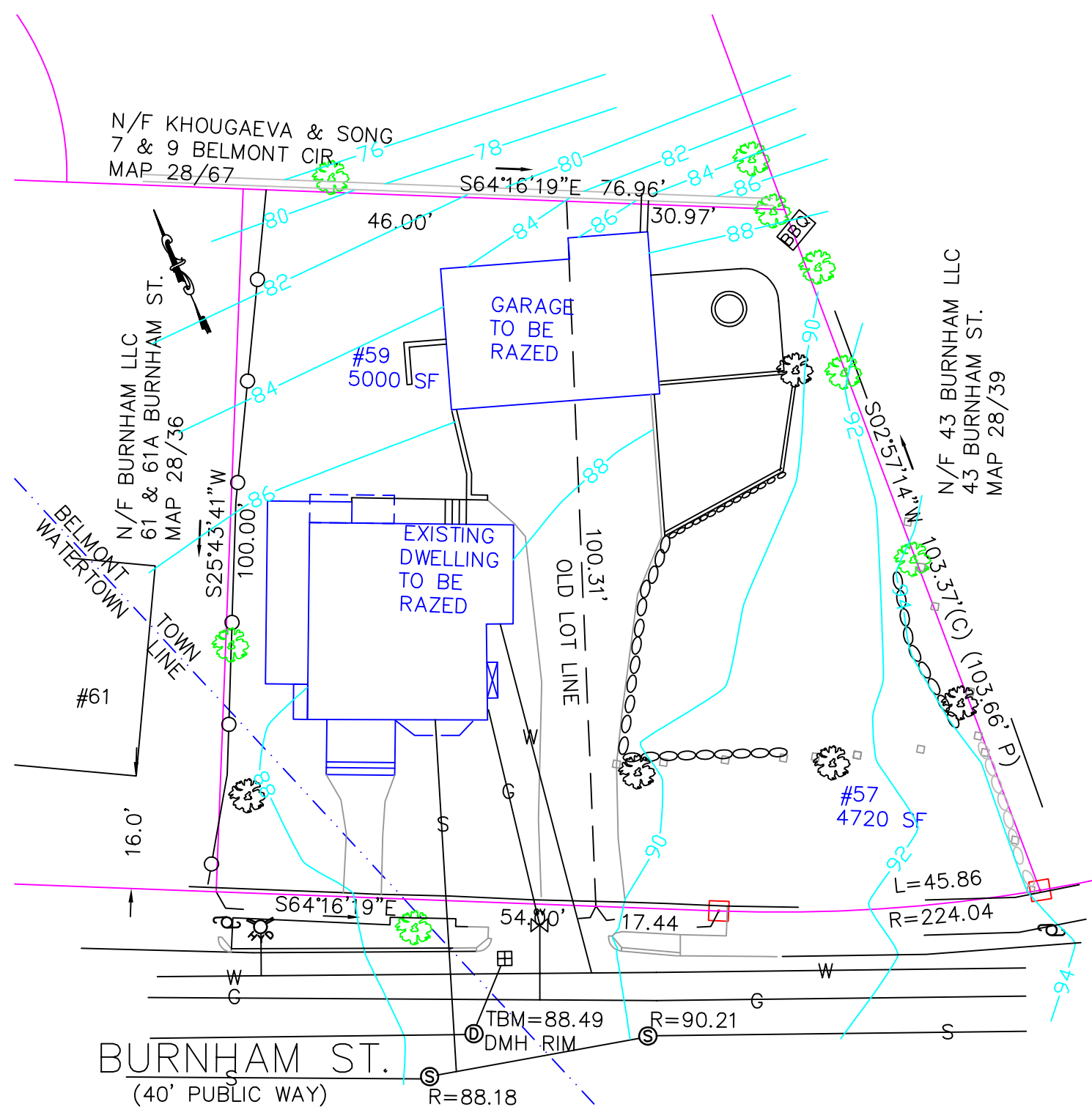
- |                                 |            |       |        |       |
|---------------------------------|------------|-------|--------|-------|
| 1. AREA (SF/DU) (2 FAMILY)      | 3500       | 9720  | ---    | ---   |
| AREA (SF) (1 FAMILY)            | 4000       | ---   | 5120   | 4600  |
| 2. WIDTH (FT) (REAR BLDG LINE)  | 45         | ---   | 46     | 46    |
| 3. DEPTH (FT)                   | ---        | ---   | ---    | ---   |
| 4. FRONTAGE (FT)                | 70         | 117.3 | 71.3   | 46    |
| 5. FRONT SETBACK (BURNHAM) (FT) | 18.0 (AVE) | 23.5  | 20.5   | 22.0  |
| 6. SIDE SETBACK (FEET)          | 10         | 5     | 10.8   | 10.5  |
| 7. REAR SETBACK (FEET)          | 20         | N/D   | 39     | 38    |
| LOT DEPTH (100'+; 20%)          | 20'        | N/D   | ---    | ---   |
| 8. COVERAGE                     | 30%        | N/D   | 30.2%+ | 31.8% |
| OPEN SPACE                      | 40%        | N/D   | 69%    | 68%   |
| 9. HEIGHT (FEET) MAX.           | 32         | N/D   | 28     | 28    |
| 10. STORIES                     | 2.5        | 2.5   | 2.5    | 2.5   |

57 & 59  
REQUIRED EXISTING

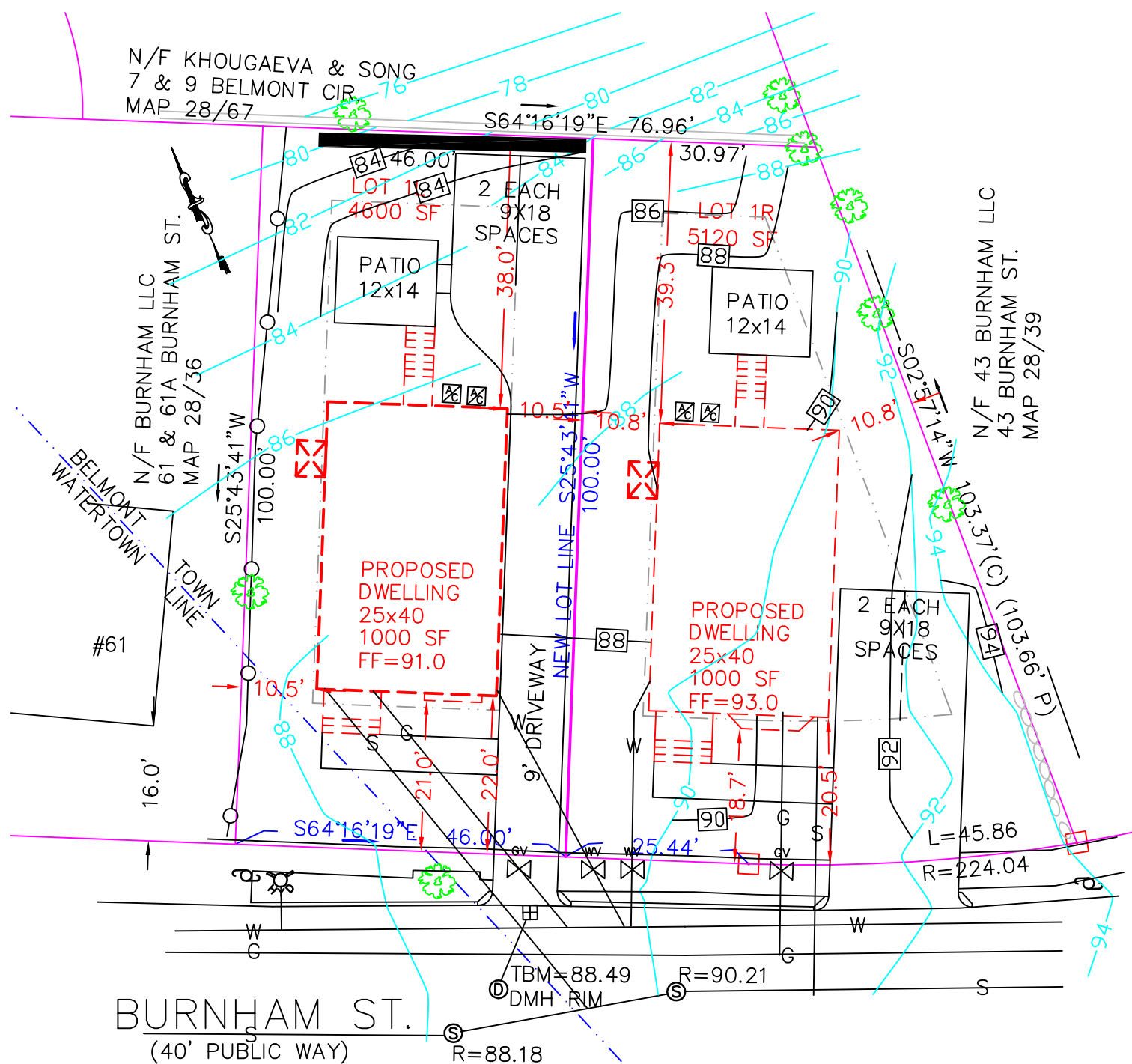
PROPOSED  
57-59 BURNHAM ST.  
57 59



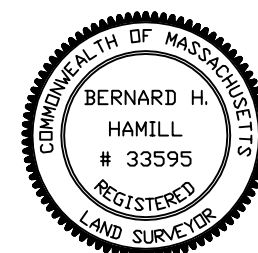
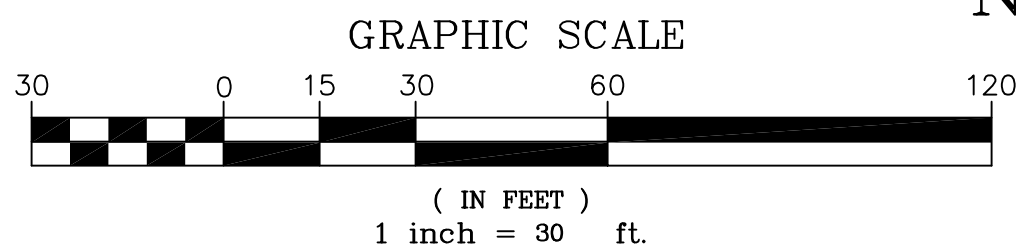
## LOCUS PLAN 1"=100 FT



## EXISTING SITE 1"=20 FT



## NEW SITE LAYOUT 1"=20 FT



Bernard H. Hamill

DATE: 19 JAN. 2023

PREPARED FOR:

57-59 BURNHAM STREET LLC  
166 CIRCLE DR.  
WALTHAM, MA

PREPARED BY:

H-STAR ENGINEERING, INC.  
200 GREENVILLE ROAD  
NEW IPSWICH, NH 03071  
(978) 973-3078  
EMAIL: HSTAR@ATT.NET



EXISTING 2 FAMILY DWELLING  
57-59 BURNHAM ST.

