

RECEIVED  
TOWN CLERK  
BELMONT, MA

CASE NO. 24-08

2024 MAY -7 PM 12:49  
NOTICE OF PUBLIC HEARING BY THE  
TOWN OF BELMONT PLANNING BOARD

ON APPLICATION FOR A SPECIAL PERMIT & DESIGN AND SITE PLAN  
APPROVAL

Notice is hereby given that the Planning Board will hold a public hearing on Tuesday, June 11, 2024 at 7:00 PM by remote access through the Zoom app. to consider the application of Yuzhu Jiang, owner, for One Special Permit and Design and Site Plan Approval under sections 1.5.4A and 6D-2 of the By-Law to construct a two family dwelling at 25 Hawthorne Street Located in a General Residence (GR) zoning district.

**Note:** Application submittals, meeting agenda & instructions on remote access can be found on the Town's website: <https://www.belmont-ma.gov/planning-board>

TOWN OF BELMONT PLANNING BOARD



**OFFICE OF COMMUNITY DEVELOPMENT**

**TOWN OF BELMONT**

**19 Moore Street**

**Homer Municipal Building**

**Belmont, Massachusetts 02478-0900**

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

February 23, 2024

25 Hawthorne Street, LLC  
Yuzhu Jiang, owner  
1660 Soldiers Field Road  
Boston MA, 02135

RE: Denial to Construct a Two-Family Dwelling

Dear Yuzhu Jiang,

The Office of Community Development is in receipt of your building permit application for your proposal to demolish the existing structure and construct a new two-family dwelling at 25 Hawthorne Street located in the General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the Town of Belmont Zoning By-Law. More specifically, §1.5.4-A-(3) and §6D-2 of the Zoning By-Law allow a two family dwelling in a General Residence Zoning District by a Special Permit and a Design and Site Plan Review from the Planning Board.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit for a building permit, or you may request one (1) Special Permit and a DSPR Approval from the Planning Board. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director at (617) 993-2650 in order to begin the process.

Sincerely,

Ara Yogurtian  
Inspector of Buildings



Town of Belmont  
Planning Board

2. APPLICATION FOR A SPECIAL PERMIT

Date: 03/28/2024

Planning Board  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 25 Hawthorne Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for Section 1.5.4-(3) and Section 6D-2 of the Zoning By-Law allow a two family dwelling in a General Zoning District

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

[Handwritten Signature]

Print Name

Yuzhu Jiang

Address

25 Hawthorne St.  
Belmont, MA 02478

Daytime Telephone Number

774-578-8188

Email

jessica.yuzhu.jiang@gmail.com



Town of Belmont  
Planning Board

**APPLICATION FOR DESIGN AND SITE PLAN REVIEW**

Date: 4/11/2024

Planning Board  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Section 7.3, Design and Site Plan Review, of the Town of Belmont Zoning By-Laws, I/We the undersigned, being owner(s) of certain parcel of land (with the buildings thereon) situated on 25 Hawthorne Street/Road, hereby make application to your Board for **DESIGN AND SITE PLAN REVIEW** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Laws of said Town for Section 1.5.4-(3) and Section 6D-2 of the Zoning By-Law allow a two family dwelling in a General Zoning District

\_\_\_\_\_ on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Petitioner(s) are further to comply with the requirements of Section 7.3.5 of said Zoning By-Law attached.

Signature of Petitioner

Print Name

Address

Daytime Telephone Number

Yuzhu Jiang

Yuzhu Jiang

25 Hawthorne St.,

Belmont, MA 02478

774 - 578 - 8188

## **Owner Statement for Proposed Development at 25 Hawthorne St**

Currently Living in a cozy, compact condo on Slade Street has truly made us fall in love with the charming town of Belmont. As our family grows, we're eager to move into a more spacious condo and have partnered with a relative to purchase land, with the goal of constructing a two-family home at 25 Hawthorne St, Belmont, MA.

This project in Belmont, Massachusetts, is full of promise. Opting for a two-family home offers us the chance to reinforce familial ties with shared living areas and the mutual benefits of shared ownership. Additionally, this venture is expected to provide financial relief by reducing the overall costs associated with homeownership.

Our design complies with Section 6D.3.b of Belmont's Zoning By-Law, which requires that the front doors of each unit face the street and that the front door of the second unit be no more than 25% set back from the closest street-facing unit. Due to the plot's orientation with its shorter side facing the street, the second unit's front door will be positioned adjacent to the first unit's door, leading down to the basement. This design ensures both functionality and compliance with the law.

Furthermore, with our expanding family in mind, and in keeping with Belmont's communal living standards, we plan to develop each unit to be approximately 2,850 square feet. This proposed size falls within the existing range of 1,059 to 4,452 square feet in the surrounding neighborhood, particularly among the abutters within 300 feet of our home. Regarding building height, the proposed 33 feet is within compliance with the Zoning By-Law, and the proposed roof peak elevation of 98.07 feet is in line with the range of 91.7 to 103 feet among our direct neighbors. Our approach not only maintains harmony and enhances the quality of life in the community, but also contributes positively by addressing a variety of housing needs.

In summary, launching a two-family home initiative in Belmont is not only about enhancing our living situation but also about deepening our engagement with and commitment to the vibrant community of Belmont.



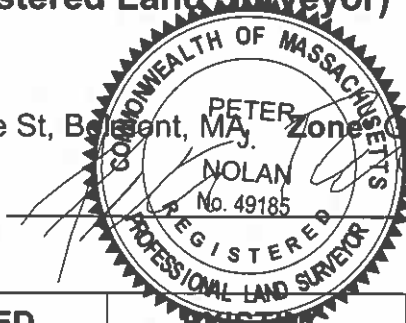
4/23/2024

# Zoning Compliance Check List

## (Registered Land Surveyor)

**Property Address:** 25 Hawthorne St, Belmont, MA 02458 **Zone:** GENERAL RESIDENCE

**Surveyor Signature and Stamp:**



**Date:** 4-10-24

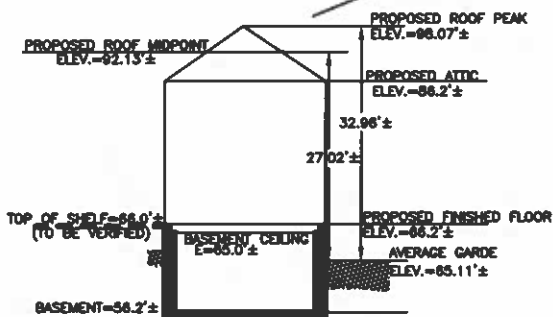
	REQUIRED	EXISTING	PROPOSED
Lot Area	7,000 SF	10,213 SF	10,213 SF
Lot Frontage	70'	66.5'	66.5'
Floor Area Ratio	N/A	-	-
Lot Coverage	30%	13.53%	28.57%
Open Space	40%	76.51%	53.21%
Front Setback	20'	24.9'	20.5'
Side Setback	10'	10.4' (LEFT)	10.0'
Side Setback	10'	9.7' (RIGHT)	18.1'
Rear Setback	20'	50.3'	22.5'
Building Height	33'	19.4'	32.96'
Stories	2-1/2	2	2-1/2
1/2 Story Calculation			
Perimeter Length= 265.1'    Perimeter Square Footage Exposed: -29.44SF Total square Footage=2332.88 SF			
% Covered=1(-29.44SF/ 2332.88 SF)=101.26% 101.26% (The average elevation of the soil is above basement ceiling. The building has a concrete shelf foundation that allows the grade around the perimeter of the building to be raised above the basement ceiling)			

### NOTES:


# 4. Plot Plan GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.



PROPOSED PROFILE  
NOT TO SCALE

CELLAR - A PORTION OF A BUILDING PARTIALLY UNDERGROUND, HAVING 60% OR MORE OF ITS CLEAR HEIGHT BELOW GRADE.  
BASEMENT - A PORTION OF A BUILDING PARTIALLY UNDERGROUND, BUT HAVING LESS THAN 60% OF ITS CLEAR HEIGHT BELOW GRADE.



## NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11/20/2023.
2. DEED REFERENCE: BOOK 38374, PAGE 601  
PLAN REFERENCE 1: REF PLAN BK 23 PG 4  
PLAN REFERENCE 2: REF PLAN 64 OF 2006  
PLAN REFERENCE 3: REF PLAN 432 OF 2011  
PLAN REFERENCE 4: REF PLAN 845 OF 2013  
PLAN REFERENCE 5: REF PLAN 860 OF 2002  
PLAN REFERENCE 6: REF PLAN 1651 OF 1981  
PLAN REFERENCE 7: REF PLAN 133 OF 1975  
SOUTH MIDDLESEX DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0418E, ON PANEL NUMBER 0418E, IN COMMUNITY NUMBER: 250182, DATED 06/04/2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATH BASINS, MANHOLES, WATER VALVES, ETC. AND COMPILED FROM PLANS SUPPLIED BY GOVERNMENT AGENCIES.
9. THE ELEVATIONS SHOWN ARE BASED ON A CITY OF BELMONT DATUM.
10. ZONING DISTRICT: GENERAL RESIDENCE.

Owner: LYNDS TE RAYMOND BRUCE  
SUSAN BETH LYNDS  
Loc. House No. 25  
Lot No. 27-47  
App. No.  
Date: 1/30/24  
Scale: 1"=20'

EX. SHED TO BE REMOVED

PROPOSED LANDING & STEPS

PROPOSED W.W.

N/F  
AWTHORNE STREET CONDOMINIUM  
DEED: BOOK 38090, PAGE 154

PROPOSED 2-STORY BLDG.  
FF=66.2'±  
GF=65.2'±  
TO BE VIF BY ARCHITECT

PROPOSED W.W.

PROPOSED DRIVEWAY

PROPOSED LANDING & STEPS



Spruhan  
Engineering, P.C.

80 JEWETT ST., (SUITE 11)  
NEWTON, MA 02459  
Tel.: 617-816-8722  
Email: edmond@spruhaneng.com

25 HAWTHORNE STREET,  
BELMONT,  
MASSACHUSETTS

DATE: 1/3/2024  
DRAWN BY: J.M.  
CHECKED BY: F.S.  
APPROVED BY: G.C.

PROPOSED PLOT  
PLAN

SHEET 1 OF 2

## REVISION BLOCK

BY	DESCRIPTION	DATE

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of Spruhan Engineering, P.C. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of Spruhan Engineering, P.C. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and Spruhan Engineering, P.C., must be notified of any variation from the dimensions and conditions shown by these drawings.



**Spruhan  
Engineering, P.C.**

80 JEWETT ST. (SUITE 1)  
NEWTON, MA 02459  
Tel: 617-816-0722  
Email: edmon@spruhaneng.com

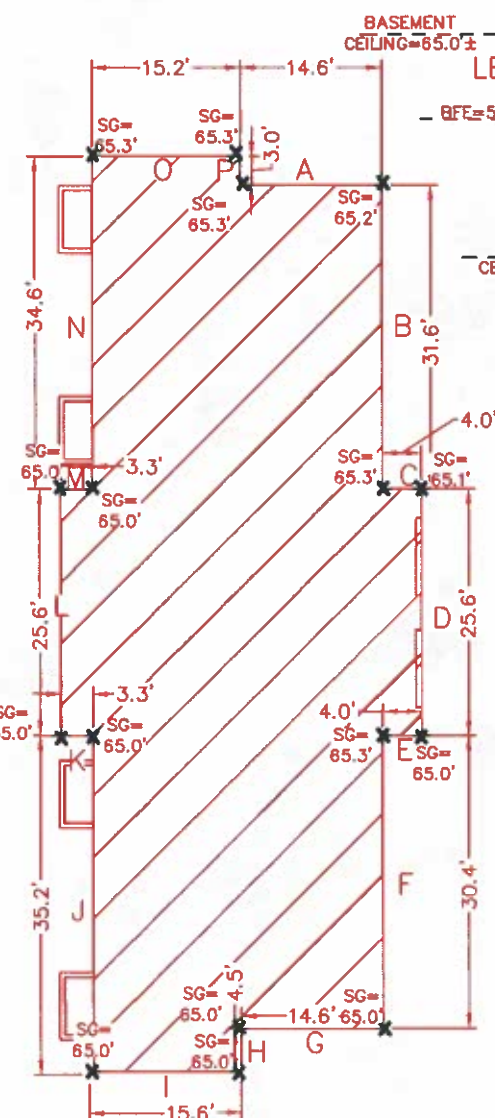
**25 HAWTHORNE ST,  
BELMONT,  
MASSACHUSETTS**

**PROPOSED PLOT  
PLAN**

**REVISION BLOCK**

NO	DESCRIPTION	DATE

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**BUILDING LAYOUT**

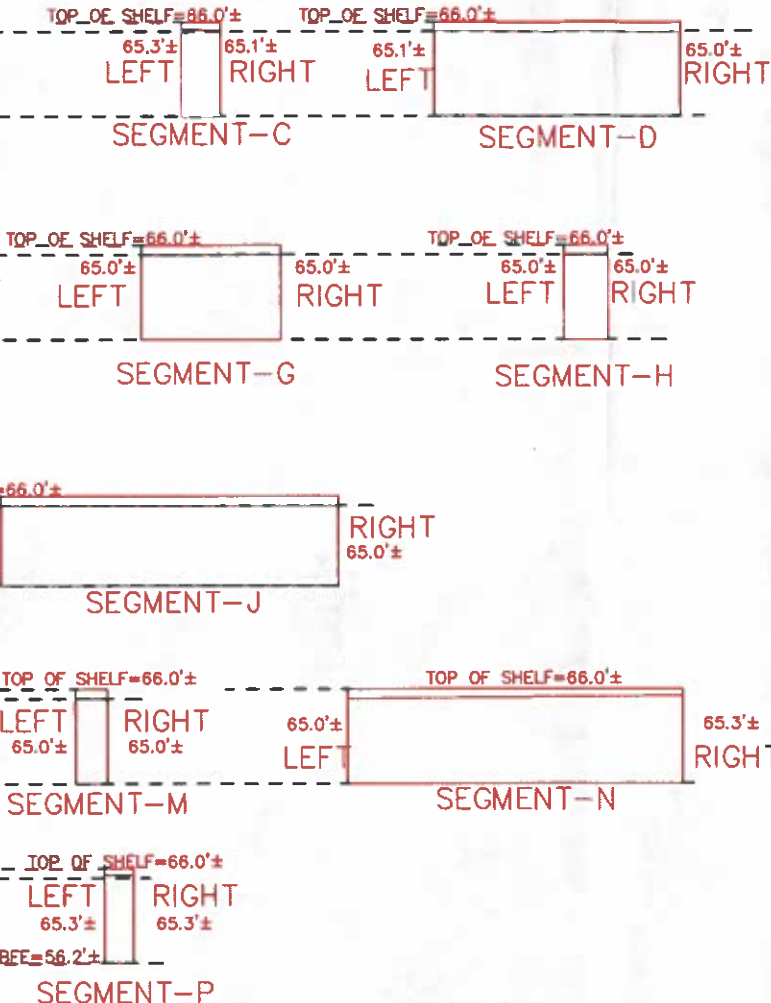
Town of Belmont  
Site Address: 25 Hawthorne St, Belmont, MA

**Average grade worksheet**

Segment	Proposed Grade at Segment Start	Proposed Grade at Segment End	Segment Length	Proposed Avg
A	65.30	65.20	14.6	952.65
B	65.20	65.30	31.6	2061.90
C	65.30	65.10	4.0	260.80
D	65.10	65.00	25.6	1665.28
E	65.30	65.00	4.0	260.60
F	65.30	65.00	30.4	1980.56
G	65.00	65.00	14.6	949.00
H	65.00	65.00	4.5	292.50
I	65.00	65.00	15.6	1014.00
J	65.00	65.00	35.2	2288.00
K	65.00	65.00	3.3	214.50
L	65.00	65.00	25.6	1664.00
M	65.00	65.00	3.3	214.50
N	65.20	65.00	34.6	2254.19
O	65.30	65.30	15.2	992.56
P	65.30	65.30	3.0	195.80
T			265.1	17260.94

