

NOTICE OF PUBLIC HEARING BY THE  
TOWN OF BELMONT PLANNING BOARD

ON APPLICATION FOR TWO SPECIAL PERMITS

Notice is hereby given that the Planning Board will hold a public hearing on Tuesday, May 14, 2024 at 7:00 PM by remote access through the Zoom app. to consider the application of K.K Banger and S.V. Kumar, for Two Special Permits under section 1.5.4B of the By-Law to construct additions at 543 Pleasant Street Located in a Single Residence B (SRB) zoning district. §1.5.4 B (2) of the Zoning By-Law allows alteration or structural change increases, that increase the Gross Floor Area of a non-conforming structure (minimum side setback required 10.0', existing and proposed side setback 6.4') more than thirty percent (30%) or greater than 700SF by a Special Permit granted by the Planning Board, and section 4.2 of the By-Law requires a minimum of 10.0' side setback. Special Permits: 1.- The existing Gross Floor Area is 3377SF square feet and the proposed addition is 1,358 square feet or 40.21% and is greater than 700SF. The expansion is allowed by a Special Permit Granted by the Planning Board. 2.- The existing and proposed side setback is 6.4'.

**Note: Application submittals, meeting agenda & instructions on remote access can be found on the Town's website: <https://www.belmont-ma.gov/planning-board>**

TOWN OF BELMONT PLANNING BOARD

2024 APR -9 AM 11:15

RECEIVED  
TOWN CLERK  
BELMONT, MA



**OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT**

19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

March 6, 2024

K.K Banger and S.V. Kumar  
543 Pleasant Street  
Belmont, MA 02478

RE: Denial to Construct Additions.

Dear K.K Banger and S.V. Kumar

The Office of Community Development is in receipt of your building permit application for your proposal to construct additions at 543 Pleasant Street located in a Single Residence B (SRB) zoning district.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, §1.5.4 B (2) of the Zoning By-Law allows alteration or structural change increases, that increase the Gross Floor Area of a non-conforming structure (minimum side setback required 10.0', existing and proposed side setback 6.4') more than thirty percent (30%) or greater than 700SF by a Special Permit granted by the Planning Board, and section 4.2 of the By-Law requires a minimum of 10.0' side setback. Special Permits: 1.- The existing Gross Floor Area is 3377SF square feet and the proposed addition is 1,358 square feet or 40.21% and is greater than 700SF. The expansion is allowed by a Special Permit Granted by the Planning Board. 2.- The existing and proposed side setback is 6.4'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building application, or you may request Two (2) Special Permits from Planning Board. If you choose this option, please contact the Office of Planning and Building to schedule an appointment with Ara Yogurtian, Inspector of Buildings, at (617) 993-2650 in order to begin the process.

Sincerely,

Ara Yogurtian  
Inspector of Buildings



Town of Belmont  
Planning Board

**APPLICATION FOR A SPECIAL PERMIT**



Date: March 21, 2024

Planning Board  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 543 Pleasant St Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for expansion of a single family home

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner    
Print Name Sheetal V. Kumar; Kal Banger  
Address 543 Pleasant St, Belmont, MA 02478  
Daytime Telephone Number 202 304 7536

## **543 Pleasant Street**

### **Planning Board Narrative Statement**

We are proposing alterations and additions to this single family home in the SR-B zoning district. We are seeking two special permits – one to allow for an **increase in gross floor area more than 30%** and one to **maintain an existing non-conforming side setback**.

#### **1. Summary of scope:**

This home currently has two bedrooms on the main living level. The owners would like to add a master suite above the garage so that their son and daughter can each have their own room on the first floor. We are proposing to reconstruct and expand the garage so that it is large enough to fit two cars (it is currently barely large enough for one car). This also provides adequate space for the master suite above.

The new garage / master suite roof would have the same 7:12 pitch as the main roof, but would extend above the main roof (main roof ridge = 20'-3" above grade, proposed master suite ridge = 26'-3" above grade). We propose adding a 2' deep pent roof above the garage door, and another pent roof at the master suite soffit to break up the massing and scale. We also intend to maintain the use of two different siding profiles (4" wood clapboards on main walls, 7 ¼" cedar shingles in gable end portions).

In order to balance this new massing on the left side of the front elevation, we also propose reconstructing the roof over the front right bump out, extending the gable roofline over the existing front porch to offer protection from the elements.

On the rear, we would like to add a 5'-6" deep expansion that will allow us to expand the main living areas (kitchen, dining and family room). This new addition will have a 3:12 roof that will blend into the main roof of the house to minimize the visual impact. The rear scope also includes relocating the rear exit and expanding the deck.

#### **2. Special Permit - Increase in gross floor area more than 30%:**

The existing home is a 1,867 sf (TLA) ranch built in 1951 on a 11,945 sf lot. It has an attached one car garage. The basement is 54% below grade, therefore it counts as a story. The existing gross floor area, including the garage, basement and attic, is 3,377 sf. Our proposed additions would add:

- 32 sf on the basement level (for egress below the rear deck),
- 522 sf on the first floor (garage expansion, rear addition, and squaring off back left corner),
- and 804 sf on the half story level (adding new master suite, sitting area and enclosed porch)

for a total of 1,358 sf new gross floor area. This represents an increase of 40.2 percent, requiring a special permit. We feel that this is an appropriately sized addition, and that the proposed structure would still be very much in harmony with the neighborhood. Many of the neighboring homes are equivalent, or even larger than what we are proposing.

#### **3. Special Permit - Maintain an existing non-conforming side setback:**

The 11,945 sf lot is a trapezoid shape, with the left property line cutting in at a significant angle relative to the home. This creates a condition where the existing left side setback converges to 6.4' at the back corner of the structure. Currently this corner has a gable roof with an extensive corner overhang and a

chamfered wall below, creating an awkward aesthetic and challenging functionality. We are proposing to square this off, below the existing roof footprint, and incorporate a screened in porch above. The proposed change represents a footprint of only 13 sf of non-conforming space.

This corner of the property has an abundance of evergreen trees that provide lovely natural screening, but also produce sticky sap that will necessitate the screens to protect the outdoor living space.

It is also worth noting that the neighbor's property (15 Clifton Street) is also unusually shaped, with a long narrow side yard due to a drainage easement extending to the corner of Clifton Street and Pleasant Street. This is significant because it appears as if 543 Pleasant Street is a corner lot even though it is not. While the back corner is 6.4' from the property line, it is approximately 45' from Clifton Street (parallel to this side façade) and approximately 80' from the neighbor's home, so it does not feel like a tight space.

**Please see the attached "neighbors diagram" showing the relationship of the property to its immediate abutters.**

The landscaping will be largely preserved as is, as much as construction will allow. Landscaping will provide screening, particularly along the west (Clifton Street) and south (Pleasant Street). **Please see the attached "landscape diagram" showing the existing and proposed landscape features.** The proposed site work will include maintaining the location of the curb cut and approximate location of the driveway, expanded as needed to accommodate the new garage footprint and to allow for cars to enter the garage.

The proposed alterations will not impact traffic, parking, drainage or noise and will not create any other detrimental effects on the neighborhood. Proposed exterior lighting is consistent with the existing conditions and approved by the HDC.

This home is in the Pleasant Street historic district and the proposed scope has been approved by the HDC. **Please see attached certificate of appropriateness dated 2/29/24.**

In summary, we feel that the proposed alterations are reasonable in their massing, scale, and character and represent improvements to the home that are in harmony with the neighborhood, do not pose any substantial detriment to the neighborhood and do not nullify or substantially derogate the intent of the by-law. Thank you for your consideration.



