

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 24-04

2024 FEB 27 PM 12: 08

NOTICE OF PUBLIC HEARING BY THE
TOWN OF BELMONT PLANNING BOARD

ON APPLICATION FOR A SPECIAL PERMIT & DESIGN AND SITE PLAN
APPROVAL

Notice is hereby given that the Planning Board will hold a public hearing on Tuesday, March 19, 2024 at 7:00 PM by remote access through the Zoom app. to consider the application of 190 Lexington Street LLC, Donald Cusano, Agent, for One Special Permit and Design and Site Plan Approval under sections 3.3 and 6D-2 of the By-Law to construct a Single family dwelling at 190A Lexington Street Located in a General Residence (GR) zoning district.

Note: Application submittals, meeting agenda & instructions on remote access can be found on the Town's website: <https://www.belmont-ma.gov/planning-board>

TOWN OF BELMONT PLANNING BOARD



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

February 23, 2024

190 Lexington Street, LLC
Donald Cusano, owner
2 Annmarique Way
Westford MA, 01886

RE: Denial to Construct a Single-Family Dwelling

Dear Mr. Cusano,

The Office of Community Development is in receipt of your building permit application for your proposal to demolish the existing structure and construct a new Single-family dwelling at 190A Lexington Street located in the General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the Town of Belmont Zoning By-Law. More specifically, §1.5.4-A-(3) and §6D-2 of the Zoning By-Law allow a new single family dwelling in a General Residence Zoning District by a Special Permit and a Design and Site Plan Review from the Planning Board.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit for a building permit, or you may request one (1) Special Permit and a DSPR Approval from the Planning Board. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director at (617) 993-2650 in order to begin the process.

Sincerely,

Ara Yogurtian
Inspector of Buildings

RECEIVED
TOWN CLERK
BELMONT, MA
2024 FEB 27 PM 12: 08

COMMUNITY
DEVELOPMENT
2024 FEB 27 AM 11: 00



Town of Belmont
Planning Board

APPLICATION FOR A SPECIAL PERMIT

Date: February 20, 2024

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on **190 Lexington Street (lot A)**, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town **for the demolition of an existing Single-Family dwelling in order subdivide into two lots, and construct a single-family dwelling on each lot, pursuant to Section 6D.6 Single-Family Dwellings as an Alternative to a Two-Family Dwelling of the zoning by-law (Special Permit and Site Design Review)** on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name **Mike Mena for Donald Cusano**

Address **2 AnnMarique Way**

Westford, MA 01886

Daytime Telephone Number **781-710-6463**

August 20, 2014



Town of Belmont
Planning Board

APPLICATION FOR DESIGN AND SITE PLAN REVIEW

Date: **February 20, 2024**

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Section 7.3, Design and Site Plan Review, of the Town of Belmont Zoning By-Laws, I/We the undersigned, being owner(s) of certain parcel of land (with the buildings thereon) situated on **190 Lexington Street (lot A)**, hereby make application to your Board for **DESIGN AND SITE PLAN REVIEW** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Laws of said Town for **the subdivision of an existing lot into 2 separate lots and constructing a single-family dwelling on each lot, consistent with Section 6.D-6, single-family dwellings as an alternative to a two-family dwelling, in the Belmont zoning ordinance on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.**

Petitioner(s) are further to comply with the requirements of Section 7.3.5 of said Zoning By-Law attached.

Signature of Petitioner

Print Name

Mike Mena for Mr. Donald Cusano

Address

2 Annmarique Way Westford, MA 01886

Daytime Telephone Number

(781) 710-6463
donbuiltit@yahoo.com

December 6, 2005

February 14, 2024

Town of Belmont
Office of Community Development
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

Dear Board Members and Town Staff,

Please accept the attached application and narrative statement below. Thank you in advance for your consideration of our project for approval.

NARRATIVE STATEMENT

1. The herein application proposes to subdivide an existing 8,936 square foot lot into 2 separate lots and develop each with a single-family dwelling. Each lot would meet the minimum 4,000 square foot lot area required (4,826 sq. ft. & 4,110 sq. ft.) and each single-family residence would be approximately 2,132 square feet and 2 stories in height with two parking spaces provide in tandem, access off of Ripley Road.

This development scenario is consistent with the Town's policies and zoning ordinance, which encourage single-family dwellings over two-family dwellings and would be consistent with Section 6.D-6, single-family dwellings as an alternative to a two-family dwelling.

2. The lot currently consists of a two-story, four-bedroom, colonial-style single-family dwelling with a building footprint of approximately 1,410 square feet (representing a lot coverage of approximately 16 percent). The proposed, new single-family dwellings will be similar in style to the existing architecture and similar in size in the immediate neighborhood.

3. The proposed development has been designed to architecturally mimic the existing single- and two-family dwellings abutting the property and across Lexington and Ripley Streets.

SECTION 6D.5 – SPECIAL PERMIT STANDARDS

A) The project is generally in harmony with the neighborhood. The project is similar in size; architectural style; and materials, building orientation, and density as other single- and two-family dwellings in the immediate area.

B) The project does not generate excessive traffic, parking, noise or density impacts on the abutters, or create other detrimental effects on the neighborhood. The proposed development would not generate an excessive amount of traffic given the nature of the use and consistency with uses already existing in the area. Each lot will accommodate two parking spaces per unit, reducing impacts on on-street parking in the area. Given the project proposes 2 single-family dwellings, it is consistent with surrounding land uses and structures and, therefore, would not be a detriment to the neighborhood.

SECTION 7.4 – SPECIAL PERMIT CRITERION

A) Location. Given that the property is located on Lexington Street, public utilities are readily available and accessible and the project therefore would not create adverse impacts or environmental impacts.

B) Activity Type/Mix. The proposed development would add to the housing stock of the Town, helping to address housing shortages in the area and provide a mix of housing types encouraged by Town policies.

C) Visual Concerns. The architecture, size, massing, and density of the proposed project is similar to those of abutting dwellings and uses in the immediate area and would not be a departure from existing architectural and development patterns in the existing neighborhood.

D) Access. The lots will be accessed from the existing public right-of-way by two clearly delineated driveways. Visual sightlines will be maintained to provide safe ingress and egress from the site.

E) Process. The project has been coordinated with Town staff with no comments or concerns conveyed or mitigation required.

Please let us know if any further information is needed for your review.

Thank you sincerely,

A handwritten signature in dark ink, appearing to read 'Mike Mena', with a stylized, flowing script.

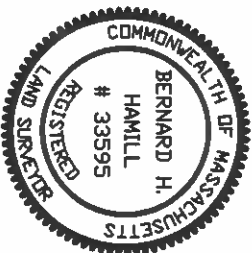
Mike Mena
Owner/Partner

LEXINGTON ST
(PUBLIC WAY - VAR. WIDTH)

RIPLEY ROAD
(PUBLIC WAY - 35' WIDTH)
(AKA BARTLETT ROAD)

PROPOSED PLOT PLAN
UNIT A, RIPLEY ROAD
(190 LEXINGTON ST.)
BELMONT, MA

NOTE:
PUBLIC SHADE TREES ARE LOCATED WITHIN
THE LIMITS OF THE PROPERTY FRONTAGE
OF THE SUBJECT PROPERTY. PUBLIC
SHADE TREES SHALL BE PROTECTED AND
RETAINED.



Bernard H. Hamill
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

PROPOSED SINGLE FAMILY DWELLING
190 LEXINGTON ST.

