



Town of Belmont  
Zoning Board of Appeals

**APPLICATION FOR A SPECIAL PERMIT**

Date: 10/17/22

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 18 ASH Street/~~Road~~, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for \_\_\_\_\_

DEMOLITION OF EXISTING STRUCTURE  
COMPRISED OF MASONRY BUSINESS GARAGE  
AND MATERIAL STORAGE YARD, AND ONE BEDROOM  
APARTMENT  
BUILD NEW TWO FAMILY RESIDENTIAL STRUCTURE

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

Address

Daytime Telephone Number

[Signature]  
MICHAEL J. COLLINS  
8 OVERLOOK RD.  
STONETHAM, MA 02180  
781-258-3447

December 6, 2005



Town of Belmont  
Planning Board

## APPLICATION FOR DESIGN AND SITE PLAN REVIEW


Date: 10/17/22

Planning Board  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Section 7.3, Design and Site Plan Review, of the Town of Belmont Zoning By-Laws, I/We the undersigned, being owner(s) of certain parcel of land (with the buildings thereon) situated on 18 ASH Street/~~Road~~, hereby make application to your Board for **DESIGN AND SITE PLAN REVIEW** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Laws of said Town for DEMOLITION OF EXISTING MASONRY BUSINESS GARAGE, MATERIAL STORAGE YARD, AND ONE BEDROOM APARTMENT BUILD NEW TWO FAMILY RESIDENTIAL STRUCTURE on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Petitioner(s) are further to comply with the requirements of Section 7.3.5 of said Zoning By-Law attached.

Signature of Petitioner   
Print Name MICHAEL J. COLLINS  
Address 8 OVERLOOK RD.  
STONEHAM, MA 02180  
Daytime Telephone Number 781-258-3447

December 6, 2005



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT

19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

September 13, 2022

Ruth A. Betts  
8 Overlook Drive  
Stoneham MA, 02180

RE: Denial to Construct a Two-Family Dwelling

Dear Ms. Betts,

The Office of Community Development is in receipt of your building permit application for your proposal to demolish the existing structure and construct a new two-family dwelling at 18 Ash Street located in the General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the Town of Belmont Zoning By-Law. More specifically, §3.3 and §6D-2 of the Zoning By-Law allow a two family dwelling in a General Residence Zoning District by a Special Permit and a Design and Site Plan Review from the Planning Board.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit for a building permit, or you may request one (1) Special Permit and a DSPR from the Planning Board. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.  
Inspector of Buildings

## 18 Ash Street Request for Special Permit & Site Plan Review

I respectfully request a special permit and site plan review for my proposed development at 18 Ash Street.

I am proposing to demolish and remove the existing structure which is currently being used as an active masonry business garage and storage building and an attached one-bedroom apartment above the garage. The property also contains an active masonry storage yard comprising of large pre cast concrete blocks to separate various materials, soil, gravel, masonry material, and staging planks and pipe.

In its place, I am proposing to construct a new, 2 ½ story two family duplex. Each unit will contain two off street parking spaces per unit, and a very attractive landscape. The building will conform to all dimensional regulations and setbacks as required by the Town of Belmont Zoning Bylaw. Each unit contains approximately 1,814 square feet of total living area.

The property is in the General Residence zone. All the direct abutters of 18 Ash Street are two family residences.

The proposal includes two driveways. Currently the existing parcel contains two driveways; one for the residential apartment and the other for the masonry business (the masonry driveway is approximately 35' wide at the street). Additionally, both 2 family homes directly and diagonally across from 18 Ash contain two driveways each, and the abutter at 16 Ash Street contains two driveways.

It is also noteworthy that this property is owned by Ruth Annette Betts, who is the wife of the late Edmund C. Betts, brother of Richard B. (Dick) Betts. Dick Betts, who passed away in 2016 was a well-known, life-long resident of Belmont who greatly contributed to the Town in many significant ways. He was Town Engineer, a Planning Board Member, Planning Board Chairman, School Committee member, Selectman and Town historian, who authored two books about the Town. He was awarded the Historical Society's Lifetime Achievement Award for his 40 years of volunteer service to the Town. Dick is truly a Belmont legend, and the granite bench, engraved with his name, in front of the Town Offices honors his legacy.

Ruth Annette Betts owns the building and yard, and Mark Betts (Dick's nephew) is currently operating the masonry business at the property. It is Ruth's desire to obtain the necessary permits and sell the property to me which will enable her to use the funds for her healthcare and housing in her retirement years.

Ruth Annette and I greatly appreciate your consideration of my application.

