



WARNING:
This document may not be secure, may be corrupted in transmission or due to software incompatibility and/or may be amended or altered by third parties after leaving Joe The Architect LLC's possession. Joe The Architect LLC is not responsible for and accepts no liability for such matters. Subject only to any conflicting provision within any prior binding agreement by Joe The Architect LLC (which agreement may also contain additional conditions relating to this document and its use):
1. the content of this document is confidential and copyright in it belongs to Joe The Architect LLC. They are permitted only to be opened, read and used by the addressee
2. all users of this document must carry out all relevant investigations and must examine, take advice as required and satisfy themselves concerning the contents, correctness and sufficiency of the attachment and its contents for their purposes.
3. to the extent permitted by law, all conditions and warranties concerning this document or any use to which they may be put (whether as to quality, outcome, fitness, care, skill or otherwise) whether express or implied by statute, common law, equity, trade, custom or usage or otherwise are expressly excluded.
4. any person using or relying document releases and indemnifies and will keep indemnified Joe The Architect LLC against all claims, liabilities, loss, costs and expenses arising directly or indirectly out of or in connection with such use or reliance including without limitation any misrepresentation, error or defect in this document.

Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards.



project number 000 drawing number A000 revision 1 07/29/2021

Index of Drawings

SHEET LIST	
Sheet Number	Sheet Name
A000	COVER SHEET
A001	SITE CONTEXT AND CODE ANALYSIS
A002	STANDARDS, GENERAL NOTES & ABBREVIATIONS
A030	EXISTING - DEMO PLANS
A111	FLOOR PLANS - BASEMENT & FIRST FLOOR
A112	FLOOR PLANS - SECOND FLOOR & ROOF
A120	REFLECTED CEILING
A140	FLOOR FINISHES PLAN
A200	EXTERNAL ELEVATIONS
A210	BUILDING SECTIONS
A300	WINDOW SCHEDULE & LEGEND
A360	DOOR SCHEDULE & LEGEND
A600	INTERNAL ELEVATIONS
A601	INTERNAL ELEVATIONS
A602	INTERNAL ELEVATIONS
A603	INTERNAL ELEVATIONS
A604	INTERNAL ELEVATIONS
A605	INTERNAL ELEVATIONS
A606	INTERNAL ELEVATIONS
A700	GARAGE PLANS & ELEVATIONS
A900	3D VIEWS
PLOT PLAN	EXISTING
PLOT PLAN 2	PROPOSED
S1.0	NOTES & SPECS
S1.1	FIRST AND SECOND GARAGE
S1.2	ROOF/ATTIC
S2.0	SECTIONS

For Construction

CLIENT NAME:
Kunal & Bhavika Shah

CLIENT ADDRESS:

JOE THE ARCHITECT

343 Medford Street, Suite 4C,
Somerville, MA 02145
t: +1(617) 764-3593
e: info@joethearchitect.com
www.joethearchitect.com