Perimeter Total Length (feet)	265.10
Average Grade (feet)	65.11

**AVERAGE GRADE CALCULATIONS**



Town of Belmont  
Site Address: 25 Hawthorne Street, MA

**Foundation Coverage**

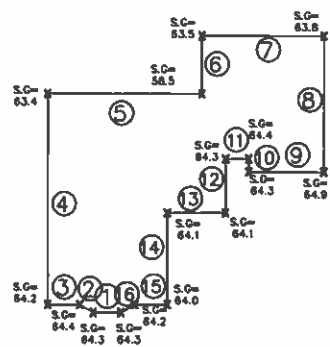
Exposed									
Segment	Basement Ceiling Elev.	Elevation From:	Elevation To:	Length	Ceiling Height:	Square Footage:	Square Footage:	Covered %	
A	65	65.30	65.20	14.60	8.8	128.48	-3.65	102.84%	
B	65	65.20	65.30	31.60	8.8	278.08	-7.90	102.84%	
C	65	65.30	65.10	4.00	8.8	35.20	-0.80	102.22%	
D	65	65.10	65.00	25.60	8.8	225.28	-1.28	100.57%	
E	65	65.00	65.30	4.00	8.8	35.20	-0.60	101.70%	
F	65	65.30	65.00	30.40	8.8	267.52	-4.56	101.70%	
G	65	65.00	65.00	14.60	8.8	128.48	0.00	100.00%	
H	65	65.00	65.00	4.50	8.8	39.60	0.00	100.00%	
I	65	65.00	65.00	15.60	8.8	137.28	0.00	100.00%	
J	65	65.00	65.00	35.20	8.8	309.76	0.00	100.00%	
K	65	65.00	65.00	3.30	8.8	29.04	0.00	100.00%	
L	65	65.00	65.00	25.60	8.8	225.28	0.00	100.00%	
M	65	65.00	65.00	3.30	8.8	29.04	0.00	100.00%	
N	65	65.00	65.30	34.60	8.8	304.48	-5.19	101.70%	
O	65	65.30	65.30	15.20	8.8	133.76	-4.56	103.41%	
P	65	65.30	65.30	3.00	8.8	26.40	-0.90	103.41%	
T				265.10		2332.88	-29.44		
AVG									101.26%

Basement Ceiling Height	8.8
Basement Floor Elevation	56.2
Basement Ceiling Elevation	65
Perimeter Total Length	265.10
Total Perimeter Square Foot	2332.88

**FOUNDATION COVERAGE CALCS**

**CALCULATIONS SHEET**

	SEWER LINE
	SEWER MANHOLE
	WATER LINE
	GAS LINE
	UTILITY POLE
	GAS VALVE
	OVERHEAD ELECTRIC SERVICE
	WATER VALVE
	CATCH BASIN
	FENCE
	CONTOUR LINE (MIR)
	CONTOUR LINE (MNR)
	SPOT GRADE
	DRAIN MANHOLE
	HYDRANT
	TREE

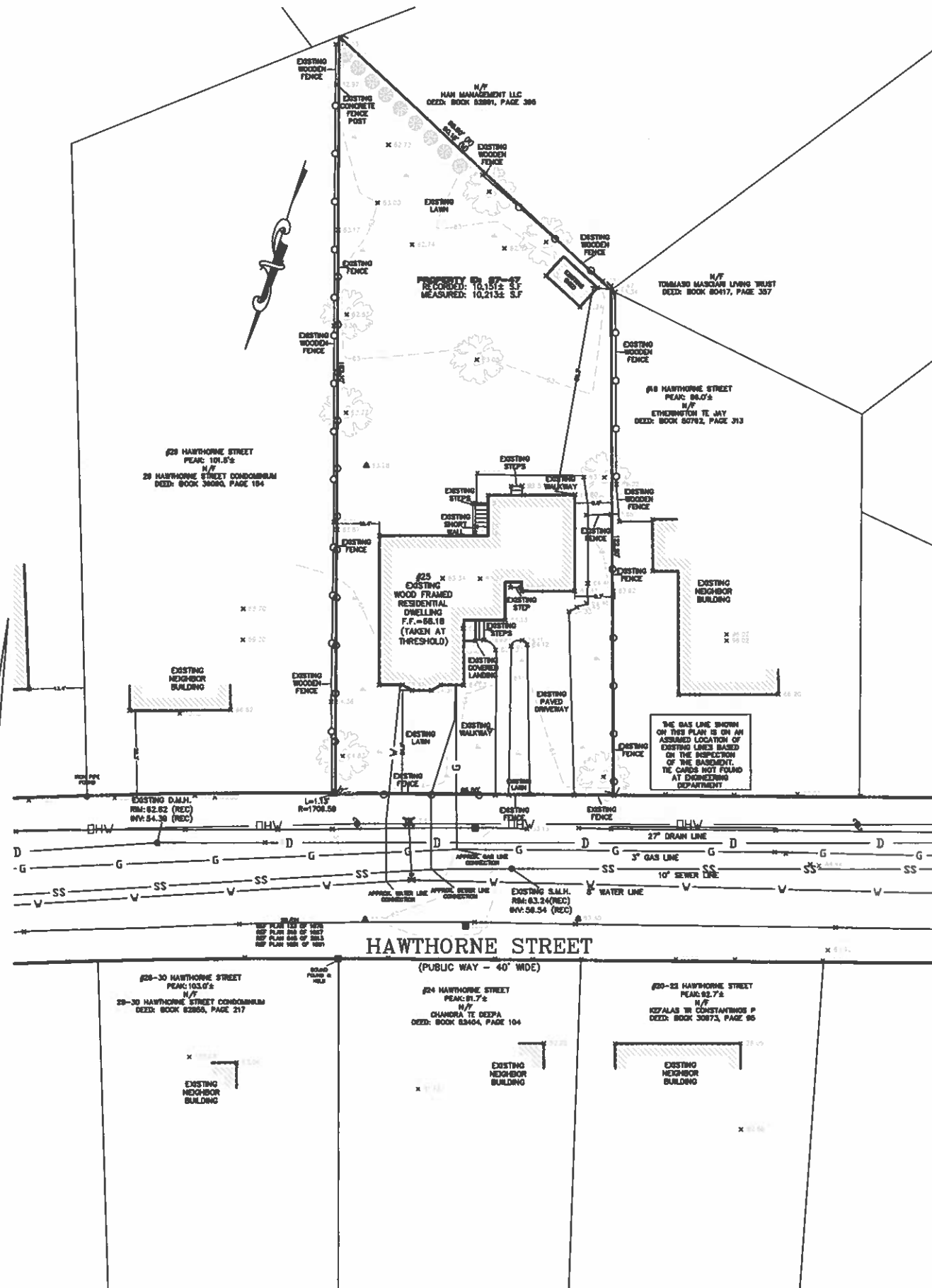


( IN FEET )  
1 inch = 20 ft.

NEW MARIAN ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION DELAYS, METHOD, TECHNIQUES OR PROCEDURES CAUSED BY THE  
 CONTRACTOR, NOR FOR THE SAFETY OF ANYONE ON CONSTRUCTION'S EQUIPMENT OR FOR THE FAILURE OF THE CONSTRUCTION TO COMPLY WITH THE  
 ORDINANCE APPLICABLE WITH THE CONTRACT DOCUMENTS.  
 THE CONTENT OF THIS CONTRACT IS SUBJECT TO THE NEW MARIAN ASSOCIATES LLC AND LATER TO THE EXTENT OF ITS FILE NEW MARIAN PARTY SHEET.