APPLICANT: 57-59 BURNHAM ST., LLC  
LOCATION: 57-59 BURNHAM ST., BELMONT, MA

LEFT  
FRONT YARD SETBACK  
EXIST. DWELLING #61 BURNHAM ST.  
(16 + 20)/2 = 18.0 FT  
COVERAGE  
30% OF 4600 SF = 1380 SF  
PRO. HOUSE = 1000 SF OR 21.7%  
DRIVEWAY AREA = 463 SF OR 10.1%  
OPEN SPACE = 68.2%

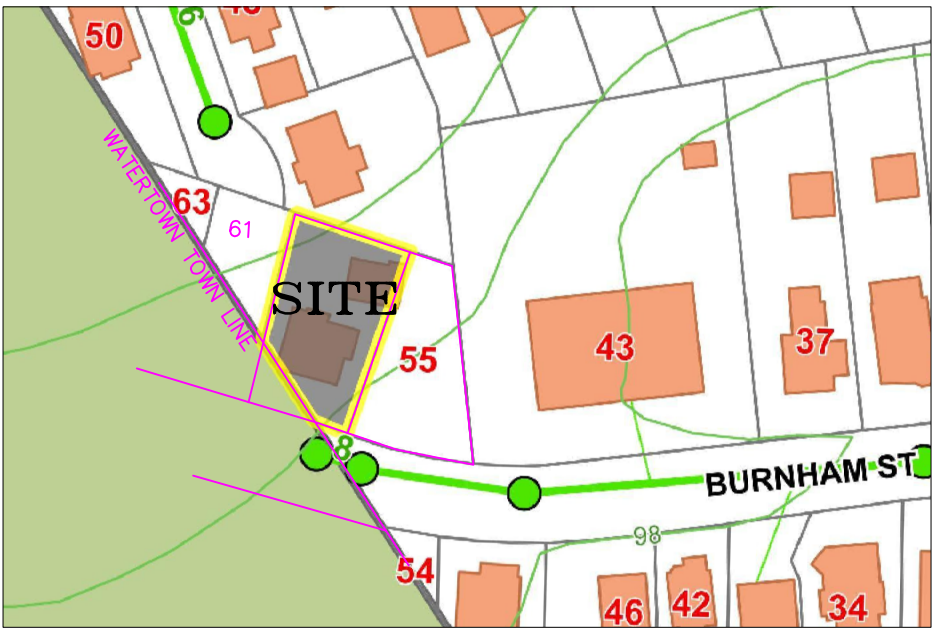
REFERENCE:  
SUBJECT TO EASEMENTS AND/OR  
RESTRICTIONS AS SHOWN AND/OR RECORDED.  
BELMONT ASSESSORS MAP 28 PARCELS 37 & 38  
WATERTOWN ASSESSORS GIS ID 521/9/2P  
PLAN DATED 21 OCT. 1905 BOOK 3197 END MSRD.  
PLAN 540 OF 2010 MSRD.  
DEED BOOK 68740 PAGE 184 MSRD.

NOTE:  
BUILDING LOCATION AND OFFSETS SHOWN ARE SPECIFICALLY  
FOR ZONING DETERMINATION ONLY AND NOT TO BE USED TO  
ESTABLISH PROPERTY LINES.

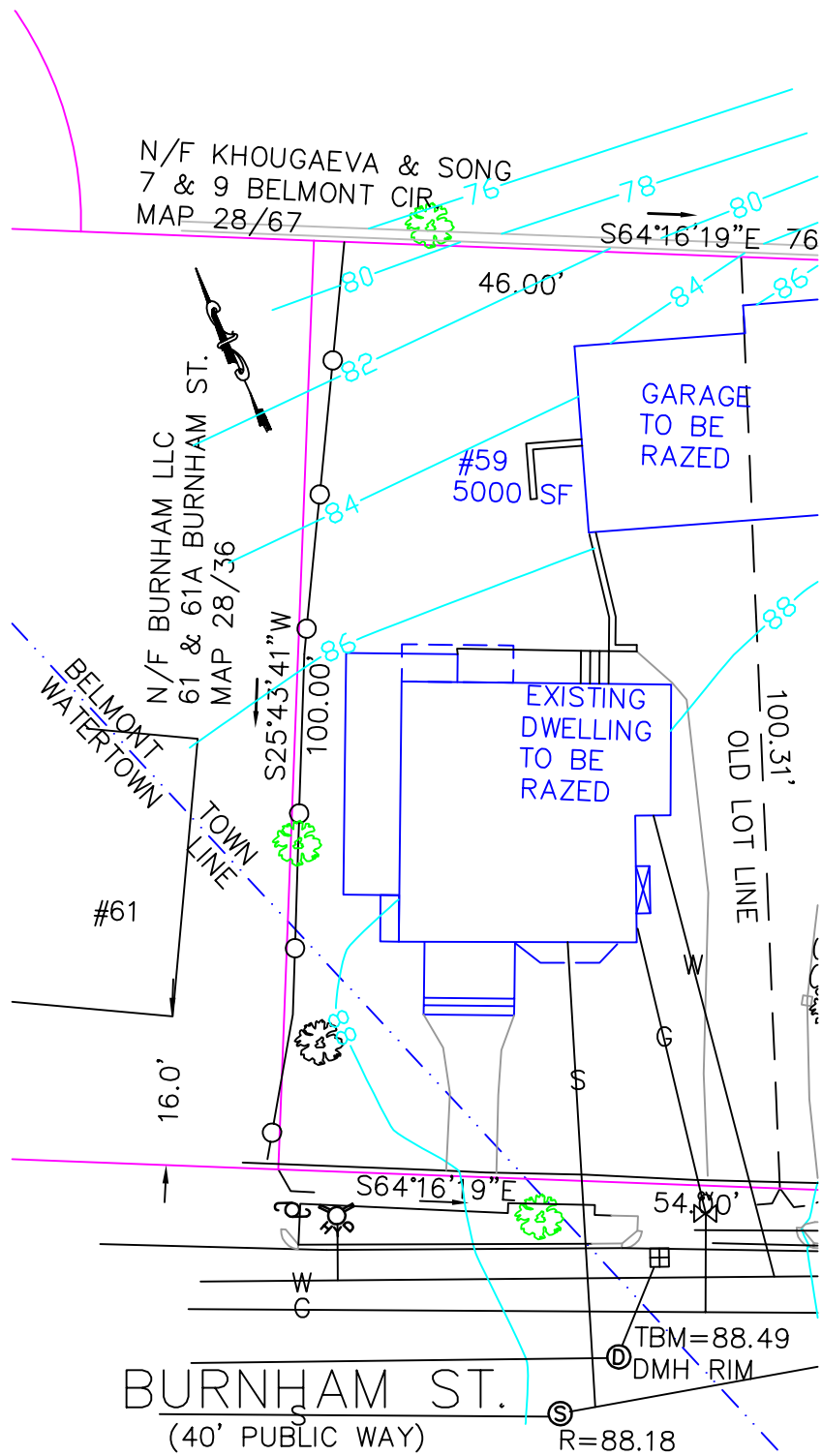
CERTIFICATION:  
PLAN WAS COMPILED FROM EXISTING PLANS IN ACCORDANCE  
WITH THE TECHNICAL STANDARDS FOR FOUNDATION  
INSPECTIONS AS ADOPTED BY THE MASSACHUSETTS  
ASSOCIATION OF LAND SURVEYORS AND CIVIL ENGINEERS.  
A. THE BUILDING CONFORMS TO THE DIMENSIONAL  
REQUIREMENTS OF THE ZONING BYLAWS OF THE TOWN  
OF BELMONT, MA. LOT IS "GRANDFATHERED".  
B. THE BUILDING IS NOT IN THE 100 YEAR FLOOD PLAIN.  
FEMA MAP #2501700414E DATED 4 JUNE 2010.

ZONING DISTRICT: GR		57 & 59		PROPOSED
ZONING DIMENSIONS				57-59 BURNHAM ST.
LOT REQUIREMENTS		REQUIRED	EXISTING	59
1. AREA (SF/DU) (2 FAMILY)	3500	9720	---	---
AREA (SF) (1 FAMILY)	4000	---	---	4600
2. WIDTH (FT) (REAR BLDG LINE)	45	---	---	46
3. DEPTH (FT)	---	---	---	---
4. FRONTAGE (FT)	70	117.3	---	46
5. FRONT SETBACK (BURNHAM) (FT)	18.0 (AVE)	23.5	---	22.0
6. SIDE SETBACK (FEET)	10	5	---	10.5
7. REAR SETBACK (FEET)	20	N/D	---	38
LOT DEPTH (100' +; 20%)	20'	N/D	---	---
8. COVERAGE	30%	N/D	---	31.8%
OPEN SPACE	40%	N/D	---	68%
9. HEIGHT (FEET) MAX.	32	N/D	---	28
10. STORIES	2.5	2.5	---	2.5

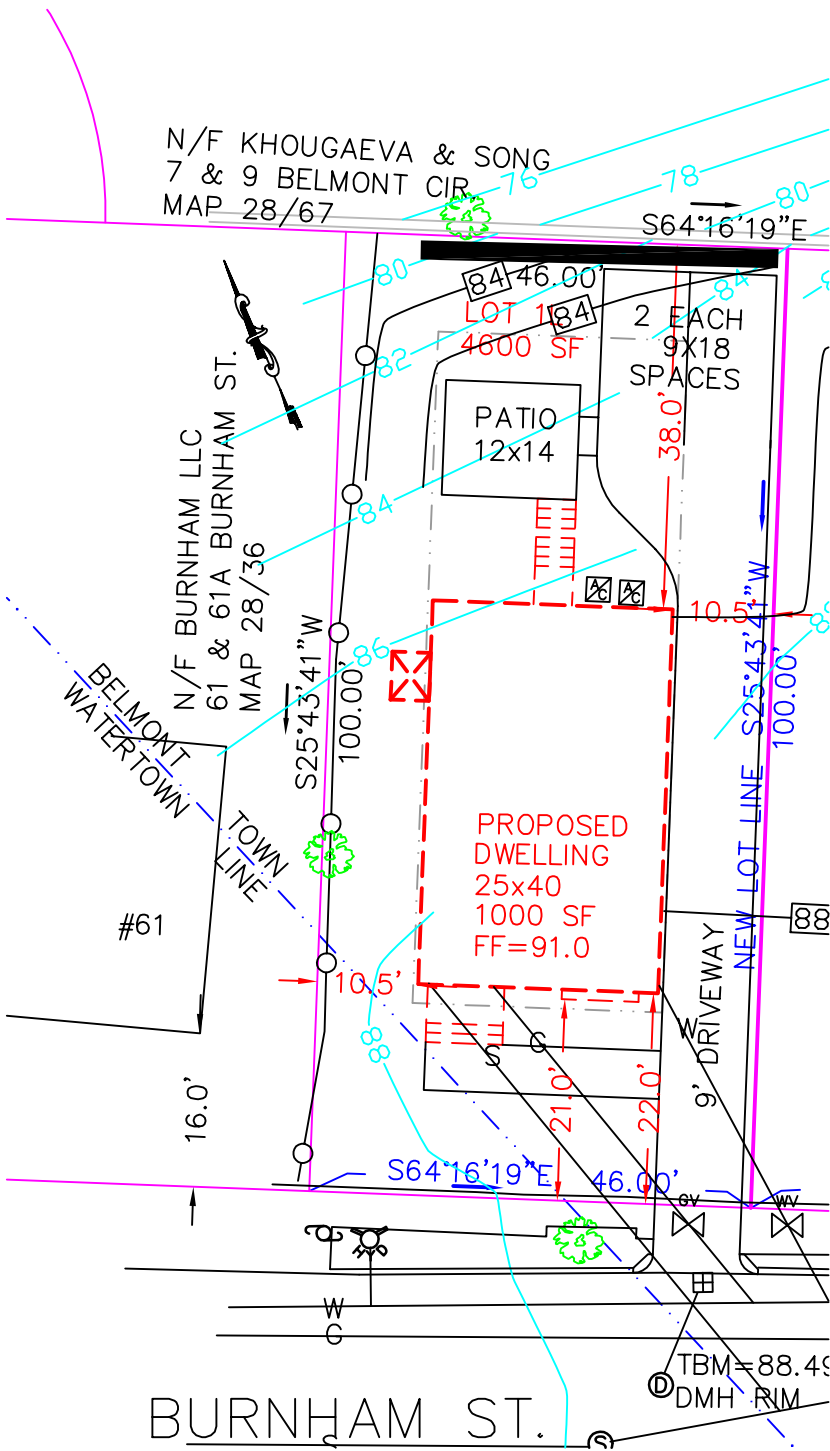
PLOT PLAN  
59 BURNHAM ST.  
BELMONT, MA



