

14 C STREET CONDOMINIUMS

14 C STREET
BELMONT, MA

ALBERT COSTA ARCHITECTS
681 MAIN STREET
WALTHAM, MASS 02451
TEL: 781-647-5831



03-31-2023

GENERAL NOTES

1. IBC = INTERNATIONAL BUILDING CODE, 2015 EDITION:
SHALL BE ADHERED TO AND FOLLOWED BY ALL CONTRACTORS AND BUILDERS
WORKING ON THE JOB INCLUDING AND REFERENCED AS TO SCOPE, ADMINISTRATION,
APPLICATIONS, CHAPTER 1 THRU CHAPTER 35, WITH ALL APPENDICES A THRU K.
IT IS IMPORTANT THAT ALL CONTRACTORS BE COGNIZANT OF THE
INTERNATIONAL BUILDING CODE ADDRESSING THE DESIGN AND INSTALLATION OF
BUILDING SYSTEMS REQUIREMENTS EMPHASIZING PERFORMANCE AND
REGULATIONS THAT SAFEGUARD THE PUBLIC HEALTH SAFETY, AND WELFARE IN
THE CONSTRUCTION PROCESS OF BUILDING.

IRC = INTERNATIONAL RESIDENTIAL CODE 2015:
ALL SINGLE FAMILY HOUSES, TWO FAMILY HOUSES(DUPLEXES) AND BUILDINGS
CONSISTING OF THREE OR MORE TOWNHOUSE UNITS SHALL FOLLOW AND ADHERE
TO THIS COMPREHENSIVE CODE. ALL BUILDINGS WITHIN THE SCOPE OF THE IRC
ARE LIMITED TO THREE STORIES ABOVE GRADE PLANE. THE IRC IS DIVIDED INTO
EIGHT MAIN PARTS AND THE GENERAL CONTRACTOR AND ALL OTHER CONTRACTORS
SHALL PROVIDE FOR AND PERFORM ALL WORKS IN STRICT ACCORDANCE WITH THE
IRC 2015 CODE.

2. SUPERVISION AND CONSTRUCTION PROCEDURES: THE CONTRACTOR SHALL
SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND
ATTENTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE
CONTROL OVER CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES AND
PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE
CONTRACT, UNLESS THE CONTRACT DOCUMENTS GIVE OTHER SPECIFIC
INSTRUCTIONS CONCERNING THESE MATTERS. IF THE CONTRACT DOCUMENTS
GIVE SPECIFIC INSTRUCTIONS CONCERNING CONSTRUCTION MEANS, METHODS,
TECHNIQUES, SEQUENCES OR PROCEDURES, THE CONTRACTOR SHALL EVALUATE
THE JOB SITE SAFETY THEREOF AND, EXCEPT AS STATED BELOW, SHALL BE
FULLY AND SOLELY RESPONSIBLE FOR THE JOB SITE SAFETY OF SUCH MEANS,
METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. IF THE CONTRACTOR
DETERMINES THAT SUCH MEANS, METHODS, TECHNIQUES, SEQUENCES OR
PROCEDURES MAY NOT BE SAFE, THE CONTRACTOR SHALL GIVE TIMELY WRITTEN
NOTICE TO THE OWNER AND ARCHITECT AND SHALL NOT PROCEED WITH THAT
PORTION OF THE WORK WITHOUT FURTHER WRITTEN INSTRUCTIONS FROM THE
ARCHITECT. IF THE CONTRACTOR IS THEN INSTRUCTED TO PROCEED WITH THE
REQUIRED MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES WITHOUT
ACCEPTANCE OF CHANGES PROPOSED BY THE CONTRACTOR, THE OWNER SHALL
BE SOLELY RESPONSIBLE FOR ANY RESULTING LOSS OR DAMAGE.

3. ALL CONCRETE SHALL BE A MINIMUM OF 3000 PSI AT 28 DAYS, 3500 PSI
FOR ALL EXTERIOR CONCRETE WALLS, WALKS, SLABS, ETC.

4. ALL FOOTINGS TO REST ON SOLID UNDISTURBED SOIL WITH A MINIMUM
CAPACITY OF 1.5 TONS PER SQ. FT. TYPICAL.

5. NO FOOTING SHALL BE PLACED IN WATER.

6. ALL EXTERIOR CONCRETE FOOTINGS CONSTRUCTION SHALL BE CARRIED
DOWN A MINIMUM OF (4'-0") FEET BELOW FINISHED EXTERIOR GRADE.

7. ALL FOOTING EXCAVATIONS SHALL BE FINISHED BY HAND.

8. MATERIAL ADJACENT TO AND BELOW FOOTING SHALL BE KEPT FROM
FREEZING AT ALL TIMES.

9. DOUBLE UP RAFTERS AND JOISTS AROUND ALL OPENINGS.

10. DOUBLE UP JOISTS UNDER ALL PARTITIONS.

11. MICRO-LAM BEAMS MAY BE USED IN LIEU OF BUILT UP BEAMS,
VERIFY ALL BEAMS AND SIZES-TYPICAL.

12. G.C. SHALL VERIFY ALL DIMENSIONS IN FIELD AND VERIFY ALL
EXISTING CONDITIONS IN FIELD.

13. EXACT GRADES AND ELEVATIONS SHALL BE VERIFIED
IN FIELD WITH EXISTING CONDITIONS AND WITH
SURVEY-TOPOGRAPHICAL SITE PLAN-TYPICAL.

14. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING, FURNISHING
AND PROPERLY INSTALLING ALL TEMPORARY SUPPORTS AND BRACING AS NECESSARY
TO PREVENT ANY INSTABILITIES DURING CONSTRUCTION. PROPER SUPPORTS, BRACING
TEMPORARY SHORING SHALL BE IN PLACE AT ALL TIMES AND ACCORDING TO THE
COMMONWEALTH OF MASSACHUSETTS BUILDING CODE. TEMPORARY SHORING MUST NOT
REMAIN IN PLACE FOR MORE THAN 180 DAYS AND WILL NEED A PERMIT FROM THE
LOCAL BUILDING INSPECTOR AND/ OR BUILDING OFFICIAL. IT IS IMPORTANT TO PROPERLY
BRACE, SUPPORT AND SHORE ALL WALLS, PARTITIONS, ROOFS AND OTHER STRUCTURES
TO PREVENT ANY INSTABILITY AND/ OR COLLAPSE.

15. THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY FOR
THE VALIDITY OF THE SUBSURFACE CONDITIONS DESCRIBED ON THE
DRAWINGS, TEST BORINGS, SOIL REPORT OR TEST PIT.

16. THE ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR THE
CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES,
SCHEDULING OF CONSTRUCTION ACTIVITIES-OR FOR JOB SITE SAFETY
THESE DUTIES BELONG WITH THE GENERAL CONTRACTOR WHO HAS
CONTROL OF THE JOB SITE AND HAS THE OBLIGATION TO PERFORM
AND COORDINATE WITH HIS SUPERINTENDING THE WORK ACCORDING
TO THE CODE, CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY
PRECAUTIONS REQUIRED BY REGULATORY AGENCIES. THE ARCHITECT
AND HIS OR HER PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY
CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES
IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY
PRECAUTIONS. THE CLIENT AGREES THAT THE GENERAL CONTRACTOR
IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND WARRANTS THAT
THIS INTENT SHALL BE CARRIED OUT IN THE CLIENT'S AGREEMENT WITH
THE GENERAL CONTRACTOR AND THAT THE ARCHITECT WITH HIS/HER
CONSULTANTS BE INDEMNIFIED FOR JOB SITE SAFETY

17. TYPICAL SMOKE DETECTORS= (S), HEAT DETECTORS= (H)
AND CARBON MONOXIDE DETECTORS= (CO) ALL UL APPROVED,
SMOKE/HEAT DETECTORS SHALL BE IN STRICT ACCORDANCE
WITH THE IBC 2015 AND THE IEBC 2015 CODE, ALL AS
RELATED TO THE LIFE SAFETY STANDARDS FOR BUILDINGS
AND AS PER THE INTERNATIONAL FIRE CODE.

18. ALL NOTES TYPICAL ALL DRAWINGS

19. EGRESS/MEANS OF EGRESS SHALL STRICTLY ADHERE AND
MEET THE IBC 2015 CODE ITEMS, ALL AS PER EMERGENCY ESCAPE AND
RESCUE MEANS OF EGRESS FOR EXISTING BUILDINGS

20. ALL WINDOW GLASS IS HIGH PERFORMANCE LOW E , MIN. U=.35
INSULATED GLASS.

21. HANDRAILS AND GUARDS SHALL BE ABLE TO RESIST A SINGLE
CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION
AT ANY POINT ALONG THE TOP.

"THE HANDRAIL/ GUARD RAILING SYSTEM SHALL MEET THE IRC CODE 2015
FOR A CONCENTRATED LOAD OF 200 POUNDS APPLIED IN
ANY DIRECTION AT ANY POINT ALONG THE TOP, AND TO TRANSFER
THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE."