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SOUTH MIDDLESEX DISTRICT REGISTRY OF DEEDS

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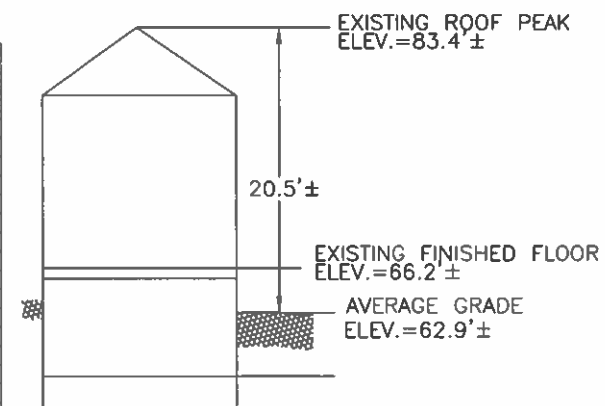
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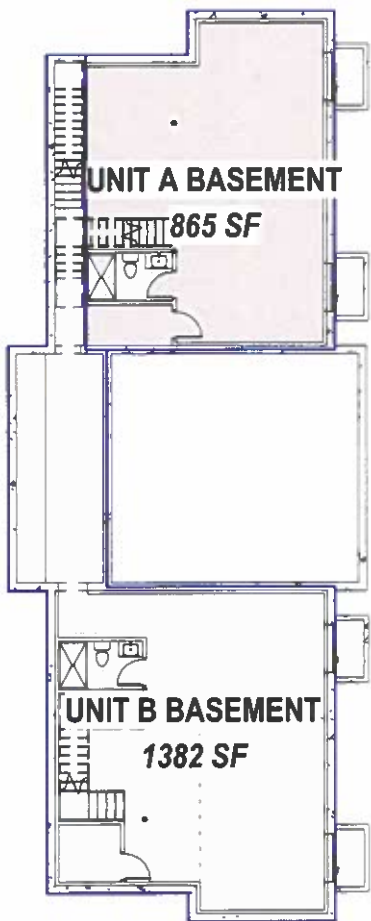
AVERAGE GRADE PLANE (ALL UNITS IN FEET)					
SEGMENT	LENGTH	POINT 1	POINT 2	MEAN 1 & 2	MEAN X LENGTH
1	4.73	64.3	64.3	64.3	304.139
2	2.97	64.3	64.4	64.3	171.681
3	5.63	64.2	64.2	64.3	362.009
4	36.12	64.2	63.4	63.8	2304.456
5	26.5	63.4	59.5	60.95	1615.175
6	3.91	58.5	63.5	61	804.51
7	20.99	63.5	63.8	63.65	1338.0135
8	23.29	63.8	64.3	64.35	1498.7115
9	12.87	64.3	64.3	64.6	831.402
10	2.24	64.3	64.4	64.35	144.144
11	3.98	64.4	64.3	64.35	258.113
12	3.23	64.3	64.1	64.2	592.566
13	10.05	64.1	64.1	64.1	644.205
14	15.73	64.1	64	64.05	1007.5065
15	8.58	64	64.2	64.1	358.319
16	2.65	64.2	64.3	64.25	172.8325
SUM=	75.65				4757.46
AVERAGE GRADE PLANE = SUM OF MEAN X LENGTH / SUM OF LENGTHS					62.9



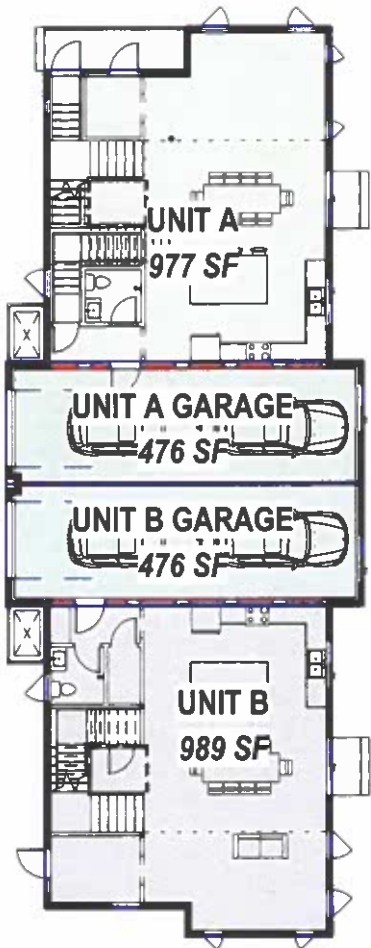
EXISTING PROFILE #25  
NOT TO SCALE

SCALE 1"=20'			
DATE 04/16/2024	REV	DATE	REVISION
			BY
SHEET 1	25 HAWTHORNE STREET BELMONT MASSACHUSETTS		
PLAN NO. 1 OF 1			
CLIENT:	EXISTING CONDITIONS		
DRAWN BY GB			
CHKD BY PUN	 <b>PETER NOLAN &amp; ASSOCIATES LLC</b> LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET NEWTON, MA, SUITE 1 PHONE: 857 891 7478 EMAIL: pnolan@pnasurveyors.com		
APPD BY PUN			

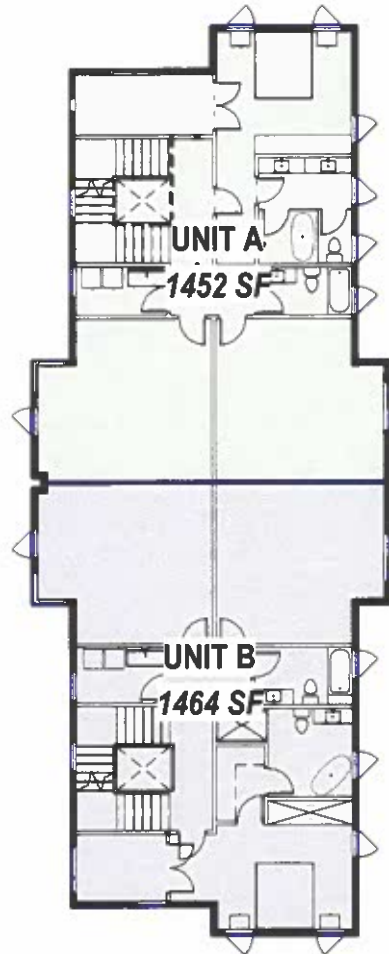
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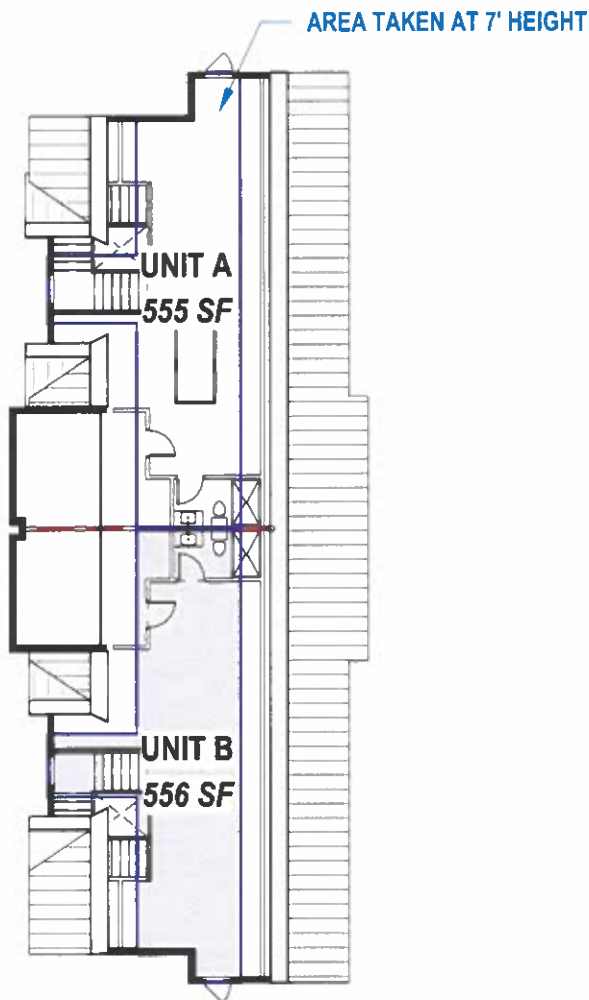
1 LEVEL 0 GROSS FLOOR AREA PROPOSED  
1" = 20'-0"



