



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT

19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

June 29, 2021

Hilton and Caitlin Madevu-Matson  
32 Frost Road  
Belmont, MA 02478

RE: Denial to Construct Bulkhead on Side of Home

Dear Mr. and Ms. Madevu-Matson:

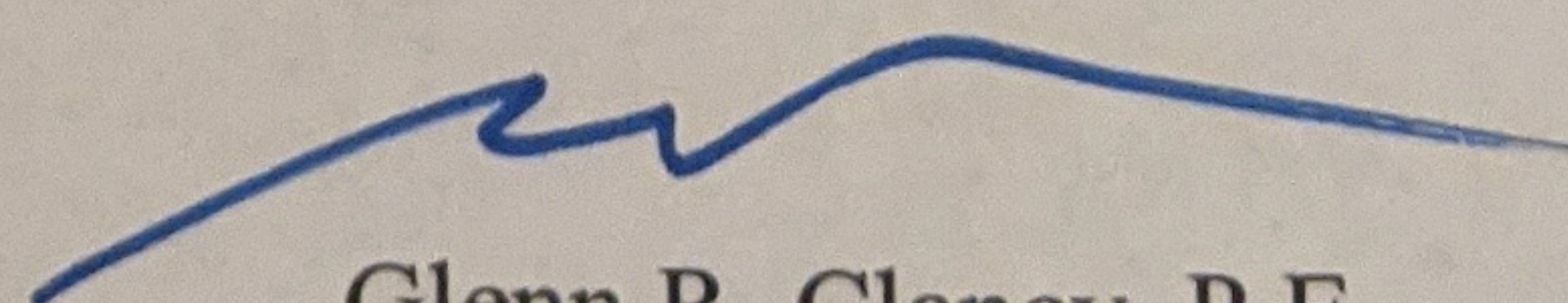
The Office of Community Development is in receipt of your building permit application for the construction of a proposed bulkhead on the side of your existing home in a Single Residence C (SR-C) Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, your property does not conform to the lot area, lot frontage requirements and side setback requirements for the SR-C District (lot area: 9,000 square feet required, 8,463 square feet existing and proposed; lot frontage: 75' required, 59' existing and proposed; side setback: 10' required, 6.9' proposed) and is therefore considered nonconforming.

1. To increase the size of your dwelling beyond the previous approved PB #20-05 Decision (< 30% of the gross floor area)
2. The existing side setback on the east side is 12.4' and the proposed is 6.9', a Special Permit.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (2) Special Permits from the Planning Board. If you choose to pursue the Special Permits, please call the Office of Community Development at (617) 993-2666 to schedule an appointment with Robert Hummel, Senior Planner to begin the Special Permit process