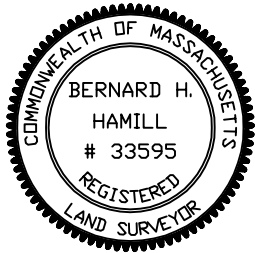
LOCUS PLAN  
1"=100 FT



EXISTING SITE  
1"=20 FT



NEW SITE LAYOUT  
1"=20 FT



Bernard H. Hamill

GRAPHIC SCALE

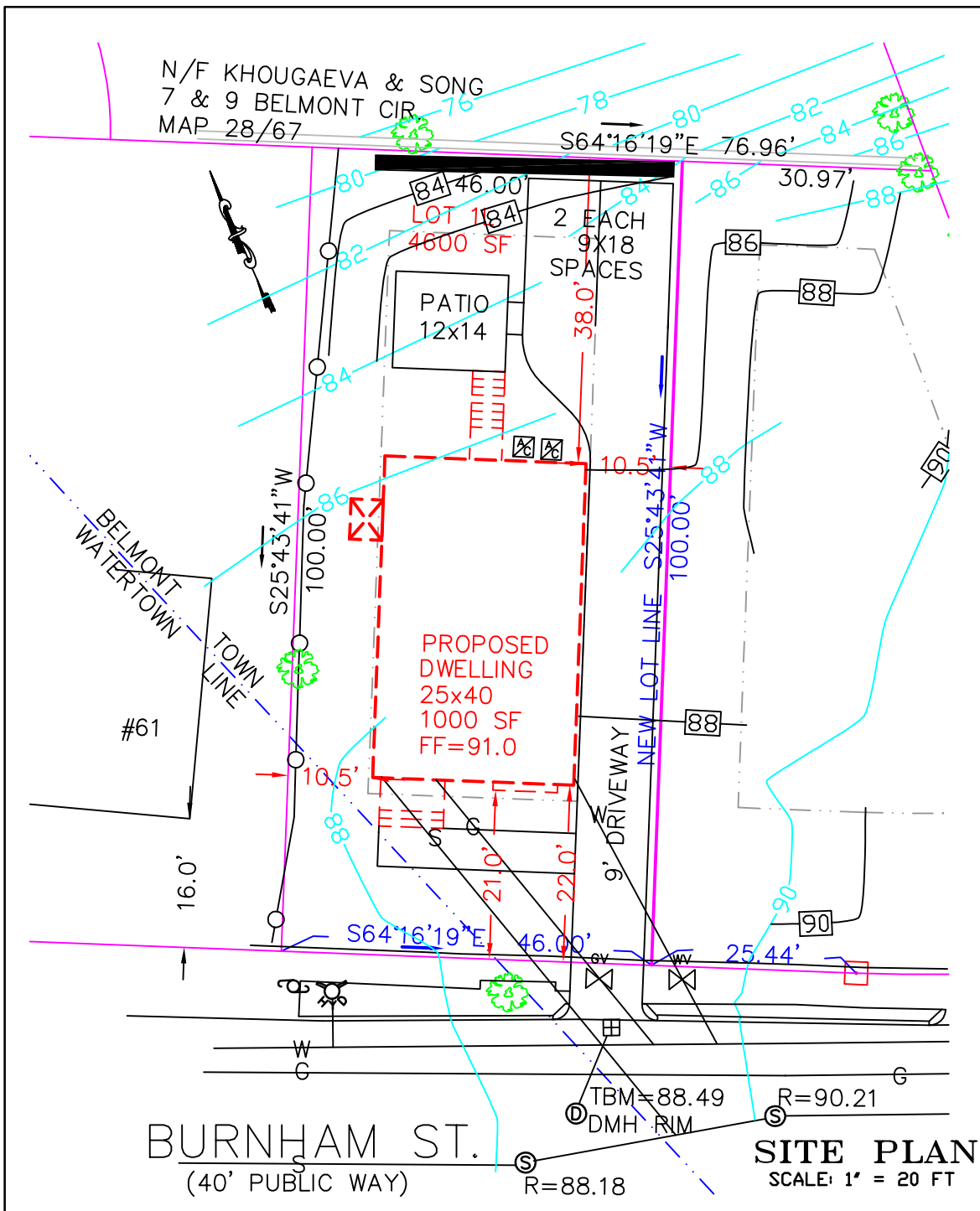


( IN FEET )  
1 inch = 30 ft.

DATE: 19 JAN. 2023

PREPARED FOR:  
57-59 BURNHAM STREET LLC  
166 CIRCLE DR.  
WALTHAM, MA

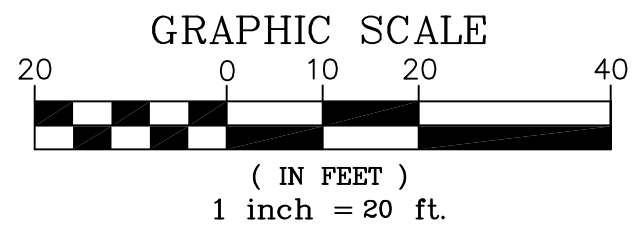
PREPARED BY:  
H-STAR ENGINEERING, INC.  
200 GREENVILLE ROAD  
NEW IPSWICH, NH 03071  
(978) 973-3078  
EMAIL: HSTAR@ATT.NET



FOUNDATION BELOW GRADE  
40% MIN.  
PERCENTAGE BELOW GRADE  
= 5.18 FT / 8 FT = 64%

FRONT YARD SETBACK  
EXIST. DWELLING #61 BURNHAM ST.  
(16 + 20)/2 = 18.0 FT

COVERAGE  
30% OF 4600 SF = 1380 SF  
PRO. HOUSE = 1000 SF OR 21.7%  
DRIVEWAY AREA = 463 SF OR 10.1%  
OPEN SPACE = 68.2%



- ZONING DISTRICT:** GR
- A. ASSESSORS MAP 28 PARCEL 171 NTS
  - B. THE BUILDING IS NOT IN THE 100 YEAR FLOOD PLAIN.  
SEE FEMA MAP 25017C0414E DATED 4 JUNE 2010;  
ZONE X
  - C. THE SITE IS NOT SUBJECT TO THE WETLANDS PROTECTION ACT.
  - D. PUBLIC SHADE TREES LOCATED WITHIN THE LIMITS  
OF THE PROPERTY FRONTAGE TO BE RETAINED.

PROPOSED SINGLE FAMILY DWELLING  
57-59 BURNHAM ST., LEFT

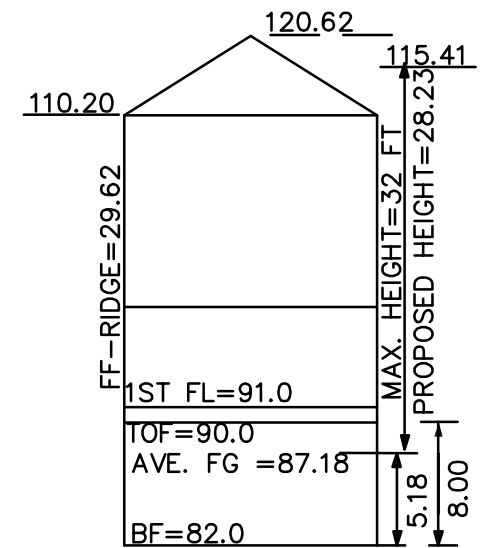
PREPARED BY:  
**H-STAR ENGINEERING**  
200 GREENVILLE ROAD  
NEW IPSWICH, NH 03071  
(978) 973-3078  
(EMAIL: HSTAR@ATT.NET)



*Bernard H. Hamill*

REFERENCE:  
DEED BOOK 79026 PAGE 589 MSRD.  
EXISTING DWELLING NOT SHOWN.

OWNER: 57-59 BURNHAM LLC  
LOCATION: 57-59 BURNHAM ST., BELMONT, MA  
ASSESSORS MAP: MAP 28 PARCEL 37 & 38  
APPLICATION #:  
DATE: 19 JAN. 2023  
SCALE: 1"=20'



# Zoning Compliance Check List

## (Registered Land Surveyor)

Property Address: 59 BURNHAM ST.

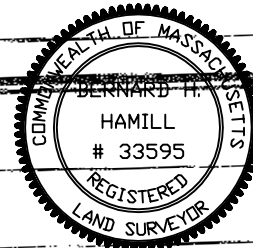
Zone: GR

Surveyor Signature and Stamp: \_\_\_\_\_

Date: 1/19/23

	REQUIRED	EXISTING	PROPOSED
Lot Area	4000	N/A	4600
Lot Frontage	45	N/A	56
Floor Area Ratio	---	---	---
Lot Coverage	30%	N/D	21.7%
Open Space	40%	N/D	68%
Front Setback	20	N/D	22
Side Setback R	10	N/D	10.5
Side Setback L	10	N/D	10.5
Rear Setback	20	N/D	41
Building Height	32	N/D	28.3
Stories	2.5	2.5	2.5
1/2 Story Calculation	$120.62 \text{ (RIDGE ELEV)} - 110.20 \text{ (SOFFIT ELEV)} / 2 = 5.21 \text{ FT (AVE. ROOF)}$ $(110.2 + 5.21) - 87.18 \text{ (AVE GRADE)} = 28.23 \text{ FT (HEIGHT)}$		

### NOTES:



*Bernard H. Hamill*

19 JAN. 2023



1. IBC = INTERNATIONAL BUILDING CODE, 2015 EDITION:  
SHALL BE ADHERED TO AND FOLLOWED BY ALL CONTRACTORS AND BUILDERS  
WORKING ON THE JOB INCLUDING REFERENCED AS TO SCOPE, ADMINISTRATION,  
APPLICATIONS. IT IS IMPORTANT THAT ALL CONTRACTORS BE COGNIZANT OF THE  
9TH EDITION BUILDING CODE ADDRESSING THE DESIGN AND INSTALLATION OF  
BUILDING SYSTEMS THROUGH REQUIREMENTS EMPHASIZING PERFORMANCE AND  
REGULATIONS THAT SAFEGUARD THE PUBLIC HEALTH SAFETY AND WELFARE IN THE  
CONSTRUCTION PROCESS OF BUILDING.

2. SUPERVISION AND CONSTRUCTION PROCEDURES:  
THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES, PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS THE CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS.

3. ALL CONCRETE SHALL BE A MINIMUM OF 3,000 PSI AT 28 DAYS, 3,500 PSI FOR ALL EXTERIOR CONCRETE WALL, WALKS, SLABS, ETC.

4. ALL FOOTINGS TO REST ON SOLID UNDISTURBED SOIL WITH A MINIMUM CAPACITY OF 1.5 TONS PER SQ. FT. TYPICAL.

5. NO FOOTING SHALL BE PLACED IN WATER.

6. ALL EXTERIOR CONCRETE FOOTINGS CONSTRUCTION SHALL BE CARRIED DOWN A MINIMUM OF 4'-0" BELOW FINISHED EXTERIOR GRADE.

7. ALL FOOTINGS EXCAVATIONS SHALL BE FINISHED BY HAND.
8. MATERIAL ADJACENT TO AND BELOW FOOTING SHALL BE KEPT FROM FREEZING AT ALL TIMES.