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	REQ'D.	PROPOSED
LOT AREA	7000	6774
FRONTAGE	70'	62.37'
SETBACKS		
FRONT	20'	21.0'
SIDE (LT)	10'	16.0'
SIDE (RT)	10'	16.5'
REAR	20'	27'
LOT COV.	30%	26.1%
OPEN SPACE	40%	65.9%
STORIES	2.5	2.5

HOUSE	1664
PROP. DRIVE	648
& PARKING	
TOTAL	2312

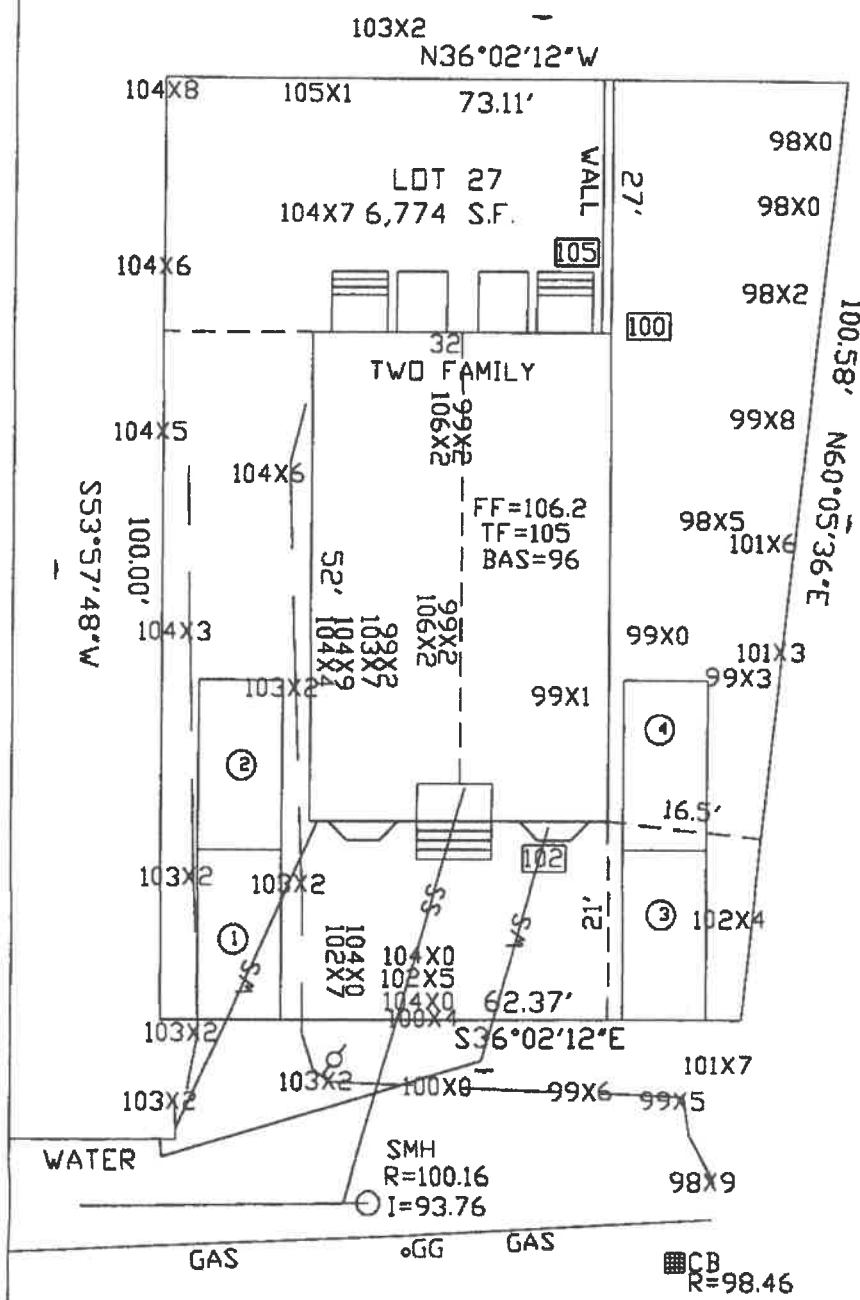


Diagram illustrating a building cross-section with the following elevations and dimensions:

- ATTIC = 131.2
- ATTIC = 125.2
- 2ND = 116.2
- FF = 106.2
- CEIL. = 105
- AVG GRADE = 102.4
- BAS EL = 96
- Vertical dimension: 28.8'
- 67.5% BAS. BELOW GRADE