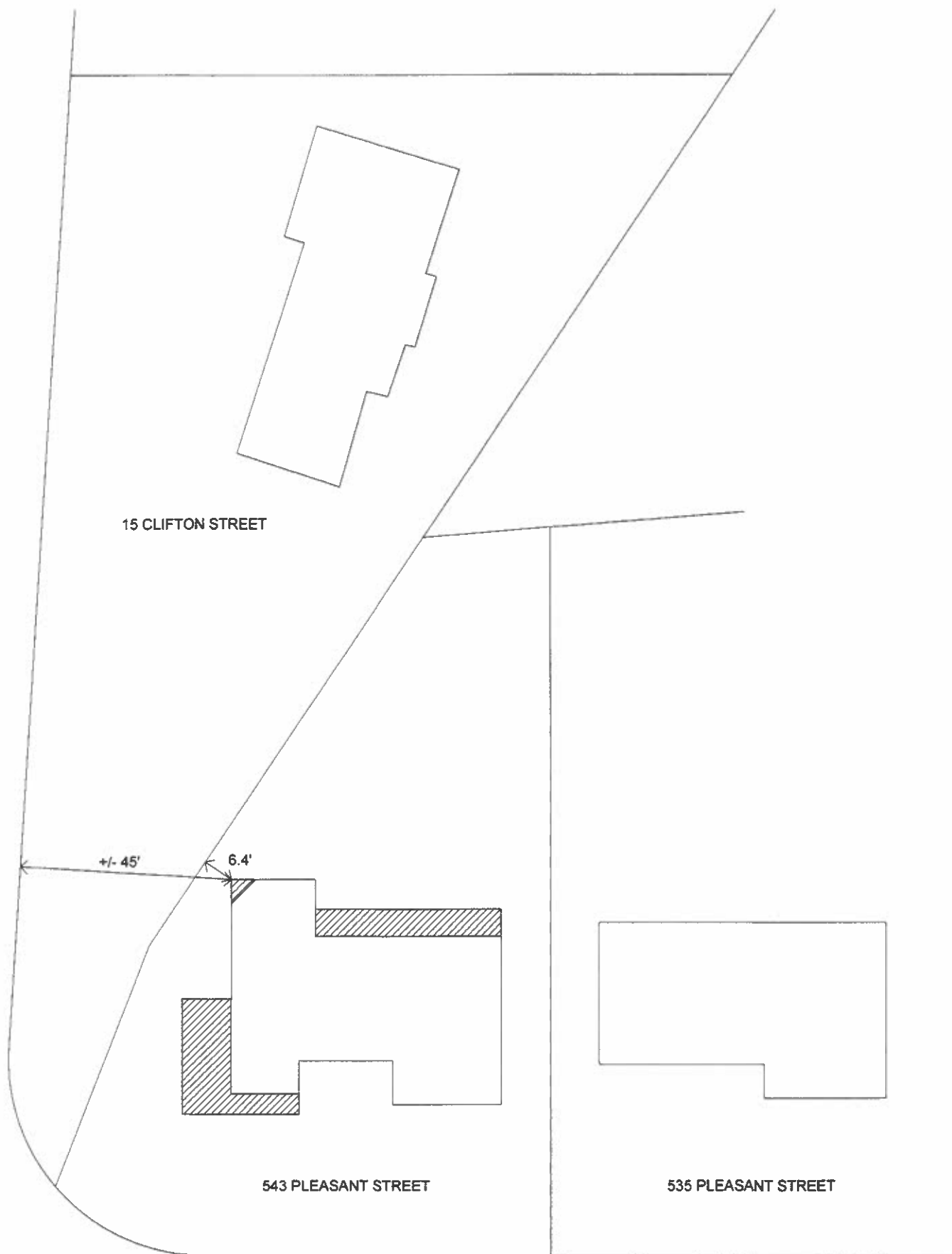
**543 Pleasant Street**

**Photographs**





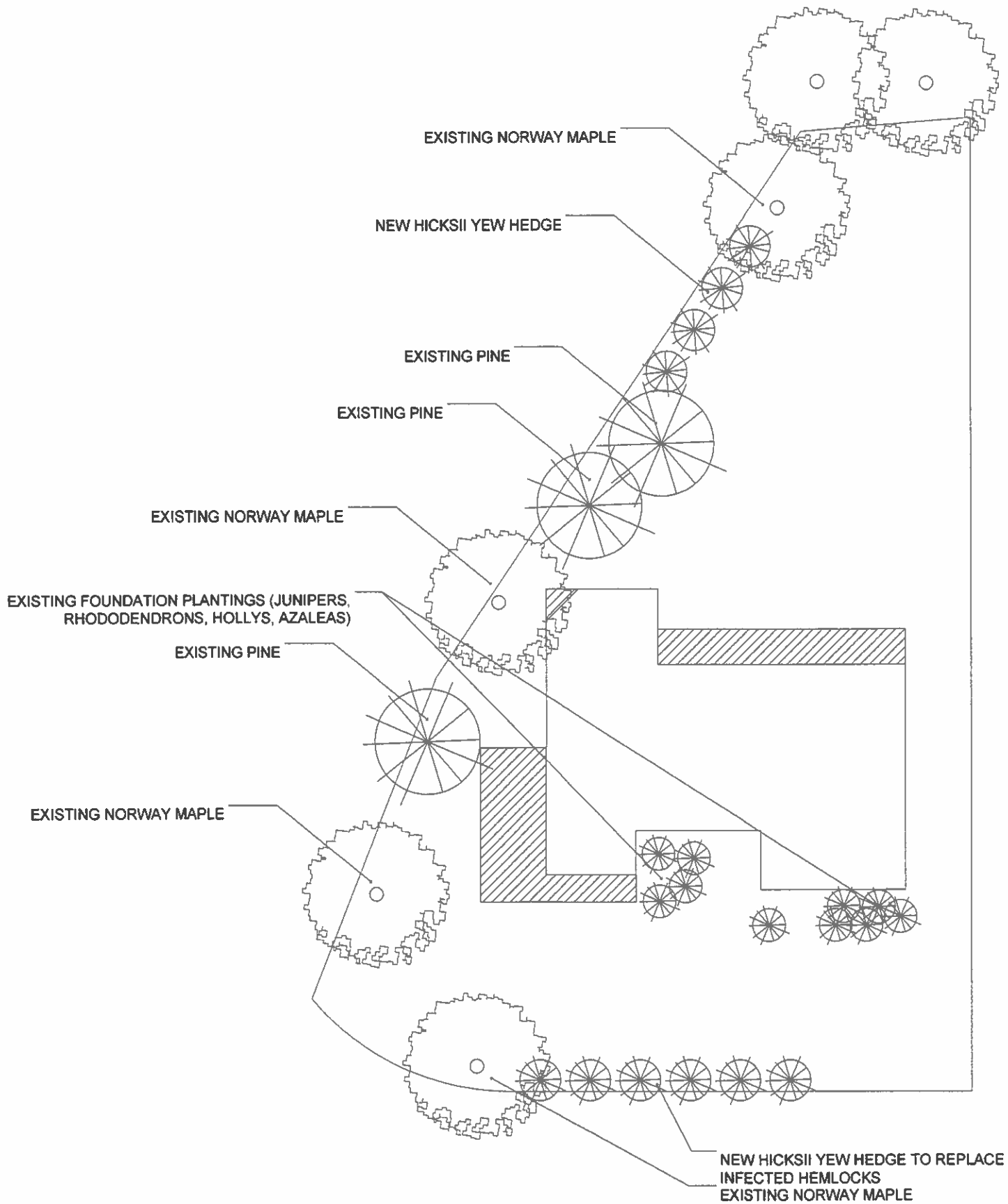




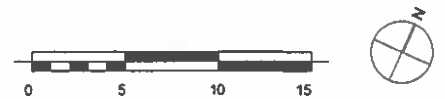
543 PLEASANT STREET  
BELMONT MA  
NEIGHBORS DIAGRAM







543 PLEASANT STREET  
BELMONT MA  
LANDSCAPE DIAGRAM





Town of Belmont  
Historic District Commission

CERTIFICATE OF

☒ Appropriateness

☐ Non-Applicability

☐ Hardship

Case No. HDC-24-01 Approval Date: 02/29/24

Address: 543 Pleasant Street Belmont, MA

**Work Approved:** Reconstruct garage, add partial second floor, add rear addition, reconfigure rear deck, reconstruct roof over front right portion. Repair of the ex. stone retaining wall in kind.

**Conditions:** Any changes to the existing stone wall along the street(s) would require a separate application to the HDC.

**Attachments:** HDC Applicant Statement, Photographs, Architectural Exterior manufacturer's Product Literature and Specifications, plot plan and architectural drawings.

Date: 03/04/24

HDC Signature: \_\_\_\_\_

*Carol Moyles*

**HDC Representative**  
Carol Moyles, Co-chair

For more information:  
Office of Community Development  
Homer Municipal Building, 2nd Floor  
19 Moore Street  
Belmont, MA 02478  
617-993-2666

NOTES:  
OCD will send the Applicant a copy of this Certificate after it is signed. Please keep a copy for your records.  
Submit a copy of the signed Certificate and all attachments with your Building Permit Application.  
Confirm that no additional permits or approvals are required before commencing work.

Certificate expires one year from date of issue.

Zoning Compliance Check List  
(Registered Land Surveyor)

Property Address: 543 Pleasant Street Zone: SRB  
Surveyor Signature and Stamp: Date:

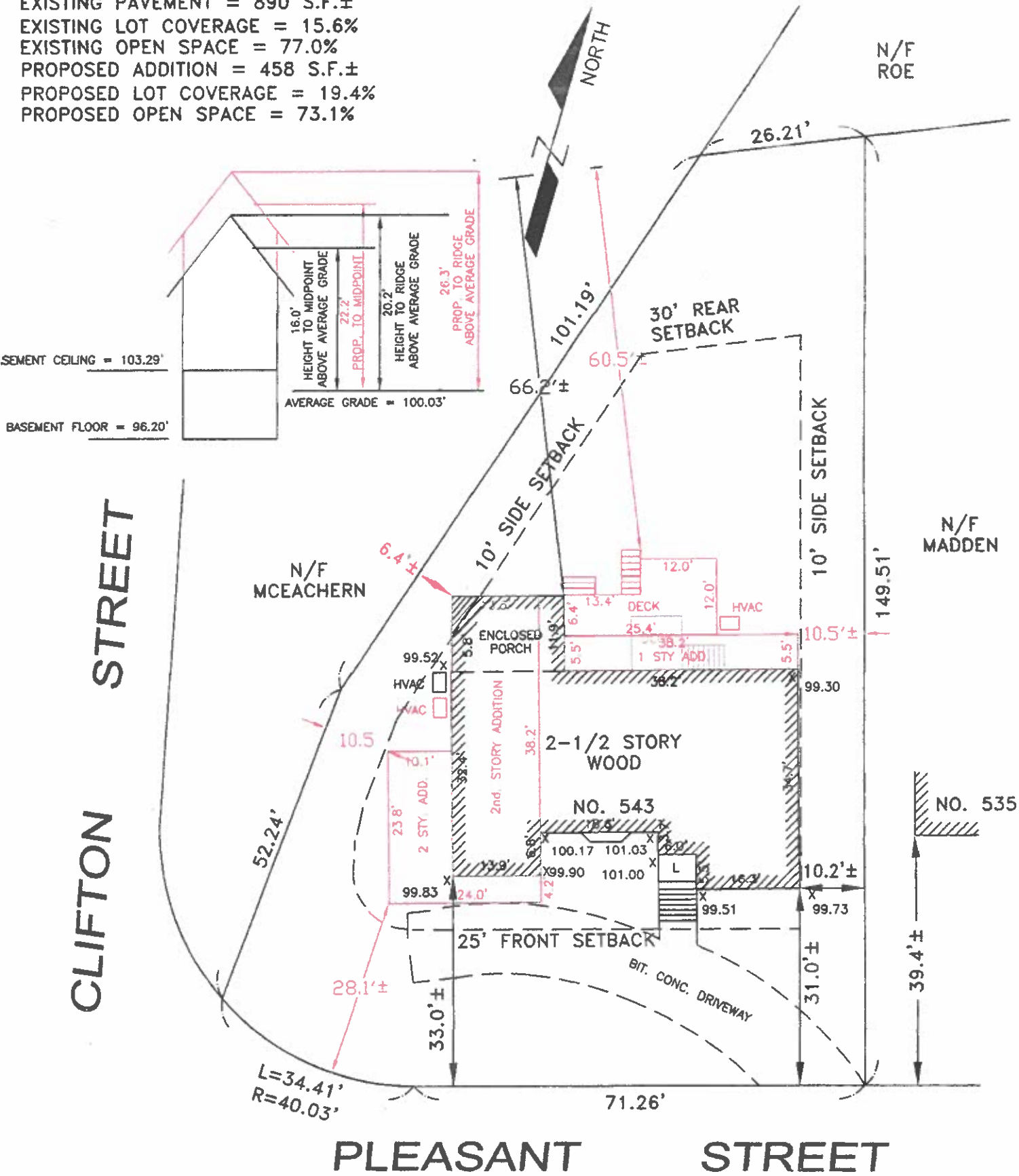
	REQUIRED	EXISTING	PROPOSED
Lot Area	12,000 S.F.	11,945 S.F.	11,945 S.F.
Lot Frontage	90'	106.43'	106.43'
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	25%	15.6%	19.4%
Open Space	50%	77.0%	73.1%
Front Setback	25'	31.0'	28.1'
Side Setback	10'	6.4'	6.4'
Side Setback	10'	10.2'	10.5'
Rear Setback	30'	66.2'	60.5'
Building Height	30'	16.0' to midpoint 20.2' to ridge	22.2' to midpoint 26.3' to ridge
Stories	2-1/2	2-1/2	2-1/2
1/2 Story Calculation	N/A		

NOTES:




Douglas Johnston 2/20/24

LOT AREA = 11,945 S.F.±  
EXISTING BUILDING = 1,863 S.F.±  
EXISTING PAVEMENT = 890 S.F.±  
EXISTING LOT COVERAGE = 15.6%  
EXISTING OPEN SPACE = 77.0%  
PROPOSED ADDITION = 458 S.F.±  
PROPOSED LOT COVERAGE = 19.4%  
PROPOSED OPEN SPACE = 73.1%



NOTES

1. SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 16211, PAGE 226.
2. SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 7816, PAGE 519.
3. SUBJECT PARCEL IS LOCATED IN ZONE SRB
4. SUBJECT PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON PANEL 25017C0418E WITH AN EFFECTIVE DATE OF JUNE 4, 2010.
5. NO PUBLIC SHADE TREE IS LOCATED WITHIN THE LIMITS OF THE PROPERTY FRONTAGE OF THE SUBJECT PROPERTY.
6. FRONT SETBACK:  $25.0 + 39.4 = 64.4$ ;  $64.4 / 2 = 32.2$ ; FRONT SETBACK = 25.0'.
7. BASEMENT IS 54.0% BELOW GRADE.

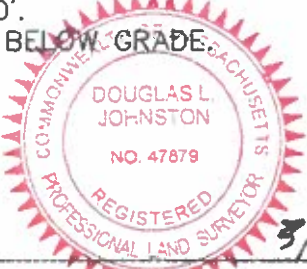


( IN FEET )  
1 inch = 20 ft.

PROPOSED PLOT PLAN  
IN  
BELMONT, MA

SCALE: 1" = 20' MARCH 20, 2024

DLJ GEOMATICS  
PROFESSIONAL LAND SURVEYING  
276 NORTH STREET  
WEYMOUTH, MA 02191  
(781) 812-0457  
543 PLEASANT ST BELMONT.dwg



*Douglas L. Johnston*  
PROFESSIONAL LAND SURVEYOR

3/21/24  
DATE



GENERAL NOTES:

1. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE WORK.
2. COORDINATE AND BE RESPONSIBLE FOR THE PROTECTION OF PERSONS AND PROPERTY FOR THE DURATION OF CONSTRUCTION AS REQUIRED BY AGENCIES AND AUTHORITIES HAVING JURISDICTION.
3. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN.
4. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER.
5. REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF THE DEBRIS ON THE SITE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
6. SORT DEBRIS FOR RECYCLING TO THE EXTENT POSSIBLE. REMOVE OR ARRANGE FOR THE TRANSPORT OF SORTED MATERIALS SCHEDULED TO BE RECYCLED TO APPROPRIATE OFF-SITE FACILITIES EQUIPPED FOR THE RECYCLING OF SPECIFIC MATERIALS. PROVIDE CONTAINERIZED DUMPSTERS FOR THE SORTING OF DEMO WASTES.
7. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARILY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
8. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE OF GWB UNLESS SPECIFICALLY NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
9. HVAC CONTRACTOR TO MODIFY EXISTING MECHANICAL SYSTEM AS NEEDED TO SUPPORT THE ADDITION AND THE NEW LAYOUT. CONTRACTOR TO COORDINATE SPECIFICS WITH OWNER.
10. CONTRACTOR TO UPGRADE ELECTRICAL PANEL, PROVIDE ALL WIRING AND OUTLETS AS NEEDED TO MEET CODE, COORDINATE THE LOCATION OF NEW ELECTRICAL OUTLETS TO MEET CODE, AND SUBMIT SWITCHING LOCATIONS TO OWNER / ARCHITECT FOR APPROVAL.
11. PAINT AND/OR STAIN ALL EXTERIOR SIDING, DOORS, WINDOWS, AND TRIM AND INTERIOR SURFACES PER OWNERS DIRECTION.
12. ALL INTERIOR WOOD TRIM AND WOOD BASE TO BE SELECTED BY OWNER.
13. ALL FLOOR TILE, APPLIANCES, PLUMBING FIXTURES AND LIGHT FIXTURES TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
14. ALL INTERIOR WALLS TO BE 2X4 CONSTRUCTION AND EXTERIOR WALLS TO BE 2X6 CONSTRUCTION, UNLESS NOTED OTHERWISE.
15. R13 BATT INSULATION TO BE PROVIDED IN ALL INTERIOR BEDROOM AND BATHROOM WALLS. R25 BATT INSULATION TO BE PROVIDED IN ALL INTERIOR BEDROOM AND BATHROOM FLOORS.
16. CONTRACTOR TO SPRAY APPLY ICYNENE INSULATION FORMULA, APPLIED TO A THICKNESS ADEQUATE TO ACHIEVE SPECIFIED R VALUES. ALL FOUNDATION SILL PLATES AND FLOOR / WALL JUNCTION PLATES TO BE CAULKED TO AVOID AIR LEAKAGE. ALL ROUGH OPENINGS FOR EXTERIOR DOORS AND WINDOWS TO BE SIZED TO FURNISH A MINIMUM 1/2" SPACE AROUND THE PERIMETER OF FRAME TO PERMIT INSTALLATION OF FOAM INSULATION. ALL JOINTS BETWEEN EXTERIOR FRAMING MEMBERS TO BE CAULKED TO AVOID AIR LEAKAGE. CEILING VAPOR BARRIER TO BE CAULKED AND STAPLED TO THE TOP PLATES OF INTERIOR PARTITIONS AND TO THE LOWER TOP PLATES OF EXTERIOR WALLS. ROOF ASSEMBLY TO BE NON-VENTED (NO SOFFIT OR RIDGE VENTS) PER MFGR SPECS FOR ICYNENE INSULATION SYSTEM, ROOF INSULATION TO BE CLASS II VAPOR PERMEANCE TO MEET CODE. BUILDING TO BE MECHANICALLY VENTED. ALL VERTICAL WIRING FOR ELECTRIC, CABLE, TELEPHONE, SECURITY, ETC. SHALL BE SECURED TO THE INSIDE OF STUDS EVERY 3'-0" AND 1 1/2" FROM THE GWB SURFACE FOR ALL RUNS. CEILING OUTLETS SHALL BE INSTALLED USING VAPOR BARRIER PANS/ BOXES WHICH ARE CAULKED WITH ACOUSTICAL CAULKING MATERIAL PRIOR TO THE INSTALLATION OF THE ATTIC INSULATION.
17. ALL MATERIALS, SYSTEMS AND ASSEMBLIES TO BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND WITH MANUFACTURER SPECIFICATIONS.