9. DOUBLE UP RAFTERS AND JOISTS AROUND ALL OPENINGS.
10. DOUBLE UP JOISTS UNDER ALL PARTITIONS.

11. LVL BEAMS MAY BE USED IN LIEU OF BUILT UP BEAMS, VERIFY ALL BEAMS AND SIZES TYPICAL.

12. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD AND VERIFY ALL EXISTING CONDITIONS IN THE FIELD.

13. EXACT GRADES AND ELEVATIONS SHALL BE VERIFIED IN FIELD WITH EXISTING CONDITIONS AND WITH SURVEY-TOPOGRAPHICAL PLAN TYPICAL.

14. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING, FURNISHING AND PROPERLY INSTALLING ALL TEMPORARY SUPPORTS AND BRACING AS NECESSARY TO PREVENT ANY INSTABILITIES DURING CONSTRUCTION. PROPER SUPPORTS, BRACING TEMPORARY SHORING SHALL BE IN PLACE AT ALL TIMES AND ACCORDING TO THE COMMONWEALTH OF MASSACHUSETTS BUILDING CODE, TEMPORARY SHORING MUST NOT REMAIN IN PLACE FOR MORE THAN 180 DAYS AND WILL NEED A PERMIT FROM THE LOCAL AUTHORITY HAVING JURISDICTION. IT IS IMPORTANT TO PROPERLY BRACE, SUPPORT AND SHORE ALL WALLS, PARTITIONS, ROOFS AND OTHER STRUCTURES TO PREVENT ANY INSTABILITY AND/OR COLLAPSE.

15. THE ARCHITECT/ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE SUBSURFACE CONDITIONS DESCRIBED ON THE DRAWINGS, TEST BORINGS, SOIL REPORT OR TEST PIT.

16. THE ENGINEERS IS NOT RESPONSIBLE IN ANY WAY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, SCHEDULING OF CONSTRUCTION ACTIVITIES-OR FOR JOB SITE SAFETY. THESE DUTIES BELONG WITH THE GENERAL CONTRACTOR WHO HAS CONTROL OF THE JOB SITE AND HAS THE OBLIGATION TO PERFORM AND COORDINATE WITH HIS SUPERINTENDING THE WORK IN ACCORDING TO THE CODE, CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY REGULATORY AGENCIES. THE ENGINEER AND THEIR PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES IN CONNECTION WITH THEIR WORK OR OR ANY HEALTH OR SAFETY PRECAUTIONS. THE CLIENT AGREES THAT THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE JOB SITE SAFETY AND WARRANTS THAT THIS INTENT SHALL BE CARRIED OUT IN THE CLIENT'S AGREEMENT WITH THE GENERAL CONTRACTOR AND THAT THE ENGINEER WITH THEIR CONSULTANTS BE INDEMNIFIED FOR JOB SITE SAFETY.

HOUSE

- A-1 FOUNDATION PLAN
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 ATTIC FLOOR PLAN
- A-5 FRONT AND REAR ELEVATIONS
- A-6 RIGHT ELEVATION
- A-7 LEFT ELEVATION
- A-8 BUILDING SECTIONS
- F-1 FIRST AND SECOND FLOOR FRAMING PLANS
- F-2 ATTIC AND ROOF FRAMING PLANS

- ☐ S SMOKE DETECTOR
- ☐ H HEAT DETECTOR
- ☒ CO CARBON MONOXIDE DETECTOR

 CONCRETE
**BATT INSULATION**

DOOR

 GLAZING

— — — — HIDDEN LINE

R1  RECESSED LIGHT FIXTURE

PROJECT: BOB CALNAN  
59 BURNHAM ST.  
BELMONT, MA

# TITLE SHEET

CONSTRUCTION DOCUMENTS

DATE: 8/18/2022  
SCALE: 1/4" = 1'-0"

## REVISIONS

DATE \_\_\_\_\_

44



# FOUNDATION PLAN

DATE: 8/18/2022  
SCALE: 1/4" = 1'-0"

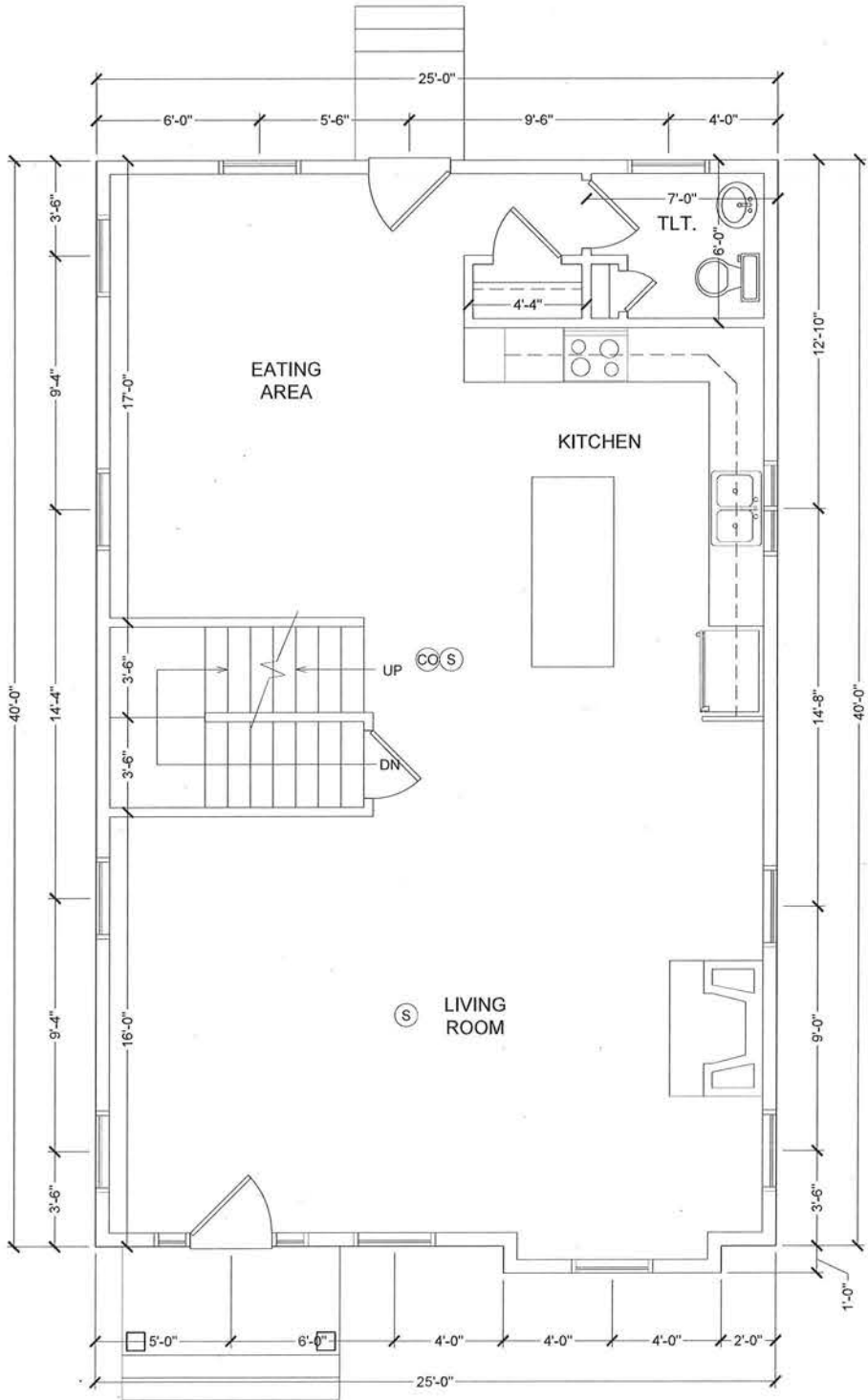
CONSTRUCTION DOCUMENTS

REVISIONS

DATE \_\_\_\_\_

A-1





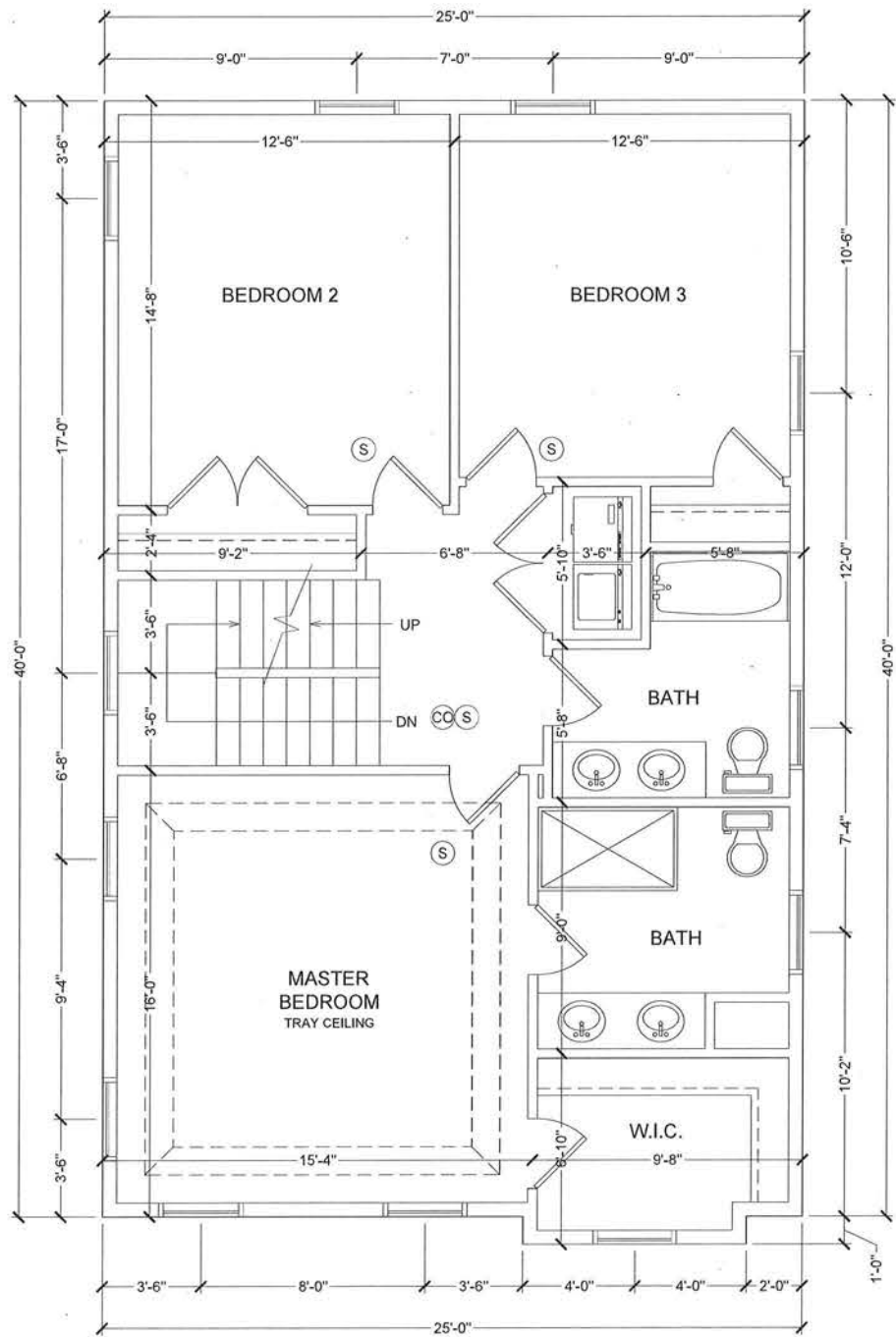
FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