PREPARED BY:

H-STAR ENGINEERING
200 GREENVILLE ROAD
NEW IPSWICH, NH 03071
(978) 973-3078
(EMAIL: HSTAR@ATT.NET)

OWNER: 190 LEXINGTON STREET LLC

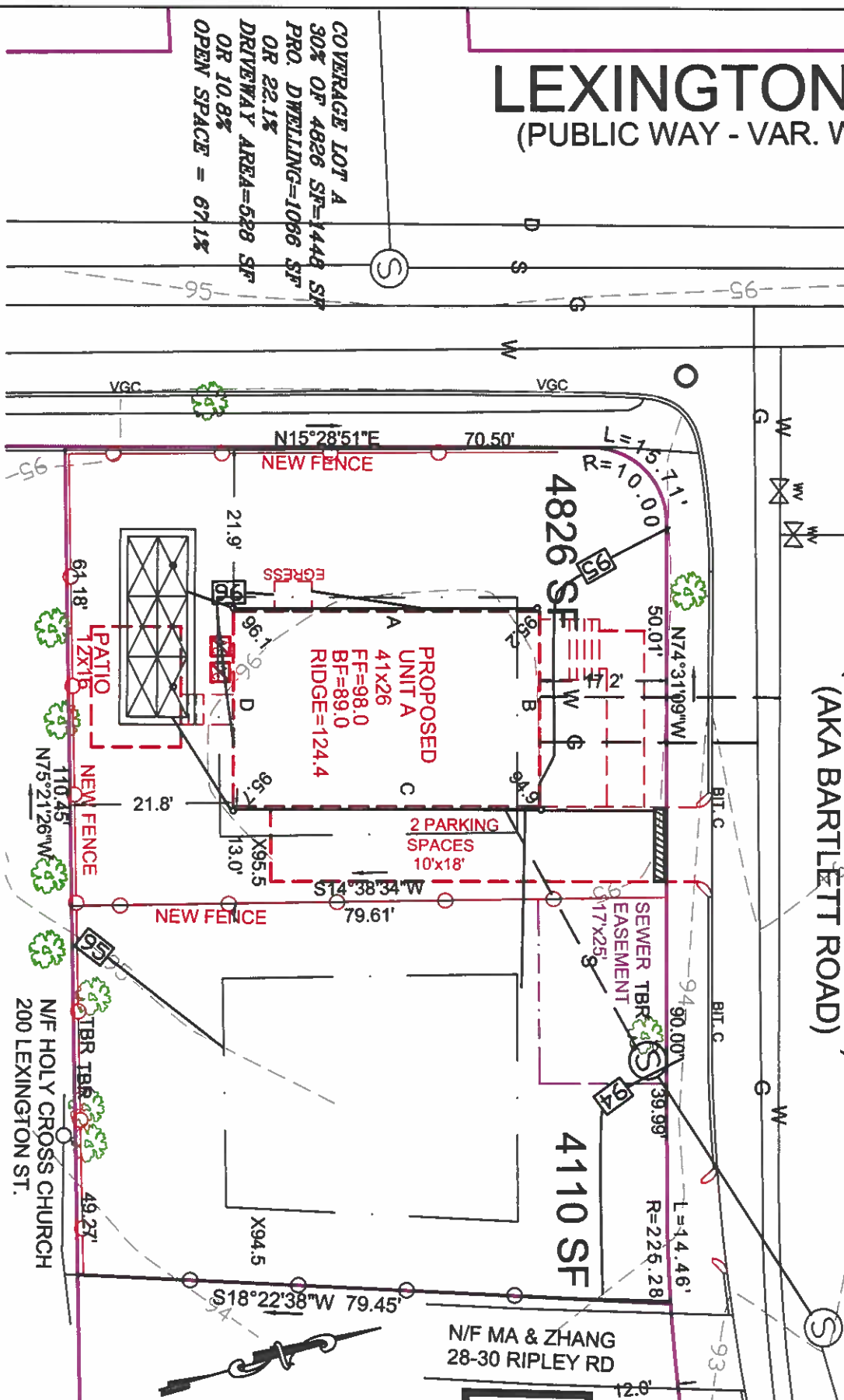
LOCATION: 190 LEXINGTON ST., BELMONT, MA

ASSESSORS MAP: MAP 15 PARCEL 170

APPLICATION #:

DATE: 7 FEB. 2024

SCALE: 1"=20'



COVERED LOT A
30% OF 4826 SF=1448 SF
PRO. DWELLING=1086 SF
OR 22.1%
DRIVEWAY AREA=528 SF
OR 10.8%
OPEN SPACE = 671%

ZONING DISTRICT: GR

A. ASSESSORS MAP 15 PARCEL 170

B. THE BUILDING IS NOT IN THE 100 YEAR FLOOD PLAIN.

SEE FEMA MAP 25017C0414E DATED 4 JUNE 2010. ZONE X

C. THE SITE IS NOT SUBJECT TO THE WETLANDS PROTECTION ACT.

SITE PLAN

SCALE: 1" = 20 FT

REFERENCE:

DEED BOOK 80545 PAGE 203 MSRD.

PLAN BOOK 342 PLAN 15 MSRD

PLAN BOOK 6 PLAN 28 MSRD.

LEXINGTON ST
(PUBLIC WAY - VAR. WIDTH)

RIPLEY ROAD
(PUBLIC WAY - 35' WIDTH)
(AKA BARTLETT ROAD)

DEMOLITION PLAN
190 LEXINGTON ST.
BELMONT, MA

NOTE:
PUBLIC SHADE TREES ARE LOCATED WITHIN
THE LIMITS OF THE PROPERTY FRONTAGE
OF THE SUBJECT PROPERTY. PUBLIC
SHADE TREES SHALL BE PROTECTED AND
RETAINED.