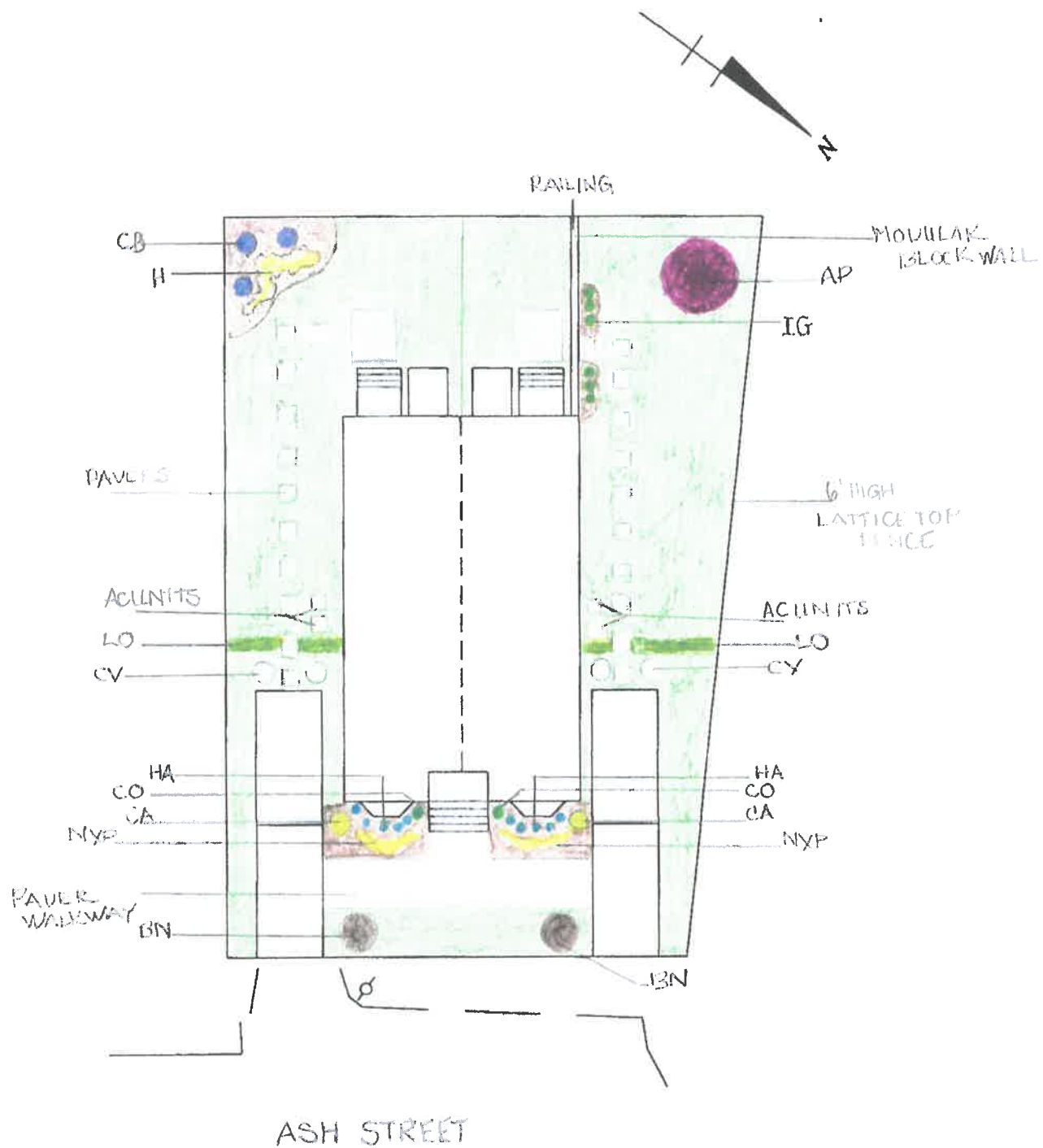
AVG GRADE

103.2
104.5
100
102
<hr/>
409.7
$409.7/4 = 102.4$

OWNER RUTH ANN BETTS,EDMUND BETTS
HOUSE NO. 18 ASH STREET
LOT NO. 30-28
APP. NO.
DATE OCTOBER 14, 2022
SCALE 1"=20'

PAUL J. FINOCCHIO P.L.S. No.36115

DATE \_\_\_\_\_



**18 ASH STREET**  
Belmont Massachusetts

Proposed Landscape Plan  
October 14, 2022

#### PLANT LIST

SYMB.	QNTY.	SCIENTIFIC NAME	COMMON NAME	SIZE
AP	1	ACER PALMATUM 'BLOODGOOD'	BLOOD GOOD JAPANESE MAPLE	7'-8'
BN	2	BETULA NIGRA MULTI STEM	RIVER BIRCH	7'-8'
CB	3	RHODODENDRON CATAWBIENSE	CATAWBA RHODODENDRON	5 GAL
CO	2	CHAMAECYPARIS OBTUSA 'GRACILIS'	HINOKI CYPRESS	5'-6'
CV	4	CLEMATIS VIRGINICA	VIRGIN'S BOWER	5 GAL
CA	2	CORNUS ALBA	TAIARIAN DOGWOOD	7 GAL
H	5	HOSTA	HOSTA	1 GAL
HA	10	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL HYDRANGEA	5 GAL
IG	6	ILEX GLABRA 'SHAMROCK'	INKBERRY	5 GAL
LO	12	LIGUSTRUM OVALIFOLIUM	CALIFORNIA PRIVET	4'-5'
NYP	12	NEPETA X 'PSYCHE' LITTLE TURDY	CATMINT	1 GAL

# Zoning Compliance Check List

## (Registered Land Surveyor)

Property Address: 18 ASH STREET

Zone: 6R

Surveyor Signature and Stamp: [Signature]

Date: 10/14/22

	REQUIRED	EXISTING	PROPOSED
Lot Area	7000	6774	6774
Lot Frontage	70	62.37	62.37'
Floor Area Ratio			
Lot Coverage	30%	16.4%	24.6%
Open Space	40%	16% <sup>1</sup>	65.9%
Front Setback	20'	64.5	21.0
Side Setback (LT)	10'	20.9'	16.0'
Side Setback (RT)	10'	9.5'	16.5'
Rear Setback	20'	7.0	27'
Building Height	33'		28.8'
Stories	2.5		2.5
½ Story Calculation			