PROJECT: BOB CALNAN  
59 BURNHAM ST.  
BELMONT, MA

FIRST  
FLOOR PLAN

DATE: 8/18/2022  
SCALE: 1/4" = 1'-0"  
CONSTRUCTION DOCUMENTS

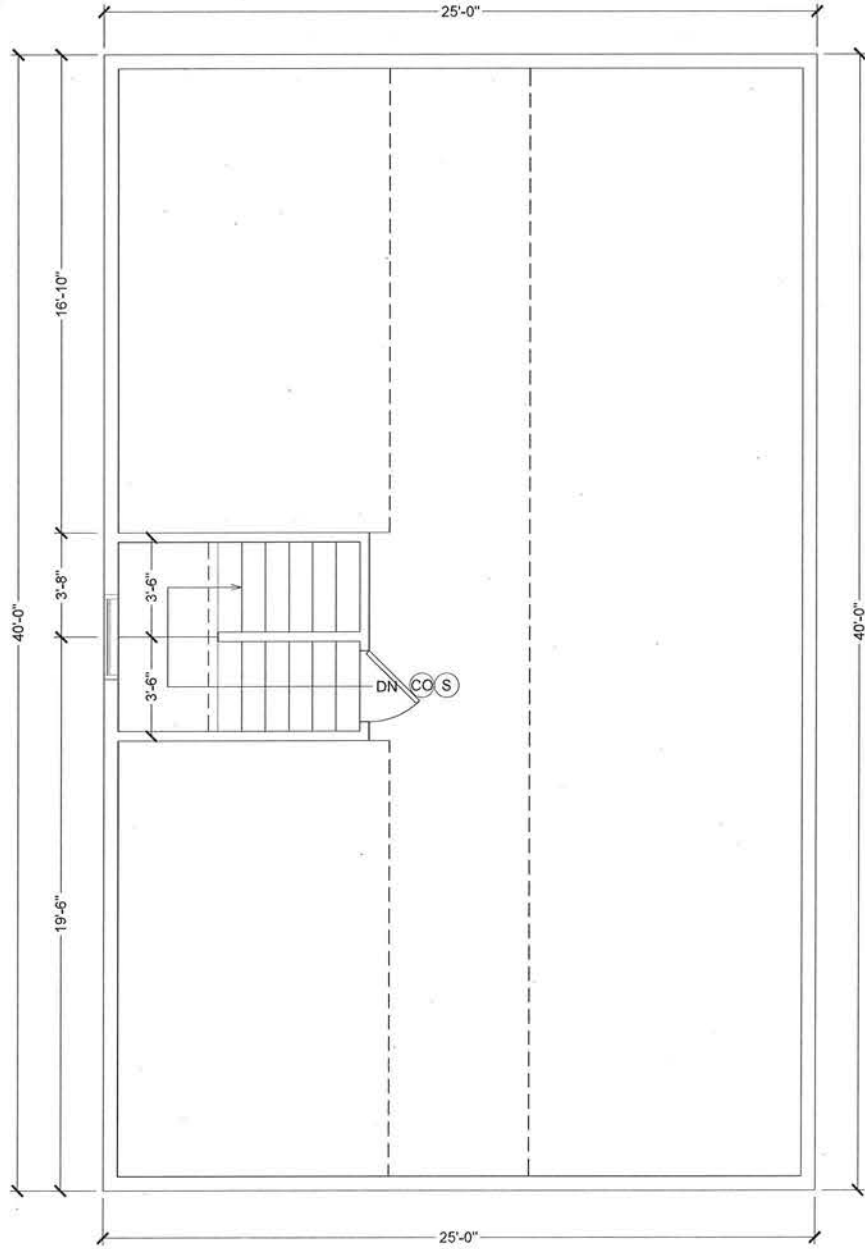
REVISIONS	DATE



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

PROJECT: BOB CALNAN 59 BURNHAM ST. BELMONT, MA	SECOND FLOOR PLAN		DATE : 8/18/2022		REVISIONS	DATE	A-3
			SCALE : 1/4" = 1'-0"				
			CONSTRUCTION DOCUMENTS				





ATTIC FLOOR PLAN

SCALE: 1/4" = 1'-0"

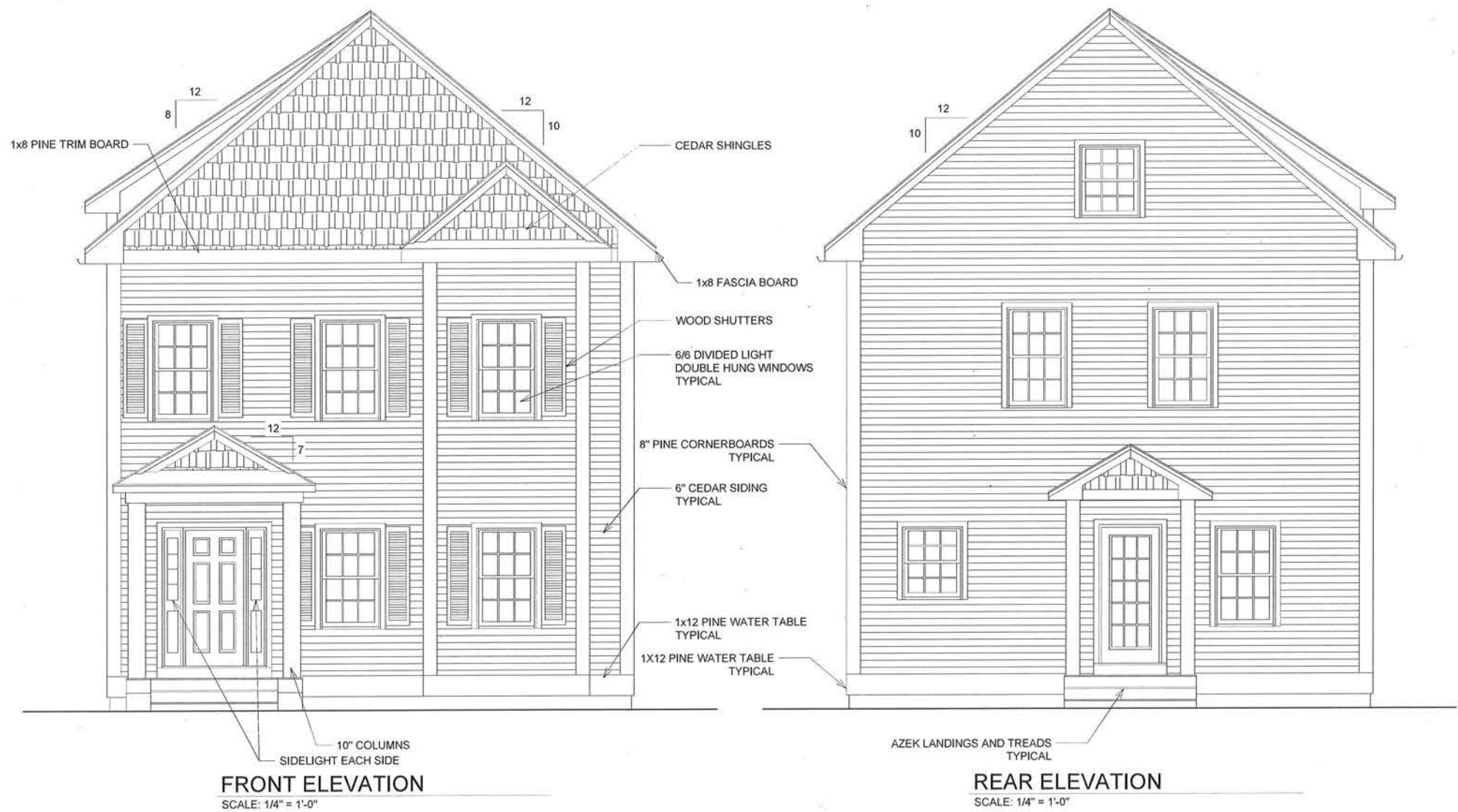
PROJECT: BOB CALNAN  
59 BURNHAM ST.  
BELMONT, MA

ATTIC  
FLOOR PLAN

DATE: 8/18/2022  
SCALE: 1/4" = 1'-0"  
CONSTRUCTION DOCUMENTS

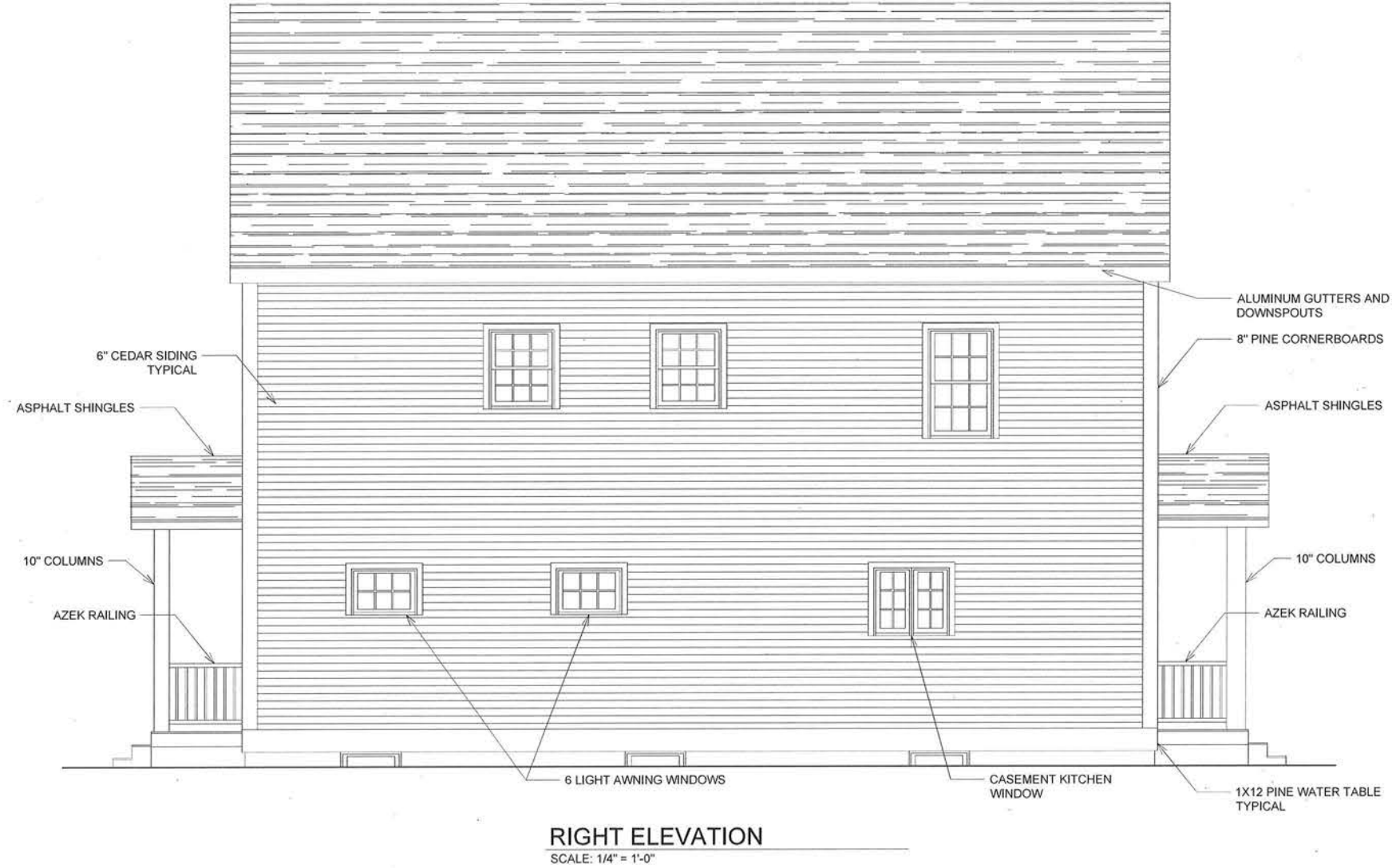
REVISIONS

REVISIONS	DATE



PROJECT: BOB CALNAN 59 BURNHAM ST. BELMONT, MA	DATE : 8/18/2022		CONSTRUCTION DOCUMENTS	A-5
	SCALE : 1/4" = 1'-0"			
	FRONT AND REAR ELEVATIONS			
	REVISIONS			
	DATE			