Bernard H. Hamill

GRAPHIC SCALE

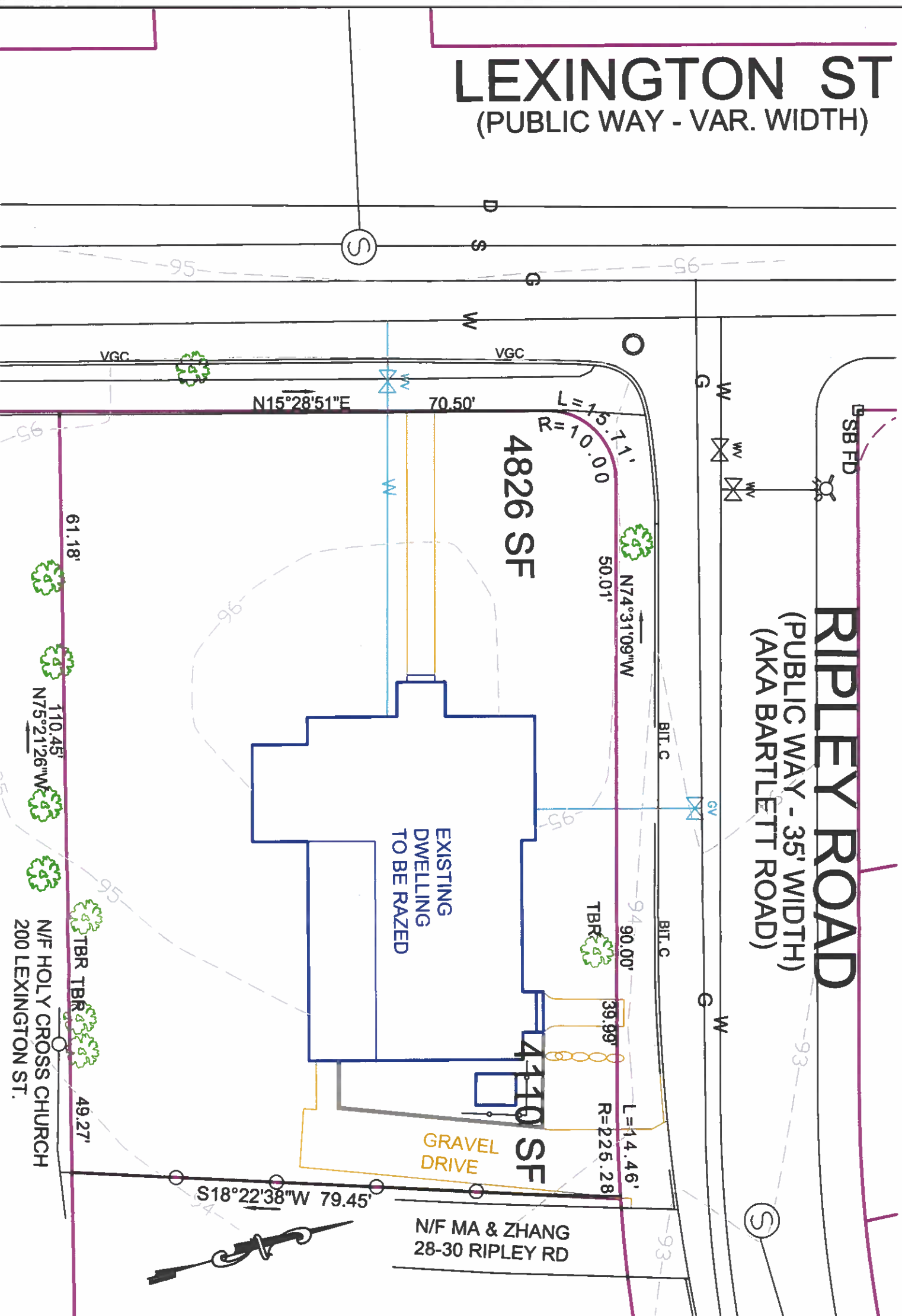


(IN FEET)
1 inch = 20 ft.

PROPOSED TWO FAMILY DWELLING
190 LEXINGTON ST.

PREPARED BY:
H-STAR ENGINEERING
200 GREENVILLE ROAD
NEW IPSWICH, NH 03071
(978) 973-3078
(EMAIL: HSTAR@ATT.NET)

OWNER: 190 LEXINGTON STREET LLC
LOCATION: 190 LEXINGTON ST., BELMONT, MA
ASSESSORS MAP: MAP 15 PARCEL 170
APPLICATION #: _____
DATE: 28 SEPT. 2023
SCALE: 1"=20'



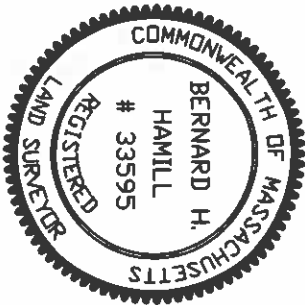
ZONING DISTRICT: GR
A. ASSESSORS MAP 15 PARCEL 170
B. THE BUILDING IS NOT IN THE 100 YEAR FLOOD PLAIN.
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SITE PLAN
SCALE: 1" = 20 FT

REFERENCE:
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PLAN BOOK 342 PLAN 15 MSRD
PLAN BOOK 6 PLAN 28 MSRD.

GRADING CALCULATIONS
UNIT A, RIPLEY ROAD, BELMONT, MA

RIPLEY ROAD
(PUBLIC WAY - 35' WIDTH)
(AKA BARTLETT ROAD)



Bernard H. Hamill

PROPOSED GRADE:				AVE. WEIGHTED	
SECTION	LENGTH	ELEV1	ELEV2	ELEV	AVE.
A	41	96.1	95.2	95.65	3921.7
B	26	95.2	94.9	95.05	2471.3
C	41	94.9	95.7	95.3	3907.3
D	26	95.7	96.1	95.9	2493.4
	134				12793.7
AVE. PROPOSED GRADE = 12793.7/134=95.48					

EXISTING GRADE:				AVE. WEIGHTED	
SECTION	LENGTH	ELEV1	ELEV2	ELEV	AVE.
41	96.3	95.9	96.1	96.1	3940.1
26	95.9	96.0	95.95	95.95	2494.7
41	96.0	96.1	96.05	96.05	3938.1
26	96.1	96.3	96.2	96.2	2501.2
134					12874.1
AVE. EXISTING GRADE = 12874.1/134=96.1					

AVE. GRADE CHANGE = 96.1-95.48 = .62 FT
AVE. PERCENT OF WALL BELOW GRADE = (95.48-89.0)/8.0 = 81%

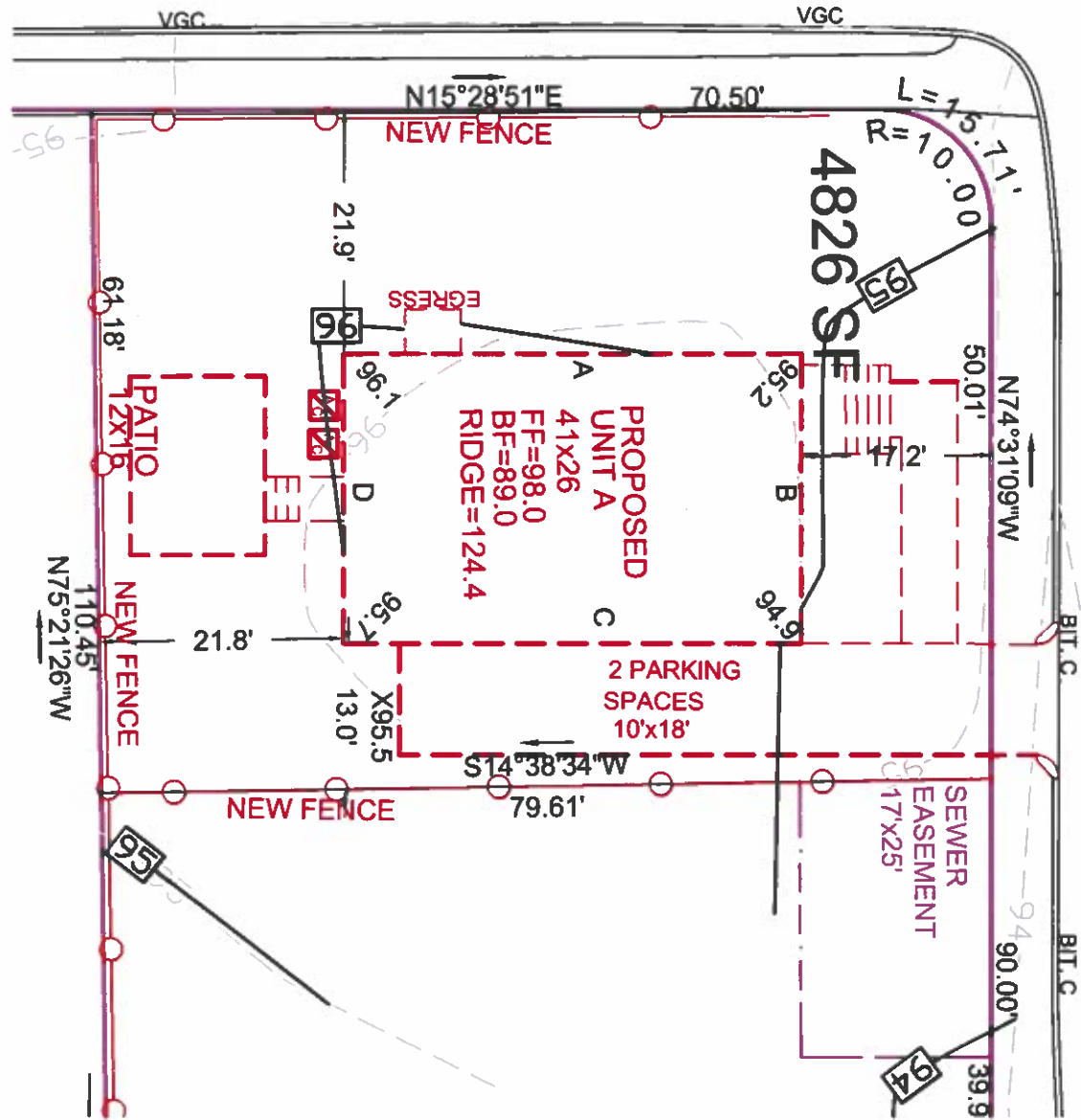
COVERAGE LOT A
30% OF 4826 SF = 1448 SF
PRO. DWELLING = 1066 SF
OR 22.1%
DRIVEWAY AREA = 528 SF
OR 10.8%
OPEN SPACE = 67.1%

PROPOSED SINGLE FAMILY DWELLING
190 LEXINGTON ST.