2 LEVEL 1 GROSS FLOOR AREA PROPOSED  
1" = 20'-0"



3 LEVEL 2 GROSS FLOOR AREA PROPOSED  
1" = 20'-0"



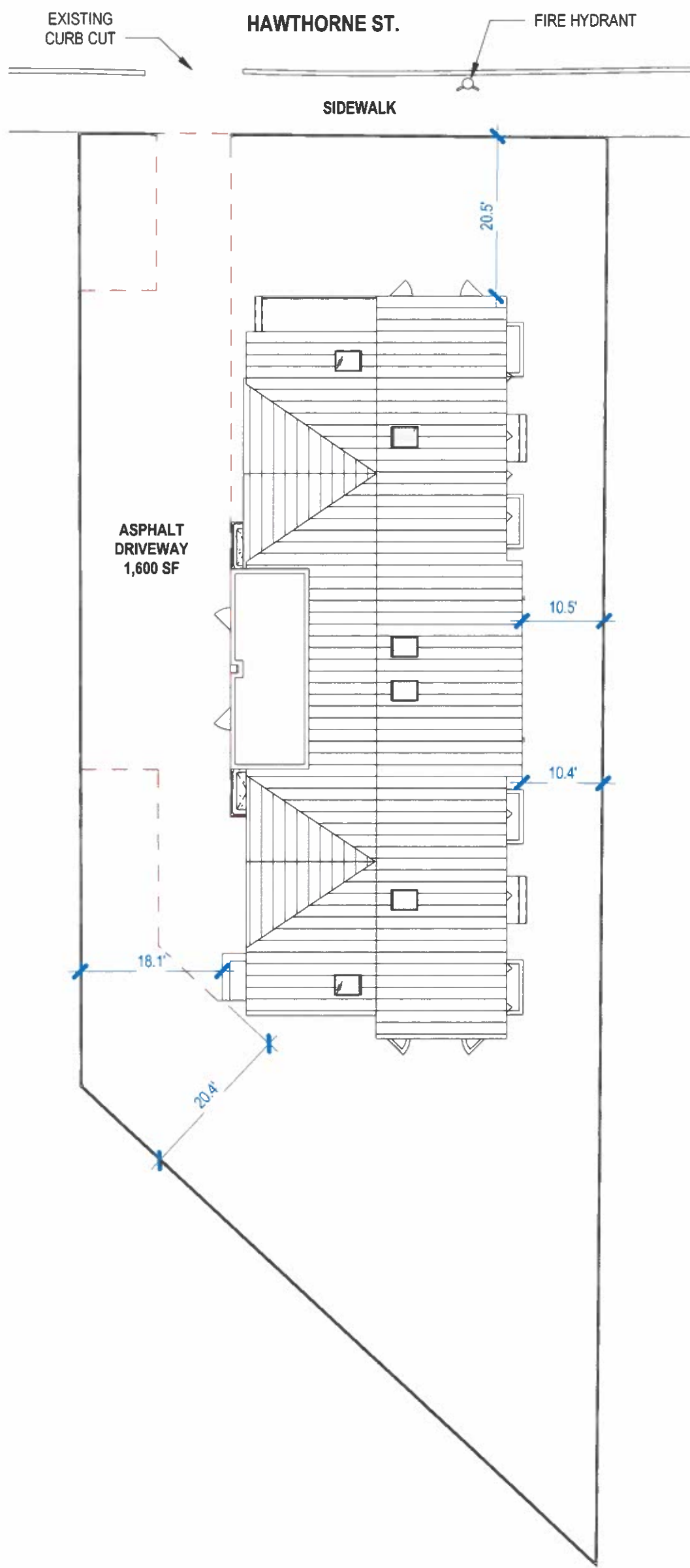
4 LEVEL ATTIC GROSS FLOOR AREA PROPOSED  
1" = 20'-0"

UNIT A GROSS FLOOR AREA, PROPOSED

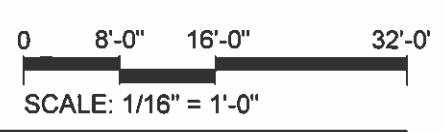
Name	Level	Area	Living Floor Area
UNIT A	LEVEL 1	977 SF	917 SF
UNIT A	LEVEL 2	1452 SF	1373 SF
UNIT A	LEVEL ATTIC	555 SF	555 SF
		2985 SF	2845 SF
UNIT A BASEMENT	LEVEL 0	865 SF	
		865 SF	
UNIT A GARAGE	LEVEL 1	476 SF	
		476 SF	

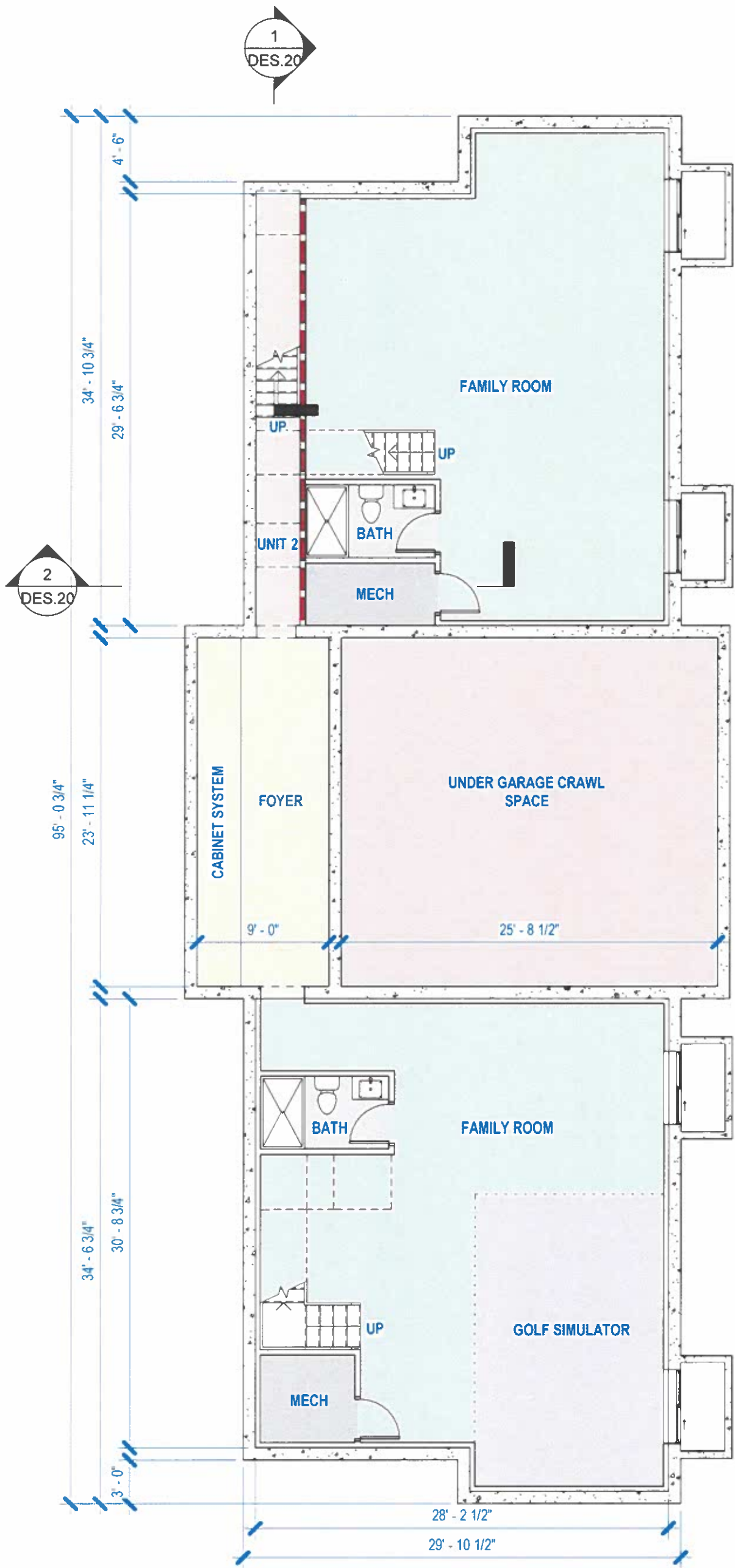
UNIT B GROSS FLOOR AREA, PROPOSED

Name	Level	Area	Living Floor Area
UNIT B	LEVEL 1	989 SF	930 SF
UNIT B	LEVEL 2	1464 SF	1385 SF
UNIT B	LEVEL ATTIC	556 SF	556 SF
		3009 SF	2870 SF
UNIT B BASEMENT	LEVEL 0	1382 SF	
		1382 SF	
UNIT B GARAGE	LEVEL 1	476 SF	
		476 SF	