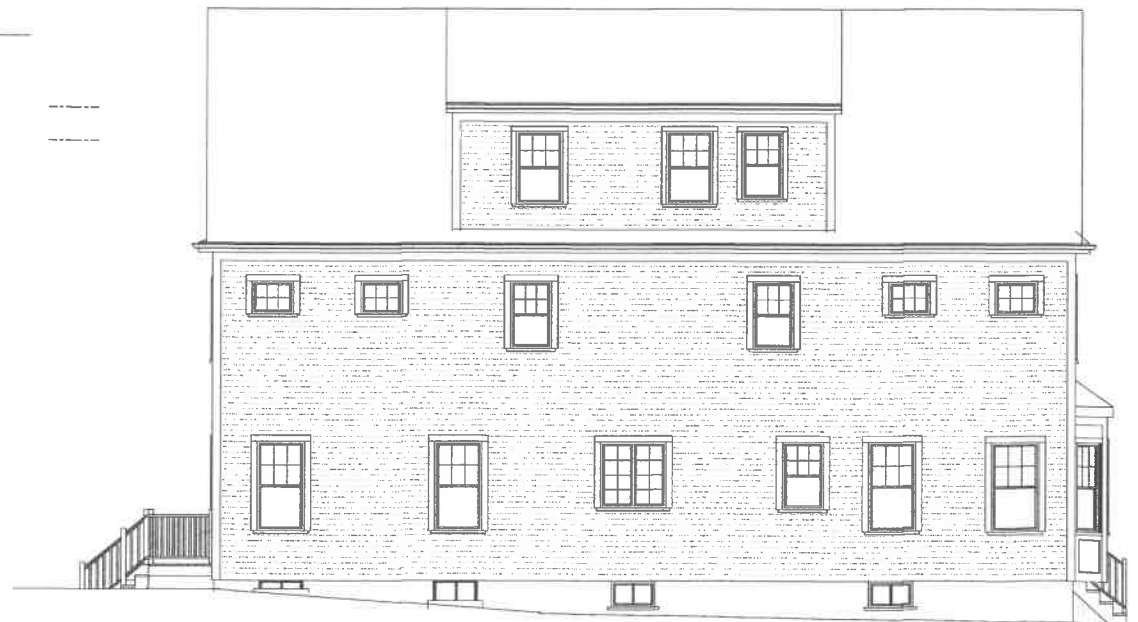
### NOTES:


June 4, 2013





FRONT ELEVATION



LEFT ELEVATION

1/8/2022  
COLLINS-18ASH  
1/4" = 1'-0"

**BUILDER MIKE COLLINS**  
PROPOSED TWO FAMILY RESIDENCE  
**18 ASH STREET BELMONT, MA.**



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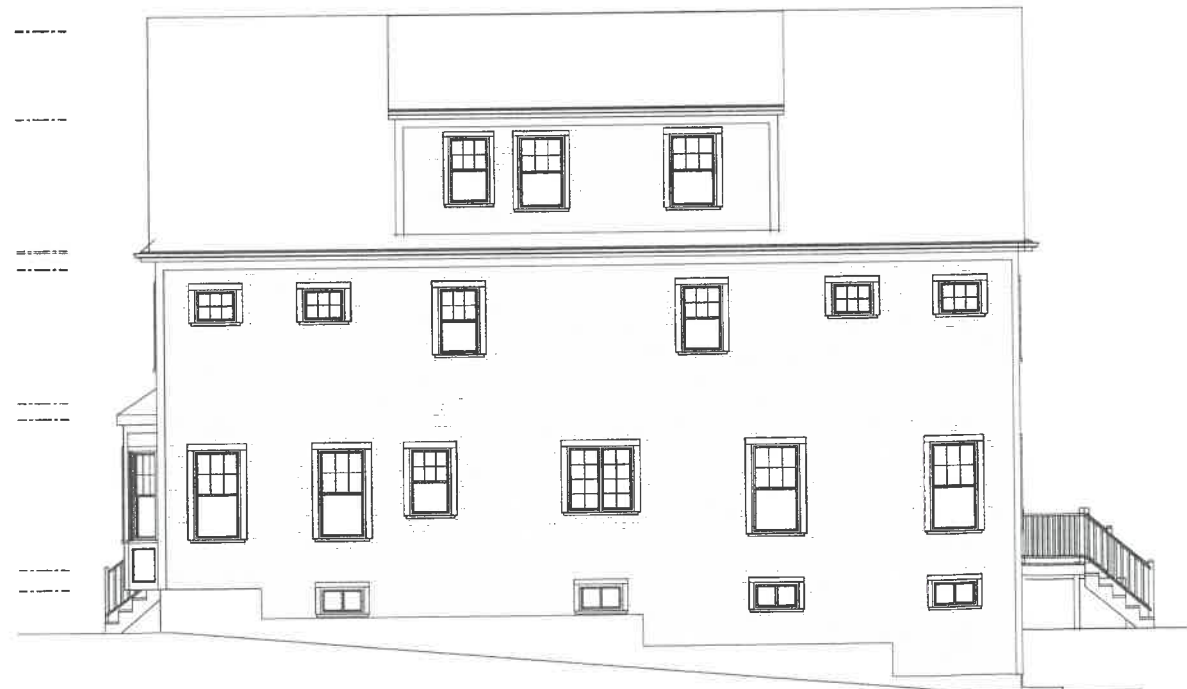
DATE

1





REAR ELEVATION



RIGHT ELEVATION

DATE 1/8/2022  
PROJECT COL 116-18ASH  
SCALE 1/4" = 1'-0"