BELMONT GROSS FLOOR AREA CALCS:

EXISTING GROSS FLOOR AREA:  
1419 SF BASEMENT  
1867 SF FIRST FLOOR  
91 SF HALF STORY (6' OR GREATER)  
3377 SF TOTAL

30% OF 3377 SF = 1013.1 SF MAX ADDITION BY RIGHT  
AND 700 SF MAX ADDITION BY RIGHT (SRB)

NEW GROSS FLOOR AREA:  
32 SF BASEMENT ADDITION  
210 + 299 + 13 = 522 SF FIRST FLOOR ADDITION  
804 SF HALF STORY ADDITION  
1358 SF TOTAL

1358 SF > 700 SF, THEREFORE REQUIRES SPECIAL PERMIT FROM PLANNING BOARD

PLANNING BOARD ~~APPROVAL~~  
MARCH 1, 2024

ENERGY AUDIT:

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENEERGY CODE (IECC 2021 W/ MASS AMENDMENTS SECTION N1101). PROPERTY FALLS UNDER CLIMATE ZONE 5A.

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):

1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS: R60 ROOF R-VALUE, R30 FLOOR R-VALUE, R20+5 WALL R-VALUE, R15/19 BASEMENT / CRAWL SPACE WALL R-VALUE.
2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING TO BE .30 U FACTOR AND SKYLIGHTS TO BE .55 U-FACTOR.
3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3.

PROJECT INFORMATION:

BELMONT ZONING SR-B:

REQUIRED:

MAX 25% LOT COVERAGE  
MIN 50% OPEN SPACE





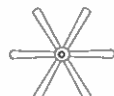





FRONT YARD SETBACK: AVERAGE  
REAR YARD SETBACK: 30'-0"  
SIDE YARD SETBACK: 10'-0"

MAX HEIGHT: 2 1/2 STORIES,  
30' TO MIDPOINT AND 34' TO RIDGE








DRAWING LIST

- A1 COVER SHEET
- A2 EXISTING BASEMENT PLAN
- A3 EXISTING FIRST FLOOR PLAN
- A4 EXISTING HALF STORY PLAN
- A5 EXISTING ROOF PLAN
- A6 EXISTING ELEVATIONS
- A7 EXISTING ELEVATIONS
- A8 NEW BASEMENT PLAN
- A9 NEW FIRST FLOOR PLAN
- A10 NEW HALF STORY PLAN
- A11 NEW ROOF PLAN
- A12 NEW ELEVATIONS
- A13 NEW ELEVATIONS

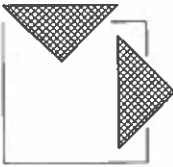
LIGHTING LEGEND

-  RECESSED LED CAN LIGHT - AS SELECTED BY OWNER
-  CEILING MOUNTED PENDANT - AS SELECTED BY OWNER
-  CEILING MOUNTED DOME LIGHT - AS SELECTED BY OWNER
-  WALL MOUNTED SCONCES AS SELECTED BY OWNER
-  CEILING FAN WITH INTEGRAL LIGHT - AS SELECTED BY OWNER
-  S.D. SMOKE DETECTOR - NOTE ALL NEW AND EXISTING SMOKES TO BE HARD-WIRED PER CODE
-  S/CO HARD-WIRED SMOKE / CARBON MONOXIDE DETECTOR
-  DATA CONNECTION
-  TELEPHONE / DATA CONNECTION
-  ELECTRIC OUTLET (SPECIFIC LOCATIONS ONLY - ALL OUTLETS AS REQUIRED BY CODE ARE NOT SHOWN ON PLANS)

SYMBOL LEGEND

-  WALL TO BE DEMOLISHED
-  EXISTING WALL TO REMAIN
-  NEW WALL
-  INTERIOR ELEVATION
-  SECTION
-  DOOR TAG
-  WINDOW TAG

MILLER  
DESIGN LLC

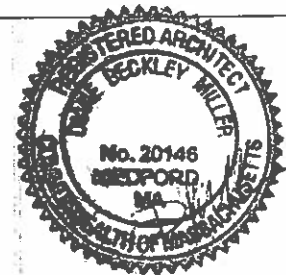


80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: Issued for:

6/30/23	SCHEMATIC DESIGN
7/21/23	DESIGN DEVELOPMENT
12/13/23	HDC APPROVAL
2/22/24	REVISED
3/1/24	PB APPROVAL

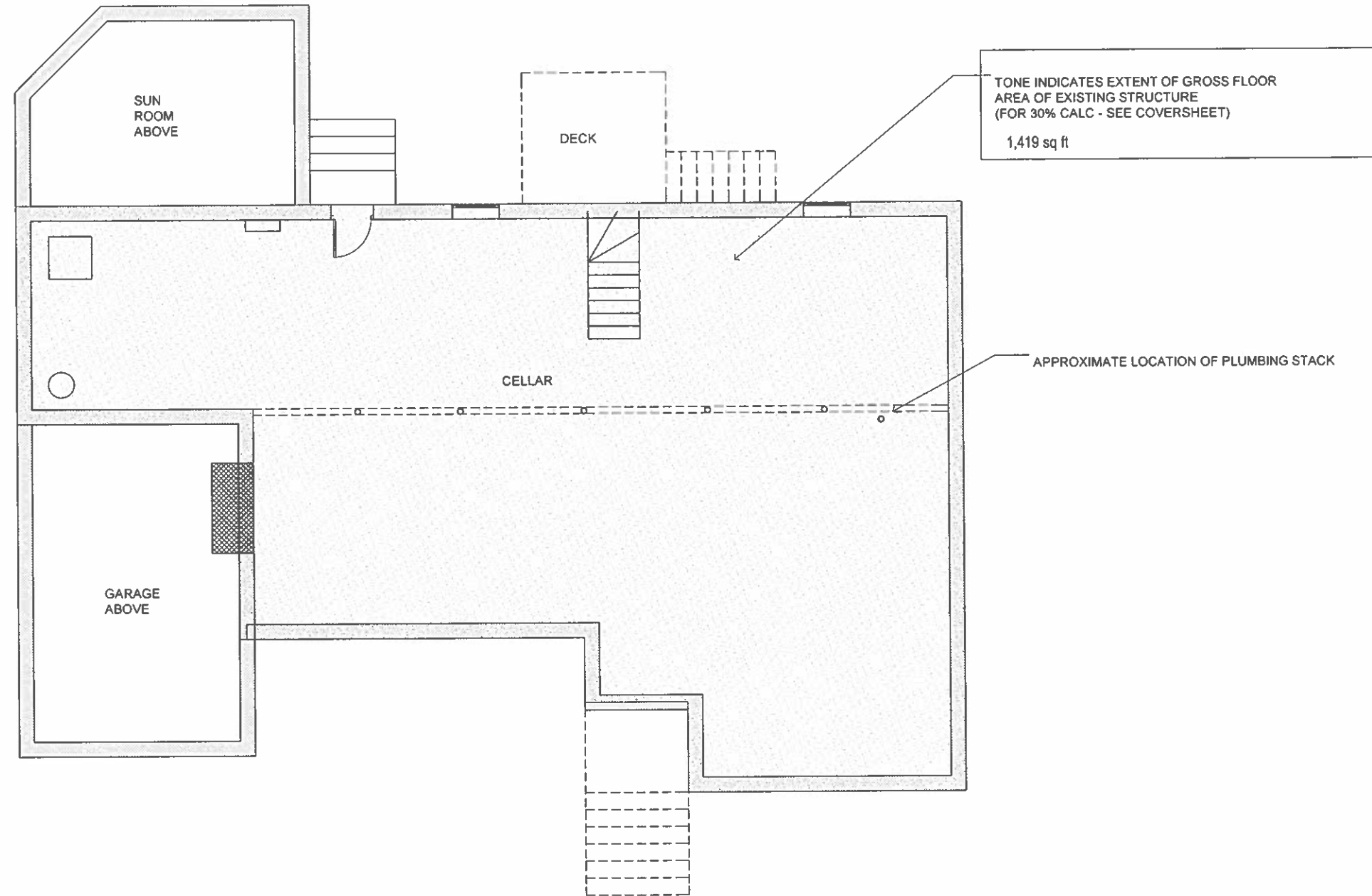


BANGER RESIDENCE  
543 PLEASANT STREET  
BELMONT MA 02478

COVER SHEET

Sheet  
Number:

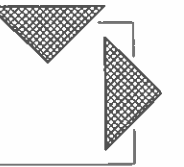
A1



1 PLAN  
SCALE: 1/8" = 1'



MILLER  
DESIGN LLC

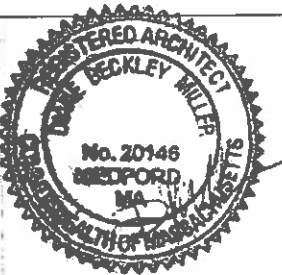


80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: Issued for:

6/30/23	SCHEMATIC DESIGN
7/21/23	DESIGN DEVELOPMENT
11/15/23	HDC APPROVAL
2/22/24	REVISED
3/1/24	PB APPROVAL

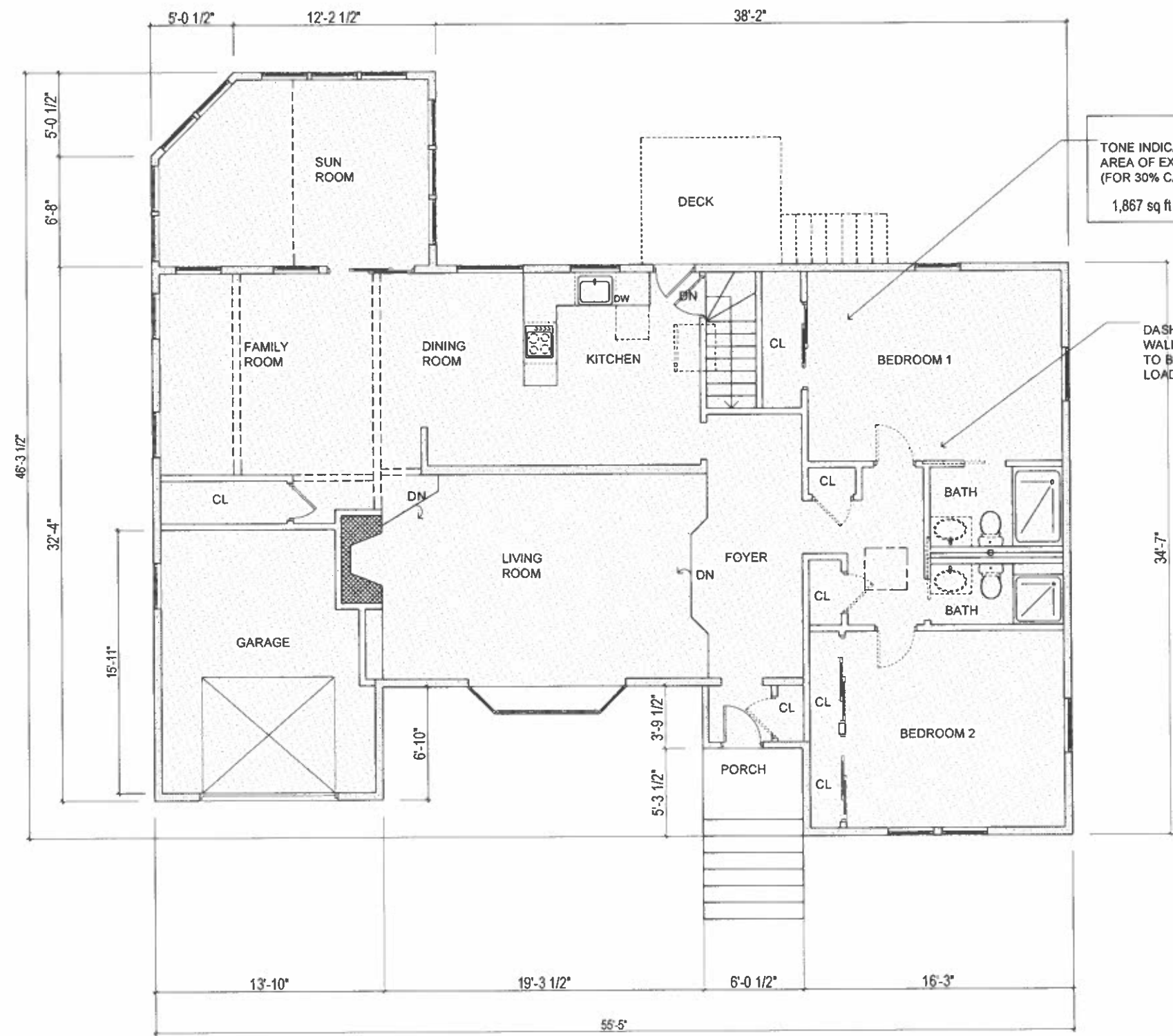


BANGER RESIDENCE  
543 PLEASANT STREET  
BELMONT MA 02478

EXISTING  
BASEMENT PLAN

Sheet  
Number:

A2



1 PLAN  
SCALE: 1/8" = 1'

TONE INDICATES EXTENT OF GROSS FLOOR  
AREA OF EXISTING STRUCTURE  
(FOR 30% CALC - SEE COVERSHEET)  
1,867 sq ft

DASHED LINES INDICATE EXISTING DOORS, WINDOWS,  
WALLS AND FEATURES TO BE REMOVED - CONTRACTOR  
TO BRACE AND SHORE PRIOR TO REMOVAL OF ANY  
LOAD-BEARING ELEMENTS, TYP

**MILLER  
DESIGN LLC**



80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date:	Issued for:
6/30/23	SCHEMATIC DESIGN
7/21/23	DESIGN DEVELOPMENT
11/15/23	HDC APPROVAL
2/22/24	REVISED
3/1/24	PB APPROVAL



BANGER RESIDENCE  
543 PLEASANT STREET  
BELMONT MA 02478

EXISTING FIRST  
FLOOR PLAN

Sheet  
Number:

A3

HALF STORY AREA CALCULATIONS:

SECOND FLOOR AREA = 1870 SF

ALLOWABLE: MAX 1122 SF W/ CEILING HEIGHT OF 5' OR GREATER (BASED ON 60% OF 1870 SF SECOND FLOOR).

ACTUAL: 277 SF EXISTING  
(AREA W/ CEILING HEIGHT OF 5' OR GREATER IS DESIGNATED BY TONE)

HALF STORY PERIMETER CALCULATIONS:

SECOND FLOOR PERIMETER = 203'-5"

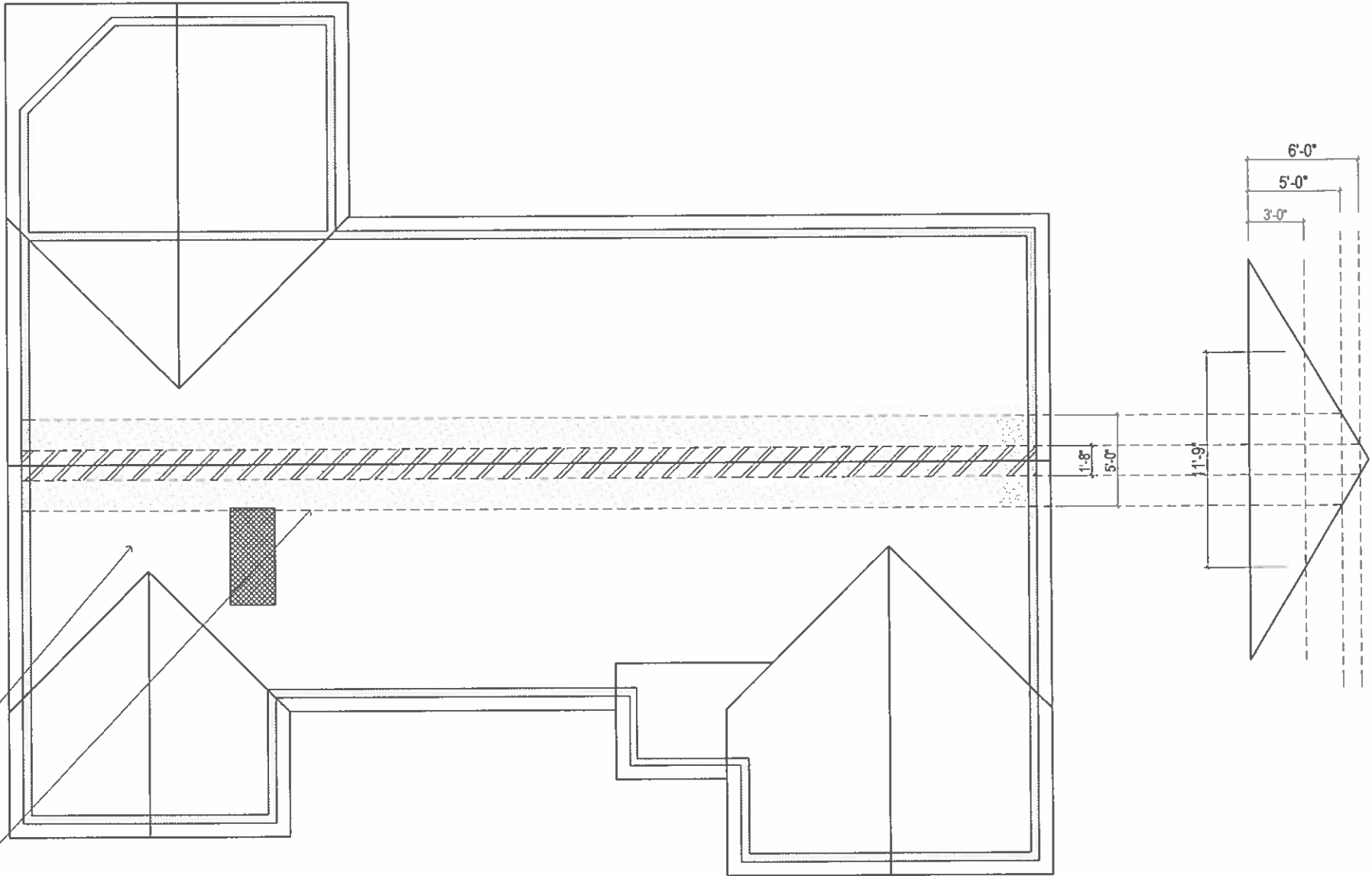
ALLOWABLE: MAX 101'8 1/2" W/ RAFTER BOTTOMS AT 3' OR GREATER (BASED ON 50% OF 203'-5" PERIMETER).