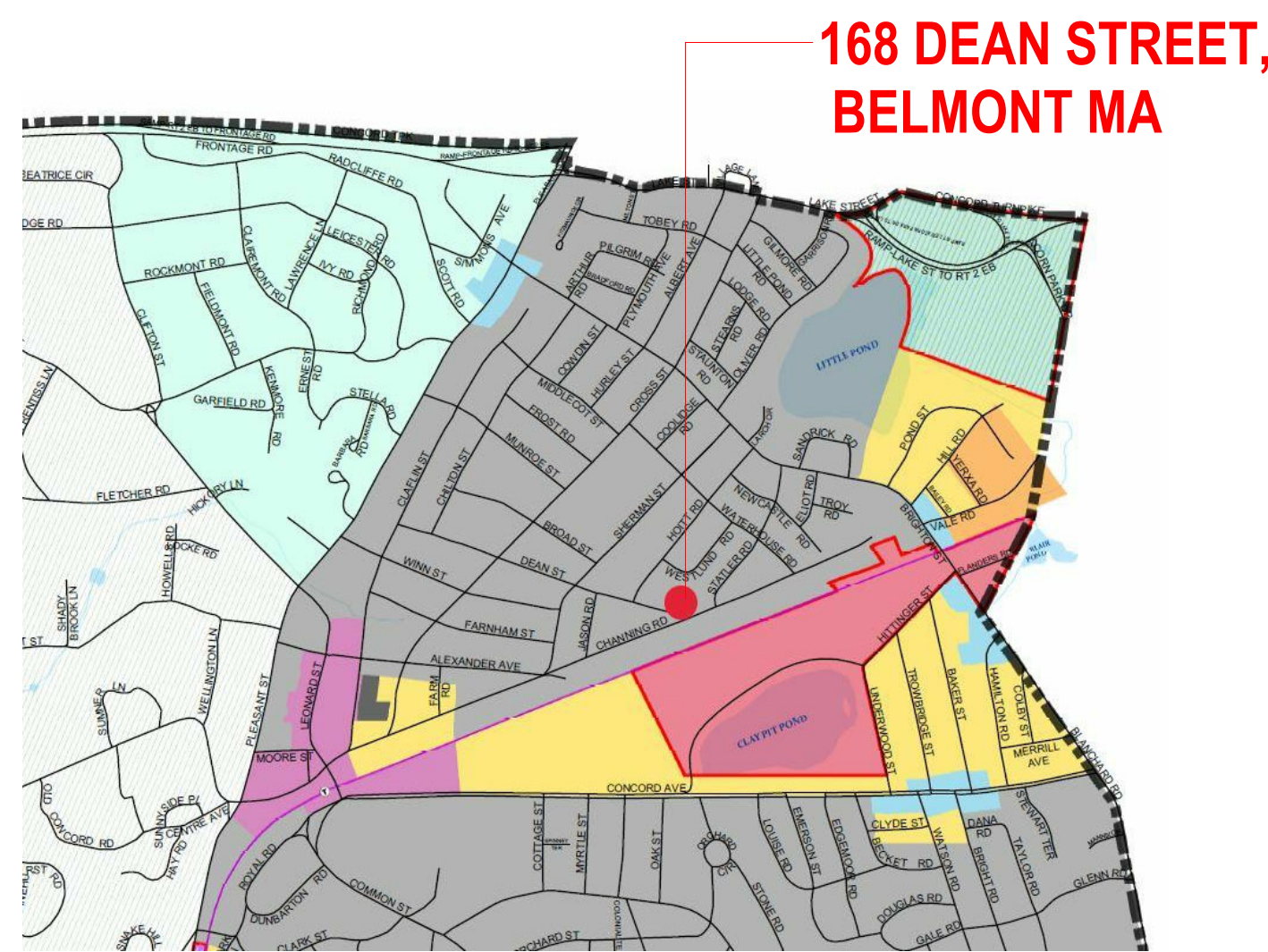
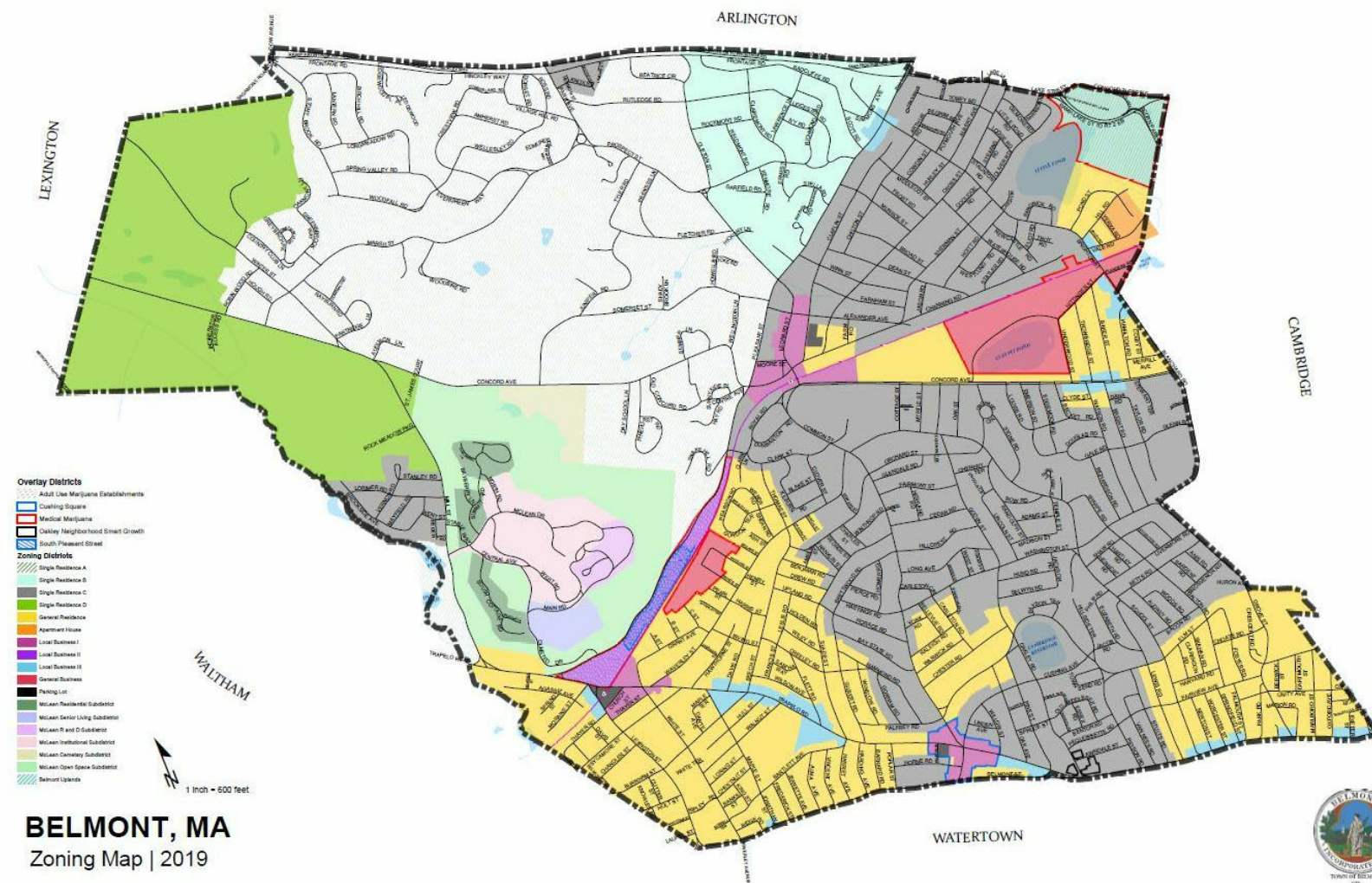
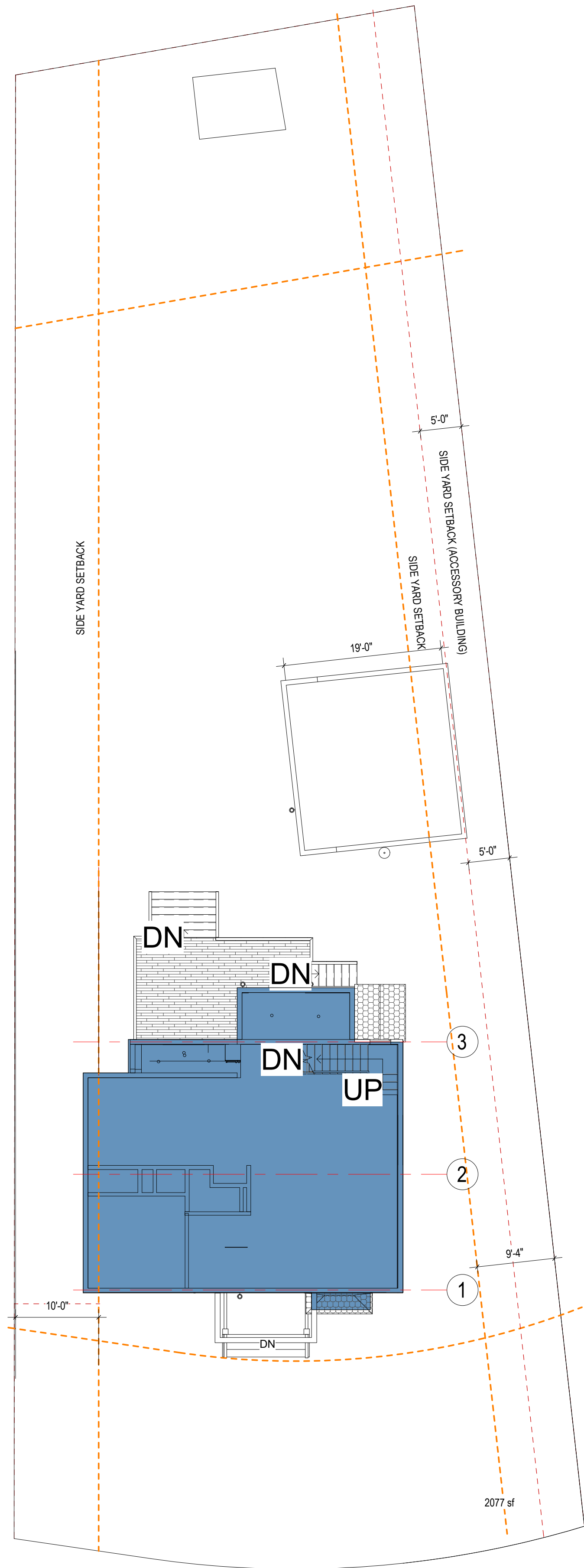
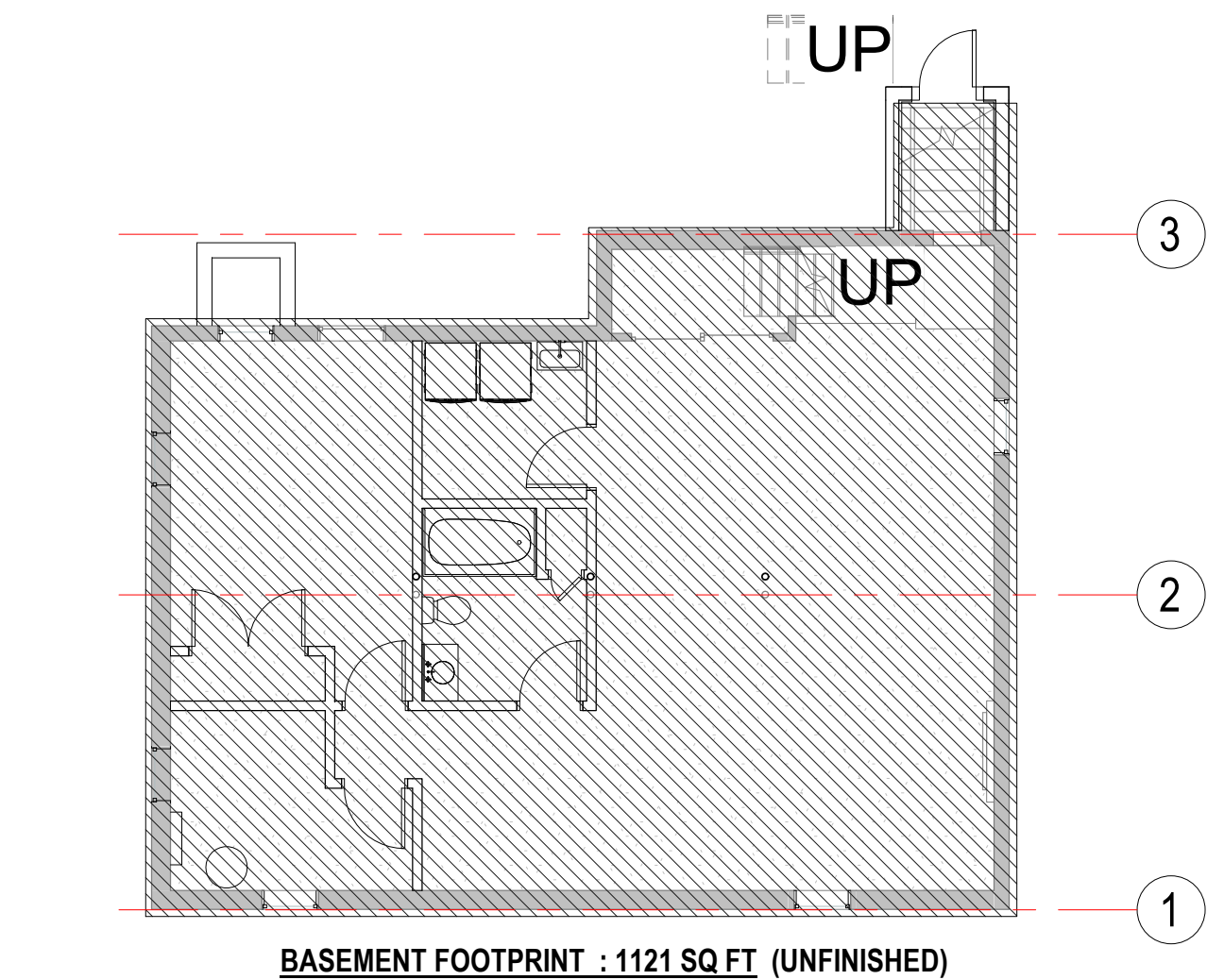
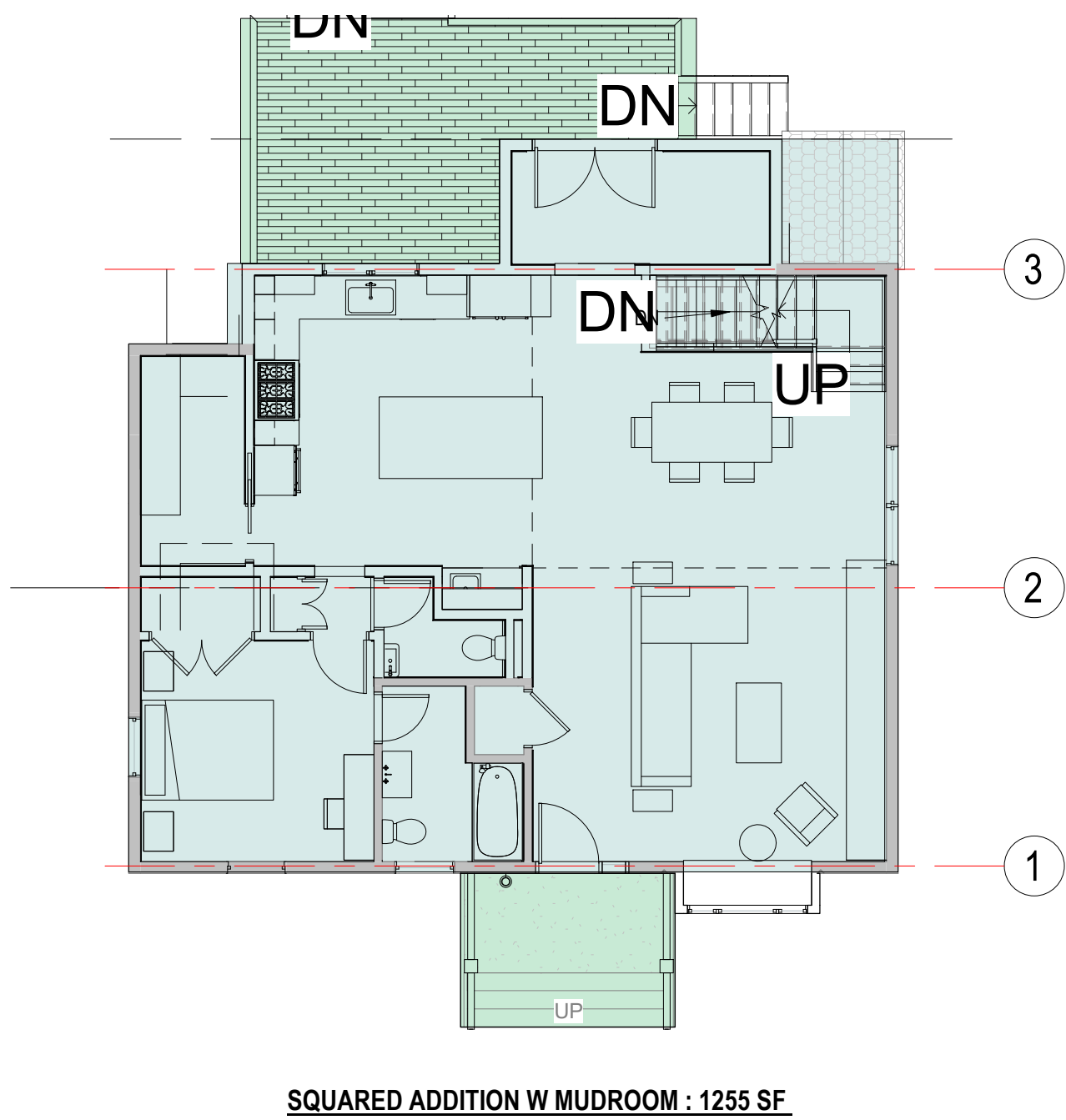
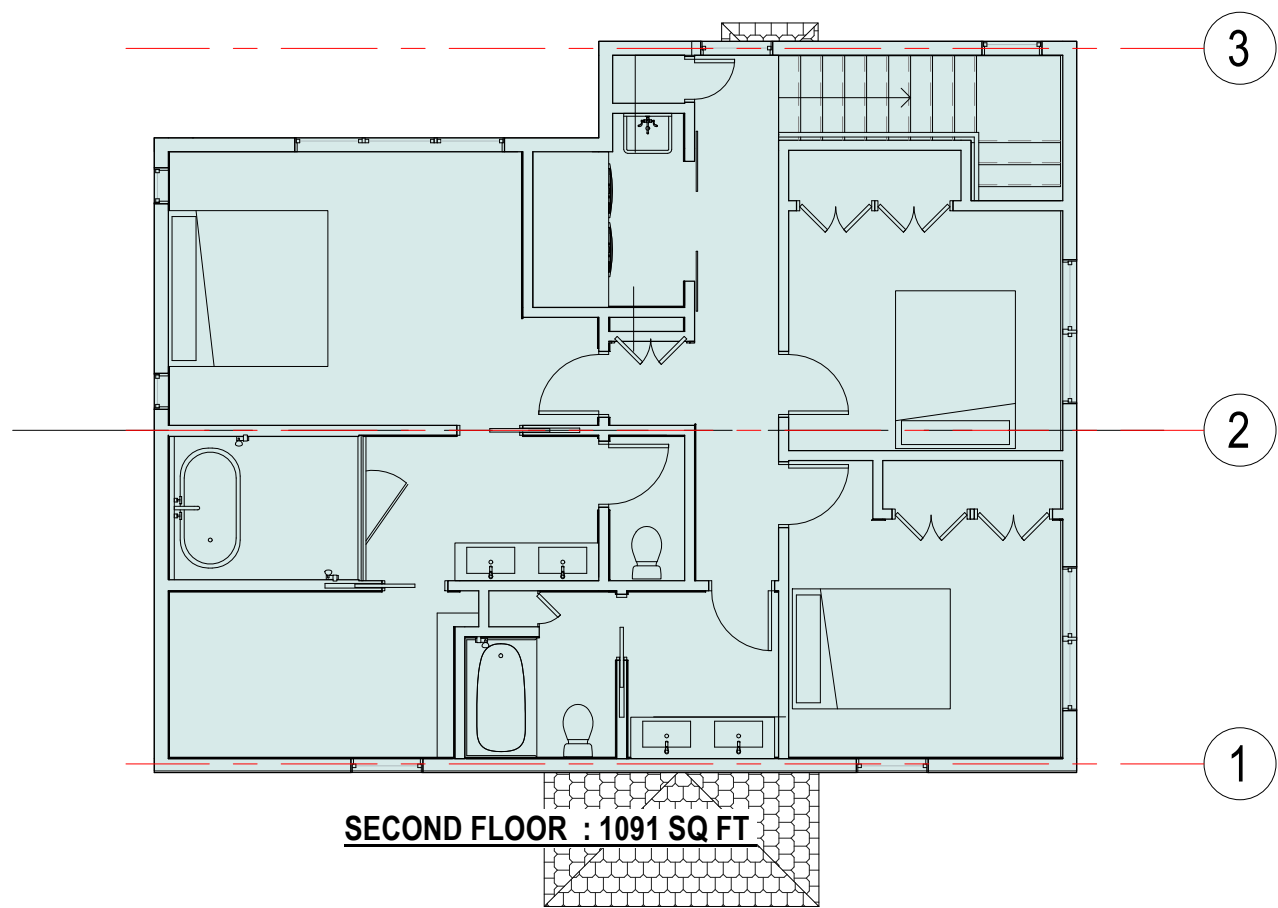
Joe The Architect