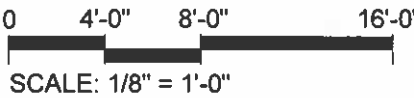


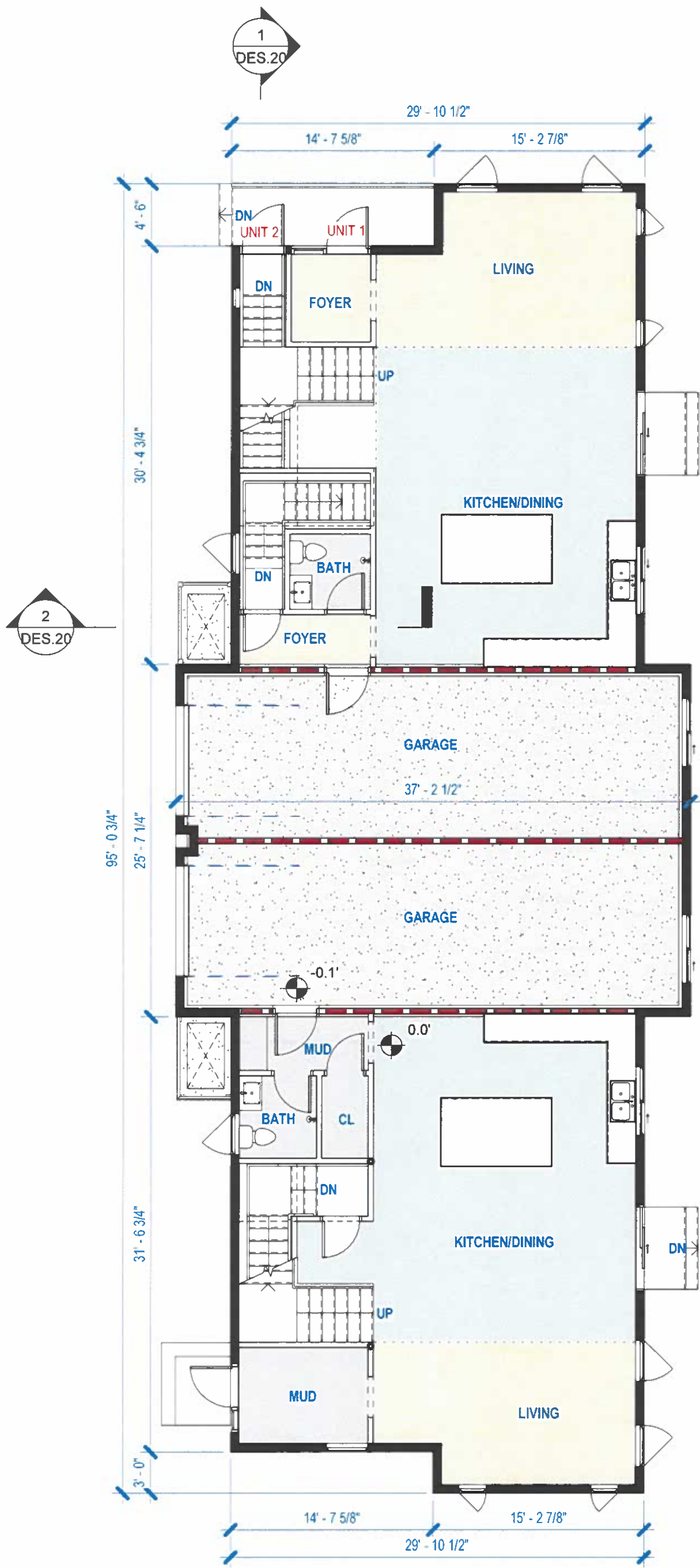
1 SITE PLAN, PROPOSED  
1/16" = 1'-0"