ABBREVIATIONS

| | | | | | |
|-----------|----------------------------|-----------|---|--------|---------------------------|
| AB | ANCHOR BOLT | GB | GRAB BAR | S | SOUTH |
| AD | AREA DRAIN | GEN | GENERATOR | SC | SOLID CORE |
| ABV | ABOVE | GL | GLASS | SCHED | SCHEDULE |
| ATC | ACOUSTICAL TILE CEILING | GND, GRND | GROUND | SD | SOAP DISPENSER |
| AW | ACOUSTICAL WALLCOVERING | GWB | GYP GYPSUM WALLBOARD | SECT | SECTION |
| ACOUS | ACOUSTICAL | GYP | GYP GYPSUM | SF | SQUARE FEET |
| ADJ | ADJACENT, ADJUSTABLE | HB | HOSE BIBB | SH | SHelf |
| ALUM | ALUMINUM | HC | HANDICAPPED | SHT | SHEET |
| ALT | ALTERNATE | HD | HEAD | SIM | SIMILAR |
| AP | ACCESS PANEL | HDWE | HARDWOOD | SL | SLIDING |
| APPROX | APPROXIMATE | HDWR | HARDWARE | SPEC | SPECIFICATION |
| ARCH | ARCHITECTURAL | HM | HOLLOW METAL | SQ | SQUARE |
| AF | AWNING FABRIC | HORIZ | HORIZONTAL | SST | STAINLESS STEEL |
| B | BASE | HR | HOUR | ST | STAIN |
| BD | BOARD | HT | HEIGHT | STD | STANDARD |
| BG | BUMPER GUARD | HVAC | HEATING, VENTILATING, AIR CONDITIONING | STL | STEEL |
| BIT. | BITUMINOUS CONCRETE | ID | INSIDE DIAMETER | STOR | STORAGE |
| BLDG | BUILDING | IN | INCH | STRUCT | STRUCTURAL |
| BLK | BLOCK | INSUL | INSULATION | SUSP | SUSPENDED |
| BLKG | BLOCKING | INT | INTERIOR | SYM | SYMMETRICAL |
| BM | BEAM | JAN | JANITOR | T | THRESHOLD |
| BOT | BOTTOM | JST | JOIST | T&G | TONGUE AND GROOVE |
| BRDG | BRIDGING | JT | JOINT | TEL | TELEPHONE |
| BSMT | BASEMENT | KP | KICK PLATE | TEMP | TEMPERED |
| CAB | CABINET | LAM | LAMINATE, LAMINATED | THK | THICK, THICKNESS |
| CB | CONCRETE BLOCK | LAV | LAVATORY | TOS | TOP OF STEEL |
| CEM | CEMENT | LT | LIGHT | TOW | TOP OF WALL |
| CF | CERAMIC | M | MOLDING | TT | TOILET TISSUE |
| CF | CONCRETE FINISH | MACH | MACHINE | TYP | TYPICAL |
| CG | CORNER GUARD | MATL | MATERIAL | UNF | UNFINISHED |
| CJ | CONTROL JOINT | MAX | MAXIMUM | UNO | UNLESS NOTED |
| CKT | CIRCUIT | MECH | MECHANICAL | UON | UNLESS OTHERWISE NOTED |
| CL | CLOSE | MEMB | MEMBRANE | VCT | VINYL COMPOSITION TILE |
| CLKG | CAULKING | MET, MTL | METAL | VERT | VERTICAL |
| CLG, CEIL | CEILING | MFR | MANUFACTURER | VEST | VESTIBULE |
| CLR | CLEAR | MH | MANHOLE | VWC | VINYL WALLCOVERING |
| CMU | CONCRETE MASONRY UNIT | MIN | MINIMUM | W | WEST |
| COL | COLUMN | MIR | MIRROR | W/ | WITH |
| CONC | CONCRETE | MISC | MISCELLANEOUS | WC | WALL COVERING |
| COND | CONDITION | MO | MASONRY OPENING | WD | WOOD |
| CONSTR | CONSTRUCTION | M/R | MOISTURE RESISTANT | WDO | WINDOW |
| CONT | CONTINUOUS | MTD | MOUNTED | WF | WOOD FLOOR |
| CONTR | CONTRACTOR | MTG | MEETING, MOUNTING | W/C | WALK IN CLOSET |
| CORR | CORRIDOR | MUL | MULLION | WM | WALK-OFF MAT |
| CPT, C | CARPET | N | NORTH | W/O | WITHOUT |
| CT | CERAMIC TILE | NEO | NEOPRENE | WP | WATERPROOF |
| CTR | CENTER | NIC | NOT IN CONTRACT | WR | WATER RESISTANT |
| DN | DOWN | NO | NUMBER | WT | WEIGHT |
| DET | DETAIL | NOM | NOMINAL | | |
| DIA | DIAMETER | NTS | NOT TO SCALE | | |
| DIFF | DIFFUSER | OA | OVERALL | | |
| DIM | DIMENSION | OBS | OBSCURE | | |
| DISP | DISPENSER | OC | ON CENTER | | |
| DO | DOOR OPENING | OD | OUTSIDE DIAMETER | | |
| DR | DOOR | OFF | OFFICE | | |
| D.S. | DOWNSPOUT | O.H. | OVERHEAD DOOR | | |
| DW | DISHWASHER | OPNG | OPENING | | |
| DWG(S) | DRAWING, DRAWINGS | OPP | OPPOSITE | | |
| DWR | DRAWER | P | PAINT | | |
| E | EAST | PL | PLATE | | |
| EA | EACH | P, LAM | PLASTIC LAMINATE | | |
| EFS | EXTERIOR INSUL FIN. SYSTEM | PLAS | PLASTER | | |
| EJ | EXPANSION JOINT | PLYWD | PLYWOOD | | |
| EL, ELEV | ELEVATION | PNL | PANEL, PANELBOARD | | |
| ELEC | ELECTRIC, ELECTRICAL | PP | PREFINISHED PANELS | | |
| ELEV | ELEVATOR | PR | PAIR | | |
| EMER | EMERGENCY | PROJ | PROJECT | | |
| ENCL | ENCLOSURE | PROP | PROPERTY | | |
| EQUIP | EQUIPMENT | P.T. | PRESSURE TREATED | | |
| EWC | ELECTRIC WATER COOLER | PT | POINT | | |
| EXH | EXHAUST | PTD | PAPER TOWEL DISPENSER | | |
| EXIST | EXISTING | PTN | PARTITION | | |
| EXP | EXPANSION, EXPOSED | PWR | POWER | | |
| EXT | EXTERIOR | QT | QUARRY TILE | | |
| FA | FIRE ALARM | QTY | QUANTITY | | |
| FB | FLAT BAR | R | RISER | | |
| FD | FLOOR DRAIN | RAD, R | RADIUS | | |
| FDN | FOUNDATION | RD | ROOF DRAIN | | |
| FE | FIRE EXTINGUISHER | REF | REFRIGERATOR | | |
| FEC | FIRE EXTINGUISHER CABINET | REFL | REFLECTED | | |
| FIN | FINISH | REINF | REINFORCED | | |
| FIX, FIXT | FIXTURE | REQD | REQUIRED | | |
| FL, FLR | FLOOR | RESIL | RESILIENT | | |
| FLASH | FLASHING | RF | RESILIENT FLOORING | | |
| FLUOR | FLUORESCENT | RM | ROOM | | |
| FOC | FACE OF CONCRETE | RO | ROUGH OPENING | | |
| FOS | FACE OF FINISH | RWL | RAIN WATER LEADER | | |
| FOV | FACE OF WALL | | | | |
| FR | FIRE RATED/RETARDANT | | | | |
| FRP | FIBERGLASS REINFORCED | | | | |
| FRP | POLYESTER PANEL | | | | |
| FRTW | FIRE RETARDANT TRTD. WD. | | | | |
| FT | FOOT, FEET | | | | |
| FURR | FURRING | | | | |
| G | GROUT | | | | |
| GA | GAUGE | | | | |
| GALV | GALVANIZED | | | | |

SCHEDULE OF DRAWINGS

ARCHITECTURE

A-1 BASEMENT/FOUNDATION AND FIRST FLOOR PLANS
A-2 SECOND FLOOR, ROOF AND ROOF FRAMING PLANS
A-3 FRONT, RIGHT, REAR AND LEFT SIDE ELEVATIONS

CEILING INFORMATION

| | |
|------|--------------------------|
| (S) | SMOKE DETECTOR |
| (H) | HEAT DETECTOR |
| (CO) | CARBON MONOXIDE DETECTOR |