PROJECT: BOB CALNAN  
59 BURNHAM ST.  
BELMONT, MA

RIGHT  
ELEVATION

DATE : 8/18/2022  
SCALE : 1/4" = 1'-0"  
CONSTRUCTION DOCUMENTS

REVISIONS

DATE

A-6



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

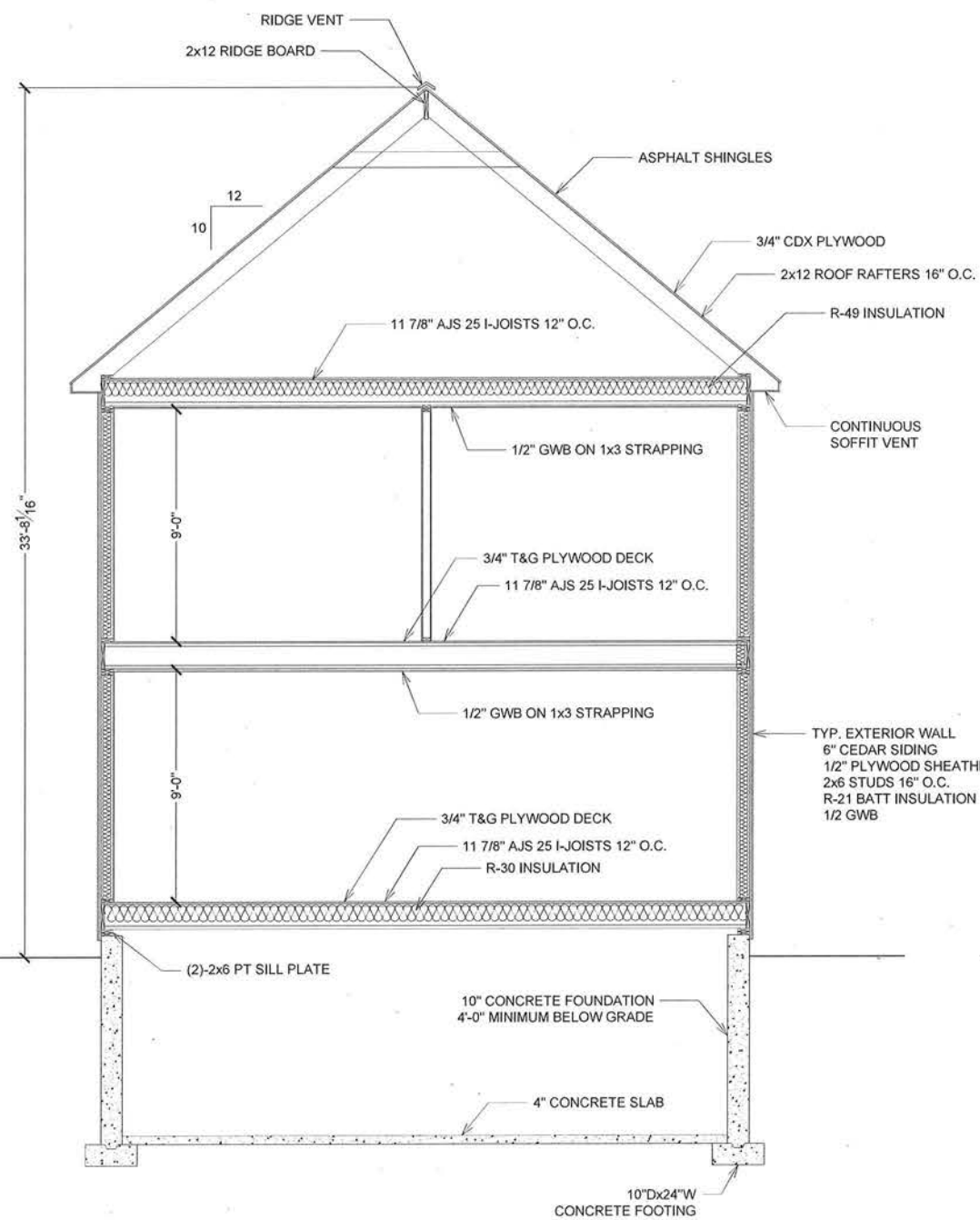
PROJECT: BOB CALNAN  
59 BURNHAM ST.  
BELMONT, MA

DATE: 8/18/2022  
SCALE: 1/4" = 1'-0"  
CONSTRUCTION DOCUMENTS

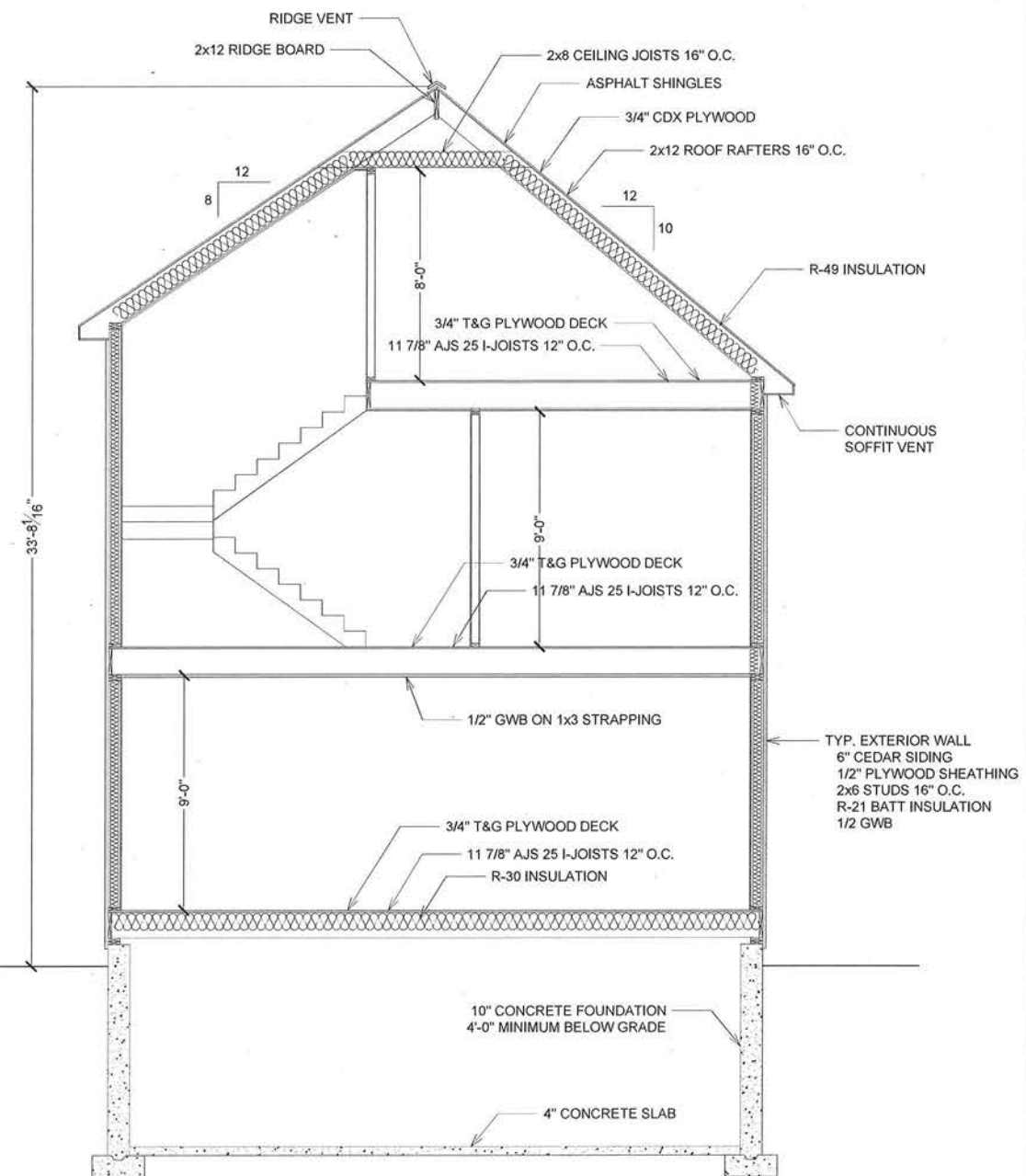
REVISIONS	DATE

A-7





**BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

REVISIONS	DATE

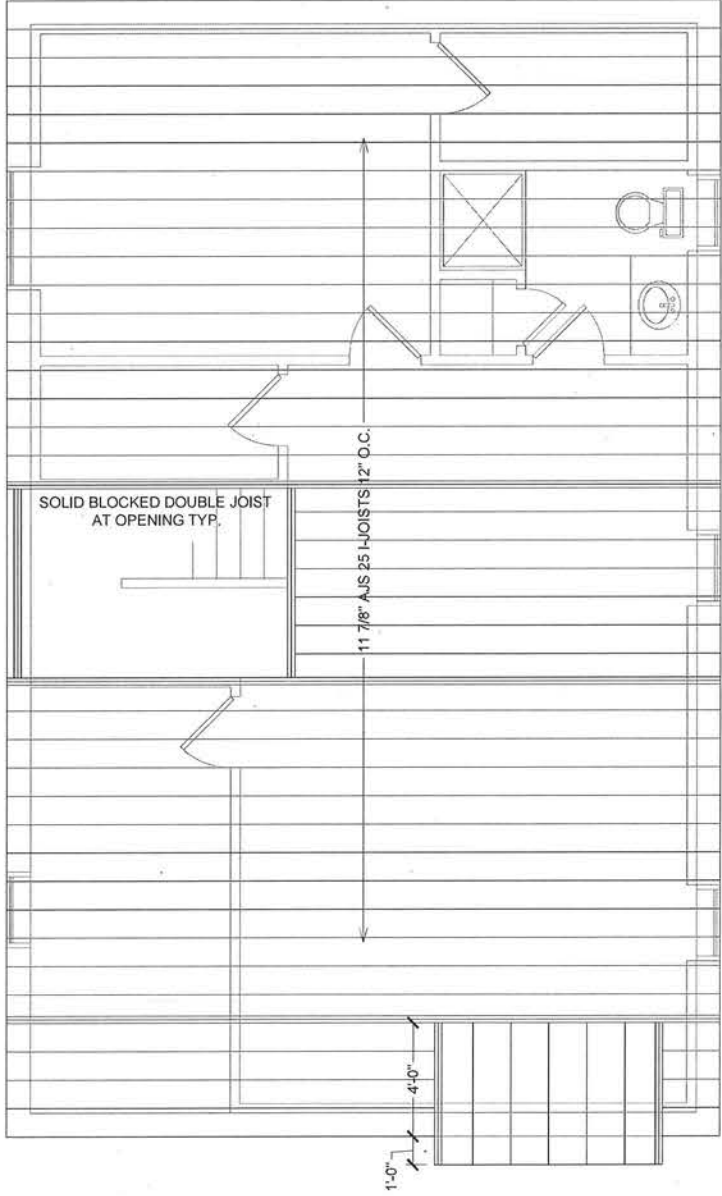
A-8

SCALE: 1/4" = 1'-0"