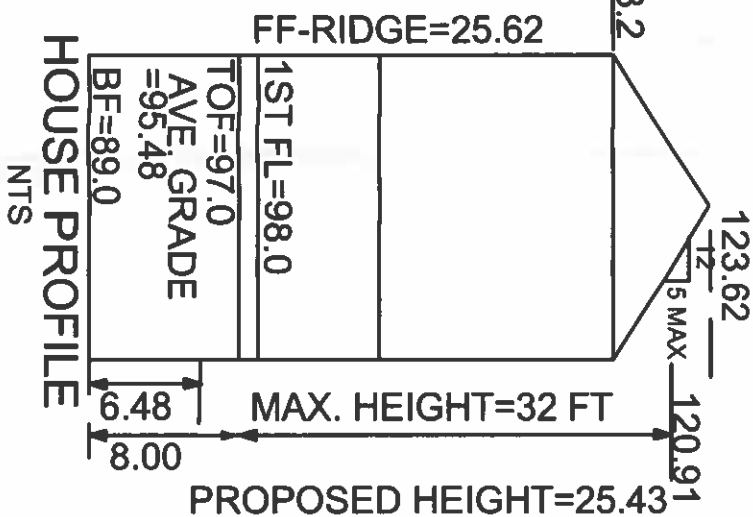
PREPARED BY:
H-STAR ENGINEERING
200 GREENVILLE ROAD
NEW IPSWICH, NH 03071
(978) 973-3078
(EMAIL: HSTAR@ATT.NET)

OWNER: 190 LEXINGTON STREET LLC
LOCATION: 190 LEXINGTON ST., BELMONT, MA
ASSESSORS MAP: MAP 15 PARCEL 170

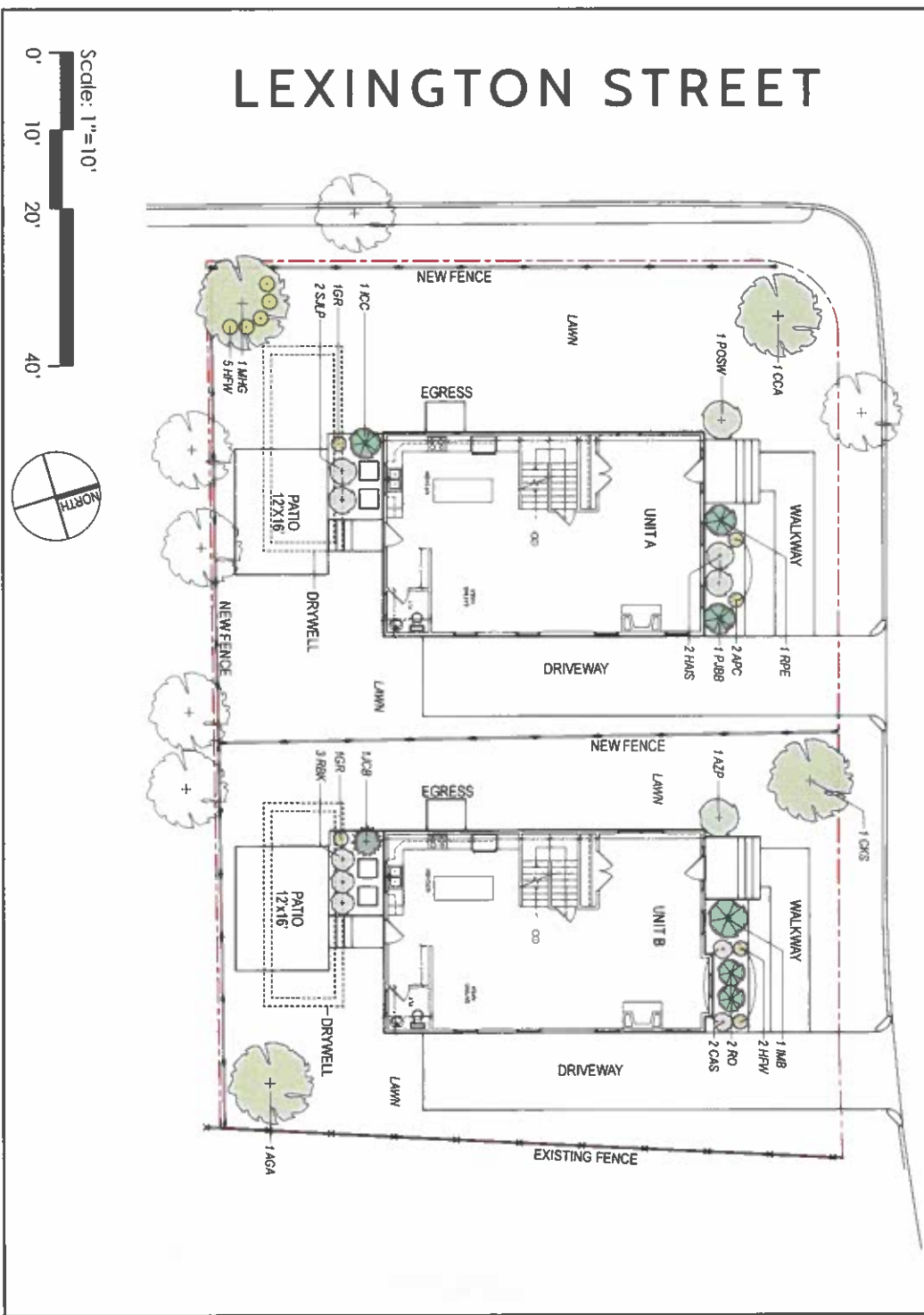
APPLICATION #:
DATE: 7 FEB. 2024
SCALE: 1"=20'



SITE PLAN
SCALE: 1" = 20 FT



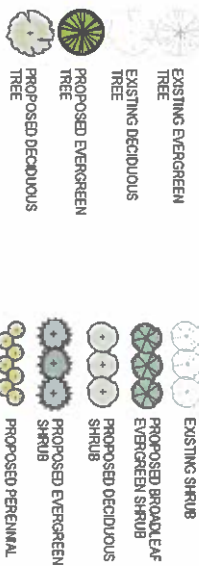
RIPLEY ROAD
(AKA BARTLETT ROAD)