MATERIALS

| | |
|----------------------|--------------|
| | |
| CONCRETE | GLASS |
| | |
| RIGID INSULATION | SOIL |
| | |
| BATT INSULATION | STONE |
| | |
| ROUGH DIMENSION WOOD | PLYWOOD |
| | |
| | GYPSUM BOARD |

TITLE SHEET AND GENERAL NOTES

SHEET

T-1

14 C STREET CONDOMINIUMS

14 C STREET
BELMONT, MA

General Notes :

Symbol



681 MAIN STREET
WALTHAM, MA 02451
TEL/FAX: 781-647-5831



Job Number: 21319.00

Scale: 3/16" = 1'-0"

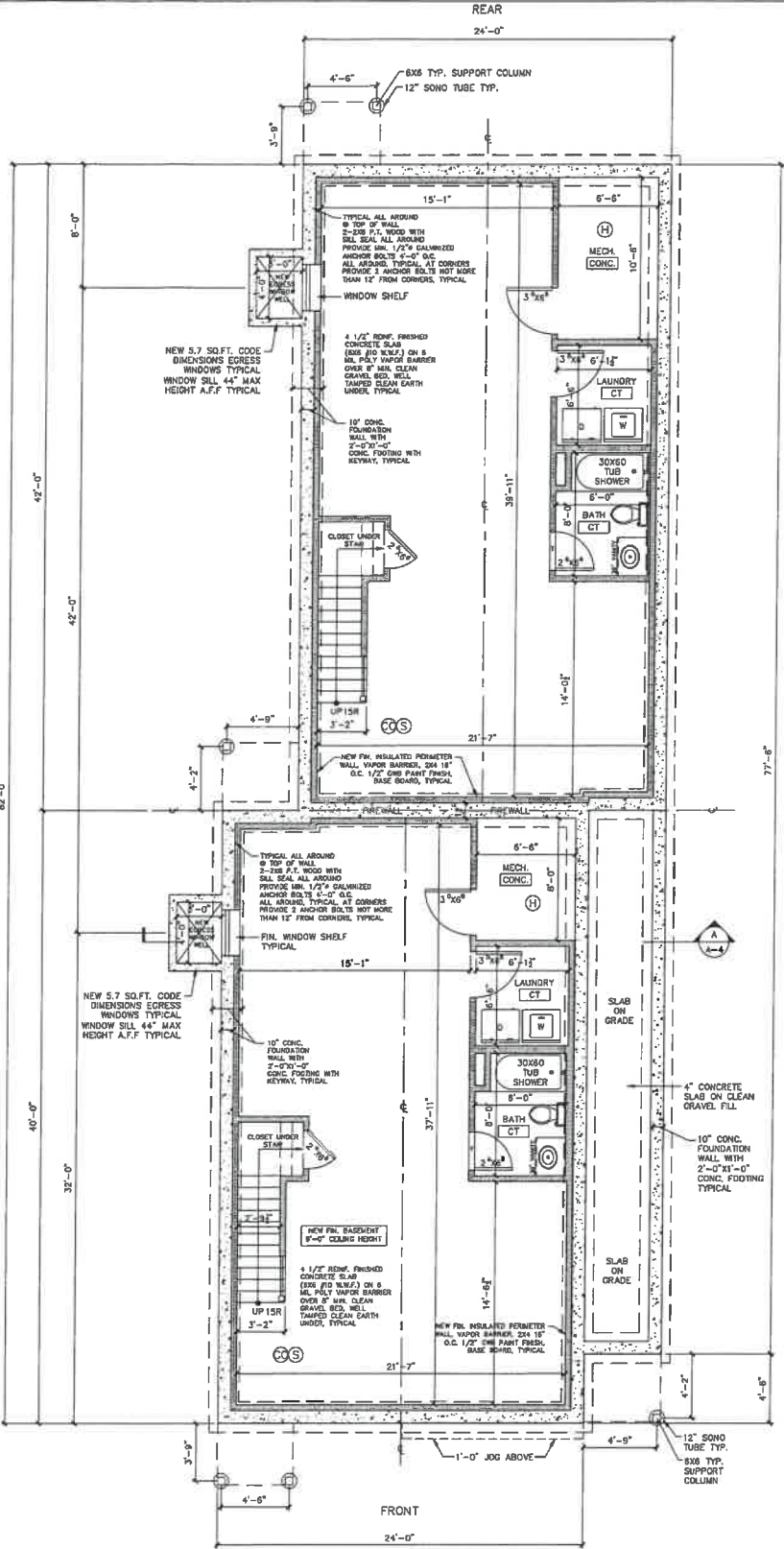
Date: 01-12-2023

Revisions: 02-08-2023