PROJECT NAME:
Dean Street Residence

PROJECT ADDRESS:

**168 Dean Street
Belmont, MA 02478**

PROJECT NO: 000 ISSUE DATE: 07/29/2021
7/29/2021 3:27:03 AM



DIMENSIONAL REQUIREMENTS			
TYPE OF USE	SR-C single family detached		
	ALLOWABLE	EXISTING	PROPOSED
LOT SIZE (min)	9,000 sq ft	10,815 sq ft	10,815 sq ft
LOT FRONTAGE (min)	75'-0	70'-0	70'-0
LOT COVERAGE (max)	25%	17.8 %	20.1%
OPEN SPACE (min)	50%	68%	64%
BUILDING HEIGHT (max)	2 1/2 stories 30'-0	1	2
FRONT YARD (min)	25'-0	30.3'	30.3'
SIDE YARD (min)	10'-0	8.1' (dwelling)	8.1' (dwelling)
REAR YARD (min)	30'-0	96'-0	73.25'
		3.9' (shed)	3.9' (shed)

- DEFINITIONS**
- basement** - a portion of a building partially underground, but having less than 60% of its clear height below grade
- cellar** - a portion of a building partially underground, but having 60% or more of its clear height below grade
- lot coverage** - percentage of total lot area covered by structures or roofed
- open space** - an open area on a lot, unbuilt on, containing landscaping materials, pedestrian walks, patios, recreational facilities, but excluding driveways and parking spaces
- story** - that portion of a building, other than a cellar, included between the upper surface of a floor and upper surface of the floor or roof next above
- story half** - a space under a sloping roof where :
- the line of intersection of the rafter bottoms and the interior wall surface is not more than 3'-0 above the floor level on at least half the perimeter of the second floor
 - the potential space having headroom of 5'-0 or more is not more than 60% as large as the second floor
 - provided that the length of the dormer does not exceed 75% of the length of the roofline on the side of the structure where the dormer is constructed, and
 - for purposes of this calculation, when the height of the second floor is indeterminate, the height of the second floor (from finished floor to finished ceiling) shall be equal to 12'-0, if the remaining portion of the wall shall be factored into the half-story calculation.

- Zoning Districts**
- Single Residence A
 - Single Residence B
 - Single Residence C
 - Single Residence D
 - General Residence
 - Apartment House

PARCEL ID	37-52-
LAND USE	Single Res C (SR-C)
LOT SIZE	10,815
LIVING AREA	1,064
PROPOSED	2,453 (+ cellar)

For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

168 Dean Street
Belmont, MA 02478

client information:
Kunal & Bhavika Shah

J^tA
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
**SITE CONTEXT AND
CODE ANALYSIS**

project number 000	drawing scale As indicated	approver Approver
drawing number A001	revision 1	

F		PERF	perforated
FA	fahrenheit	PL	plate
FAF	fire alarm	PLAM	plastic laminate
FACP	fire alarm control panel	PLA	plaster
FB	flat bar	PLF	pounds per linear foot
FBO	furnished by others	PLYWD	plywood
FBC	fire extinguisher cabinet	POS	point of sale
FD	floor drain	PR	pair
FDC	fire department connection	PRCST	precast
FDN	foundation	PT	partition
FE	fire extinguisher	PSF	pounds per square foot
FEC	fire extinguisher cabinet	PSI	pounds per square inch
FHC	fire hose cabinet	PT	paint
FIN	finish	PTD	paper towel dispenser
FLUOR	fluorescent	PTDIR	combination paper towel dispenser and receptacle
FO	finished opening	PTL	pressure treated lumber
FOC	face of concrete	PTR	pressure treated
FOM	face of masonry	PVMT	pavement
FOS	face of stud		
FOW	face of wall		
FPL	fireplace		
FPR	fire protection riser		

FRP fireproof
FRG fiber reinforced gypsum
FRP fiber reinforced panel
FRT fire retardant treatment
FS full size
FSP fire standpipe
FTR fire treated
FTG footing
FURR furring
F&I furnish and install
FUT future

G
GA gauge
GALV galvanized
GB grab bar
GC general contractor
GFRG glass fiber reinforced concrete
GFRG glass fiber reinforced gypsum
GL glass / glazing
GND ground
GT grout
GSF gross square foot
GWB gypsum wall board
GYP gypsum

H
H high
HB hose bib
HC hollow core
HWD hardwood
HDWE hardware
HDDR hardware
HM hollow metal
HORIZ horizontal
HPT highpoint
HR hour
HT height
HGT height

I
ID inside diameter; inside dimension
IN inch
IN information
INSUL insulation
INT interior

J
JAN janitor
JT joint
JST joint

K
KIT kitchen

L
LAB laboratory
LAM laminate
LAV lavatory
LB pound
LED light emitting diode
LF linear feet
LH left hand
LKR locker
LT light
LVL laminated veneer lumber
LVR locker
LVT luxury vinyl tile

M
MAX maximum
MC medic cabinet
MDF medium density fiberboard
MDL modular
MECH mechanical
MEMB membrane
MEP mechanical, electrical, plumbing
MFR manufacturer
MH manhole
MIN minimum
MIR mirror
MISC miscellaneous
MLO moulding
MO masonry opening
MTD mounted
MTL metal
MUL mulion
MWK millwork

N
NC new construction
NIC not in contract
NO, or # number
NOM nominal
NSF net square footage
NTS not to scale

O
OA overall
OBS obscure
OC on center
OCC occupancy
OD outside diameter (DIM.)
OFF office
OFICI owner furnished/contractor installed
OFIOI owner furnished/owner installed
OFD overflow drain
OHRD overhead door
OH opposite hand
OPNG opening
OPP opposite
ORIG original

P
P pendant
PBF prefabricated
PBL plumbing fixture
PCC precast concrete
PCF pounds per cubic foot
PERF perforated
PL plate
PLAM plastic laminate
PLA plaster
PLF pounds per linear foot
PLYWD plywood
POS point of sale
PR pair
PRCST precast
PRT partition
PSF pounds per square foot
PSI pounds per square inch
PT paint
PTD paper towel dispenser
PTD/R combination paper towel dispenser and receptacle
PTL pressure treated lumber
PTR pressure treated
PVMT pavement

Q	
QT	quarry tile
QTY	quantity
R	
RA	riser; right
RAD	return air
radius	radius
RB	resilient base
RBR	rubber base
RCP	reflected ceiling plan
RD	roof drain
REF	reference
REFR	refrigerator
RELOC	relocate
REINF	reinforced
REQ'D	required
RESIL	resilient
REST	restroom
RGTR	register
RH	right hand
RM	room
RP	resilient panel
RO	rough opening
RSF	resilient sheet flooring
RTU	roof-top unit
RWD	redwood
RWL	rain water leader
S	
SA	supply air
SAB	sound attenuation blankets
SC	solid core
SD	seat cover dispenser
SCHED	schedule
SD	smoke detector
SECT	section
SF	square footage
SH	shelf
SHR	shower
SHT	sheet
SIM	similar
SKL	skylight
SND	sanitary napkin dispenser
SNR	sanitary napkin receptacle
SNT	sealant
SOB	symbol on background
SO	sooth
SPD	soap dispenser
SPEC	specification
SQ	square
SS	solid surface
SSK	service sink
SST	stainless steel
ST	stone
STA	station
STD	standard
STL	steel
STOR	storage
STRL	structural
SUSP	suspended
SYM	symmetrical
T	
T	tile
TB	towel bar
TBD	to be determined
TC	top of curb
TEL	telephone
TEMP	temporary
TER	terrazzo
T&G	tongue and groove
THK	thick
TOC	top of concrete
TOP	top of pavement
TOS	top of slab; top of steel
TOW	top of wall
TPD	toilet paper dispenser
TR	tread
TV	television
TX	textile upholstery
TYP	typical
U	
UL	underwriters' laboratories
UNF	unfinished
UON	unless otherwise noted
UR	urinal
V	
VAR	varnish
VB	vapor barrier
VCT	vinyl composition tile
VERT	vertical
VEST	vestibule
VIF	verify in field
VNR	veneer
W	
W	west
W/	with
WB	wall base
WC	wall covering
WD	wood
W/O	without
WP	waterproof
WSCT	wainscot
WT	weight
WTC	water closet
WWM	welded wire mesh

the preceding list of abbreviations is presented as a general guide and does not necessarily show all abbreviations used. other generally accepted abbreviations may be found among the drawings.

Use discipline sheets for discipline specific symbols

A100

sheet #
sheet # sequence
sheet series
discipline

SHEET NUMBER

0

NORTH ARROW

project north
true north

Plan or Detail Callout
View Name
1/8" = 1'-0"
View Scale

GRID BUBBLES

Exterior elevation callout
1 Ref
Sheet on which elevation is drawn
A101
1 Ref

PLAN OR DETAIL TITLE

Exterior elevation callout
1 Ref
Sheet on which elevation is drawn
A101
1 Ref

EXTERNAL ELEVATION REFERENCE

Building section number
A
SIM
A101
Sheet on which section is drawn

INTERNAL ELEVATION REFERENCE

Building section number
1
SIM
A101
Sheet on which section is drawn

BUILDING SECTION REFERENCE

WALL SECTION REFERENCE

Callout section number
Sheet on which callout is drawn
A101
SIM

DETAIL SECTION REFERENCE

DETAIL CALLOUT REFERENCE

OFFICE
OFFICE
OFFICE
G.01
G.01
150 SF

ROOM NAME

W/ ROOM NUMBER

W/AREA

1.2
Mark
1.2
frame type mark
hardware set
panel type
W1
A1
36 48

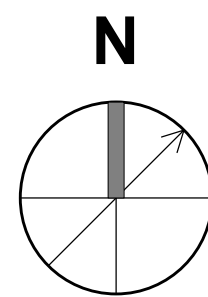
EGRESS DOOR TAG

DOOR TAGS

WINDOW TAG

A1
WALL TAG
20 R @ 7 1/2"
STAIR TAG
CE1
9'-0" A.F.U.
CEILING TAG
TypeMark
CASEWORK TAG
S1-2000
FURNITURE TAG
PT2
FINISH TAG
+
SPOT ELEVATION
Name
Elevation
LEVEL HEADS
MATCHLINE SEE: 1 / A101
MATCHLINE REFERENCE
C
CENTERLINE TAG
A1
REVISION CALLOUT AND CLOUD
FLOW ARROW REFERENCE
DETAIL SECTION REFERENCE
DETAIL CALLOUT REFERENCE