PLANT NOTES

1. **PROTECTION OF EXISTING VEGETATION.** Trees and other vegetation designated to remain shall be protected throughout the duration of the construction period with bright orange plastic fence placed in a circle 10' away from trunk. Any damages resulting from the Contractor's operations or neglect shall be repaired or replaced by the Contractor. No equipment or materials shall be stored or stockpiled within the drip line of the trees. If, in order to perform excavation work, it becomes necessary to cut a tree's roots, such roots must be cleanly cut by a Certified Arborist. Tree protection must remain in place throughout construction until final acceptance by Owner.
2. **CLEARING AND GRUBBING.** Verify all items to be removed and to remain, before commencing any demolition work. Do not clearing without full knowledge of existing conditions to be prepared. Tree and shrub removal includes the cutting and grubbing of all stumps, roots and root clusters that have a diameter of 1 inch or larger to a depth of at least 2 feet below finish grade elevations. The Contractor is responsible for complying with local and state rules and regulations pertaining to the off-site disposal of all soil, trees, stumps, vegetation, and extraneous debris produced by removal and construction operations.
3. Maintain existing grade at trees to remain.
4. **CULT AND FILL.** During grading operations, stockpile existing loam to be used for proposed lawn and plant bed areas. Any existing or introduced fill shall be well-graded, natural, inorganic soil, free of debris, stones larger than 4", & all materials subject to decomposition including roots, & limbs. It shall also be free of highly plastic clays. Fill material shall be placed in 6" horizontal layers, and compacted before adding the next layer. Never place wet or frozen fill. Compacted the top 18" of fill in lawn and plant bed areas to 80% density.
5. **PLANT BED PLANTING MIX.** Planting soil mix shall consist of on-site loam supplemented with loam from off-site sources, if required. Contractor shall have on and off site samples tested at either a state or recognized commercial laboratory. The soil test shall determine the soil texture, pH, magnesium, phosphorus, potassium, soluble salts, total calcium, nitrogen, and percent organic matter. Soil test results shall include laboratory recommendations for soil amendments to correct deficiencies and accomplish planting objectives. The pH for soil for lawn areas shall be between 6.0-7.0, and contain more than 5% organic matter. The soil for plant bed areas shall be based on the specific plant requirements but shall be within the pH range of 5.5-6.5, and contain between 7-15% organic matter. Planting soil shall be fertile, friable, stable, natural loam of heavy character, without admixture of subsoil material, resolutely free of lumps, stones, plants, roots, & other foreign matter. Planting mix and subsoil material in all plant beds shall freely drain.
6. **PLANT MATERIALS. NO PLANT SUBSTITUTIONS MAY BE MADE WITHOUT CONSENT OF LANDSCAPE ARCHITECT.** The Contractor shall select quantities of plant materials & their layout to fit actual site conditions. All plant material shall conform to the sizing & grading standards of the latest edition of "The American Standard for Nursery Stock," published by the National Nursery & Landscape Association. The Contractor shall provide three (3) tags to botanical name, and legibly labeled. Plants shall be delivered free of defects, diseases, all forms of insect infestation.
7. **WARRANTY.** The Contractor shall provide a 1 year warranty on all plant materials.
8. **PLANTING. Till all soils compacted by construction.** The subgrade for all plant beds and lawn areas shall be loosened by digging or rototilling to a depth of twelve inches (12") to permit bonding of loam to the subsoil. Place all trees, shrubs, & individual herbs and perennials for approval by the Owner's representative prior to planting. The Owner's representative reserves the right to adjust the spacing and placement of the plants according to actual site conditions. The Contractor shall remove all artificial mulch and other material from each root ball. The width of the holes dug for shrubs & trees shall be 2 1/2 times the diameter of the root ball. It is more important that the hole for plants be wider rather than deep. All shrubs & trees shall bear the same relationship to the final grade as to the original grade before planting. Remove all nursery mulch determine correct root flare. After removing the plant from its container, rough up the sides of the root ball to loosen soil and encourage roots to spread into hole. Place plant in hole and back fill & tamp with loam. Water thoroughly. After water has soaked into backfilled loam, resume filling the remainder of the hole in 6" lifts. Form a saucer around the outside edge of the plant, and fill with water again.
9. **LAWN.** To be seeded with a sunshade grass seed, Scotts' Turf Builder Grass Seed Sun and Shade Mix. *THU* all soils compacted by construction to loosen and to ensure that the added loam is wellbonded to subgrade. After top layer of loam has been brought to finish grade, rate in immediate areas. Spread seed at rate recommended by manufacturer. The ideal time to seed lawns is from April 1-June 1 or from August 15-October 15.
10. **MULCH.** The Contractor shall spread a 2-3" deep bed of dark aged mulch in all plant beds & throughout the planting area. Keep mulch away from the base of all trunks to prevent rotting of the bark.
11. **WATERING.** The Contractor is responsible for watering all plant materials while on site until irrigation system is installed. The Contractor shall water all plants at least once a week. The watering schedule shall be determined by the landscape improvements are accepted by the Owner. The following suggested watering schedule depends on rain frequency. Water plants every day for the first week, every other day for the second week, & two-three times a week for the third and fourth weeks. After the fourth week water plants once a week, less than 1" of rain falls during the week. The Contractor shall apply 10-20 gallons of water per application on trees greater than 2" caliper.

LEGEND



CONSTRUCTION NOTES

1. Layout information based on following: 1. "Proposed Plot Plan, Unit A, Ripley Road, Belmont MA, and "Proposed Plot Plan, Unit B, Ripley Road, Belmont MA," provided by H-S&S Engineering, dated February 1, 2024; 2. "Langston Street LLC House A Floor Plan, and "Langston Street LLC House B First Floor Plan," by Coastal Associates, dated February 1, 2024. The Contractor is responsible for errors, inconsistencies, omissions, or omissions of these drawings.
2. Contractor shall be responsible for damage inside and outside the Limit of Work, due to contact operators. Contractor shall replace damaged areas to their original condition at no additional cost to the Owner.
3. Contractor shall verify all conditions in the field and report any and all discrepancies to the Owner prior to commencing work. Any alterations to these drawings inside the field shall be promptly reported by the Contractor to the Owner for review, direction and/or approval and recorded on the Revised Drawings.
4. The Contractor is responsible for obtaining all applicable permits and inspections from any local, department, utility company, or other authority having jurisdiction over any part of the work. The Contractor shall obtain all the requirements of permits and licenses issued by cognate local, State and local agencies.
5. Contractor the DURS&E to confirm the locations of all existing utilities before commencing work. Any damage due to the failure of the Contractor to contact authorities shall be borne by the Contractor. The Contractor shall replace damage incurred during construction to existing utilities at no cost to the Owner.
6. Existing structures, improvements, appurtenances and vegetation to remain shall be protected from damage.
7. Provide temporary and permanent erosion and sediment control as required by governing codes and regulations. Erosion control shall be installed and maintained to prevent erosion, sediments and adjacent properties. Install erosion control matting on all slopes greater than 3:1.
8. All layout lines and dimensions are parallel or perpendicular to the lines from which they are measured unless otherwise indicated.
9. All dimensions are given to the front faces of walls and structures, unless otherwise noted.
10. Where new parking meets existing parking, meet the line and grade of existing with new construction.
11. Excavation adjacent to existing and proposed utility lines shall be done by hand. Protect existing utilities and repair all damage done to utilities through the duration of this project.
12. Finished grade of parking and improvements shall not deviate from spot elevations by more than 1/2" - finish grades in unpaved areas shall not deviate from spot elevations by more than 1".
13. Probable existing spot elevations: All paved areas must pitch to drain at a minimum of 1/8" per foot unless otherwise shown. Report any discrepancies to the Owner's Representative before commencing work.
14. Maintain a maximum of 1% cross slope on all paved pathways, unless otherwise noted.
15. Do not create drainage.