03-21-2023
03-30-2023
03-31-2023

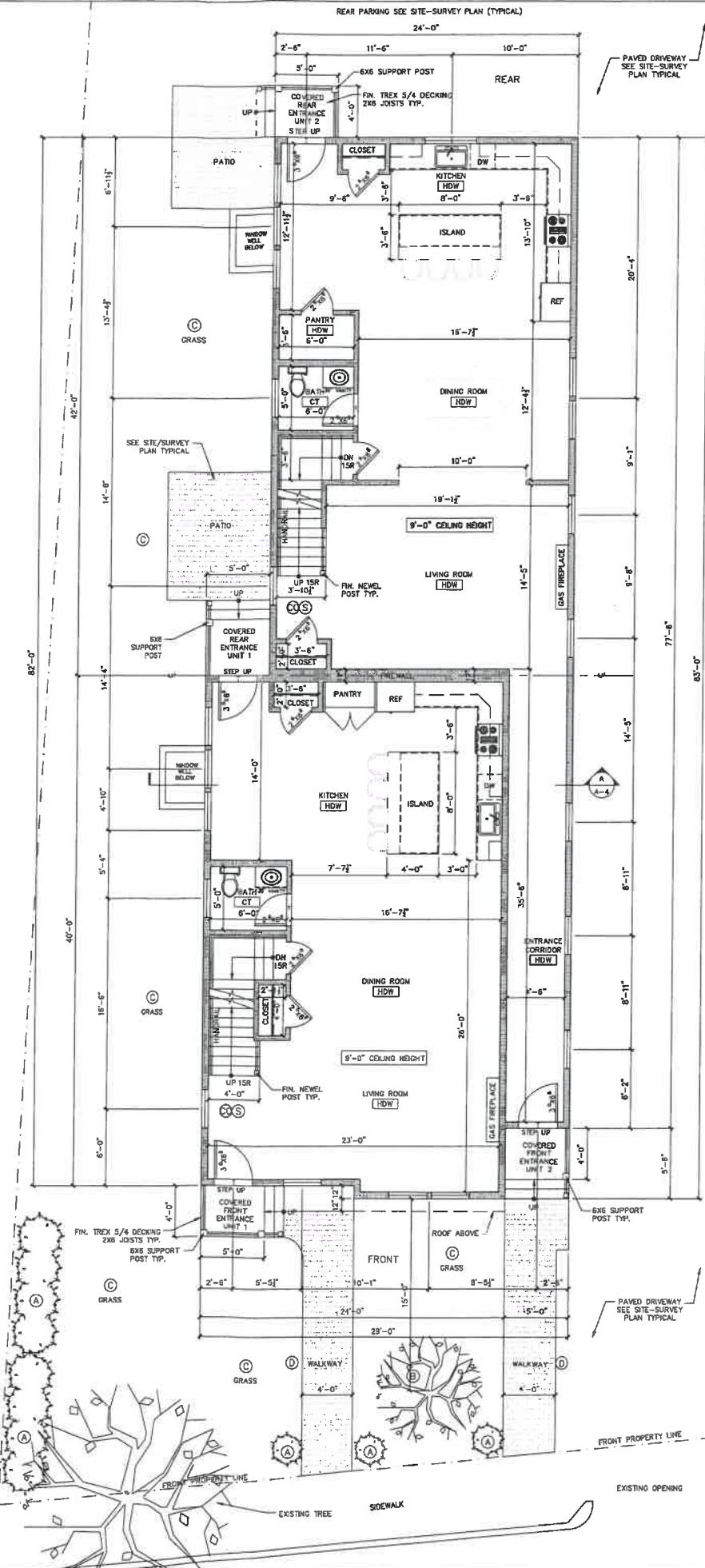
BASEMENT/FOUNDATION,
AND FIRST FLOOR PLAN

Drawing

A-1



BASEMENT/FOUNDATION PLAN
SCALE 3/16"=1'-0"
OUT TO OUT AREA = 1,968 SQ. FT.



FIRST FLOOR PLAN
SCALE 3/16"=1'-0"
OUT TO OUT AREA = 2,239 SQ. FT. (INCLUDES COVERED PORCHES)

General Notes :

Symbol



681 MAIN STREET
WALTHAM, MA 02451
TEL./FAX: 781-647-5831



Job Number: 21319.00

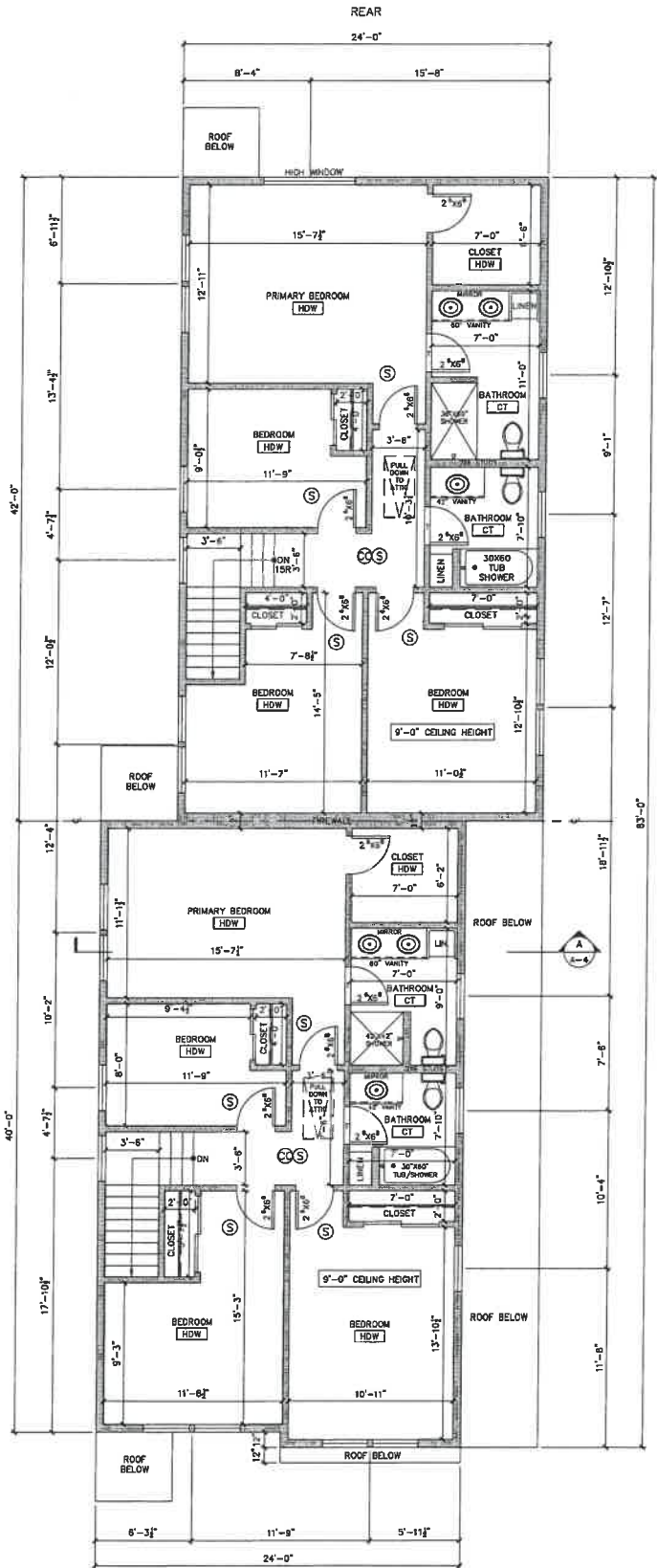
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Date: 01-12-2023