- the drawings have been compiled from the best available information and are not intended to limit the scope of work, the contractor may uncover hidden conditions not shown in this contract set.
- the contractor shall not be held responsible in the drawings and specifications and shall provide all items req'd for a complete functioning system, including appropriate blocking for wall mounted fixtures, shelving, accessories, etc.
- we shall not be responsible if contractor is noted "n.i.c.", items to be provided by owner and installed by g.c. as so noted.
- general contractor shall make all sub-contractors and suppliers aware of the requirements of these notes. all work shall be performed in compliance with all applicable local, state and national building, life safety, electrical and plumbing codes having jurisdiction over this project.
- general contractor shall be responsible for securing all necessary permits and the coordination of the work shown throughout the contract documents.
- general contractor shall layout in the field the entire work to be performed to verify dimensional relationships before proceeding with the construction and shall verify all existing conditions and locations / bearings before proceeding with work / installation.
- general contractor shall be responsible for the coordination of the dimensional requirements between the work of the required trades and sub-contractors.
- drawings shall not be scaled for dimensions and / or sizes, drawings may have been reproduced at a scale different than that originally drawn.
- general contractor shall field verify all existing conditions, dimensions, structure, utility lines, etc. any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classifying of a product, material or method of assembly is to be brought to the attention of the architect immediately. s/d drawings will be issued when as or as required.
- g.c. & all trades, are responsible for coordination of the locations of all mech., elec., plumb, fixtures & devices. if conflict exists b/w drawings, exact locations shall be per architectural drawings or per field conditions as required.
- g.c. & ea, trade subcontractors are responsible for reviewing & coordinating all trades' equipment and distribution including pipes, conduit, etc. any ensure that all fit in the allocated space, any conflict should be brought to the attention of the architect immediately and appropriate engineer immediately, in writing.
- protect all existing walls, doors, etc. to remain. the contractor is responsible for the repair or replacement of all finishes, framing, and utilities damaged or disturbed during the course of the work, including shop applied finishes, existing finishes disturbed during the course of the work shall be repaired such that patches will not be detectable & the new surface will be continuous w/ adjacent surfaces, wall surfaces shall be smooth, durable, and stable, free of cracks, holes, dents etc.
- where new walls or construction are to meet existing, repair or replace existing adjacent finishes as req, such that the joint is smooth, flush and invisible when complete.
- g.c. and trades shall cut penetrations for mep/ep, security and data systems, through wall, through ceiling, through floor and through roof as required: patching of all surfaces w/ materials that match and align w/ that cut shall be accomplished under the supervision of the architect. if not repaired or not, each trade is responsible for providing appropriate fire rated, fire rated caul, etc. for all penetrations in fire rated separations in order to maintain/restore fire ratings.
- dimensions:
 1. - all partition dimensions shown are to face of stud @ wall new construction u.o.n.
 2. - dimensions noted as "c/r" mean clear dim. to face of finish.
 3. - all dimensions are shown on plans and vertical dimensions on interior & exterior elevations where relevant.
 4. - vertical dimensions are to t.o. subfloor, u.o.n.
- align electrical devices including switches, outlets, fire alarm devices, emergency lights, etc. vertically & horizontally, wherever possible, in a straight line with each other, and unless prevented by code, see mounting heights schedule for typ. heights, see elevations for specific exceptions, align ceiling devices including smoke detectors, sprinkler heads, etc., with ceiling grid lines and fixtures unless otherwise noted, center all between elements or within grid in both directions u.o.n.
- ea, trade is responsible for sealing air vapor tight any penetrations made through air & vapor barriers.
- all metal and non-metal fastenings to be lapped positively to drain.
- separate dissimilar metals.



WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2010 all rights reserved

consultant / contractor information



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

168 Dean Street
Belmont, MA 02478

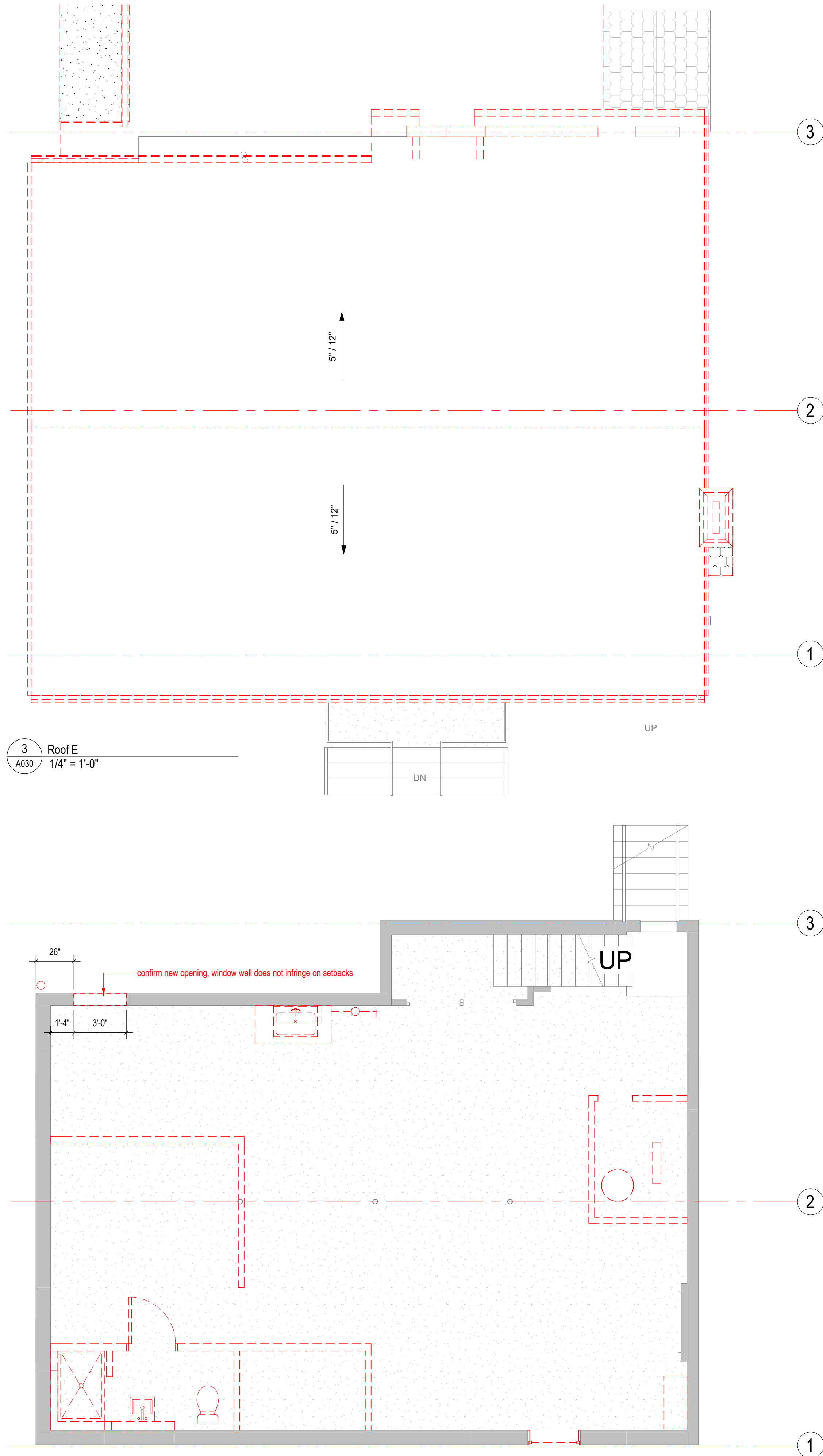
client information:
Kunal & Bhavika Shah

J^t A
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

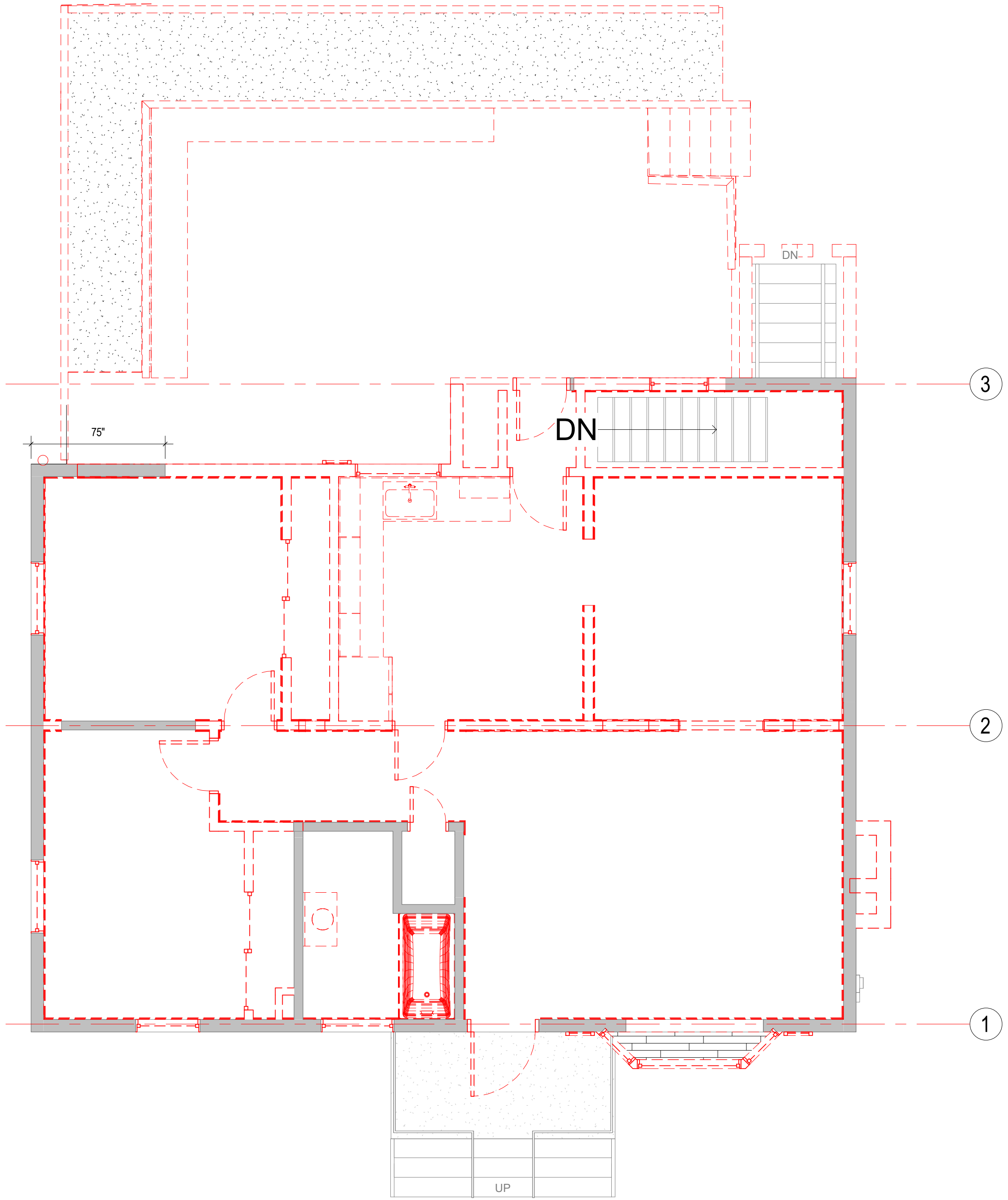
drawing title

**STANDARDS, GENERAL
NOTES &
ABBREVIATIONS**

project number 000	drawing scale As indicated	approver Approver
drawing number A002		revision 1