**BUILDER MIKE COLLINS**  
PROPOSED TWO FAMILY RESIDENCE  
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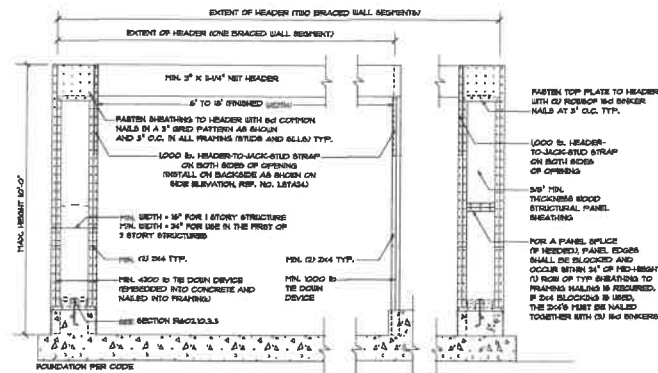
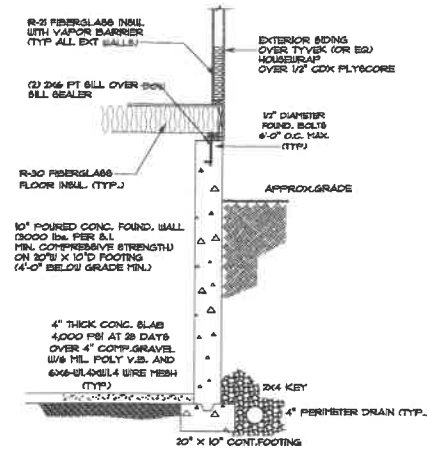
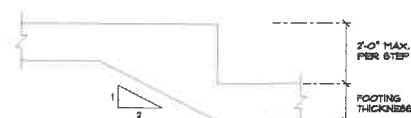


FIGURE R602.10.3.3  
METHOD FFH: PORTAL FRAME WITH HOLD-DOWNS  
NOT TO SCALE



TYP. FOUNDATION DETAIL  
NO SCALE

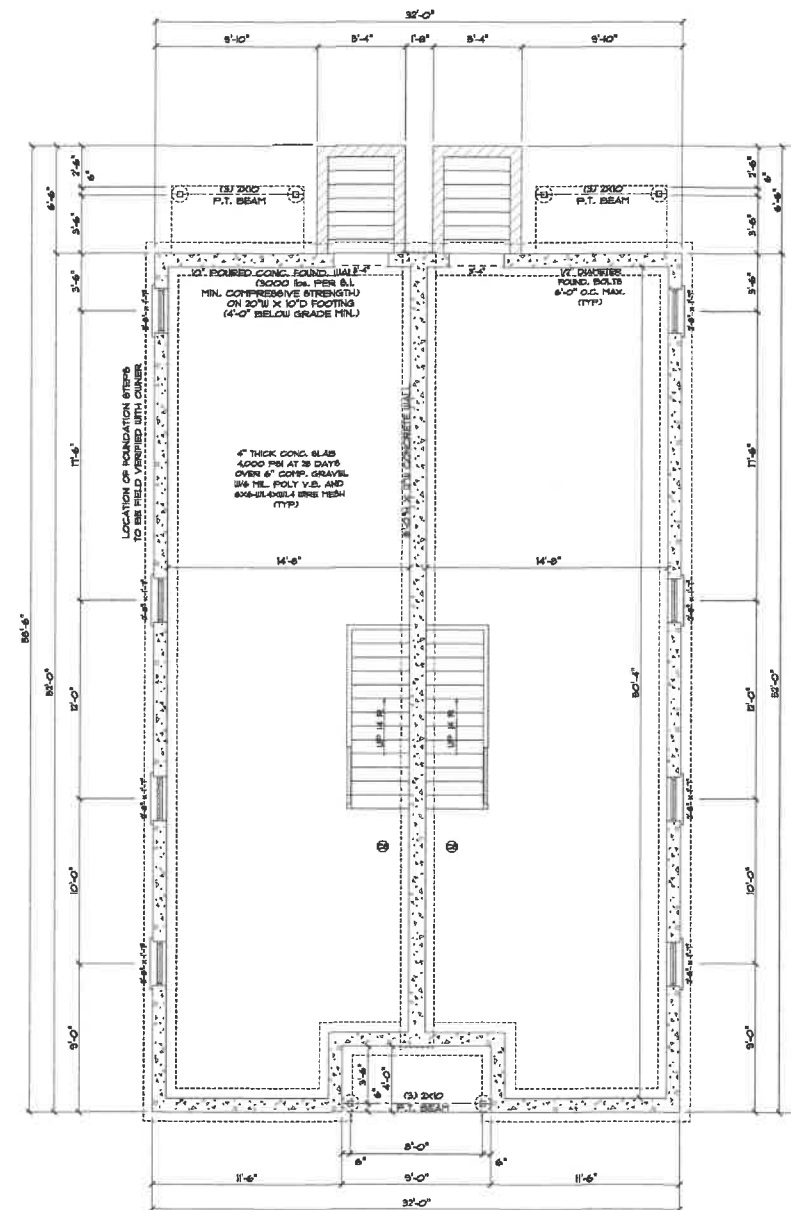


NOTE:  
ALL FOOTING STEPS MUST BE  
IN ACCORDANCE WITH THIS DETAIL.