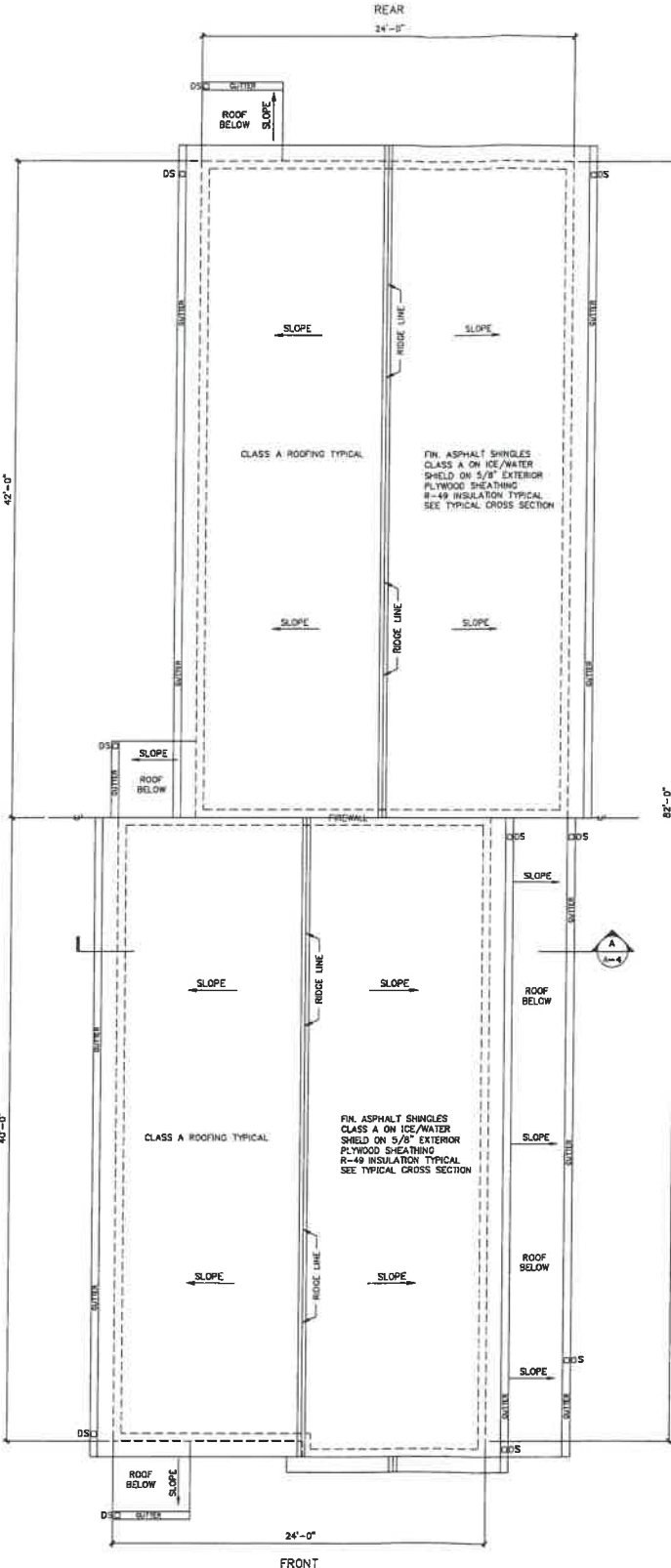
Revisions: 02-06-2023
03-21-2023
03-30-2023
03-31-2023