1 Basement E
A030 1/4" = 1'-0"



2 First Floor E
A030 1/4" = 1'-0"

GENERAL NOTES AND LEGENDS DEMOLITION

- see general construction notes on sheet A000.
- the drawings have been compiled from the best available information and are not intended to limit the scope of work. the contractor may uncover hidden conditions not shown in this contract set. in such an event, the contractor shall contact the architect immediately.
- selectively demo walls, ceiling, and floor finishes as shown and as required for new layout and systems. go to coordinate cutting of new door openings with required dims for units as shown on floor plans, elevations, and door schedule. notify architect of any conflicts.
- the contractor shall perform demo as required for wall mounted fixtures, shelving, accessories, etc, whether specifically shown or not.
- where removal of existing construction is required for performance of any work under this contract, removal & reinstallation shall be accomplished under the base contract, whether specifically shown or not, including restoration of utilities and any temporary shoring of structural components.
- protect all existing walls, doors, etc. to remain. the contractor is responsible for the repair or replacement of all finishes, framing, and utilities damaged or disturbed during the course of the work, including shop applied finishes.
- see electrical, mechanical, plumbing, fire protection drawings and specifications for relevant info and coordination for systems work. cut penetrations for me/pfp, security and data systems, through wall, through ceiling, through floor and through roof as required.
- all new sprinklers & piping shall be installed prior to demolishing the (e) system & making final connections, in order to minimize the impacts of shutdowns, drain down, system re-fill, and fire watches.
- it is the intent of the demolition scope to remove all existing items that will conflict with new work whether shown or not. all existing non-structural partitions, ceilings, casework, me/pfp items, furniture, finish materials, stairs, doors, windows and industrial equipment shall be removed. the contractor shall visit the site prior of the start of any work to become familiar with the existing conditions.
- refer to structural documents for additional information regarding removal and shoring of structural elements.
- refer to civil engineering and landscape architecture documents for additional information regarding removal of site related fixtures, equipment, and associated accessories.
- roofing subcontractor is responsible for removal of all roofing, including non-structural substrates, gutters, and associated flashings. removed material shall be disposed of by the general contractor.
- coordinate all demolition with hazardous material removal/abatement requirements.
- general contractor is responsible for disposal of all excess salvaged items not used in the project or requested to be returned to the owner.
- the contractor shall verify all existing conditions and review with all trades the extent of demolition required.
- the contractor shall protect all materials and equipment noted to remain. all material indicated to be salvaged or reinstalled shall be stored and protected from damage until ready to be permanently reinstalled.
- all material indicated to be removed shall be disposed of in accordance to applicable codes and laws. the owner retains the right to reclaim any existing material. such material shall be protected from damage and delivered to the owner as per owner's requirements and compliance with sustainable practices. at the end of demolition, leave the area free and clear, broom clean for the application of new work.
- the contractor shall provide protection around and over all floor openings. coordinate all new floor opening dimensions with architectural drawings.
- where floor finish removal is indicated, remove flooring materials down to substrate.
- clean any residue from concrete surface. prep substrate to receive finish as indicated on finish schedule and per flooring manufactures recommendations.
- where ceiling removal is indicated, remove all components of existing ceiling systems including all fasteners. all materials and equipment shall be removed to underside of structure above. prep surface of underside of structure for new finish per finish schedule.
- see mechanical, plumbing, fire protection, and electrical drawings for scope of mechanical, plumbing, fire protection, and electrical demolition. out, cap, and make safe all piping, conduit, and wiring as indicated on related drawings.
- contractor to provide temporary protection for interior side of all exterior walls and surfaces which will remain after demolition.
- locations of (e) sprinkler heads, lighting, hvac diffusers/registers, etc. and a.c.t. grids are not field dimensioned. g.c. to verify locations where in proximity of work.
- sprinkler heads, lighting, hvac diffusers/registers, etc. and a.c.t. grids are existing to remain u.o.n.
- provide temporary enclosure of all exterior openings created as a result of demolition until permanent enclosures are installed.
- provide temporary shoring at all demolition of new openings to install new lintel as indicated.

CONSTRUCTION LEGEND

- existing full height solid, glazed or part glazed partition to remain.
- existing full height solid, glazed or part glazed partition to be demolished
- new full height solid, glazed or part glazed partition to be demolished
- existing door to be demolished
- existing wall finish to be removed, to be read in conjunction with proposed works
- existing door to remain
- new door
- demolition hatch
- partial area demolition
- NIC - Not In Construct Hatch

For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and established work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Installation. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved.

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

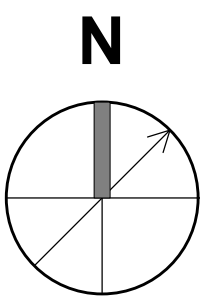
168 Dean Street
Belmont, MA 02478

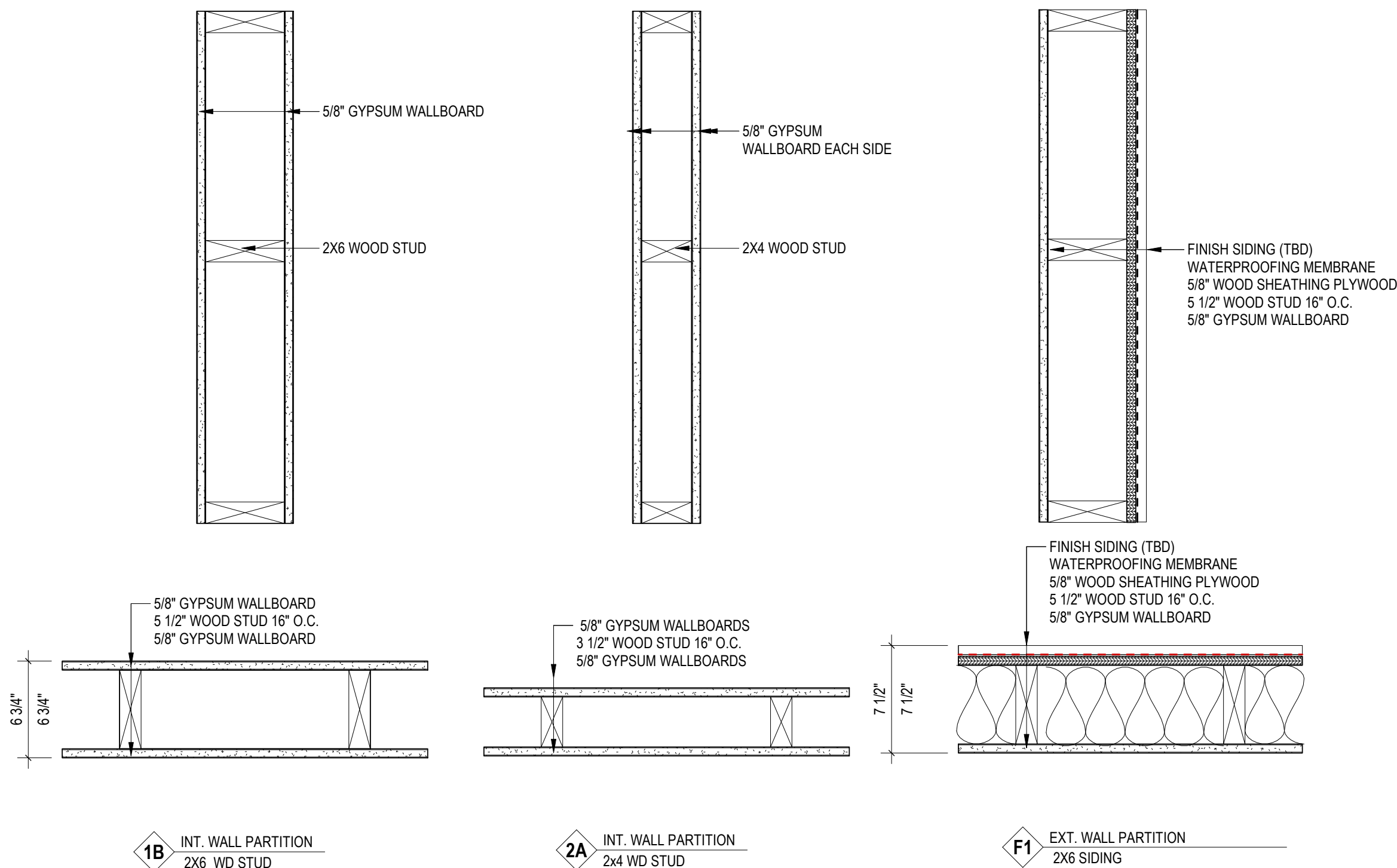
client information:
Kunal & Bhavika Shah

J^tA
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
**EXISTING + DEMO
PLANS**

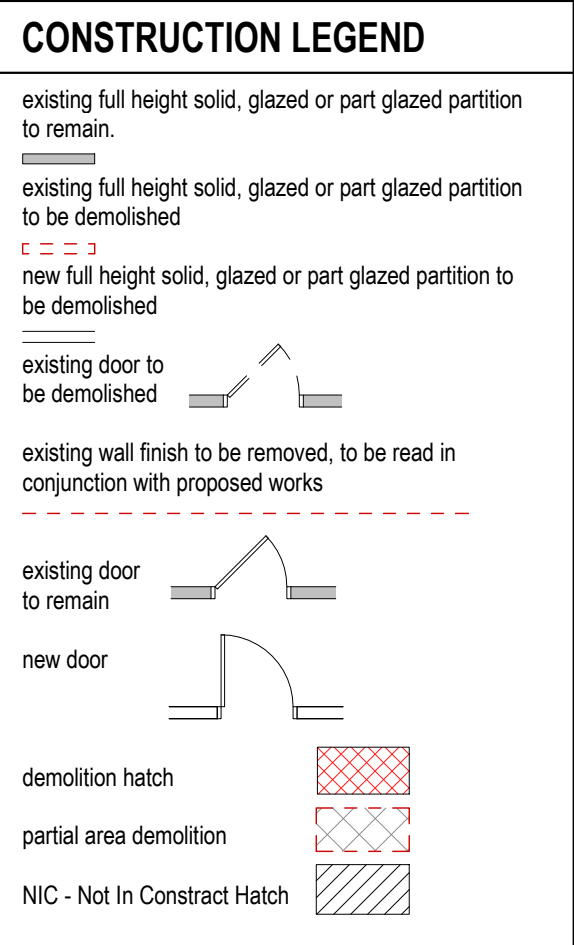
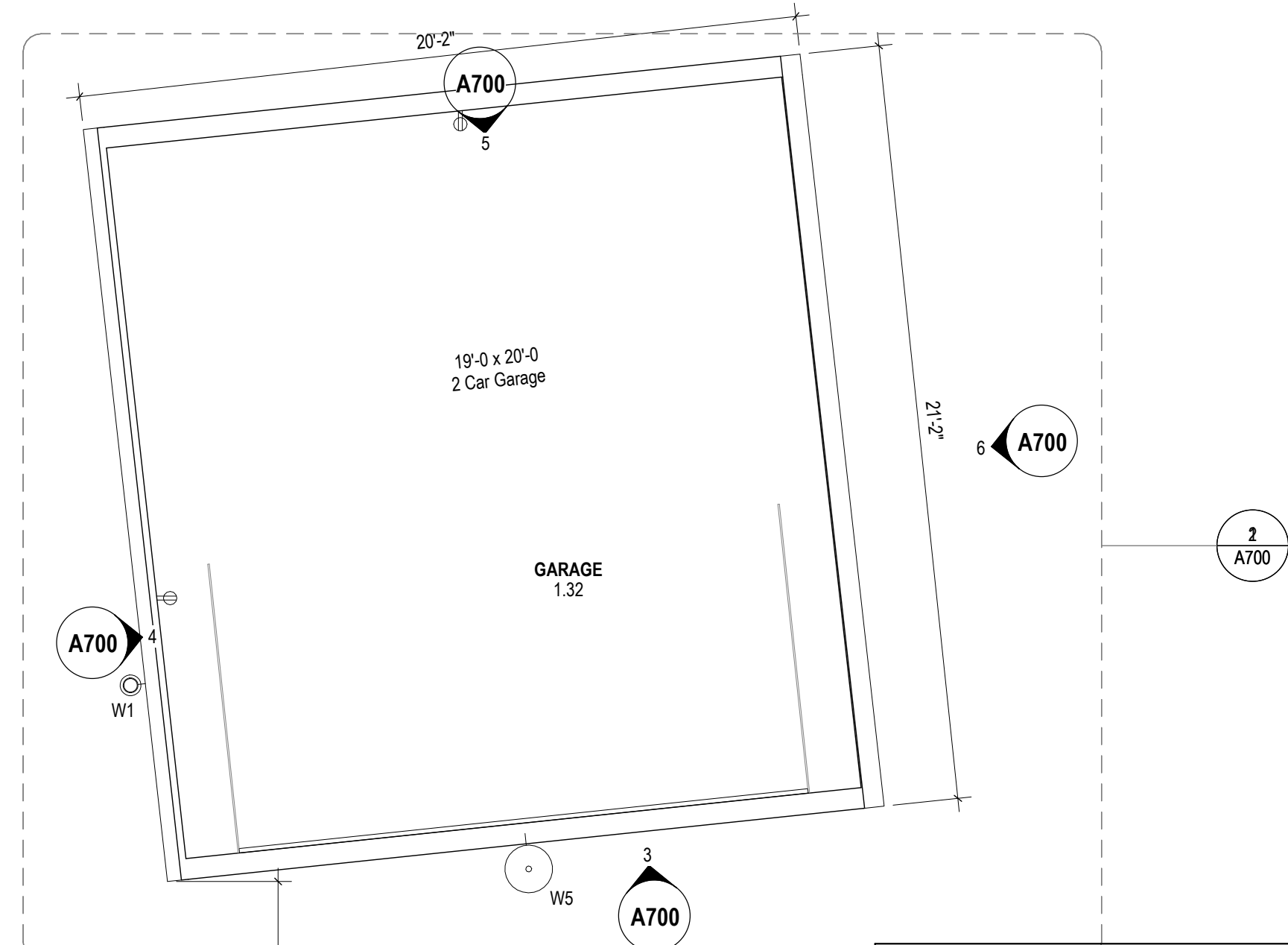
project number 000	drawing scale As indicated	approver Approver
drawing number A030	revision 1	