PLANT LIST -UNIT A

Key		Qty	Botanical Name	Common Name	Mature Size	Installed Size	Remarks
Trees							
OCA	1		Cercis canadensis 'Appalachian Red'	Appalachian Red Redbud	15-20'H x 10-15"W	2-2.5' cal.	Specimen
MHG	1		Malus 'Harnest Gold'	Harnest Gold Crabapple	20-30' H x 10-15"W	2-2.5' cal.	Can sub Malus Sugar Tyme
Shrubs							
HAIS	2		Hydrangea arbor 'Invincible Spirit II'	Invincible Spirit II Hydrangea	3-4'H x 3-4'W	#5	full, rounded form.
ICC	1		Ilex crenata 'Chesapeake' or 'TreePee'	Chesapeake/TreePee Jap. Holly	6-8'H x 3-4'W	#10	pyramidal form
POSW	1		Physocarpus o. 'Summer Wine'	Summer Wine Ninebark	6-8'H x 5-6'W	#10	upright
PJBB	1		Pieris japonica 'Brouwer's Beauty'	Brouwer's Beauty Andromeda	4-5'H x 4-5'W	#10	okay to sub P. Karenoma
RPE	1		Rhododendron 'PJM Elite'	PJM Elite Rhododendron	4-5'H x 4-5'W	#10	upright rounded form
SILP	2		Spiraea japonica 'Little Princess'	Little Princess Dwarf Spirea	2-5'H x 3-5'W	#3	3-4' spacing
Perennials							
APC	2		Asilbe chinensis 'Purple Candles'	Purple Candles Asilbe	24"H x 18-24" W	#2	18-24" spacing
GR	1		Geranium x 'Rozanne'	Rozanne Cranesbill	24"H x 18-24"W	#2	18-24" spacing
HFHW	5		Hosta sieboldiana 'Frances Williams'	Frances Williams Hosta	32"H x 8" W	#2	36-48" spacing

PLANT LIST - UNIT B

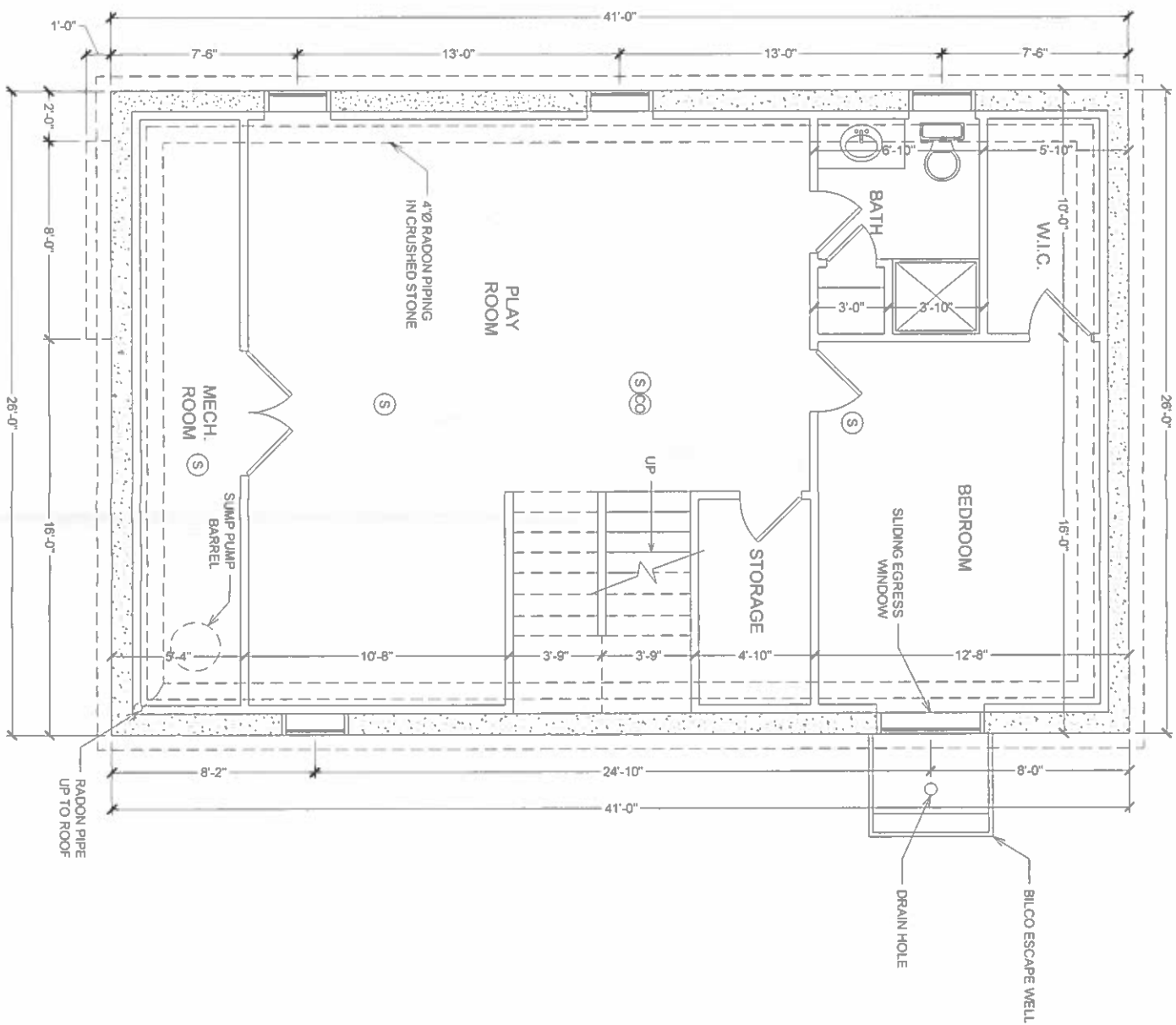
Key	Botanical Name		Common Name	Mature	Installed	Remarks
	Qty			Size	Size	
Trees						
AGA	1	Amelanchier 'g. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	20-30'H x 15-20' W	2-2.5' cal.	specimen
CXS	1	Cornus kousa 'Salem'	Salem Red Flowering Dogwood	15-20'H x 10-15'W	2-2.5' cal.	specimen
Shrubs						
AZP	1	Azalea 'Pink 'n Sweet' or 'Parade	Pink 'n Sweet or Parade Azalea	5-6'H x 5-6'W	#5	symmetrical form
CAS	2	Clethra alnifolia 'Sixteen Candles'	Sixteen Candles Summersweet	4-5'H x 2-3'W	#3	matching
IMB	1	Ilex meserveae 'Blue Princess'	Blue Princess Holly	8-10'H x 6-8'W	3-5'4"	upright pyramidal form
JCB	1	Juniperus chinensis 'Blue Point'	Blue Point Juniper	7-8'H x 4-6'W	4-5'	single main leader
RO	2	Rhododendron 'Oliga Mezlit'	Oliga Mezlit Rhododendron	4-5'H x 3-4'W	2-2.5'	Full, dense, matching
RBK	3	Rosa 'Blushing Knockout Radiant'	Blushing Knockout Rose	3-4'H x 3-4'W	#3	ok to sub Sunny Knockout
Perennials						
GR	1	Geranium x 'Rozanne'	Rozanne Cranesbill	24'H x 18-24'W	#2	18-24" spacing
HFW	2	Hosta sieboldiana 'Frances Williams'	Frances Williams Hosta	32'H x 48" W	#2	36-48" spacing