SECOND FLOOR, ROOF
AND ROOF FRAMING
PLANS

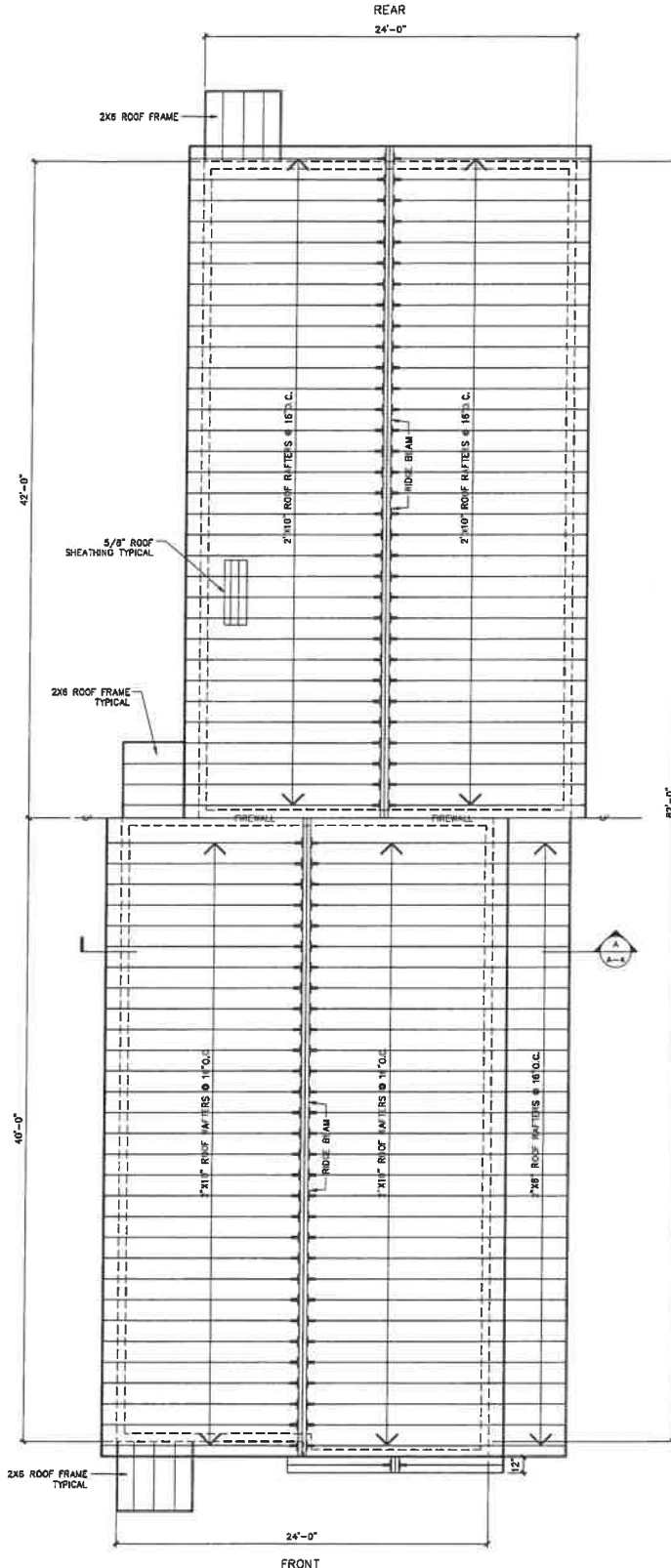
Drawing



SECOND FLOOR PLAN
SCALE 3/16"=1'-0"
OUT TO OUT AREA = 1,897 SQ. FT.



ROOF PLAN
SCALE 3/16"=1'-0"



ROOF PLAN
SCALE 3/16"=1'-0"

14 C STREET
BELMONT, MA

Symbol



681 MAIN STREET
WALTHAM, MA 02451
TEL./FAX: 781-647-5831



| | |
|-------------|----------|
| Job Number: | 21319.00 |
|-------------|----------|

Scale: $3/16" = 1'-0"$

Date: 01-12-2023

| | |
|------------|------------|
| Revisions: | 02-06-2023 |
| | 03-21-2023 |
| | 03-30-2023 |
| | 03-31-2023 |

FRONT, RIGHT, REAR AND
LEFT SIDE ELEVATIONS

Drawing

A-3





66 GRANT AVE
N/F

PASANG D.
BACHANTSANG
& TSERING
DICKEY
MAP 29
LOT 74

10-12 B STREET
N/F

NAUREEN SHAIKH
MAP 29
LOT 71-1

SOFIA KOTZABALDIRIS
MAP 29
LOT 71-2

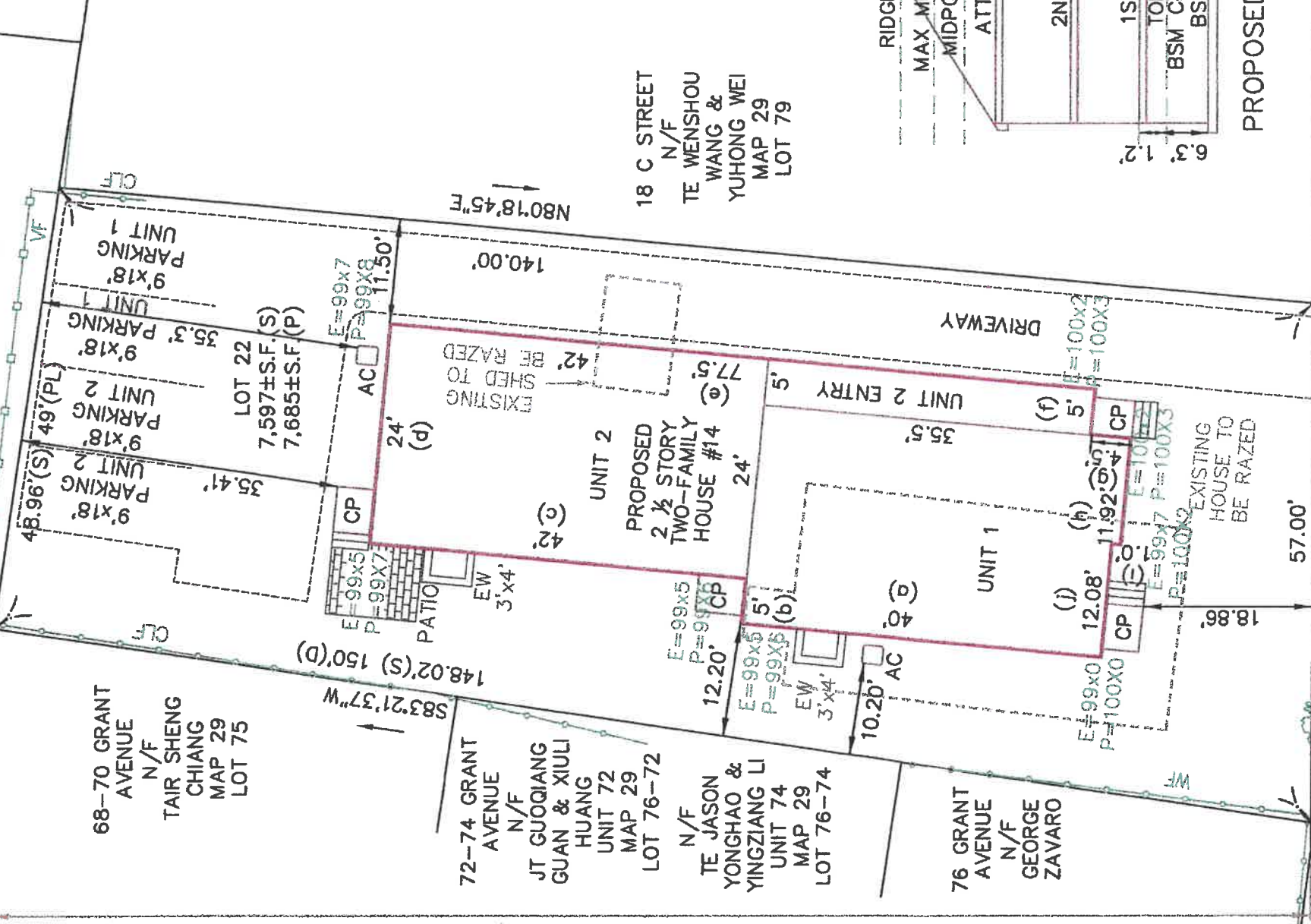
68-70 GRANT
AVENUE
N/F
TAIR SHENG
CHIANG
MAP 29
LOT 75