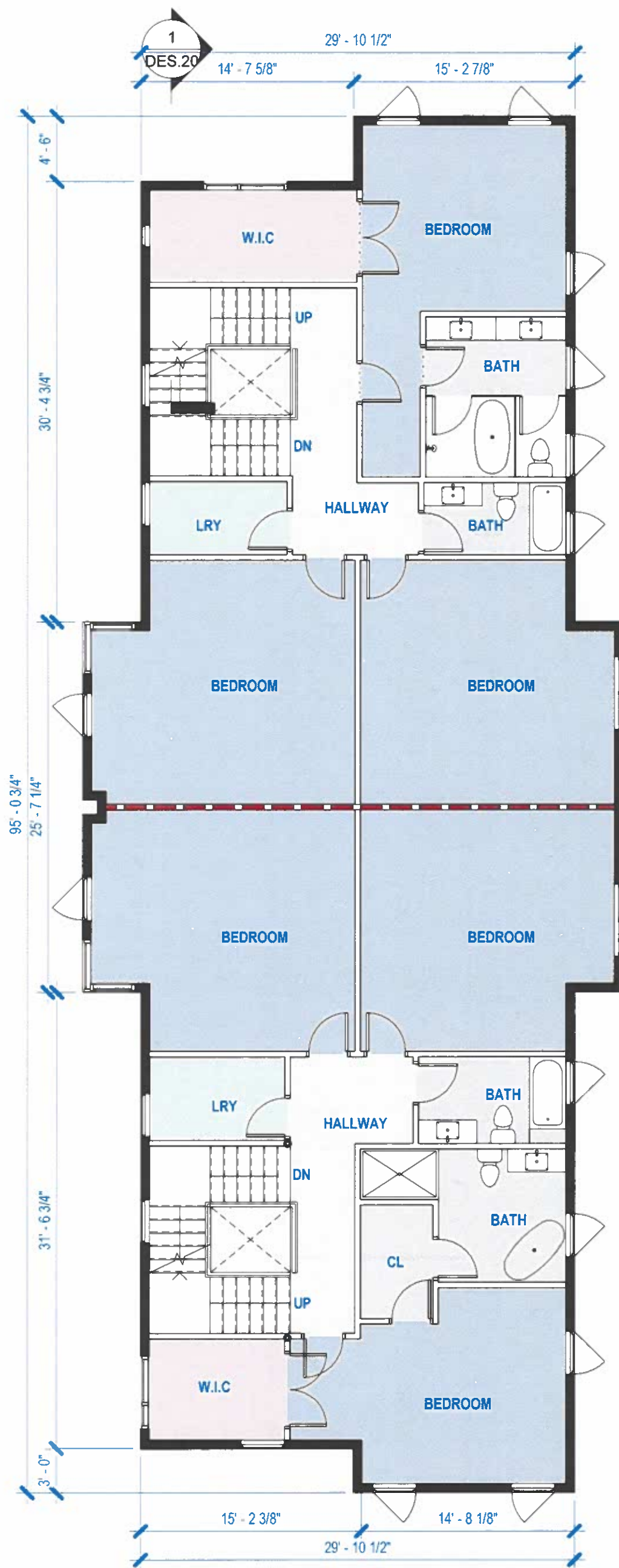


1 LEVEL 0 FLOOR PLAN PROPOSED  
1/8" = 1'-0"

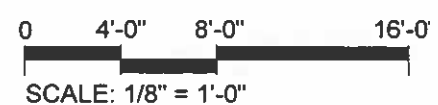


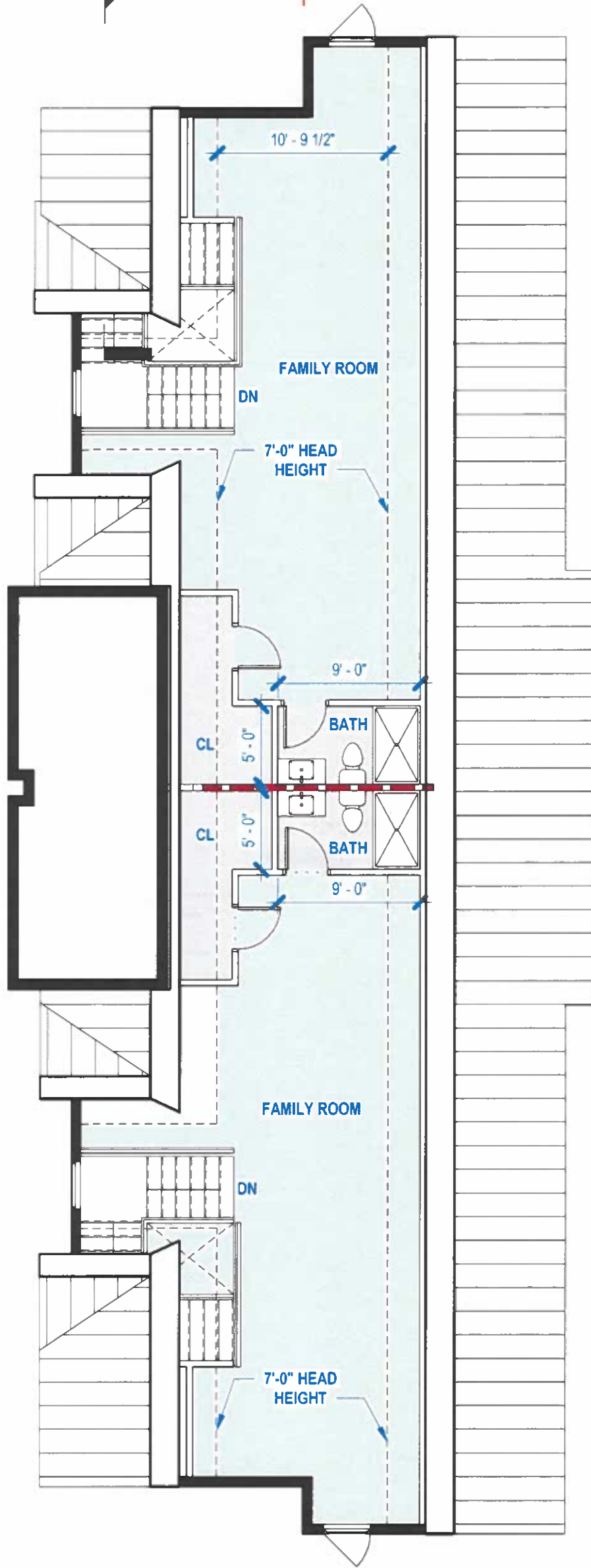


1 LEVEL 1 FLOOR PLAN PROPOSED  
1/8" = 1'-0"

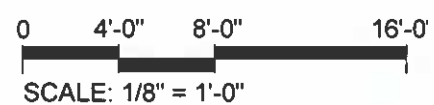


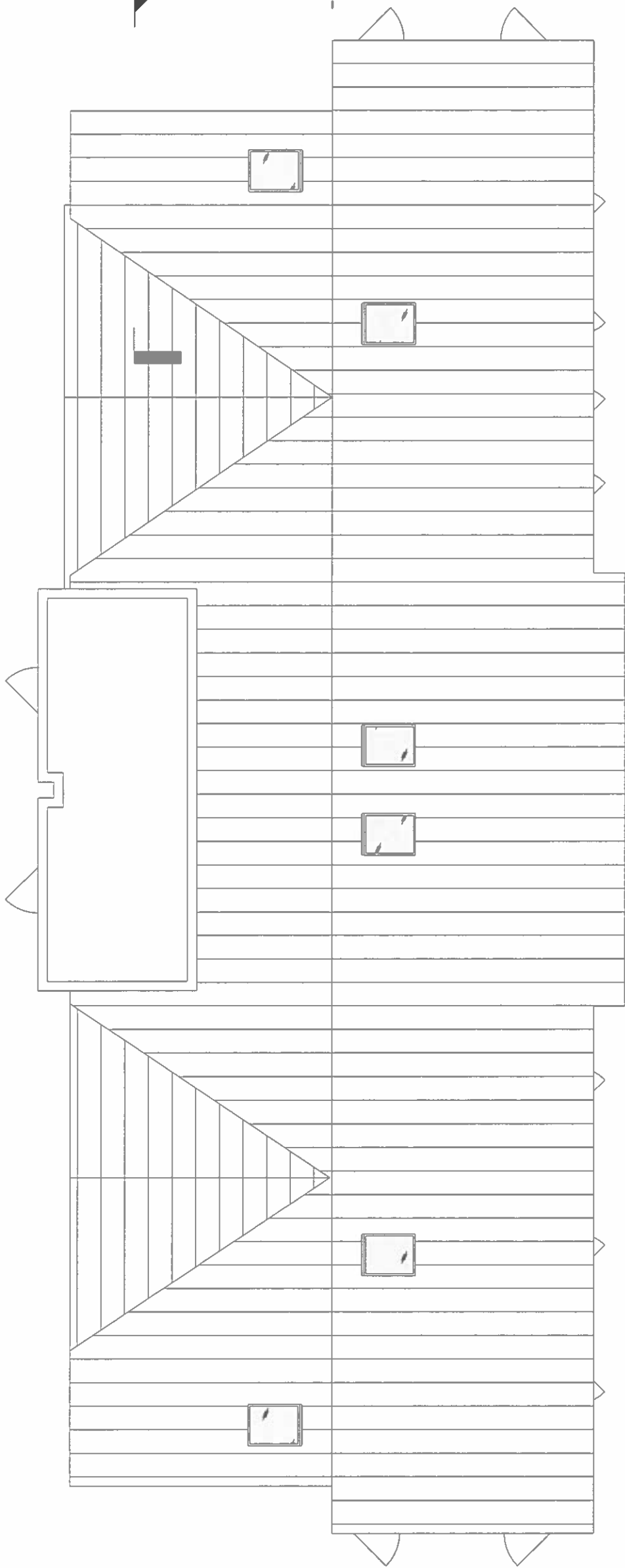
1 LEVEL 2 FLOOR PLAN PROPOSED  
1/8" = 1'-0"





1 LEVEL ATTIC FLOOR PLAN PROPOSED  
1/8" = 1'-0"





① LEVEL R FLOOR PLAN PROPOSED  
1/8" = 1'-0"

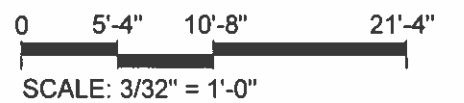
0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"