PLANTING PLAN

190 Lexington Street
Units A and B, Ripley Road
Belmont, MA 02478



**Shoplick Associates
Landscape Architecture**
602 Centre Street
Newton, MA 02458
T: 617-244-7309
F: 617-795-1506



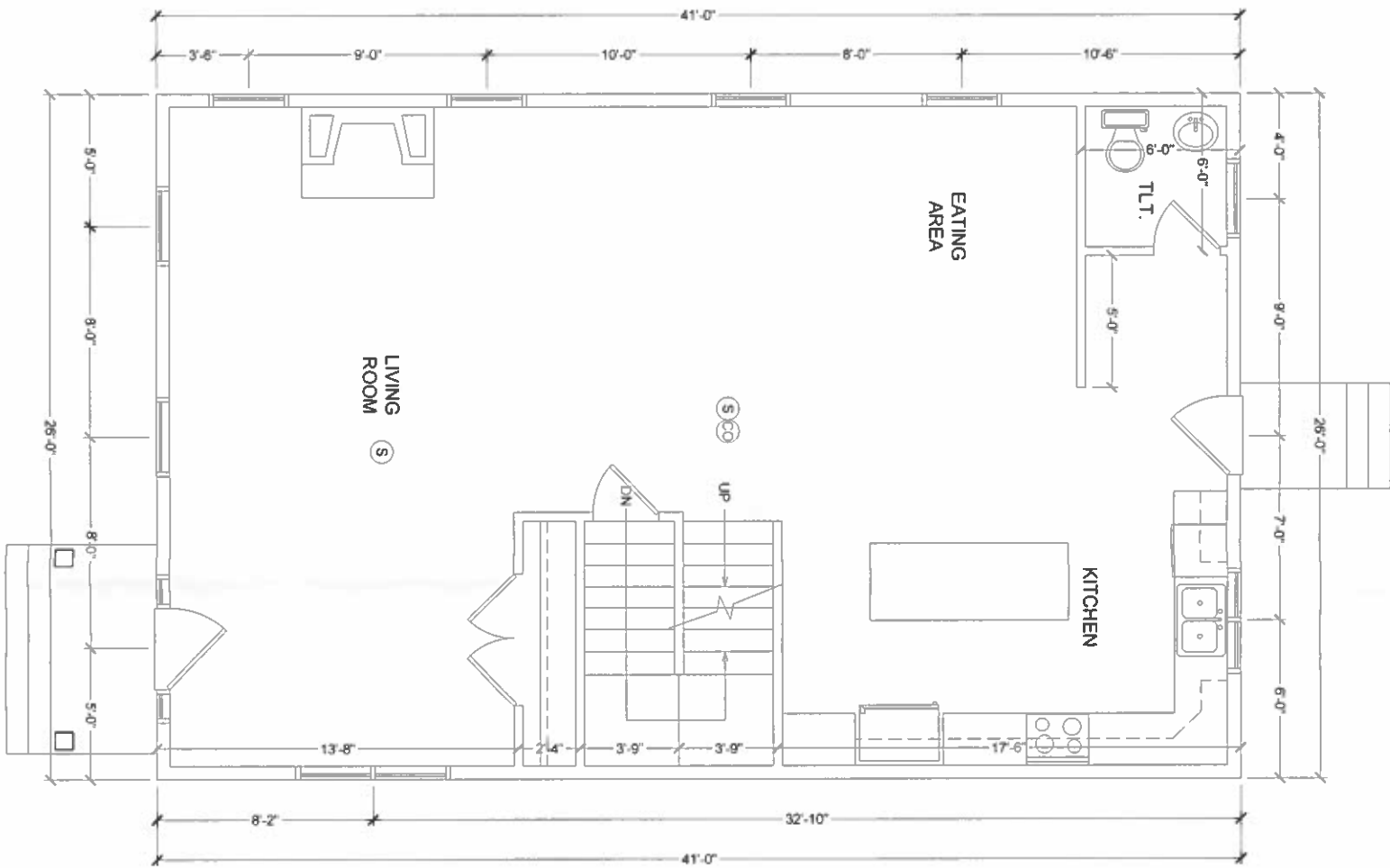
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