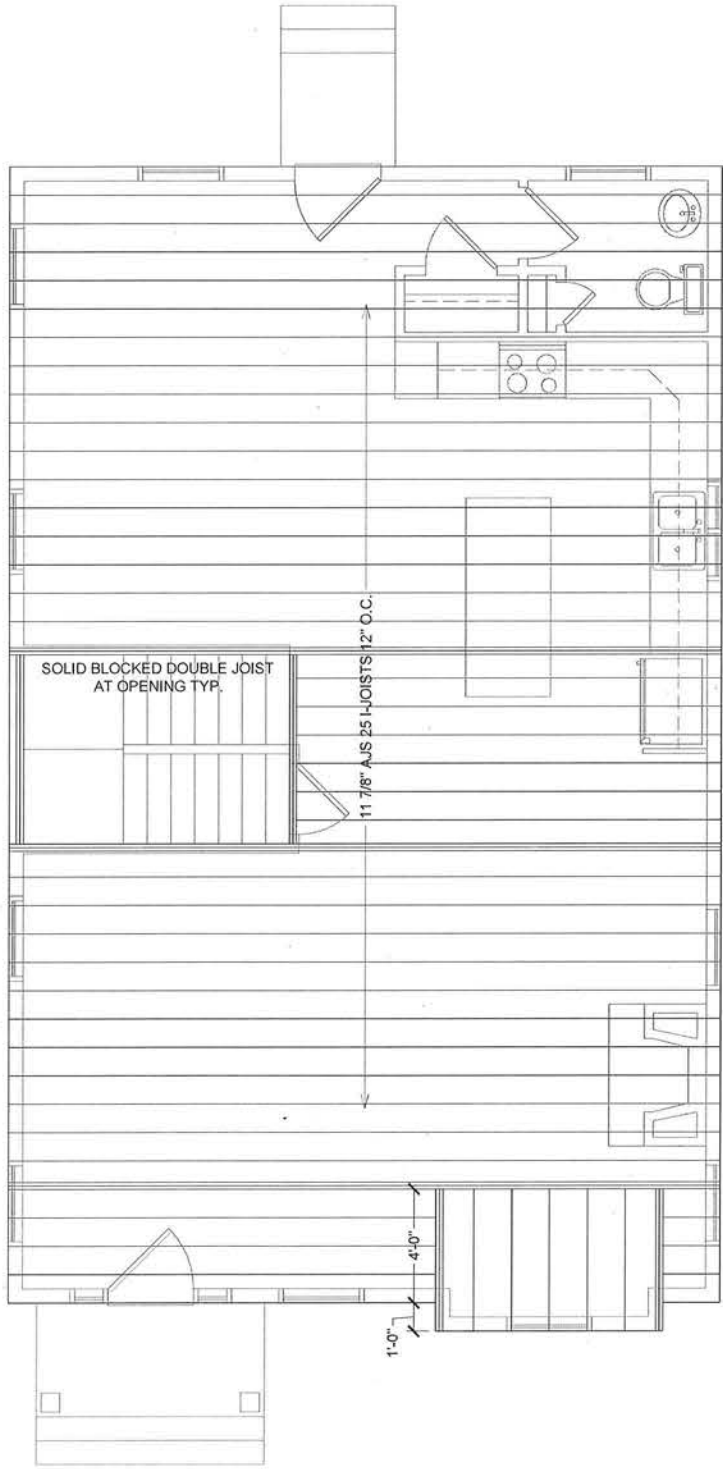
CONSTRUCTION DOCUMENTS

BUILDING  
SECTION

PROJECT: BOB CALNAN  
59 BURNHAM ST.  
BELMONT, MA



FIRST FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"

PROJECT: BOB CALNAN  
59 BURNHAM ST.  
BELMONT, MA

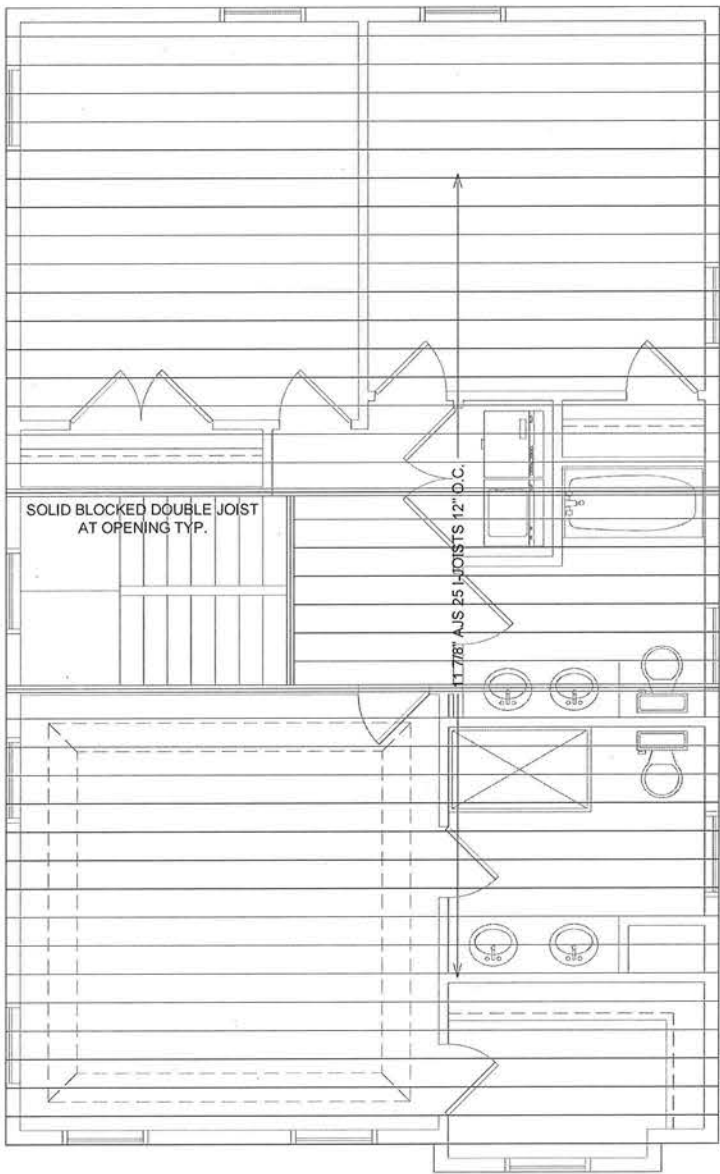
DATE: 8/18/2022  
SCALE: 1/4" = 1'-0"