TYP. FOOTING STEP  
NO SCALE

#### FOUNDATION NOTES

- 1) CONCRETE SLABS ON GRADE SHALL HAVE CONTROL JOINTS CUT AT LEAST 1/4 THE SLAB THICKNESS. THESE SHALL BE SPACED NOT MORE THAN 30 FEET IN EACH DIRECTION. CONTROL JOINTS SHALL BE PLACED WHERE OFFSETS ARE MORE THAN 10 FEET. CONTRACTION JOINTS ARE NOT REQUIRED WHERE 604 1/4 X 1/4 WELDED WIRE FABRIC OR EQ. IS PLACED AT 1/4 DEPTH OF THE SLAB.
- 2) THE COMPRESSIVE STRENGTH OF CONCRETE FOUNDATIONS AT 28 DAYS SHALL NOT BE LESS THAN 4000 PSI/28 DAYS.
- 3) FOUNDATION WALLS SHALL EXTEND AT LEAST 8" ABOVE FINISH GRADE.
- 4) THE BOTTOM OF ANY POINT OF A FOUNDATION SHALL BE A MINIMUM OF 4" BELOW FINISH GRADE.
- 5) FOUNDATION ANCHOR BOLTS SHALL BE A MINIMUM OF 1/2" IN DIAMETER. THEY SHALL HAVE A MINIMUM EMBED OF 8" IN POURED CONCRETE. THERE SHALL BE A MINIMUM OF TWO ANCHORS PER SECTION OF SILL PLATE. MAXIMUM SPACING SHALL BE 6'-0" O.C. INSTALL IN ACCORDANCE WITH MASSACHUSETTS STATE BUILDING CODE.



FOUNDATION PLAN

DATE: 5/12/2022  
COLLINS-18A6H  
1/4" = 1'-0"

**Builder Mike Collins**

PROPOSED TWO FAMILY HOME

**18 ASH STREET BELMONT, MA.**



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# INSULATION

INSULATION VALUES TO BE MET VIA COMPLIANCE WITH THE PRESCRIPTIVE IRC 2012.

SLABS - R-10 MIN (2" PERIMETER)

BASEMENT - R-5 MIN. CONT.  
R-15 MIN. CAVITY (INTERIOR)

CRAWLSPACE - R-15 MIN. CONT.  
R-15 MIN. CAVITY (INTERIOR)

FLOORS - R-30 MIN

WALLS - R-20 MIN

CEILING - R-15 MIN

WALL PENETRATIONS - 32

SKYLIGHTS - U-0.5 MAX

DOORS/HATCHES TO UNCONDITIONED SPACE MUST BE GASKETED & INSULATED TO MATCH SURROUNDING R-VALUE

AIR SEALS- ALL JOINTS, BEAMS AND PENETRATIONS BETWEEN CONDITIONED AND UNCONDITIONED SPACE TO CREATE CONTINUOUS BARRIER.

ALL SPECIFICATIONS PROVIDED BY HUBBARD WATER TO SUPERSEDE VALUES LISTED IN THIS TABLE.

ELECTRICAL	SYMBOL
SMOKE DETECTOR	Ⓢ
CO DETECTOR	Ⓢ
SMOKE / CO COMBINATION	Ⓢ
HEAT DETECTOR	Ⓢ

SMOKE DETECTOR REQUIRED LOCATIONS, R314.3

SMOKE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

1. IN ALL BEDROOMS, AND
2. IN THE IMMEDIATE VICINITY OF BEDROOMS
3. IN EACH STORY OF A DWELLING UNIT, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

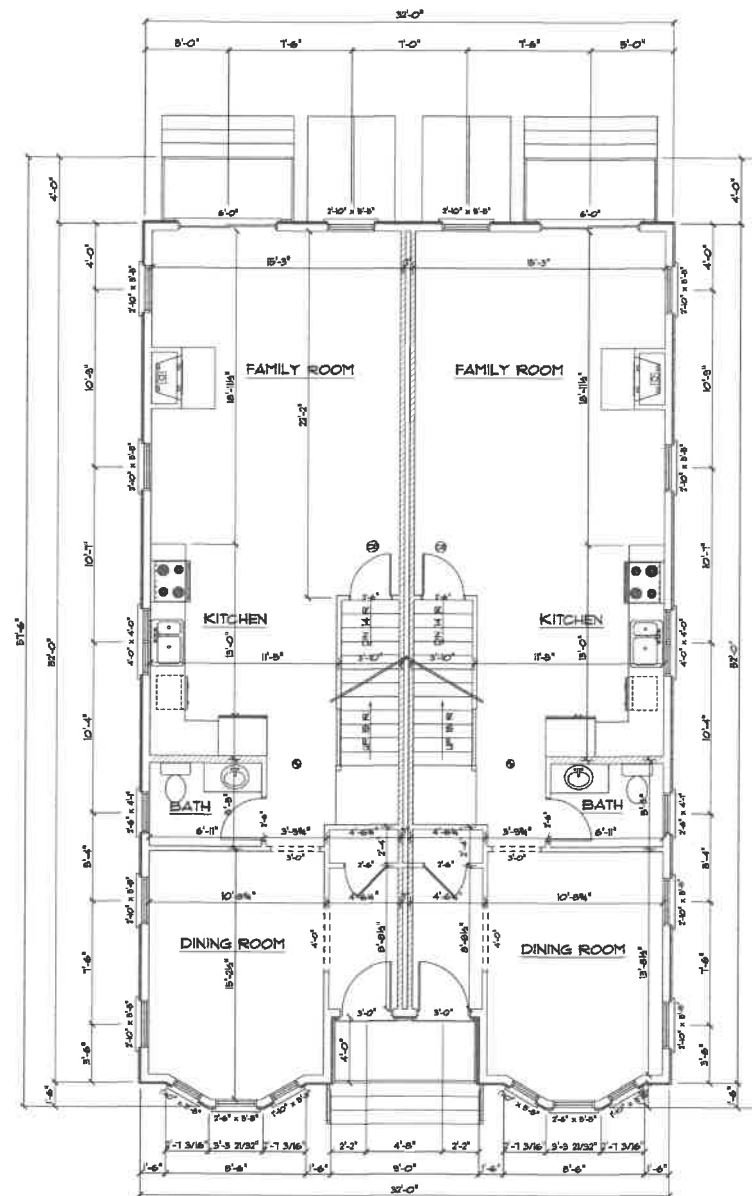
4. POINT-TYPE TEMPERATURE HEAT DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF R314.3