Sincerely,



Glenn R. Clancy, P.E.  
Inspector of Building



## **Special Permit Statement - bulkhead**

### **32 Frost Road**

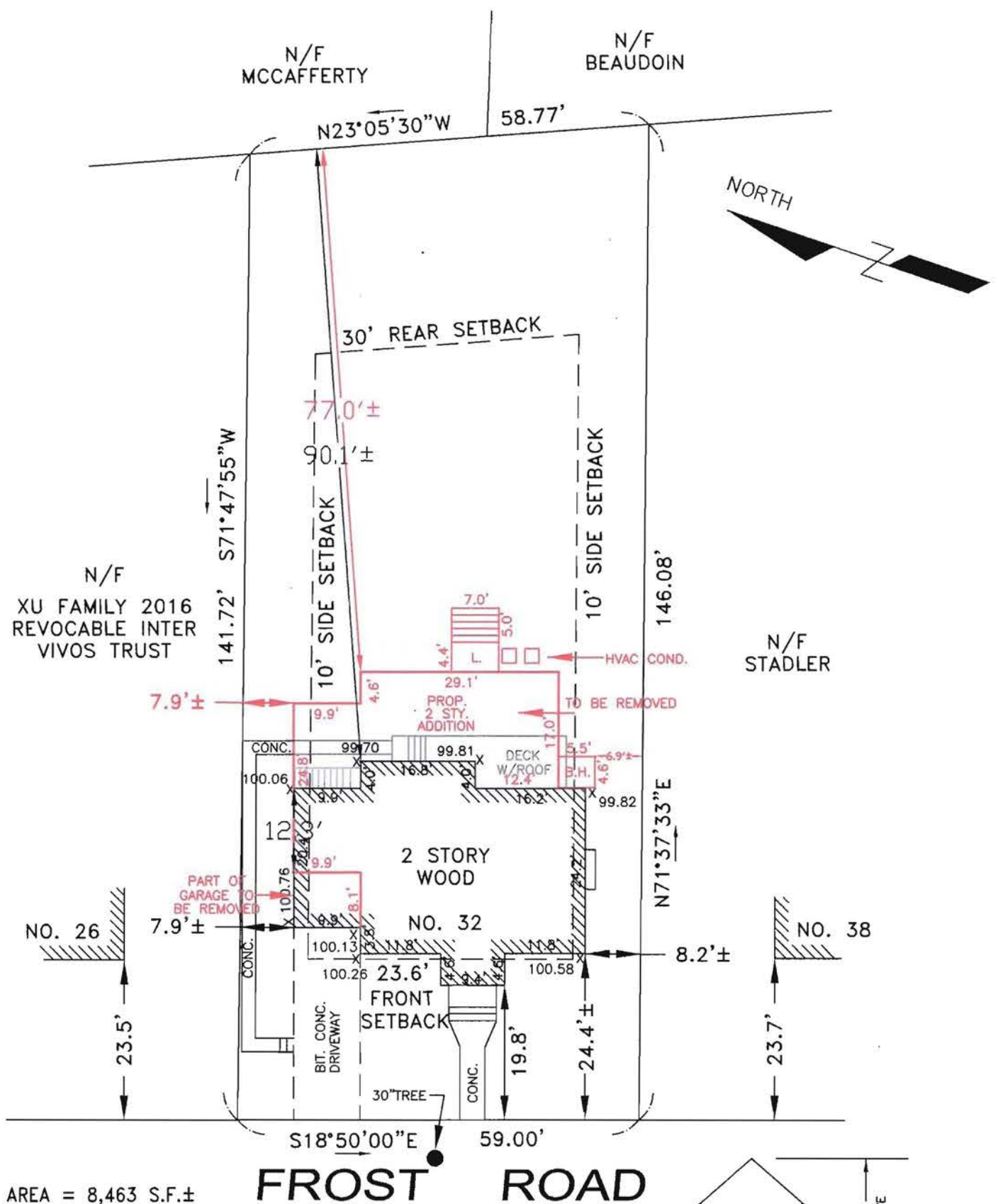
Caitlin and Hilton Madevu-Matson of 32 Frost Road seek special permit approval for a basement bulkhead that is partially within an existing nonconforming side setback.

The bulkhead is 5'-6" long and 4'- 7 ½" wide. The height of the bulkhead is at 22" above grade adjacent to the house and it tapers down to be flush with grade. The Bulkhead is nestled into the corner of the foundation such that the flush end of the bulkhead projects 2'-6" beyond the foundation of the main house, resulting in a 6.9' setback. The main house is setback 8.2' from the side. The area around the bulkhead is heavily landscaped, completely obstructing the view of the bulkhead (see attached photos). There is also a 6' high solid stockade fence along the property line.

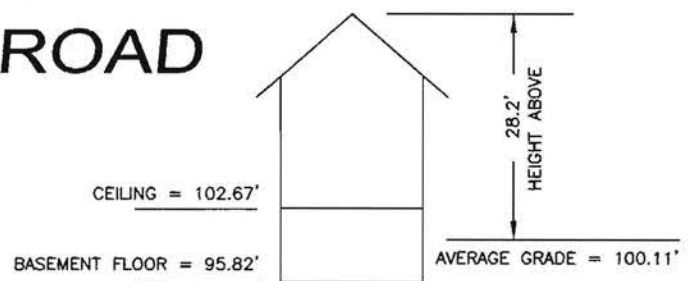
The bulkhead is part of a rear expansion project that was approved by the Planning Board on May 19, 2020 and is currently under construction. The bulkhead was included in the architectural drawings that the Planning Board reviewed, however it was omitted on the certified plot plan, triggering this process in order to officially include it as part of the approved expansion.

The bulkhead is in keeping with the intent of Town Meeting and the Special Permit criteria (Section 1.5.4.B) and is not substantially detrimental to the neighborhood.