PROJECT: LEXINGTON ST. LLC.
190 LEXINGTON ST. - HOUSE A
BELMONT, MA

FOUNDATION
PLAN

DATE : 1/31/2024
SCALE : 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

REVISIONS DATE



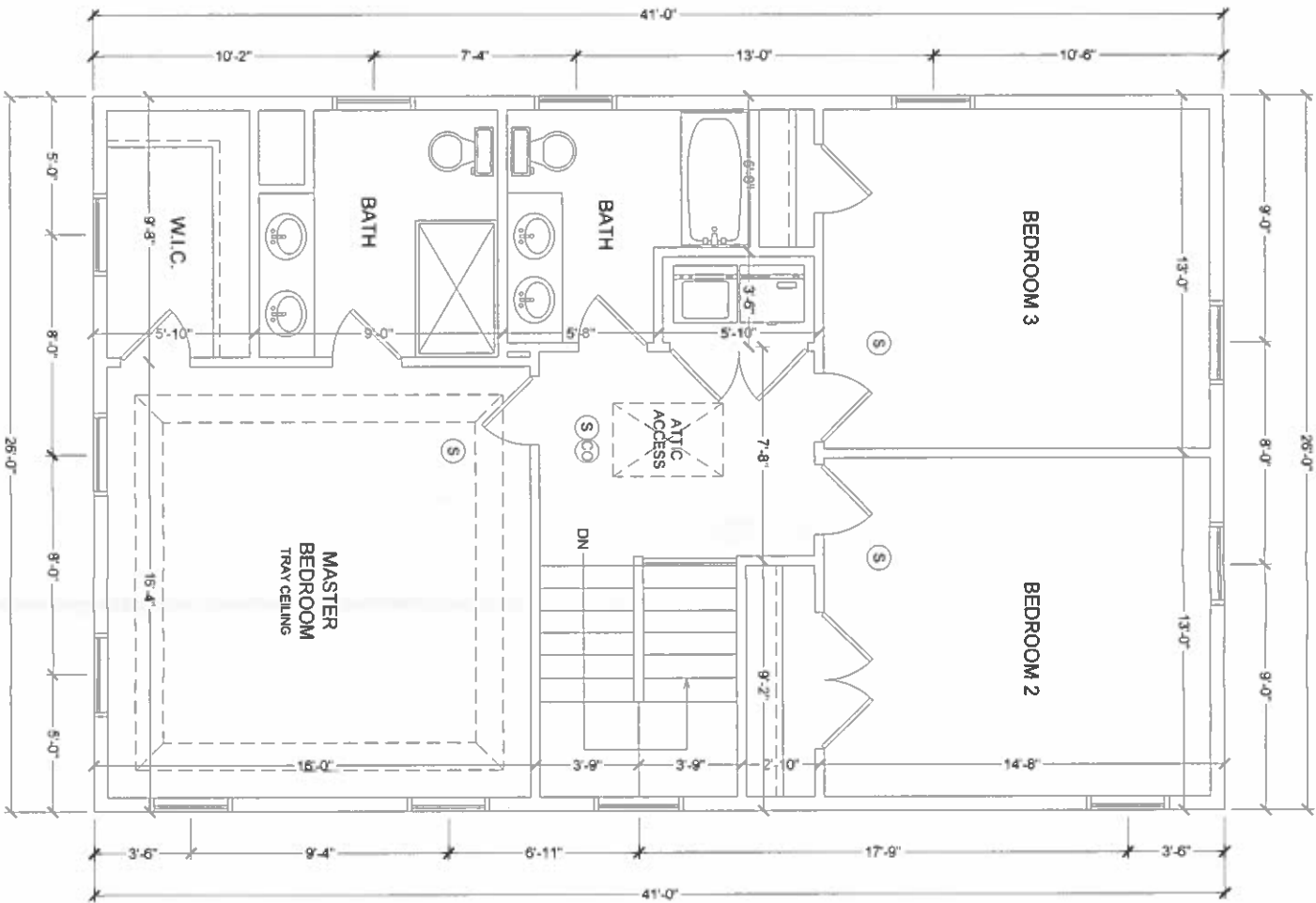
PROJECT: LEXINGTON ST. LLC.
190 LEXINGTON ST. - HOUSE A
BELMONT, MA

FIRST
FLOOR PLAN

DATE : 1/31/2024
SCALE : 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

REVISIONS

DATE



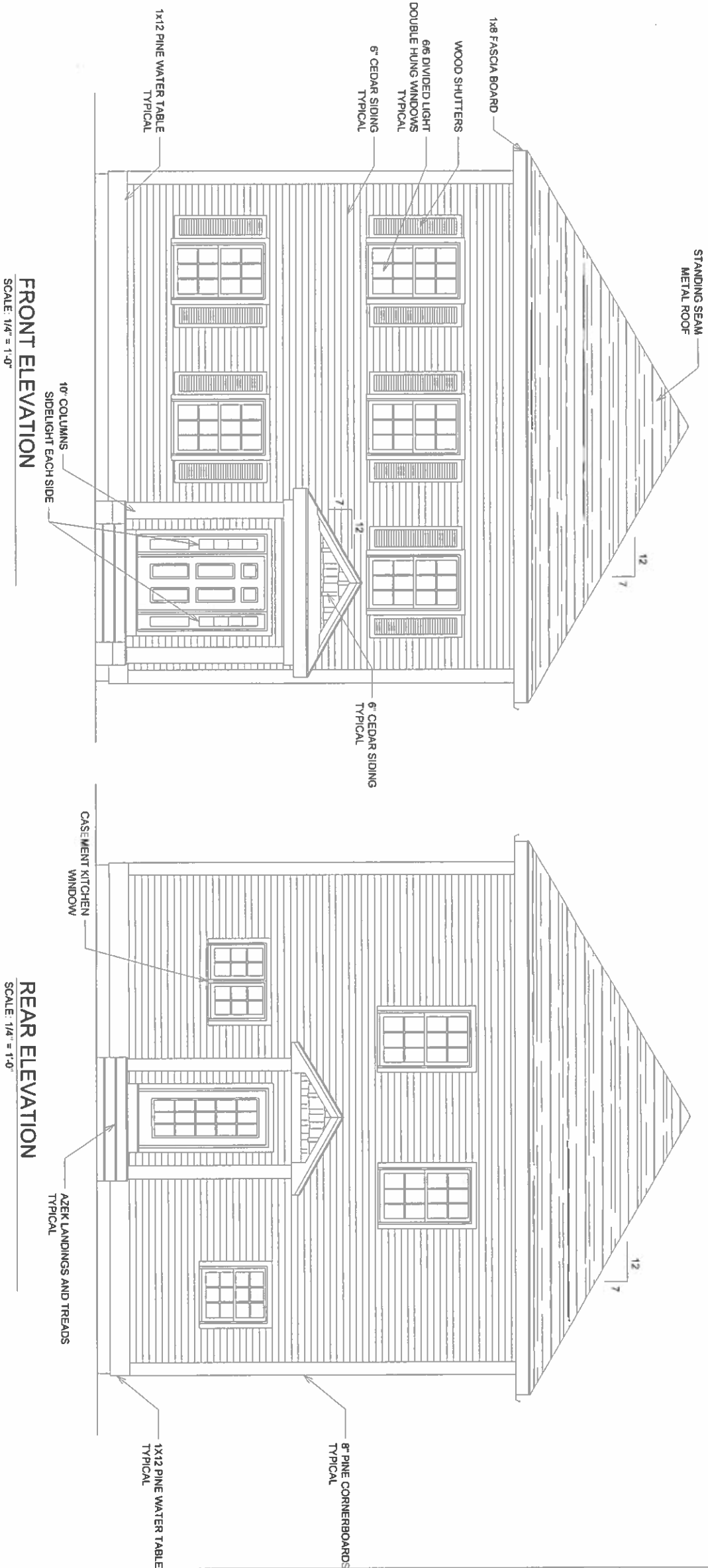
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT: LEXINGTON ST. LLC.
190 LEXINGTON ST. - HOUSE A
BELMONT, MA

SECOND
FLOOR PLAN

DATE : 1/31/2024
SCALE : 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

REVISIONS DATE



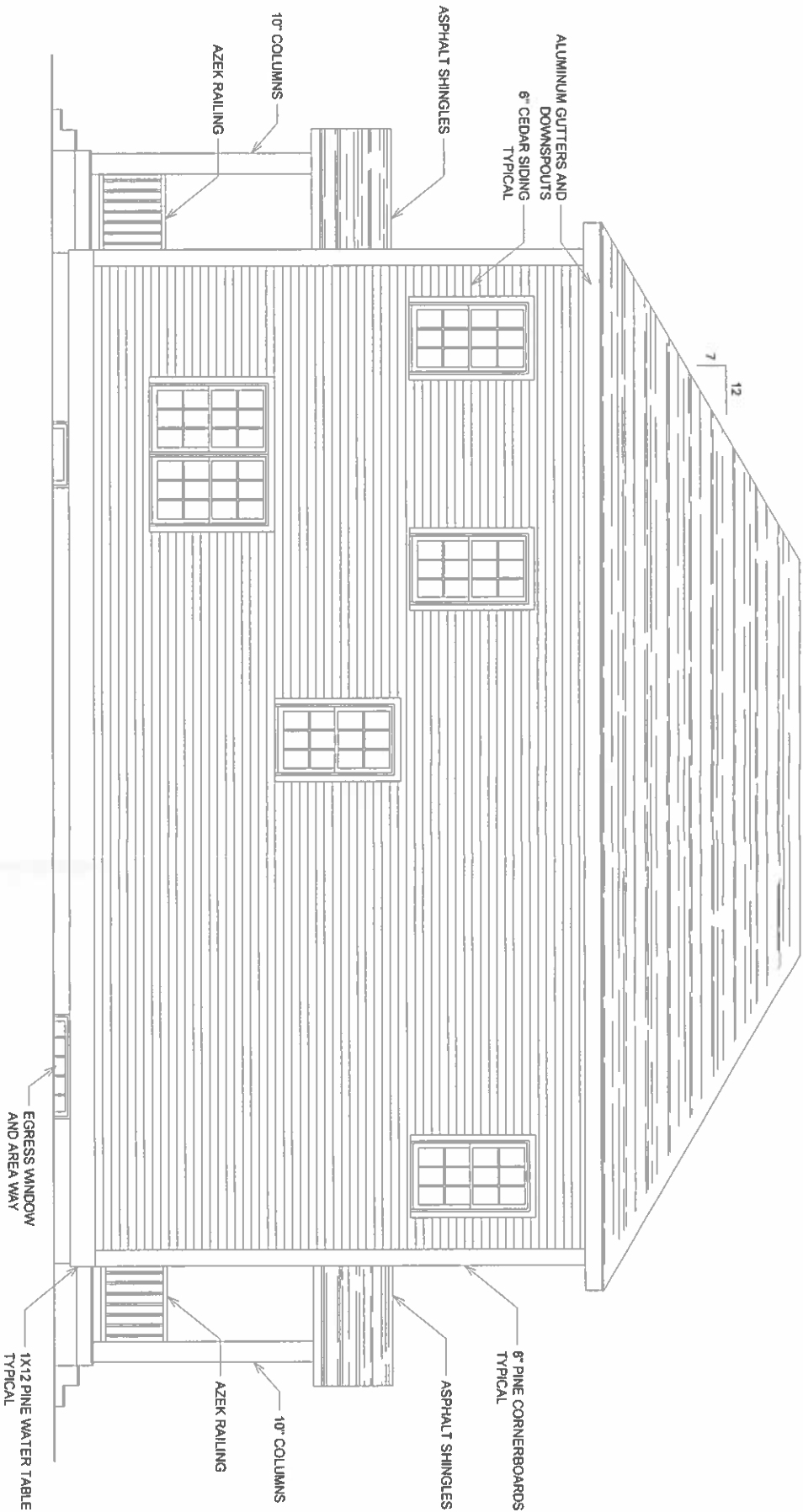
PROJECT: LEXINGTON ST. LLC.
190 LEXINGTON ST. - HOUSE A
BELMONT, MA

FRONT AND REAR
ELEVATIONS

DATE 1/31/2024
SCALE : 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

REVISIONS

DATE



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT: LEXINGTON ST. LLC.
190 LEXINGTON ST. - HOUSE A
BELMONT, MA

RIGHT
ELEVATION

DATE :	1/31/2024	REVISIONS	DATE
SCALE :	1/4" = 1'-0"		
CONSTRUCTION DOCUMENTS			