ACTUAL: 11'-9" + 11'-9" = 23'-6" EXISTING

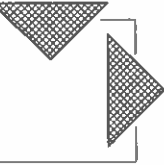
TONE INDICATES EXTENT OF GROSS FLOOR AREA  
OF ATTIC WITH CEILING OF 5'-0" HIGH  
OR GREATER (FOR HALF STORY CALC - SEE THIS SHEET):  
277 sq ft

HATCH INDICATES EXTENT OF GROSS FLOOR  
AREA OF EXISTING ATTIC WITH CEILING OF 6'-0" HIGH  
OR GREATER (FOR 30% CALC - SEE COVERSHEET):  
91 sq ft

1 PLAN  
SCALE: 1/8" = 1'



MILLER  
DESIGN LLC



80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: Issued for:

6/30/23	SCHEMATIC DESIGN
7/21/23	DESIGN DEVELOPMENT
11/15/23	HDC APPROVAL
2/22/24	REVISED
3/1/24	PB APPROVAL



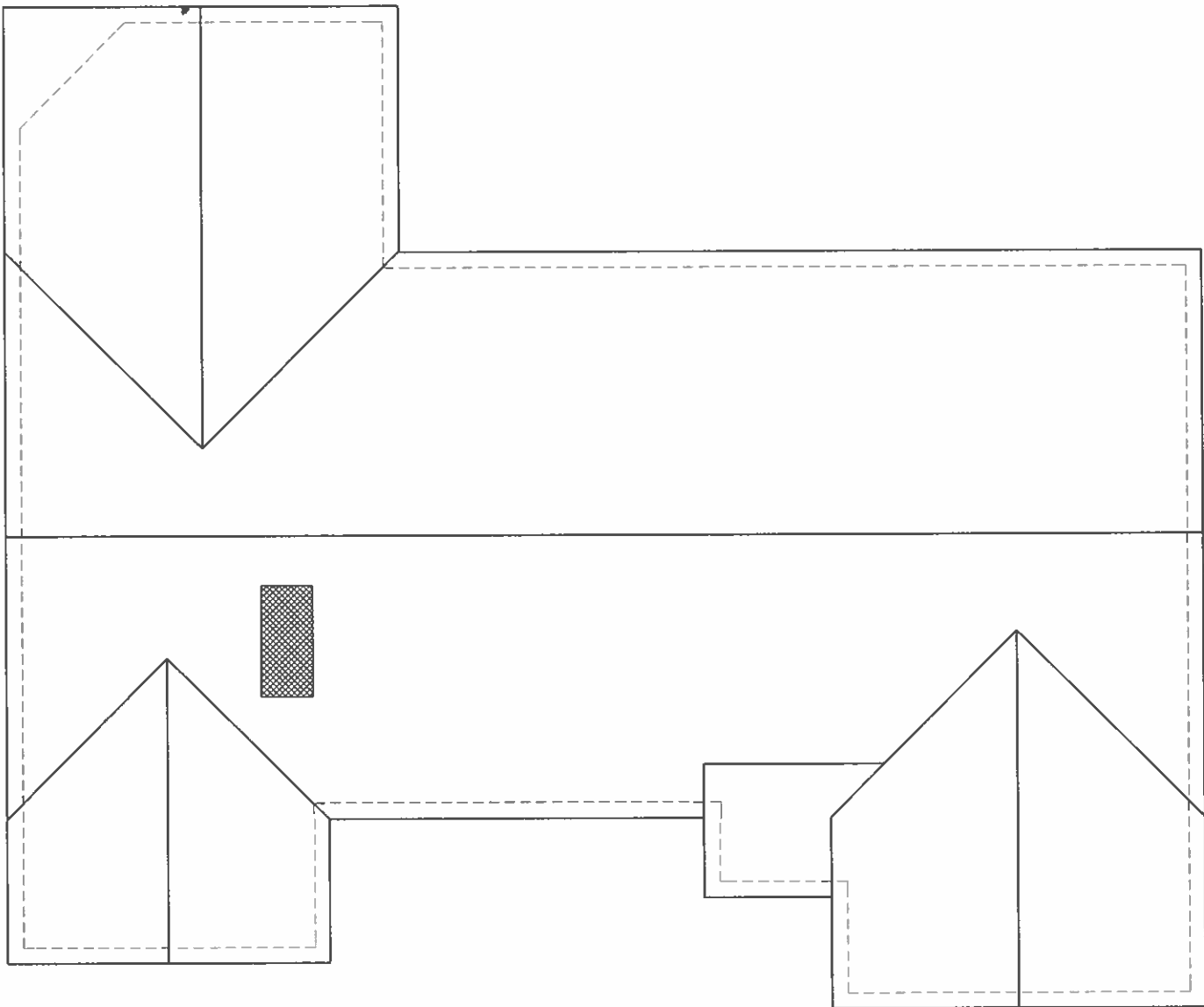
BANGER RESIDENCE  
543 PLEASANT STREET  
BELMONT MA 02478

EXISTING HALF  
STORY PLAN

Sheet  
Number:

A4

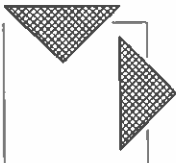




1 PLAN  
SCALE: 1/8" = 1'



MILLER  
DESIGN LLC

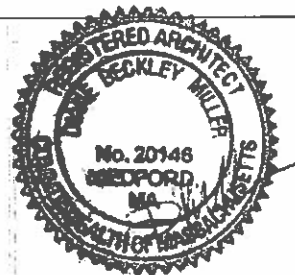


80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-983-3157

Date: Issued for:

6/30/23	SCHEMATIC DESIGN
7/21/23	DESIGN DEVELOPMENT
11/15/23	HDC APPROVAL
2/22/24	REVISED
3/1/24	PB APPROVAL

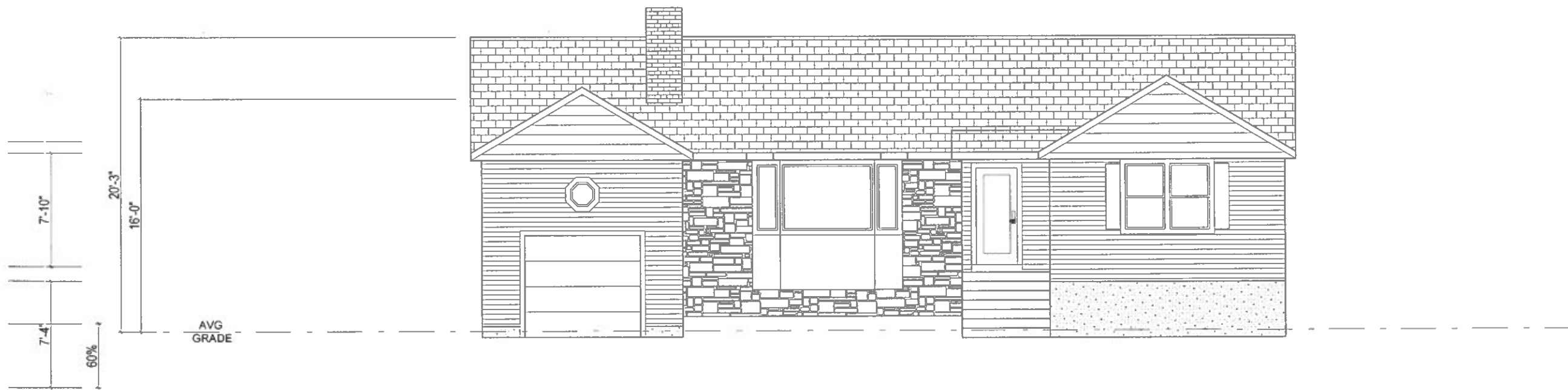


BANGER RESIDENCE  
543 PLEASANT STREET  
BELMONT MA 02478

EXISTING ROOF PLAN

Sheet  
Number:

A5



1 FRONT ELEVATION  
SCALE: 1/8" = 1'



4 SIDE ELEVATION  
SCALE: 1/8" = 1'



**MILLER  
DESIGN LLC**

80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date:	Issued for:
6/30/23	SCHEMATIC DESIGN
7/21/23	DESIGN DEVELOPMENT
11/15/23	HDC APPROVAL
2/22/24	REVISED
3/1/24	PB APPROVAL

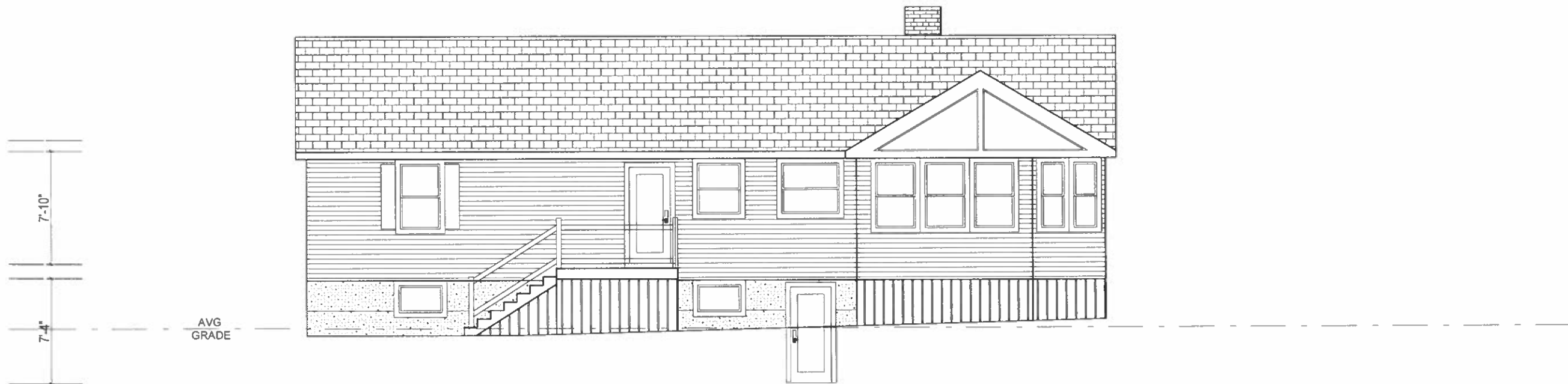


BANGER RESIDENCE  
543 PLEASANT STREET  
BELMONT MA 02478

EXISTING  
ELEVATIONS

Sheet  
Number:

**A6**



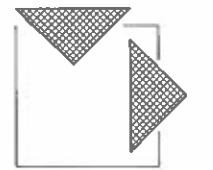
1 REAR ELEVATION  
SCALE: 1/8" = 1'



4 SIDE ELEVATION  
SCALE: 1/8" = 1'



MILLER  
DESIGN LLC

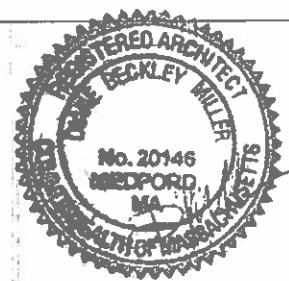


80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: Issued for:

6/30/23	SCHEMATIC DESIGN
7/21/23	DESIGN DEVELOPMENT
11/15/23	HDC APPROVAL
2/22/24	REVISED
3/1/24	PB APPROVAL

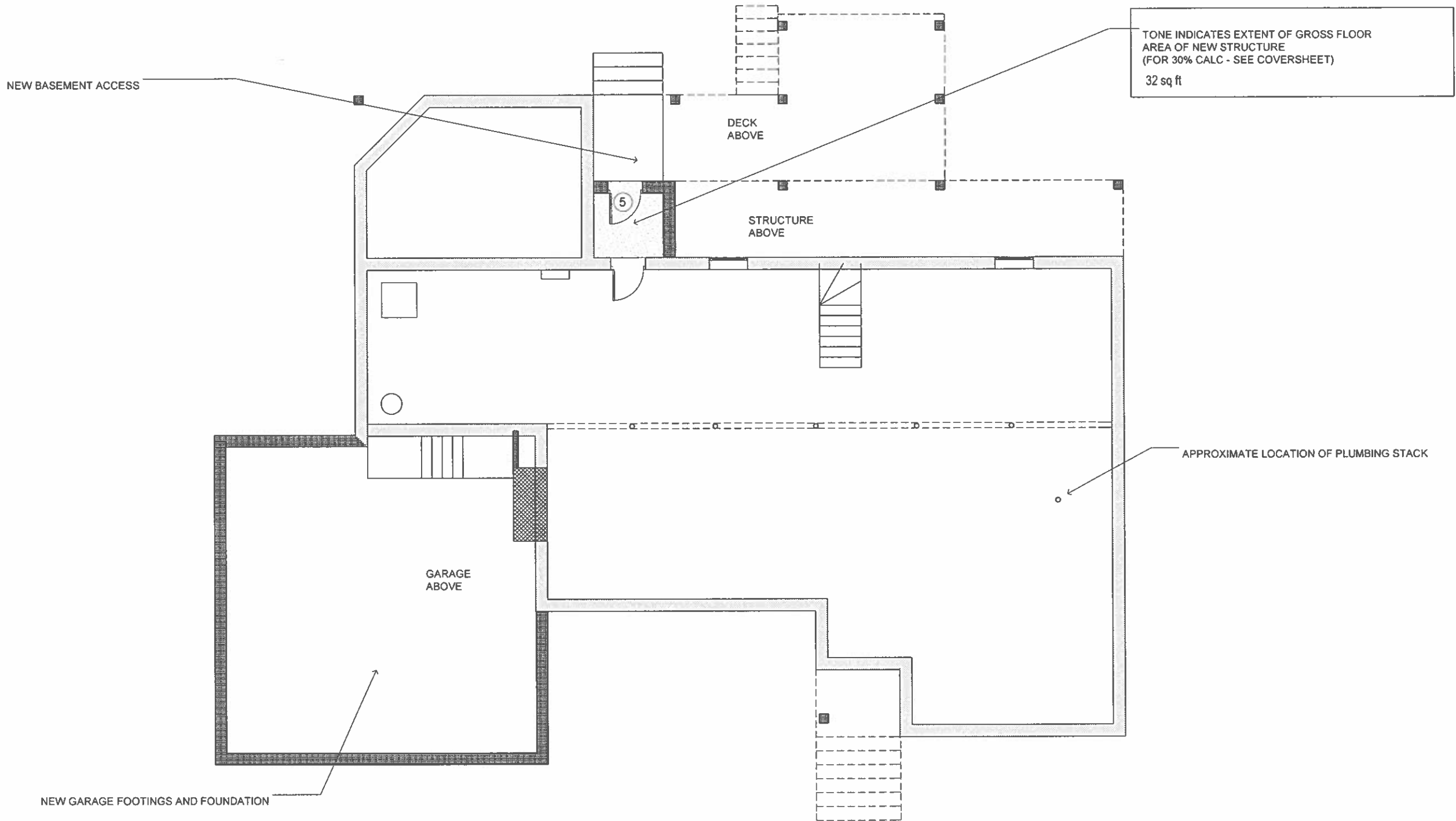


BANGER RESIDENCE  
543 PLEASANT STREET  
BELMONT MA 02478

EXISTING  
ELEVATIONS

Sheet  
Number:

A7



1 PLAN  
SCALE: 1/8" = 1'



**MILLER  
DESIGN LLC**

80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date:	Issued for:
6/30/23	SCHEMATIC DESIGN
7/21/23	DESIGN DEVELOPMENT
10/11/23	PROGRESS
12/13/23	HDC APPROVAL
2/22/24	REVISED
3/1/24	PB APPROVAL



BANGER RESIDENCE  
543 PLEASANT STREET  
BELMONT MA 02478

**NEW  
BASEMENT PLAN**

Sheet  
Number:

**A8**





HALF STORY AREA CALCULATIONS:

SECOND FLOOR AREA =  $1870 + 210 + 253 = 2,330$  SF

ALLOWABLE: MAX 1398 SF W/ CEILING HEIGHT OF 5' OR GREATER (BASED ON 60% OF 2330 SF SECOND FLOOR).

ACTUAL: 1095 SF  
(AREA W/ CEILING HEIGHT OF 5' OR GREATER IS DESIGNATED BY TONE)

HALF STORY PERIMETER CALCULATIONS:

SECOND FLOOR PERIMETER = 203'-5"

ALLOWABLE: MAX 101'8 1/2" W/ RAFTER BOTTOMS AT 3' OR GREATER (BASED ON 50% OF 203'-5" PERIMETER).

ACTUAL: 11'-9" + 11'-9" = 23'-6" EXISTING

COORDINATE CEILING HEIGHT FOR GARAGE  
STAIRS BELOW - SEE SECTION

NEW MASTER SUITE ABOVE GARAGE

ENCLOSED PORCH:  
DECKING BY TIMBERTECH; SOLID WALL TO 1'-8" ABOVE FINISH FLOOR;  
6X6 AZEK POSTS; SCREENS WITH WOOD FRAMES;  
RAILING AND BALUSTERS BY TIMBERTECH ON INSIDE OF SCREENS,  
TOP OF RAILING AT 3'-0" AFF

ROOF BELOW

7:12 VIF

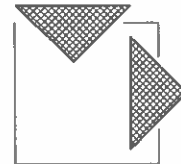
TONE INDICATES EXTENT OF GROSS FLOOR AREA  
OF ATTIC WITH CEILING OF 5'-0" HIGH  
OR GREATER (FOR HALF STORY CALC - SEE THIS SHEET):  
1,095 sq ft

HATCH INDICATES EXTENT OF GROSS FLOOR  
AREA OF EXISTING ATTIC WITH CEILING OF 6'-0" HIGH  
OR GREATER (FOR 30% CALC - SEE COVERSHEET)  
804 sq ft

1 PLAN  
SCALE: 1/8" = 1'



MILLER  
DESIGN LLC



80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: Issued for:

6/30/23	SCHEMATIC DESIGN
7/21/23	DESIGN DEVELOPMENT
10/11/23	PROGRESS
12/13/23	HDC APPROVAL
2/22/24	REVISED
3/1/24	PB APPROVAL