Thank you for your consideration on this matter.

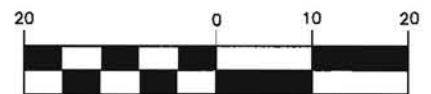


LOT AREA = 8,463 S.F.±  
 EXISTING BUILDING = 1,110 S.F.±  
 EXISTING PAVEMENT/WALK = 480 S.F.±  
 PROPOSED ADDITION = 701 S.F.±  
 EXISTING LOT COVERAGE = 13.1%  
 PROPOSED LOT COVERAGE = 21.4%  
 EXISTING OPEN SPACE = 81.3%  
 PROPOSED OPEN SPACE = 73.5%



#### NOTES

1. SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 14744, PAGE 435.
2. SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 6068, PAGE 367.
3. SUBJECT PARCEL IS LOCATED IN ZONE SRC.
4. SUBJECT PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON PANEL 25017C0418E WITH AN EFFECTIVE DATE OF JUNE 4, 2010.
5. ONE PUBLIC SHADE TREE IS LOCATED WITHIN THE LIMITS OF THE PROPERTY FRONTAGE OF THE SUBJECT PROPERTY.
6. FRONT SETBACK:  $23.5 + 23.7 = 47.2$ ,  $47.2 / 2 = 23.6$ ;  
FRONT SETBACK = 23.6



( IN FEET )  
 1 inch = 20 ft.

CERTIFIED PLOT PLAN  
 IN  
 BELMONT, MA

SCALE: 1" = 20' JUNE 3, 2021

DLJ GEOMATICS  
 PROFESSIONAL LAND SURVEYING  
 276 NORTH STREET  
 WEYMOUTH, MA 02191  
 (781) 812-0457  
 32 FROST RD BELMONT.dwg

[Signature]  
 PROFESSIONAL LAND SURVEYOR DATE 6/3/21



# Zoning Compliance Check List

## (Registered Land Surveyor)

**Property Address:** 32 Frost Road **Zone:** SRC

**Surveyor Signature and Stamp:** \_\_\_\_\_ **Date:** \_\_\_\_\_

	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000 S.F.	8,463 S.F.	8,463 S.F.
Lot Frontage	75'	59.0'	59.0'
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	25%	13.1%	21.4%
Open Space	50%	81.3%	73.0%
Front Setback	23.6'	19.8'	19.8'
Side Setback	10'	7.9'	7.9'
Side Setback	10'	8.2'	6.9'
Rear Setback	30'	90.1'	77.0'
Building Height	30'	28.2'	28.2'
Stories	2-1/2	2	2
1/2 Story Calculation See Basement Calc.Sheets			