APPLIANCE LIST				
A	36" gas range top	35 3/4"W x 7 7/16"H x 27 7/8"D	KitchenAid	KCGC506JSS
B	range hood	35 7/8" W x 18"H x 24"D	Yale Ventilation	RH70236BS
C	wall oven/ microwave	TBD	KitchenAid	TBD
D	dishwasher	23 7/8"W x 26 3/4" D x 34 1/2"H	KitchenAid	KDTM604KPS
E	counter depth refrigerator	(~36" W X 30"D X 72"H)	TBD	TBD
F	undercounter refrigerator	(~24" W X ~24"D)	TBD	TBD
G	front load washer	28"W x 34" D x 39 3/4"H	GE	GFWR850SSNNWW
H	front load dryer	28"W x 32" D x 39 3/4"H	GE	GFD85ESSNNWW

PLUMBING FIXTURE KEY			
Tag	Description	Manufacturer	Model
01	undermount sink (30" W x 21"D)	TBD	TBD
02	pull down faucet	TBD	TBD
03	wallmounted pot filler	TBD	TBD
04	undermount bar sink (18" W x 18"D)	TBD	TBD
05	bar faucet	TBD	TBD
06	wall mounted sink (20" W x 9"D)	TBD	TBD
07	single handle faucet	TBD	TBD
08	toilet	TBD	TBD
09	vanity/sink (28" W X 18" D)	TBD	TBD
10	widespread faucet	TBD	TBD
11	shower trim set	TBD	TBD

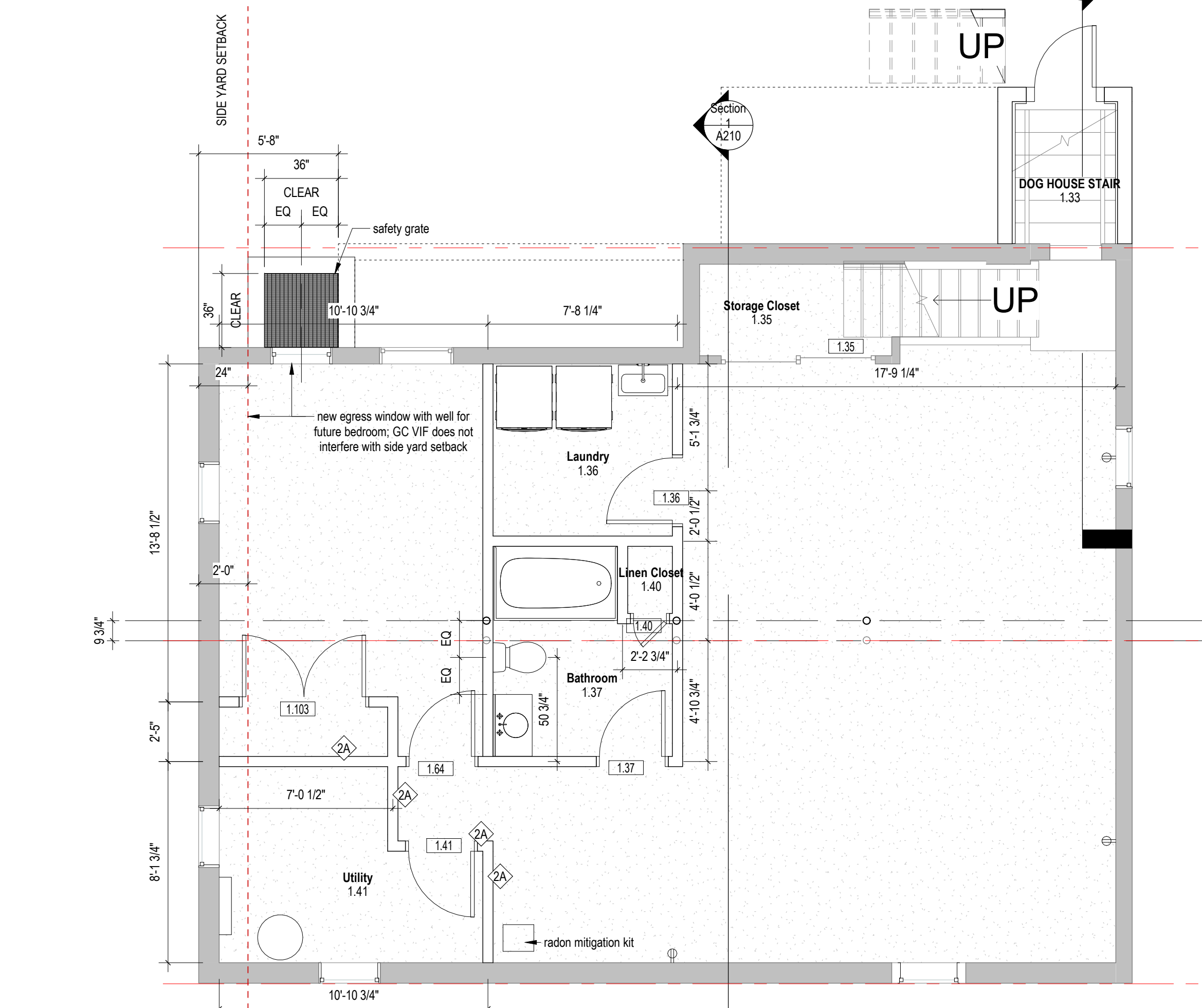


GENERAL NOTES AND LEGENDS DEMOLITION

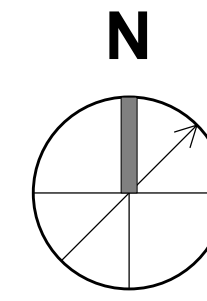
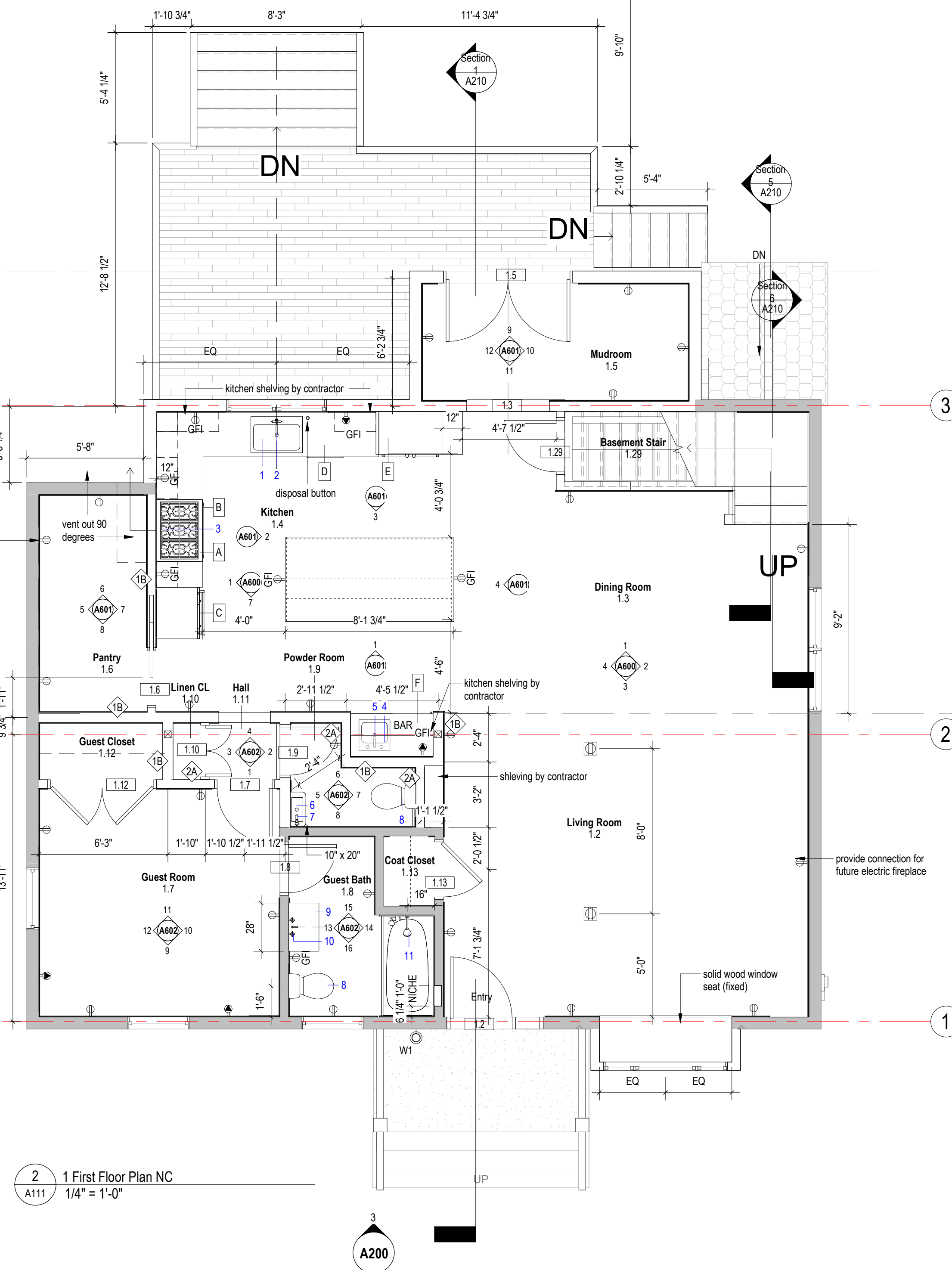
- see interior elevations for additional information on wall finish materials and typical mounting heights required.
- see general construction notes on sheet A000.
- see reflected ceiling plans for ceiling finish materials.
- the contractor shall verify all existing conditions after demolition is completed.
- all locations where infill walls meet existing walls with new gwb finish surfaces shall align at adjacent edges unless otherwise noted.
- existing walls shown with additional lines graphically represent new finishes and should not be scaled or dimensioned from. partitions should be built and finished according to partition and finish schedule.
- coordinate areaway drains and floor drains with plumbing drawings.
- provide blocking for grab bars, plumbing fixtures, mill work at all require locations.
- all dimensions indicated with a ± represent field measurements to be provided to architect and verified by contractor.
- see door schedule for all door sizes, door info and details.
- all glass within 18" a.f.f. and/or within 4'-0" of a door swing shall be tempered safety glass.
- all existing walls to be patched where existing walls were removed.
- provide leveling compound over all existing concrete floor areas to receive new floor covering. no flooring transitions are to exceed 1/2" in height.
- provide in-wall blocking as required.
- provide in-wall blocking for all future built-in casework where indicated.
- patch existing gwb at all locations where a partition has been removed.
- at all areas of meplp equipment removed from walls, contractor to patch / repair holes in finish from removed fasteners. blend patching to match existing finish to remain.
- seal air tight any penetrations made through air & vapor barriers.
- paint all (n) and (e) gwb & plaster finishes in work area unless noted.
- interior dimensions are indicated to finish wall (cmu or gypsum board) materials. u.n.o.
- meplp elements shown are schematic and are provided for reference. only, refer to meplp drawings & specifications for more information.
- exterior masonry dimensions are indicated to centerline of joints.
- window dimensions are to center line of opening; dimensions are nominal. see curtain wall, door & window schedule and details for actual opening dimension required.
- provide leveling compound as req. for proper tile installation to achieve smooth, level, flush finish.
- all material installation to be level & plumb.
- see a140 series for all finishes.