## CARBON MONOXIDE DETECTOR SPECIFIC INSTALLATION PROVISIONS, R315.2

EVERY RESIDENTIAL STRUCTURE THAT PRESENTLY OR IN THE FUTURE CONTAINS PORTABLE FUEL BURNING EQUIPMENT OR HAS ENCLOSED PARKING SHALL BE EQUIPPED, BY THE OWNER, LANDLORD OR SUPERINTENDENT, WITH WORKING AND LISTED CARBON MONOXIDE ALARM PROTECTION.

(A) CARBON MONOXIDE ALARM PROTECTION SHALL BE LOCATED IN EACH LEVEL OF EACH DWELLING UNIT INCLUDING HABITABLE PORTIONS OF BASEMENTS, CELLARS AND ATTICS, BUT NOT INCLUDING CRAWL SPACES.

(B) WHEN MOUNTING CARBON MONOXIDE ALARM PROTECTION ON A LEVEL OF A DWELLING UNIT WITH A SLEEPING AREA, THE ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF THE SLEEPING AREA, NOT TO EXCEED 10 FEET AS MEASURED IN ANY DIRECTION FROM ANY BEDROOM DOOR.



FIRST FLOOR PLAN

DATE: 5/12/2022  
PROJECT: COLLINS-18ASH  
SCALE: 1/4" = 1'-0"

**Builder Mike Collins**  
PROPOSED TWO FAMILY HOME  
**18 ASH STREET BELMONT, MA.**



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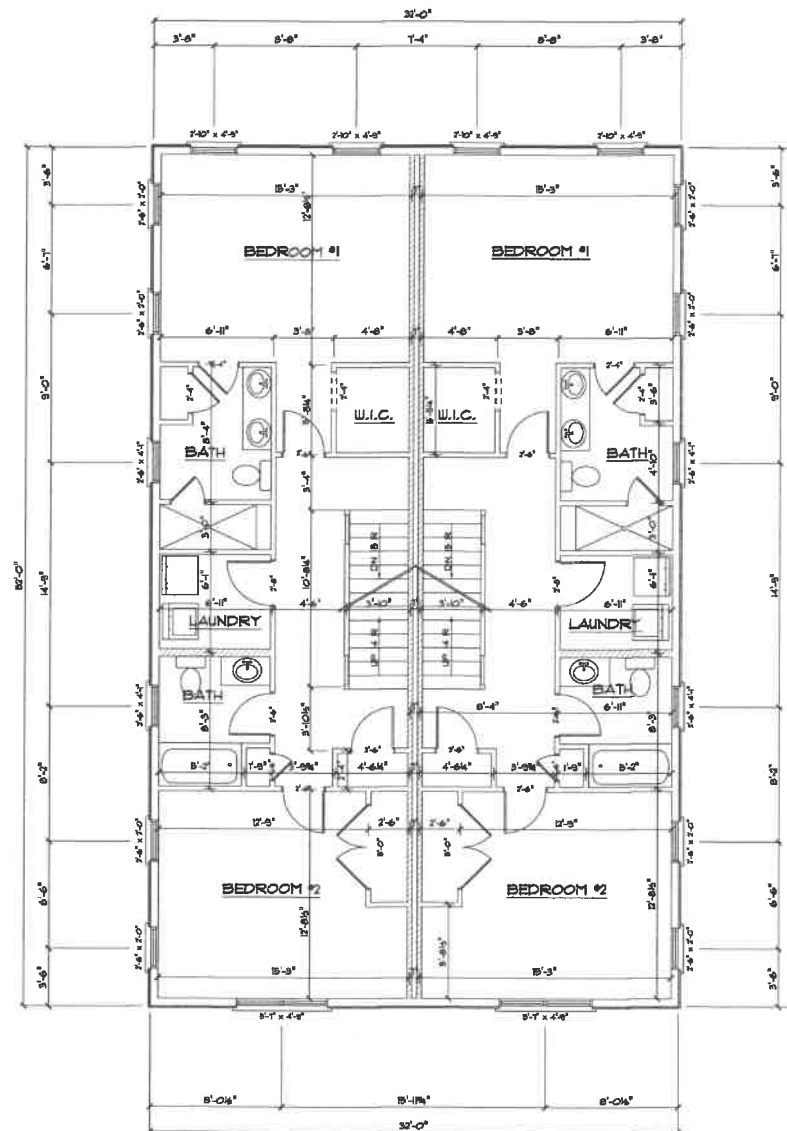
R301.7.4.1 RISER HEIGHT.  
THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4".  
THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS.  
THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