### NOTES:




*Douglas L. Johnston* 6/17/21

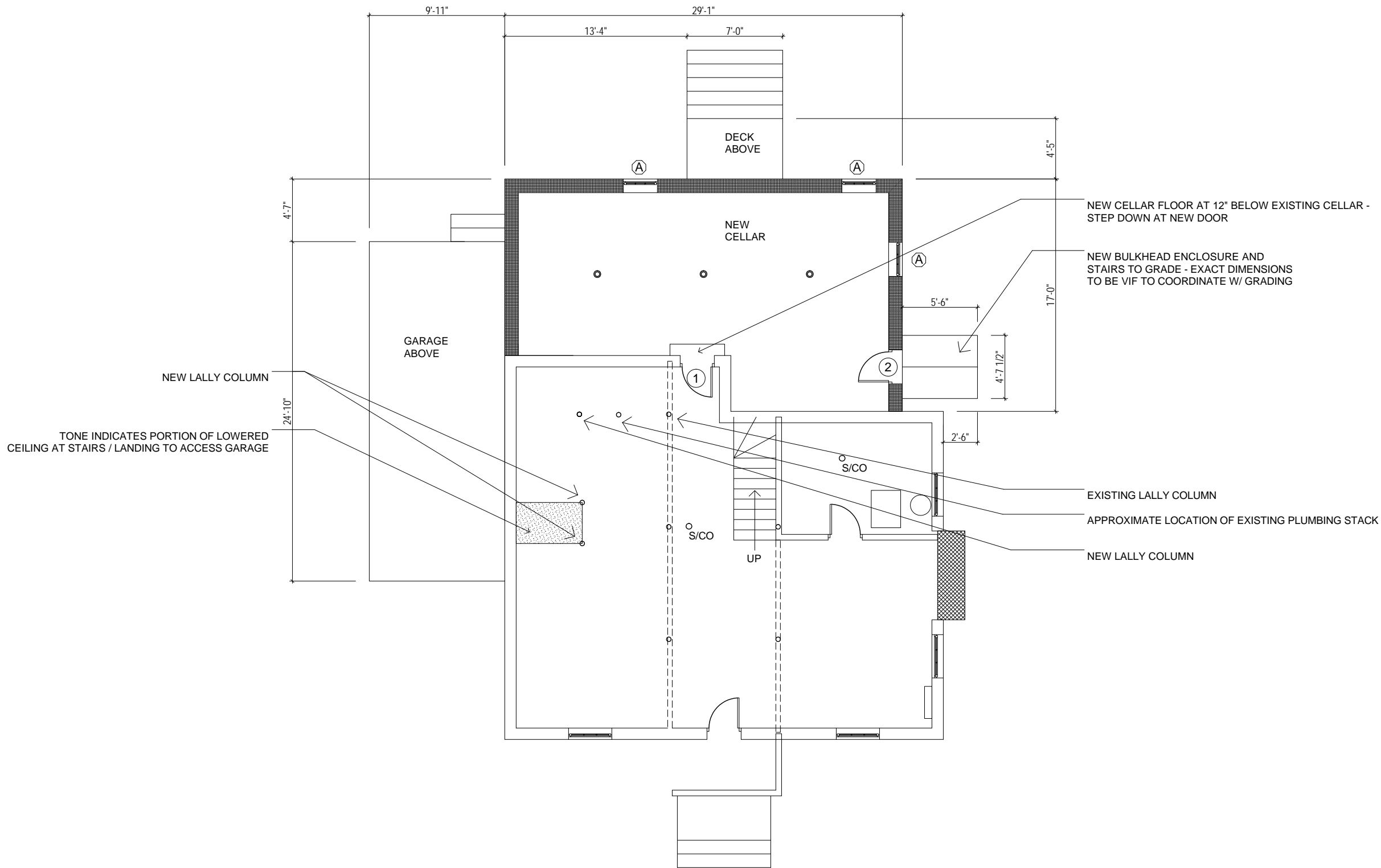


Photo 1: View from street – note that the bulkhead is not visible due to the landscaping



Photo 2: View from the bulkhead looking toward the street





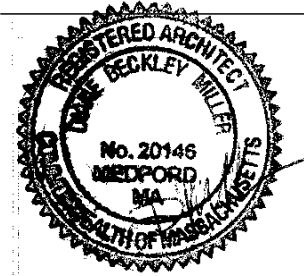
**MILLER  
DESIGN LLC**



80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date:	Issued for:
9/20/19	SCHEMATIC DESIGN
10/7/19	DESIGN DEVELOPMENT
11/7/19	PLANNING BD REVIEW
5/25/20	CONSTRUCTION DOCS
6/4/20	REVISIONS
9/1/20	REVISIONS
6/14/21	REVISIONS



MADEVU MATSON PROPERTY  
32 FROST ROAD  
BELMONT MA 02478

**NEW  
CELLAR PLAN**

Sheet  
Number:

**A7**



1 FRONT ELEVATION  
1/8" = 1'-0"



2 SIDE ELEVATION  
1/8" = 1'-0"

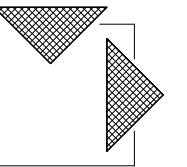


3 REAR ELEVATION  
1/8" = 1'-0"



4 SIDE ELEVATION  
1/8" = 1'-0"

MILLER  
DESIGN LLC

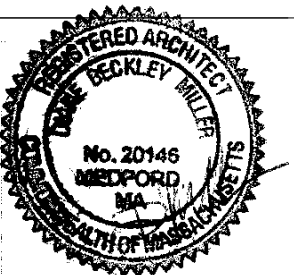


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MADEVU MATSON PROPERTY  
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NEW  
ELEVATIONS

Sheet  
Number:

A11