1 BUILDING ELEVATION EAST  
3/32" = 1'-0"

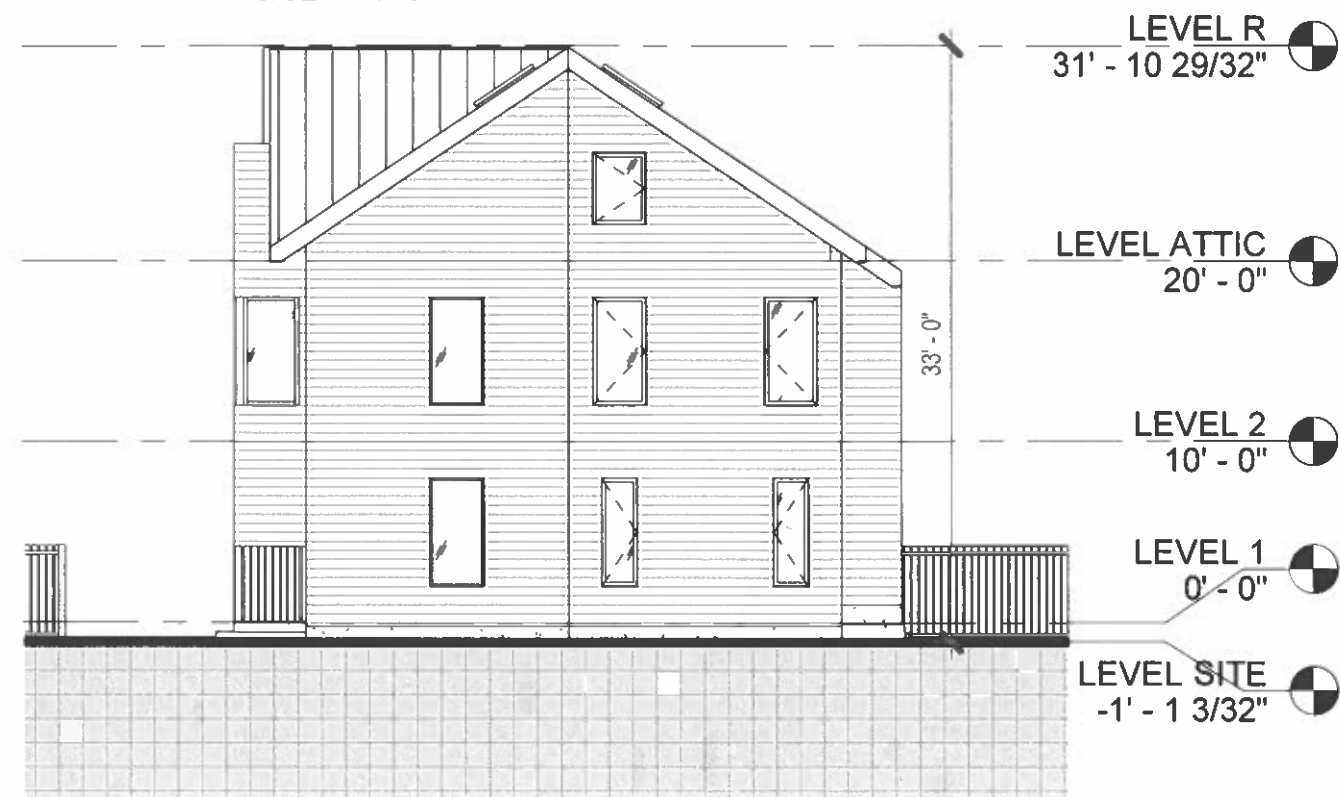


2 BUILDING ELEVATION NORTH  
3/32" = 1'-0"

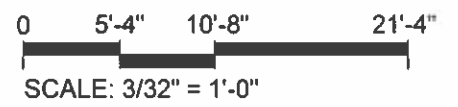


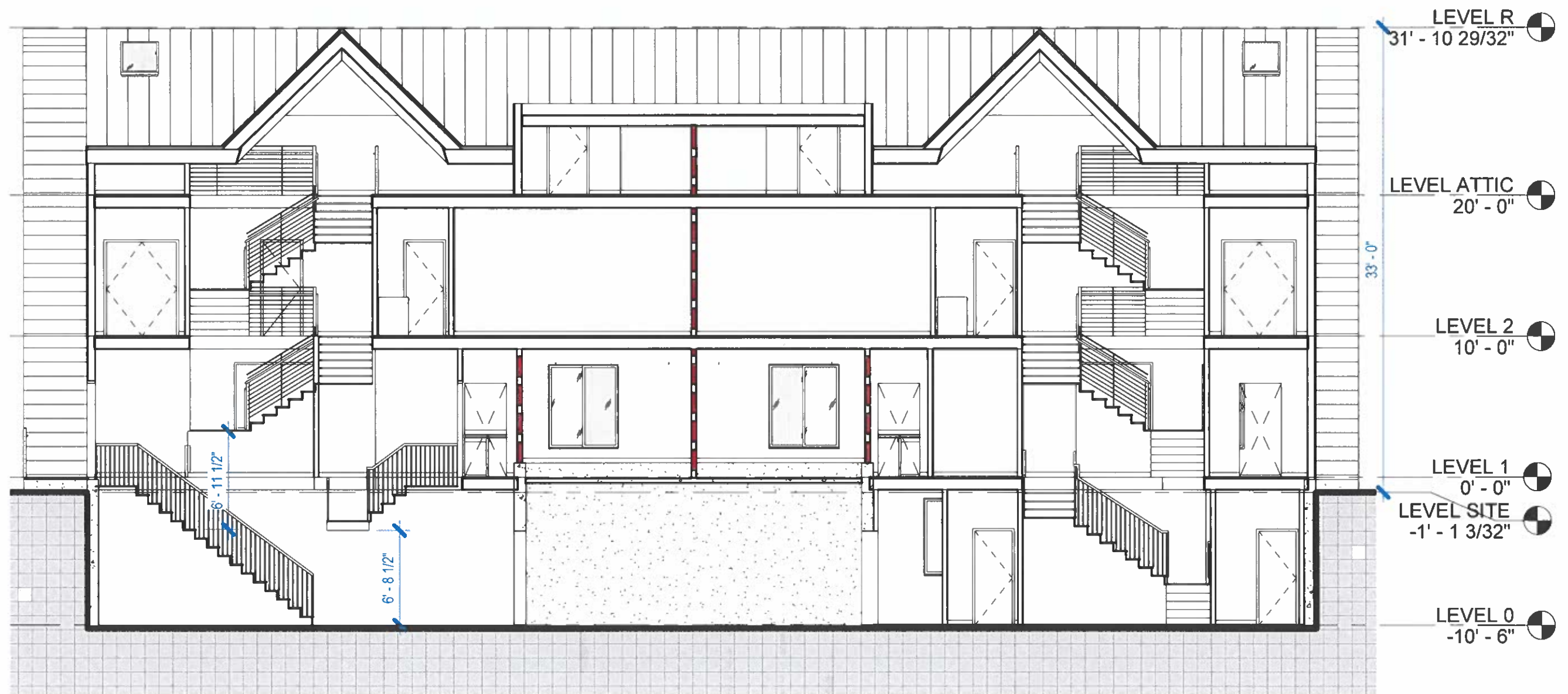


① BUILDING ELEVATION WEST  
3/32" = 1'-0"

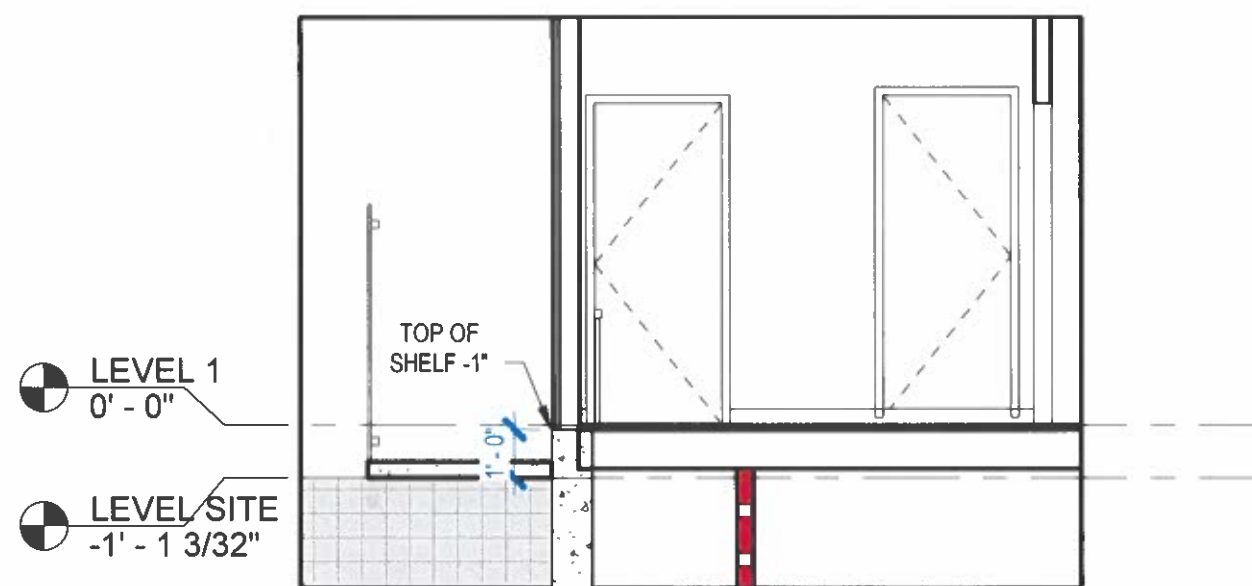


② BUILDING ELEVATION SOUTH  
3/32" = 1'-0"





1 SECTION N-E PROPOSED  
1/8" = 1'-0"



2 WALL SECTION W-E PROPOSED  
1/4" = 1'-0"

0 2'-0" 4'-0" 8'-0"  
SCALE: 1/4" = 1'-0"

0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"