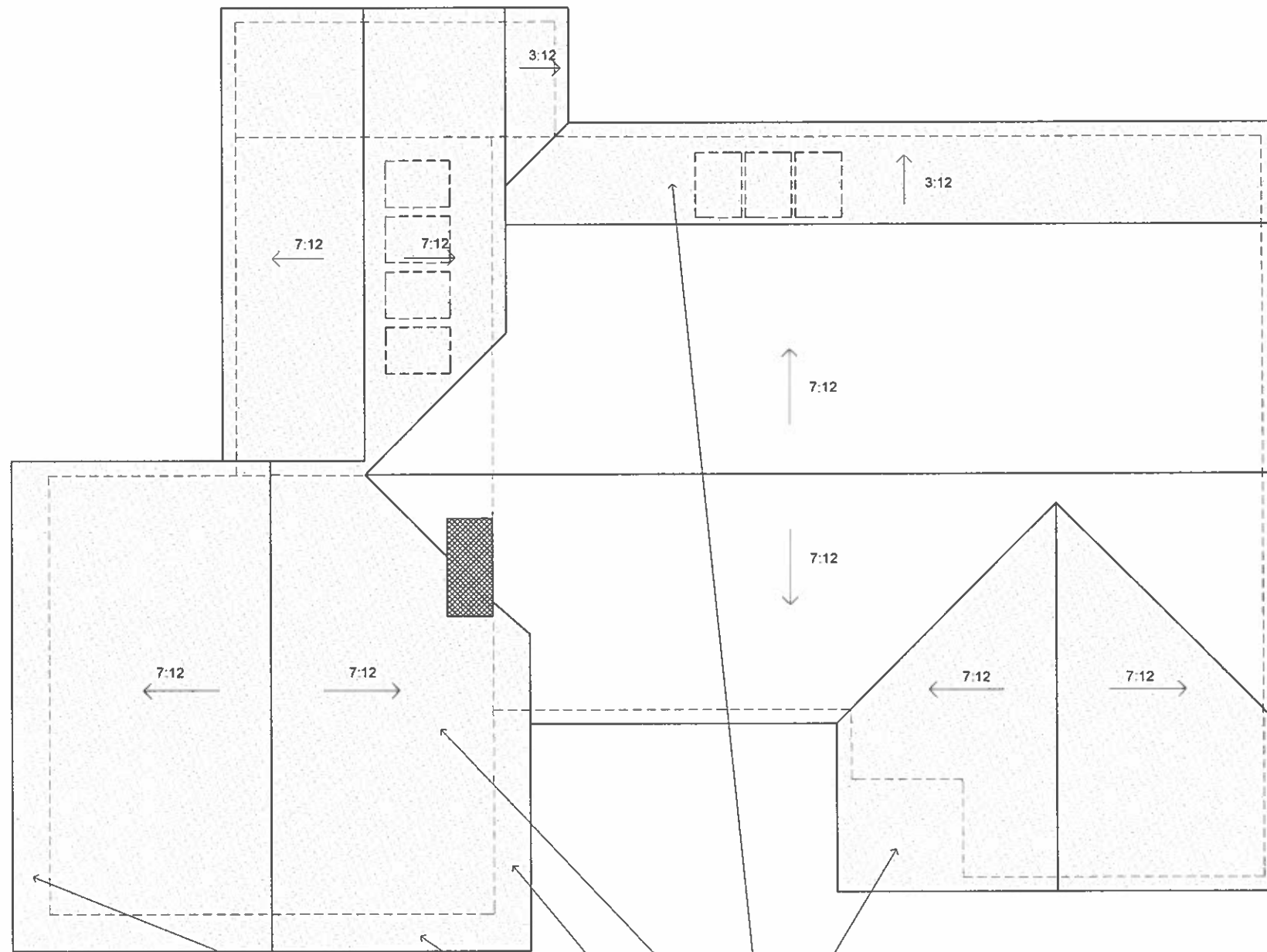


BANGER RESIDENCE  
543 PLEASANT STREET  
BELMONT MA 02478

NEW HALF  
STORY PLAN

Sheet  
Number:

A10



TONE INDICATES EXTENT OF NEW ROOF STRUCTURES

2' OVERHANG AT THREE SIDES OF NEW ROOF

1 PLAN  
SCALE: 1/8" = 1'



**MILLER  
DESIGN LLC**



80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: Issued for:

6/30/23	SCHEMATIC DESIGN
7/21/23	DESIGN DEVELOPMENT
10/11/23	PROGRESS
12/13/23	HDC APPROVAL
2/22/24	REVISED
3/1/24	PB APPROVAL

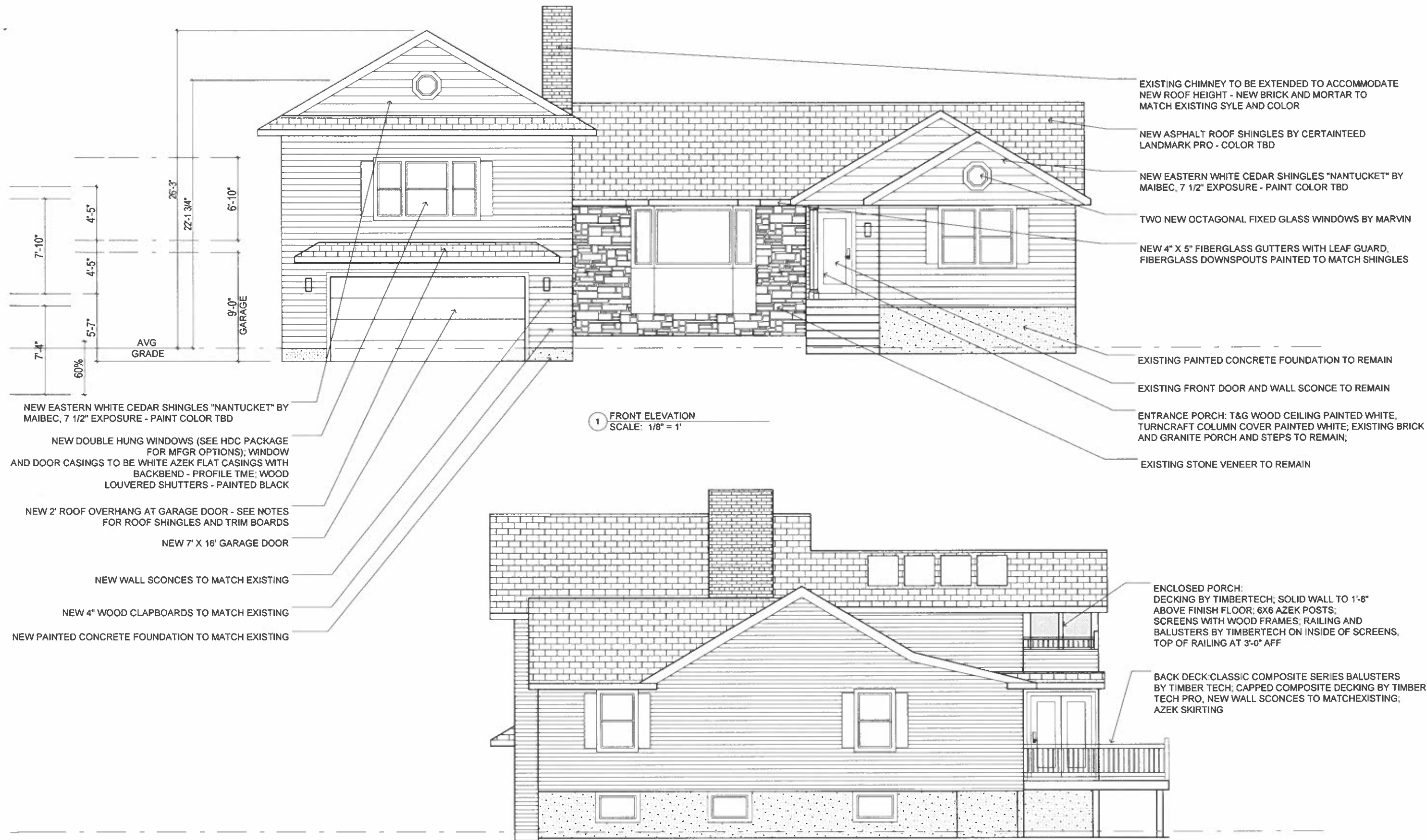


BANGER RESIDENCE  
543 PLEASANT STREET  
BELMONT MA 02478

## NEW ROOF PLAN

Sheet  
Number:

A11

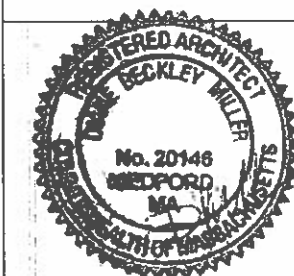


MILLER  
DESIGN LLC

80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date:	Issued for:
6/30/23	SCHEMATIC DESIGN
7/21/23	DESIGN DEVELOPMENT
10/11/23	PROGRESS
12/13/23	HDC APPROVAL
2/22/24	REVISED
3/1/24	PB APPROVAL



BANGER RESIDENCE  
543 PLEASANT STREET  
BELMONT MA 02478

NEW  
ELEVATIONS

Sheet  
Number:

A12







1 REAR ELEVATION  
SCALE: 1/8" = 1'

SEE A12 FOR EXTERIOR FINISHES AND NOTES



4 SIDE ELEVATION  
SCALE: 1/8" = 1'



**MILLER  
DESIGN LLC**

80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date:	Issued for:
6/30/23	SCHEMATIC DESIGN
7/21/23	DESIGN DEVELOPMENT
10/11/23	PROGRESS
12/13/23	HDC APPROVAL
2/22/24	REVISED
3/1/24	PB APPROVAL



BANGER RESIDENCE  
543 PLEASANT STREET  
BELMONT MA 02478

NEW  
ELEVATIONS

Sheet  
Number:

**A13**