CONSTRUCTION DOCUMENTS

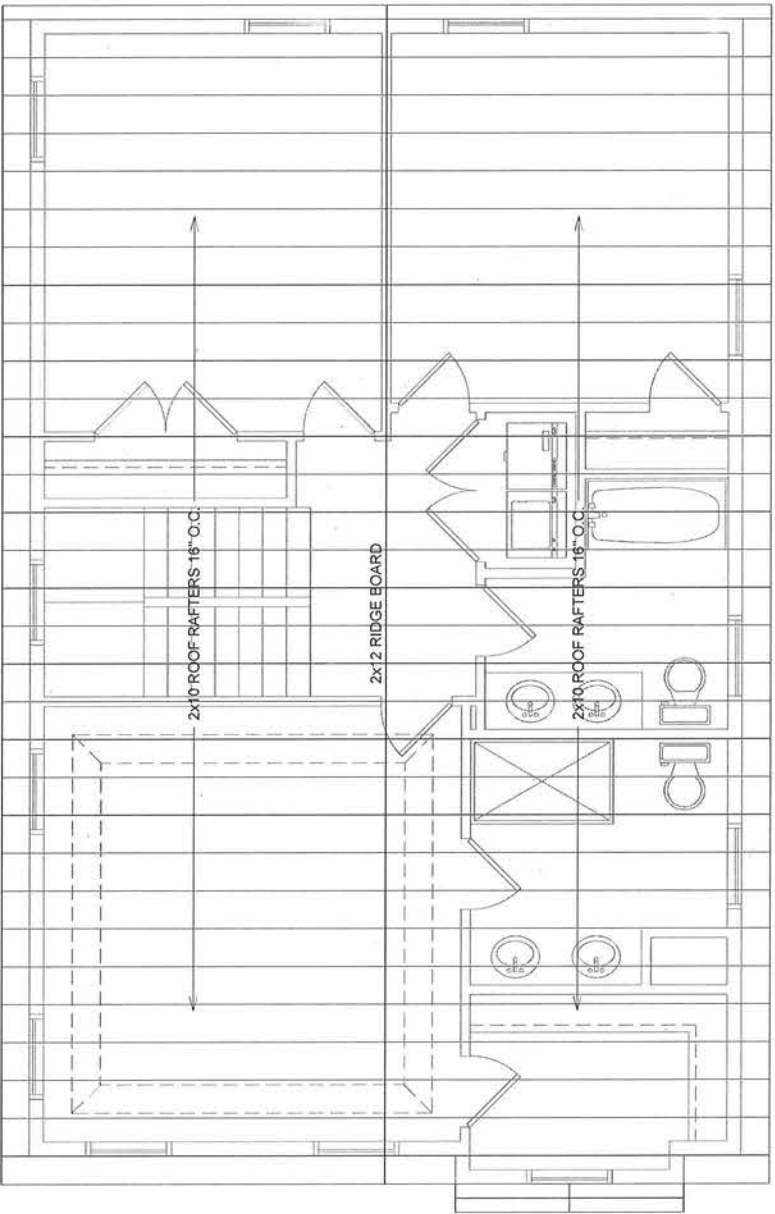
REVISIONS

DATE

F-1



ATTIC FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

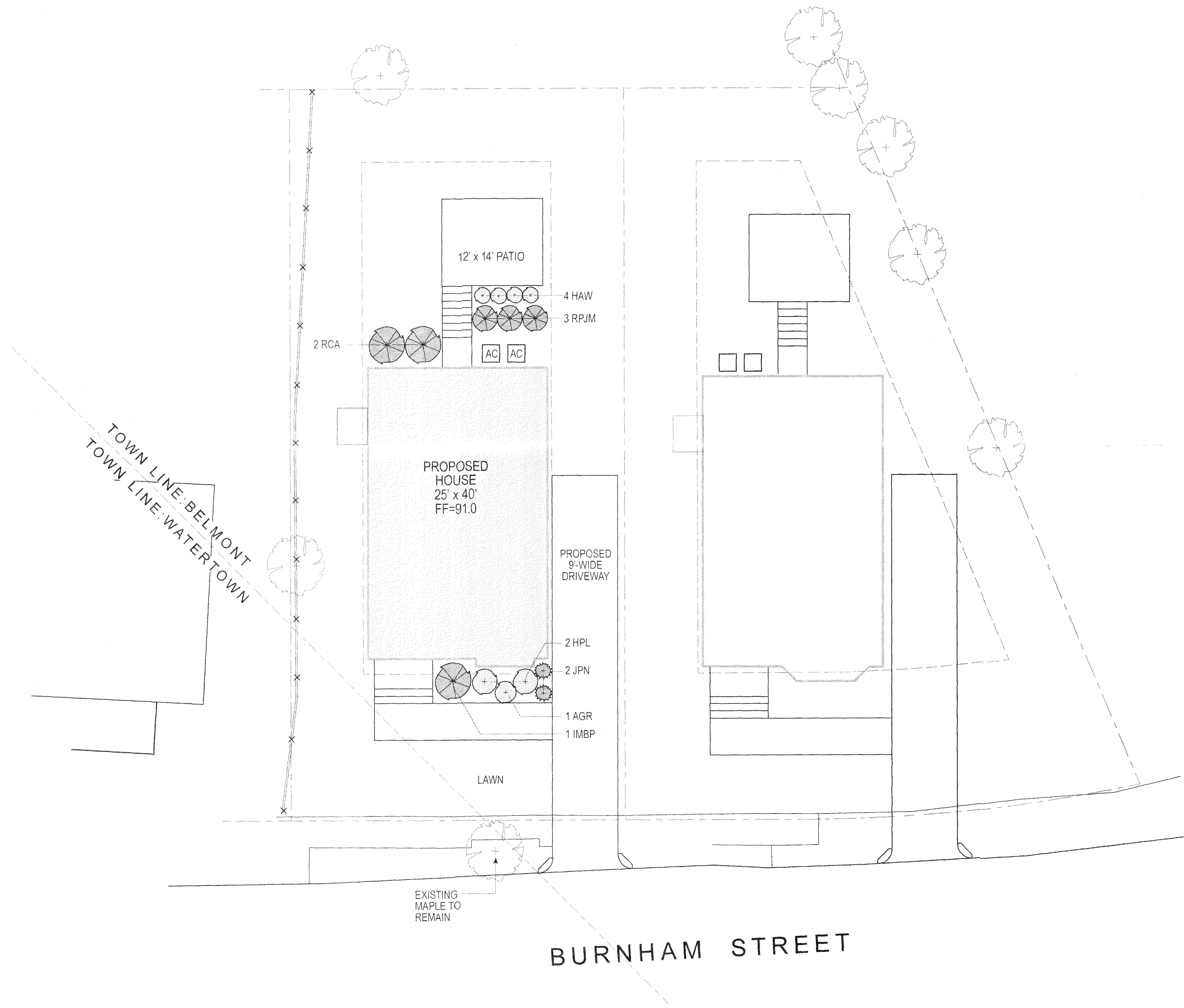
PROJECT: BOB CALNAN  
59 BURNHAM ST.  
BELMONT, MA

ATTIC AND ROOF  
FRAMING PLANS

DATE: 8/18/2022  
SCALE: 1/4" = 1'-0"  
CONSTRUCTION DOCUMENTS

REVISIONS

DATE



## LEGEND

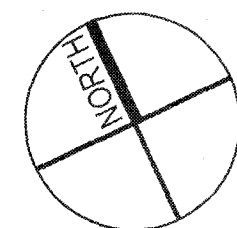
	EXISTING EVERGREEN TREE		PROPOSED DECIDUOUS TREE		PROPOSED BROADLEAF EVERGREEN SHRUB		PROPERTY LINE
	EXISTING DECIDUOUS TREE		PROPOSED EVERGREEN TREE		PROPOSED DECIDUOUS SHRUB		YARD SETBACK LINE
	EXISTING SHRUB				PROPOSED EVERGREEN SHRUB		EXISTING FENCE
					PROPOSED PERENNIAL		PROPOSED FENCE

## PLANT LIST: 57-59 BURNHAM ST., LOT 1L

Key	Qty	Botanical Name	Common Name	Mature Size	Description, including flower color	Installed Size	Remarks
<b>Shrubs</b>							
AGR	1	Azalea 'Girard's Renee Michelle'	Girard's Renee Michelle Azalea	2-3'H x 3-4'W	3-4'H x 4-5'W. Low compact plant with deep pink flowers and light red spotting; dark evergreen foliage. Attracts butterflies.	#5	Sub: Azalea Hot Shot
HAW	4	Hydrangea arborescens 'Invincibelle Wee White'	Wee White Smooth Hydrangea	2-3'H x 2-3'W	Deciduous. Flowers emerge with green tint, brighten to creamy white, then pick up a pink tint as they age. Compact and floriferous.	#3	Sub: Invincibelle Mini Mauvette
HPL	2	Hydrangea paniculata 'Little Quick Fire'	Little Quick Fire Panicle Hydrangea	3-4'H x 3-4'W	Deciduous. Begins blooming 1 month earlier than other panicle hydrangeas. Dwarf form of Broadleaf evergreen female. Pyramidal. Blue green spiky leaves, red berries in winter. Pair with Blue Prince for pollination.	#6	Sub: H pan. Little Lime
IMBP	1	Ilex meserveae 'Blue Princess'	Blue Princess Holly	8-10'H x 6-8'W	Coniferous groundcover. Cushion like growth. Slow growing. Sage green foliage tinged purple in winter. Prefers dryish sandy soil.	4-6'	clipped into pyramidal form
JPN	2	Juniperus procumbens 'Nana'	Dwarf Japanese Garden Juniper	6-12'H x 5-6'V	Large leaf broadleaf evergreen. Wide spreading form. Pale lilac buds open to white flowers with a greenish yellow blotch in May.	#3	
RCA	2	Rhododendron catawbiense 'Album'	White Catawba Rhododendron	5-6'H x 5-6'W	Small leaf broadleaf evergreen. Lavender pink flowers in mid-late April. Burgundy foliage in winter. R. carolinianum and R. dauricum sempervirens hybrid. Noted for winter hardiness.	3-3.5'	full to ground
RPJM	3	Rhododendron 'PJM'	PJM Rhododendron	5-6'H x 5-6'W		2.5-3'	Sub: PJM Elite

## PLANT NOTES

- This Planting Plan is based on the following: 1. a drawing titled 'PLOT PLAN, 57-59 Burnham Street, Left, BELMONT, MA', prepared by H-Star Engineering, Inc., 200 Greenville Road, New Ipswich, NH 03071, dated Feb 21, 2020, and received by Shoplick Associates on Sept 7, 2022. Shoplick Associates assumes no responsibility for errors, inconsistencies, updates, or omissions in this drawing.
- PROTECTION OF EXISTING VEGETATION:** Trees and other vegetation designated to remain shall be protected throughout the duration of the construction period with bright orange plastic fence placed in a circle 10' away from trunk. Any damages resulting from the Contractor's operations or neglect shall be repaired or replaced by the Contractor. No equipment or materials shall be stored or stockpiled within the drip line of the trees. If, in order to perform excavation work, it becomes necessary to cut a tree's roots, such roots must be cleanly cut by a Certified Arborist. Tree protection must remain in place throughout construction until final acceptance by Owner.
- CLEARING AND GRUBBING:** Verify all items to be removed and to remain before commencing any demolition work. Do no clearing without full knowledge of existing conditions to be preserved. Tree and shrub removal includes the cutting and grubbing of all stumps, roots and root clusters that have a diameter of 1 inch or larger to a depth of at least 2 feet below finish grade elevations. The Contractor is responsible for complying with local and state rules and regulations pertaining to the off-site disposal of all soil, trees, shrubs, stumps, vegetative, and extraneous debris produced by removal and construction operations.
- Maintain existing grade at trees to remain.
- CUT AND FILL:** During grading operations, stockpile existing loam to be used for proposed lawn and plant bed areas. Any existing or introduced fill shall be well-graded, natural, inorganic soil, free of debris, stones larger than 4", & all materials subject to decomposition including roots & limbs. It shall also be free of highly plastic clays. Fill shall be placed in 6" horizontal layers, and compacted before adding the next layer. Never place wet or frozen fill. Compact the top 18" of fill/soil in lawn and plant bed areas to 65% density.
- PLANT BED PLANTING MIX:** Planting soil mix shall consist of onsite loam supplemented with loam from off-site sources, if required. Contractor shall have on and off site samples tested at either a state or recognized commercial laboratory. The soil test shall determine the soil texture, pH, magnesium, phosphorus, potassium, soluble salts, total calcium, nitrogen, and percent organic matter. Soil test results shall include laboratory recommendations for soil amendments to correct deficiencies and accomplish planting objectives. The pH for soil for lawn areas shall be between 6.0-7.0, and contain more than 3% organic matter. The soil for plant bed areas shall be based on the specific plant requirements but shall be within the pH range of 5.5-6.5, and contain between 5% and 15% organic matter. Planting soil shall be fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, reasonably free of lumps, stones, plants, roots, & other foreign matter. Planting mix and subsoil in all plant beds shall freely drain.
- PLANT MATERIALS: NO PLANT SUBSTITUTIONS MAY BE MADE WITHOUT CONSENT OF LANDSCAPE ARCHITECT.** The Contractor shall adjust quantities of plant materials & their layout to fit actual site conditions. All plant material shall conform to the sizing & grading standards of the latest edition of The American Standard For Nursery Stock, published by the American Nursery & Landscape Association. The Contractor shall provide stock true to botanical name, and legibly labeled. Plants shall be delivered free of defects, diseases, & all forms of insect infestation.
- WARRANTY:** The Contractor shall provide a 1 year warranty on all plant materials.
- PLANTING:** The subgrade for all plant beds and lawn areas shall be loosened by discing or rototilling to a depth of three inches (3") to permit bonding of loam to the subsoil. Place all trees, shrubs, & individual herbs and perennials for approval by the Owner prior to planting. The Owner reserves the right to adjust the spacing and placement of the plants according to actual site conditions. The Contractor shall remove all artificial burlap and twine, if used, at time of installation. The Contractor shall cut all wire baskets, if used, down to a maximum of 6" from the bottom of each root ball. **The width of the holes dug for shrubs & trees shall be 2 1/2 times the diameter of the root ball.** It is more important that the hole for plants be wide rather than deep. **All shrubs & trees shall bear the same relationship to the final grade as to the original grade before planting.** Remove all nursery mulch to determine correct root flare. After removing the plant from its container, rough up the sides of the root ball to loosen soil and encourage roots to spread into hole. Place plant in hole and back fill 6" deep with loam. Water thoroughly. After water has soaked into backfilled loam, resume filling the remainder of the hole in 6" lifts. Form a saucer around the outside edge of the plant, and fill with water again.
- MULCHING:** The Contractor shall spread a 2-3" deep bed of dark aged mulch in all plant beds & throughout the planting area. **Keep mulch away from the base of all trunks to prevent rotting of the bark.**
- WATERING:** The Contractor is responsible for watering all plant materials while on site until acceptance of project by Owner. The following watering schedule depends on rain frequency: Water plants every day for the first week, every other day for the second week, & two-three times a week for the third and fourth weeks. After the fourth week water once a week if less than 1" of rain falls during the week. The Contractor shall apply 10-20 gallons of water per application on trees greater than 2" caliper.



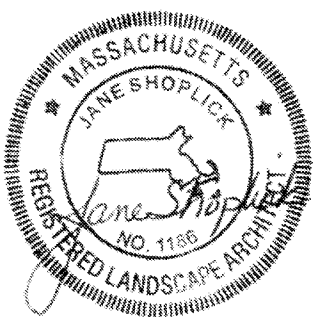
Scale: 1"=10'

0' 10' 20' 40'

PROJECT NAME

57-59 Burnham Street  
LOT 1L  
Belmont, MA 02478

STAMP



Shoplick Associates  
Landscape Architecture

602 Centre Street  
Newton, MA 02458

T: 617-244-7309  
F: 617-795-1506

DESCRIPTION

DATE

REV. NO.

DRAWING TITLE

PLANTING  
PLAN

DRAWING NUMBER

L-1

SHEET 1 OF 1