R301.7.4.2 TREAD DEPTH.  
THE MINIMUM TREAD DEPTH SHALL BE NINE INCHES.  
THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" INCH.  
UNDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH EQUAL TO THE TREAD DEPTH OF THE STRAIGHT RUN PORTION OF THE STAIRS MEASURED AS ABOVE AT A POINT 12 INCHES FROM THE SIDE WHERE THE TREADS ARE NARROWER. UNDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF THREE INCHES AT ANY POINT. WITHIN ANY FLIGHT OF STAIRS, THE GREATEST UNDER TREAD DEPTH AT THE 12 INCH WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

R302. GUARDS REQUIRED.  
GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS, AND LANDINGS, THAT ARE LOCATED MORE THAN 30" TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. INSECT SCREENING SHALL NOT BE CONSIDERED A GUARD.

R301.7.1 HANDRAILS.  
HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS.

R301.7.1.1 HEIGHT.  
HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPE PLANE ADJOINING THE TREAD NOSE, OR FINISH SURFACE OF RAMP SLOPE, SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 36 INCHES.

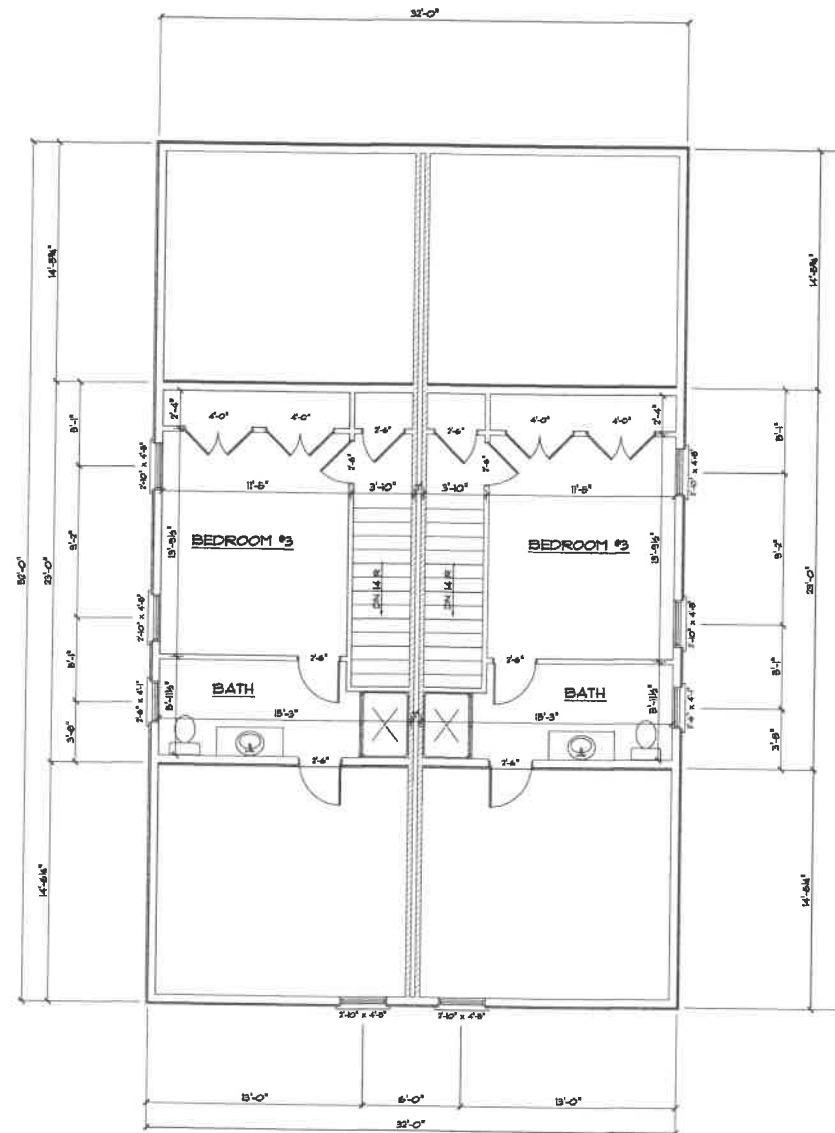


SECOND FLOOR PLAN

DATE 5/12/2022  
PROJECT COLLINS-BASH  
SCALE 1/4" = 1'-0"

**Builder Mike Collins**  
PROPOSED TWO FAMILY HOME  
**18 ASH STREET BELMONT, MA.**

**afab**  
enterprises  
CUSTOM HOME DESIGNS  
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ATTIC PLAN

DATE 5/12/2022  
 COLLINS-BASH  
 1/4" = 1'-0"

**Builder Mike Collins**  
 PROPOSED TWO FAMILY HOME  
**18 ASH STREET BELMONT, MA.**



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DATE

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