ELECTRICAL FIXTURE SYMBOLS

- duplex/duplex GFI
- quad/quad GFI
- duplex USB
- floor outlet



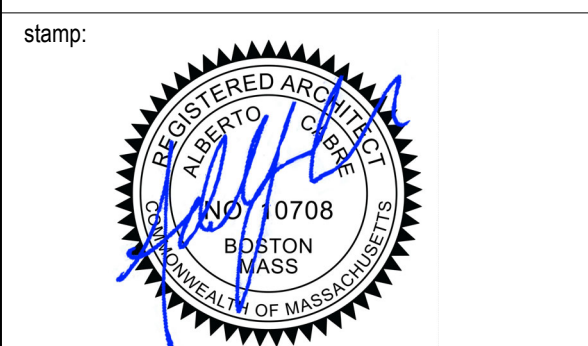
note: pantry outlets at counter height TYP. future millwork



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Stated Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

168 Dean Street
Belmont, MA 02478

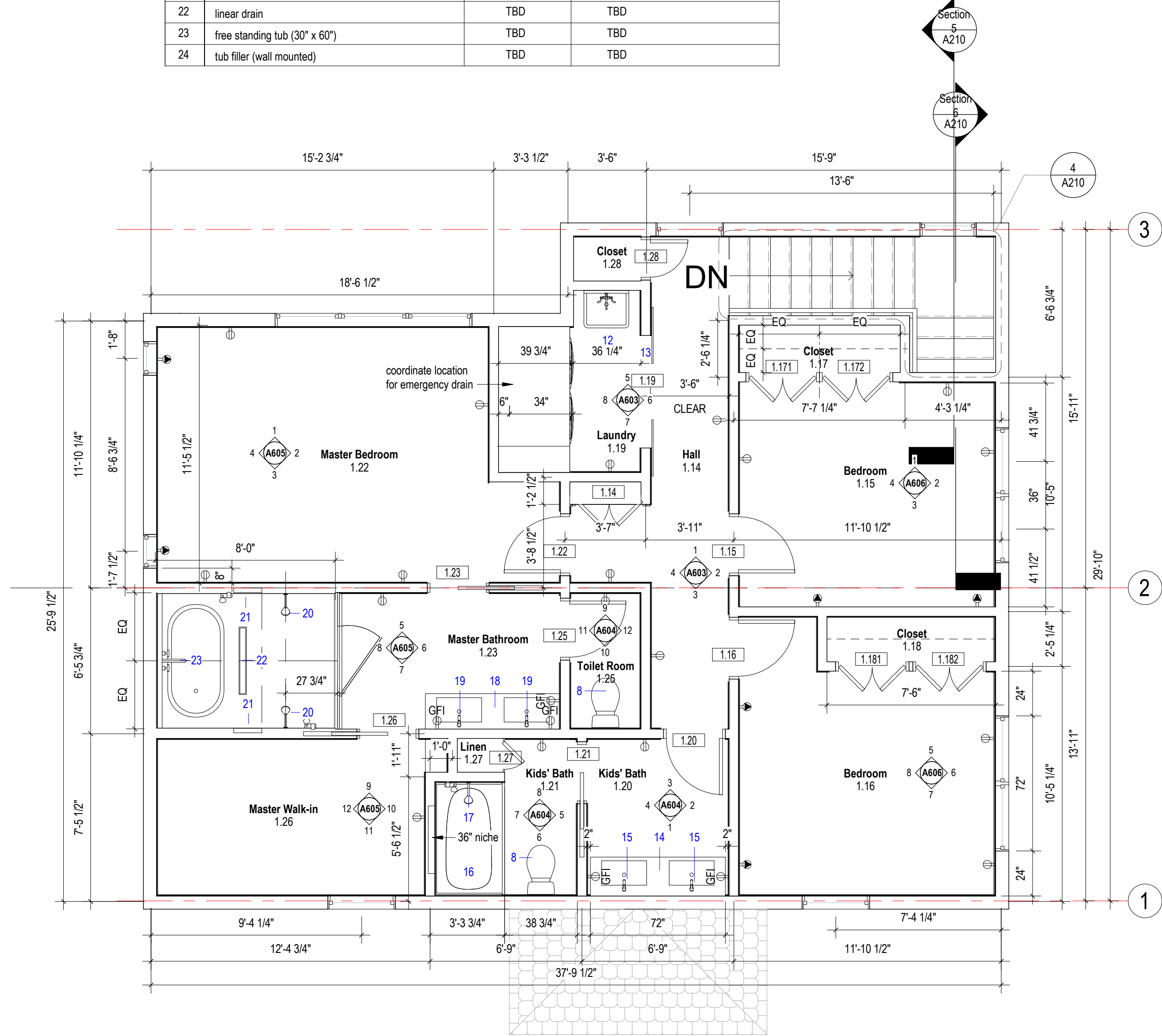
client information:
Kunal & Bhavika Shah

J^tA
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
**FLOOR PLANS -
BASEMENT & FIRST
FLOOR**

project number 000	drawing scale As indicated	approver Approver
drawing number A111		revision 1

PLUMBING FIXTURE KEY			
Tag	Description	Manufacturer	Model
12	utility sink (24" W x 20" D)	TBD	TBD
13	spray faucet	TBD	TBD
14	72" vanity with double sinks	TBD	TBD
15	(2) single handle faucets	TBD	TBD
16	alcove tub (30" W X 60" L)	TBD	TBD
17	shower trim set with tubfiller	TBD	TBD
18	72" vanity with double sinks	TBD	TBD
19	(2) single handle faucets	TBD	TBD
20	(2) shower trim set	TBD	TBD
21	(2) handheld showerheads	TBD	TBD
22	linear drain	TBD	TBD
23	free standing tub (30" x 60")	TBD	TBD
24	tub filler (wall mounted)	TBD	TBD

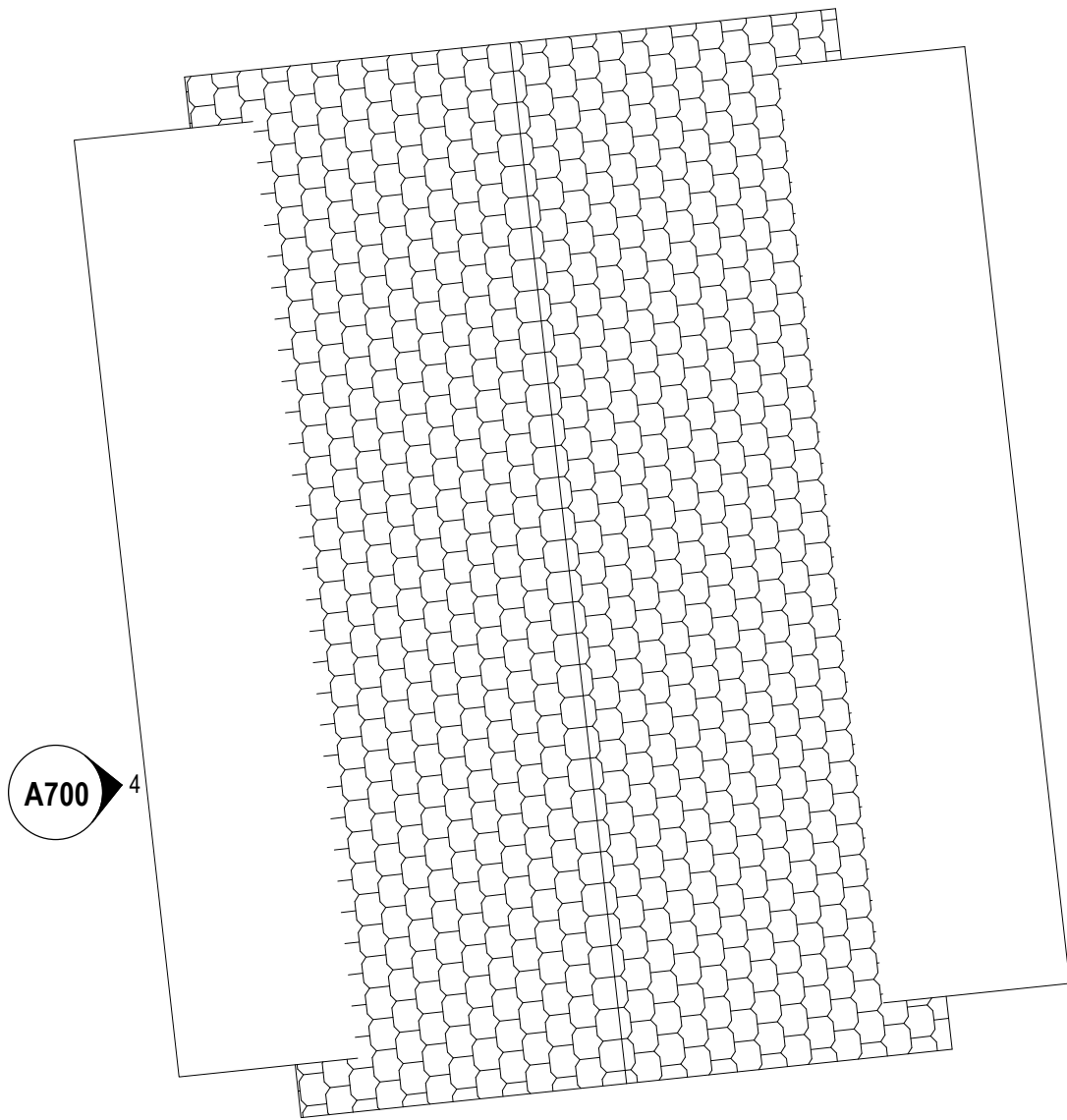


1 2 Second Floor Plan NC
1/4" = 1'-0"