72-74 GRANT
AVENUE
N/F

JT GUOQIANG
GUAN & XIULI
HUANG
UNIT 72
MAP 29
LOT 76-72

N/F
TE JASON
YONGHAO &
YINGZIANG LI
UNIT 74
MAP 29
LOT 76-74

76 GRANT
AVENUE
N/F
GEORGE
ZAVARO



LOT DEPTH 146.48'

18 C STREET
N/F
TE WENSHOU
WANG &
YU HONG WEI
MAP 29
LOT 79

RECORD OWNER:
14 C STREET LLC

DEED REFERENCE:
BOOK 80104 PAGE 252

PLAN REFERENCES:
END OF BOOK 1667
PLAN 807 OF 1962

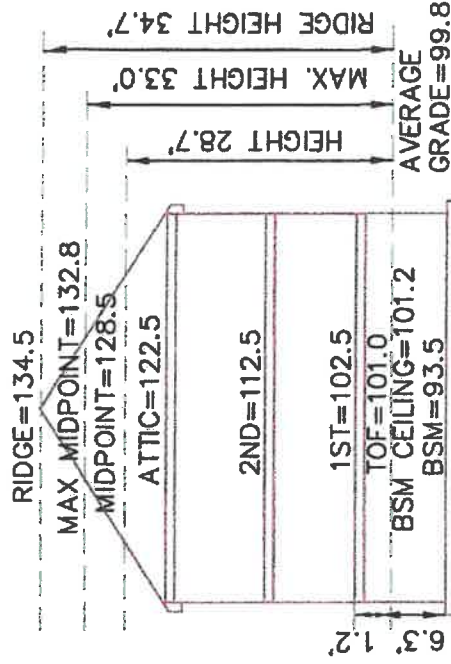
THE PROPERTY SHOWN IS IN
THE GR ZONING DISTRICT.

THE PROPERTY SHOWN ON
THIS PLAN IS IN FLOOD ZONE
"X" AND IS NOT IN THE 100
YEAR FLOOD PLAIN AREA AS
DESIGNATED BY THE FLOOD
INSURANCE RATE MAP
#25017C0418E DATED
JUNE 4, 2010.

THE PROPERTY SHOWN IS
NOT IN A WETLAND AREA
AS SHOWN ON THE BELMONT
WETLANDS MAP.

*REAR YARD SETBACK:
20% OF THE LOT DEPTH
GREATER THAN 100'.
LOT DEPTH 146.48'
146.48 X .20 = 29.29
REAR YARD SETBACK
MINIMUM = 29.29'

*FRONT YARD SETBACK:
AVERAGE OF THE FRONT
SETBACKS ON THE LOTS
CONTIGUOUS THERETO ON
EITHER SIDE.
20 C STREET = 21.71'
76 GRANT AVE = 16.01'
21.71 + 16.01 = 37.72'
37.72 / 2 = 18.86'
FRONT YARD SETBACK
MAXIMUM = 18.86'



PROPOSED HEIGHT DETAIL
NTS

EXISTING
OPENING

EXISTING GRANITE CURBING

C (35' WIDE - PUBLIC) STREET

LEGEND:
S=SURVEY
PL=PLAN
D=DEED
CP=COVERED PORCH
CLF=CHAIN LINK FENCE
WF=WOOD FENCE
VF=VINYL FENCE
BSM=BASEMENT
NTS=NOT TO SCALE
E=EXISTING GRADE
P=PROPOSED GRADE
AC=AIR CONDENSER
(a)=SEGMENT

AC UNITS TO BE
SHIELDED BY SHRUBS
OR DECORATIVE FENCING.

LOT COVERAGE:
30% OF 7,597±S.F. = 2,279±S.F.
PROPOSED 2-FAMILY = 2,260±S.F. OR 29.7%
PROPOSED DRIVEWAY = 2233±S.F. OR 29.4%
OPEN SPACE = 3,104±S.F. OR 40.9%

GR ZONE - ZONING REQUIREMENTS (TWO-FAMILY)
(SPECIAL PERMIT)

| | REQUIRED | EXISTING | PROPOSED |
|------------------|------------|------------|------------|
| FRONT YARD | 18.86 FT * | 13.63 FT | 18.86 FT |
| SIDE YARD (L) | 10 FT | 2.86 FT | 12.20 FT |
| SIDE YARD (R) | 10 FT | 24.91 FT | 11.50 FT |
| REAR YARD | 29.29 FT * | 82.18 FT | 35.50 FT |
| MAX LOT COVERAGE | 30% | 14.8% | 29.7% |
| MIN OPEN SPACE | 40% | 74.4% | 40.9% |
| LOT FRONTAGE | 70 FT | 57.00 FT | 57.00 FT |
| LOT AREA | 7000 SQ FT | 7597 SQ FT | 7597 SQ FT |

PLAN OF LAND ~ BELMONT, MA
SHOWING PROPOSED
2 FAMILY HOUSE
#14 C STREET

DATE: MARCH 22, 2023
SCALE: 1" = 20'

PREPARED BY:

BIBBO BROTHERS AND ASSOCIATES
SURVEYING, ENGINEERING
& CONSTRUCTION CONSULTING
10 HAMMER STREET, WALTHAM, MA 02453

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