A200

2 Roof
1/4" = 1'-0"

A200



A200
2

Section
A210

Section
A210

GENERAL NOTES AND LEGENDS DEMOLITION

- see interior elevations for additional information on wall finish materials and typical mounting heights required.
- see general construction notes on sheet a000.
- see reflected ceiling plans for ceiling finish materials.
- the contractor shall verify all existing conditions after demolition is completed.
- all locations where infill walls meet existing walls with new gwb finish surfaces shall align at adjacent edges unless otherwise noted.
- existing walls shown with additional lines graphically represent new finishes and should not be scaled or dimensioned from. partitions should be built and finished according to partition and finish schedule.
- coordinate areaway drains and floor drains with plumbing drawings.
- provide blocking for grab bars, plumbing fixtures, mill work at all require locations.
- all dimensions indicated with a ± represent field measurements to be provided to architect and verified by contractor.
- see door schedule for all door sizes, door info and details.
- all glass within 18" a.f.f. and/or within 4'-0" of a door swing shall be tempered safety glass.
- all existing walls to be patched where existing walls were removed.
- provide leveling compound over all existing concrete floor areas to receive new floor covering, no flooring transitions are to exceed 1/2" in height.
- provide in-wall blocking as required.
- provide in-wall blocking for all future built-in casework where indicated.
- patch existing gwb at all locations where a partition has been removed.
- at all areas of mep/fp equipment removed from walls, contractor to patch / repair holes in finish from removed fasteners. blend patching to match existing finish to remain.
- seal air tight any penetrations made through air & vapor barriers.
- paint all (n) and (e) gwb & plaster finishes in work area unless noted
- interior dimensions are indicated to finish wall (cmu or gypsum board) materials, u.n.o.
- mep/fp elements shown are schematic and are provided for reference. only refer to mep/fp drawings & specifications for more information.
- exterior masonry dimensions are indicated to centerline of joints.
- window dimensions are to center line of opening; dimensions are nominal. see curtain wall, door & window schedule and details for actual opening dimension required.
- provide leveling compound as req. for proper tile installation to achieve smooth, level, flush finish.
- all material installation to be level & plumb.
- see a140 series for all finishes.

CONSTRUCTION LEGEND

- existing full height solid, glazed or part glazed partition to remain.
- existing full height solid, glazed or part glazed partition to be demolished
- new full height solid, glazed or part glazed partition to be demolished
- existing door to be demolished
- existing wall finish to be removed, to be read in conjunction with proposed works
- existing door to remain
- new door
- demolition hatch
- partial area demolition
- NIC - Not in Construct Hatch

For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

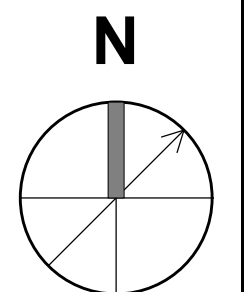
168 Dean Street
Belmont, MA 02478

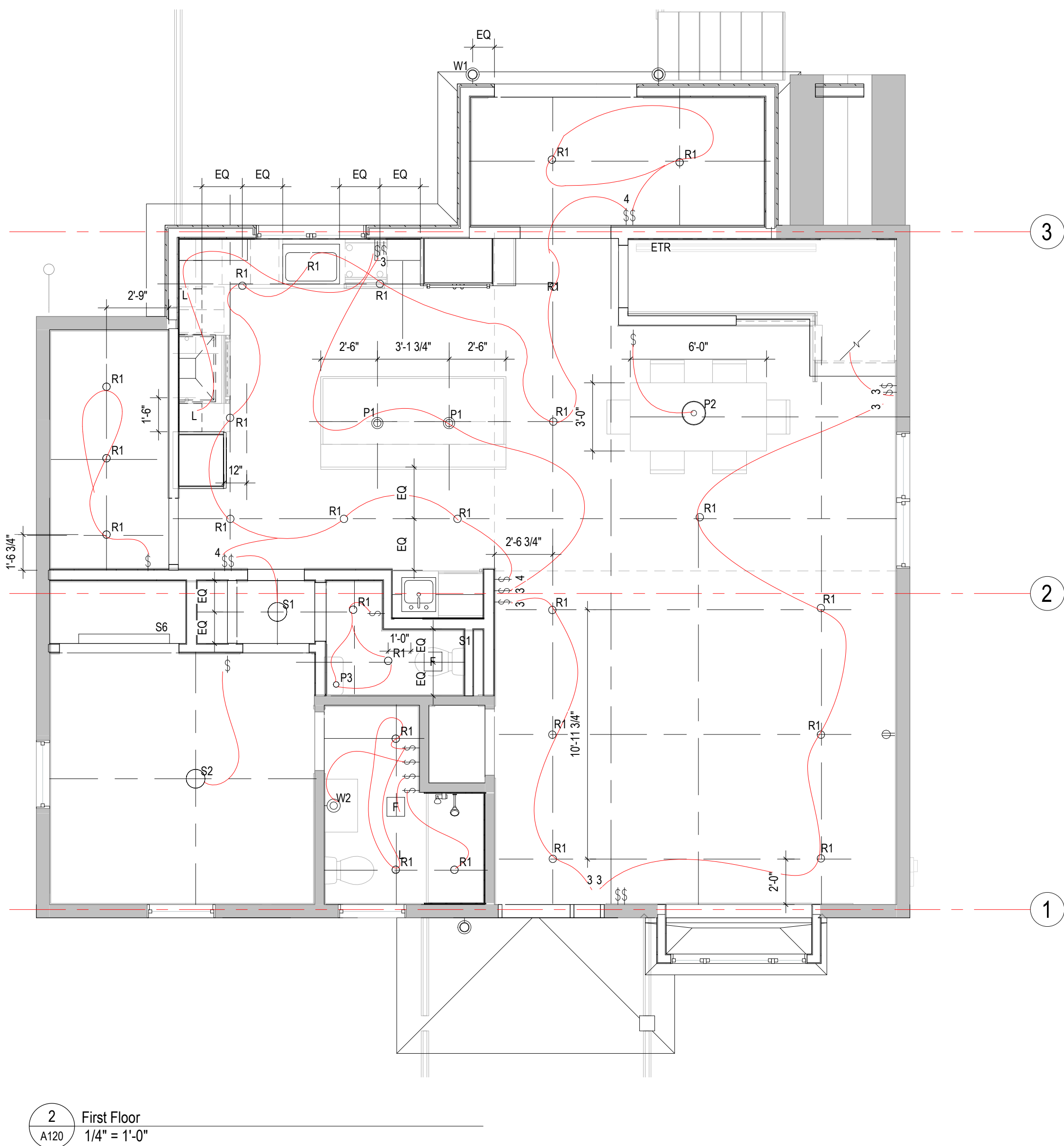
client information:
Kunal & Bhavika Shah

J^tA
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

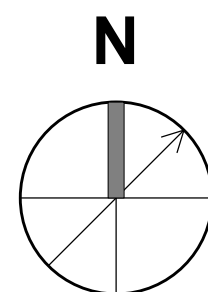
drawing title
**FLOOR PLANS - SECOND
FLOOR & ROOF**

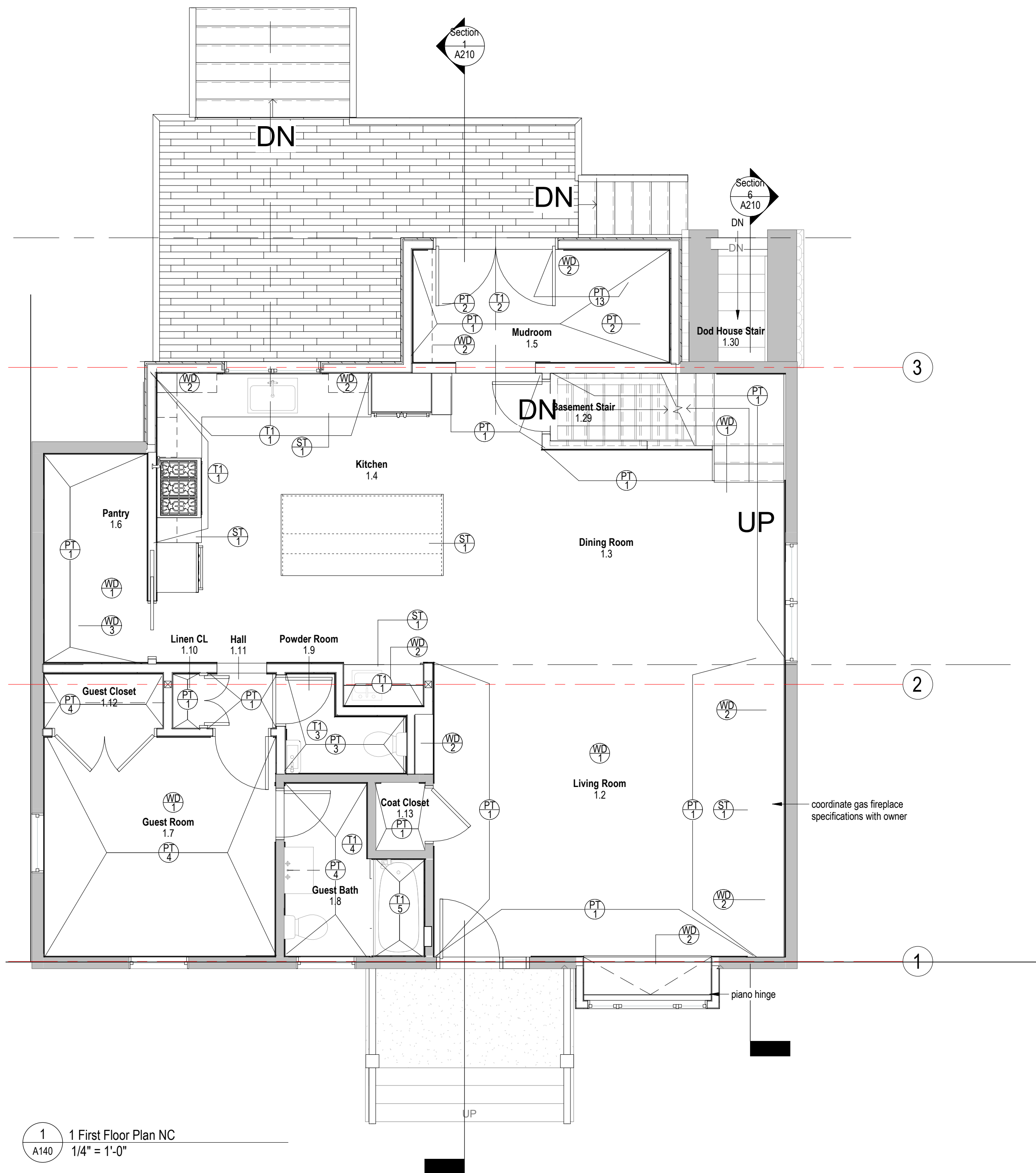
project number 000	drawing scale As indicated	approver Approver
drawing number A112		revision 1



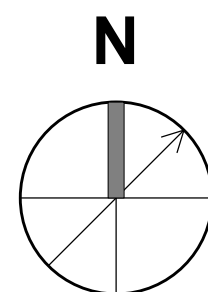
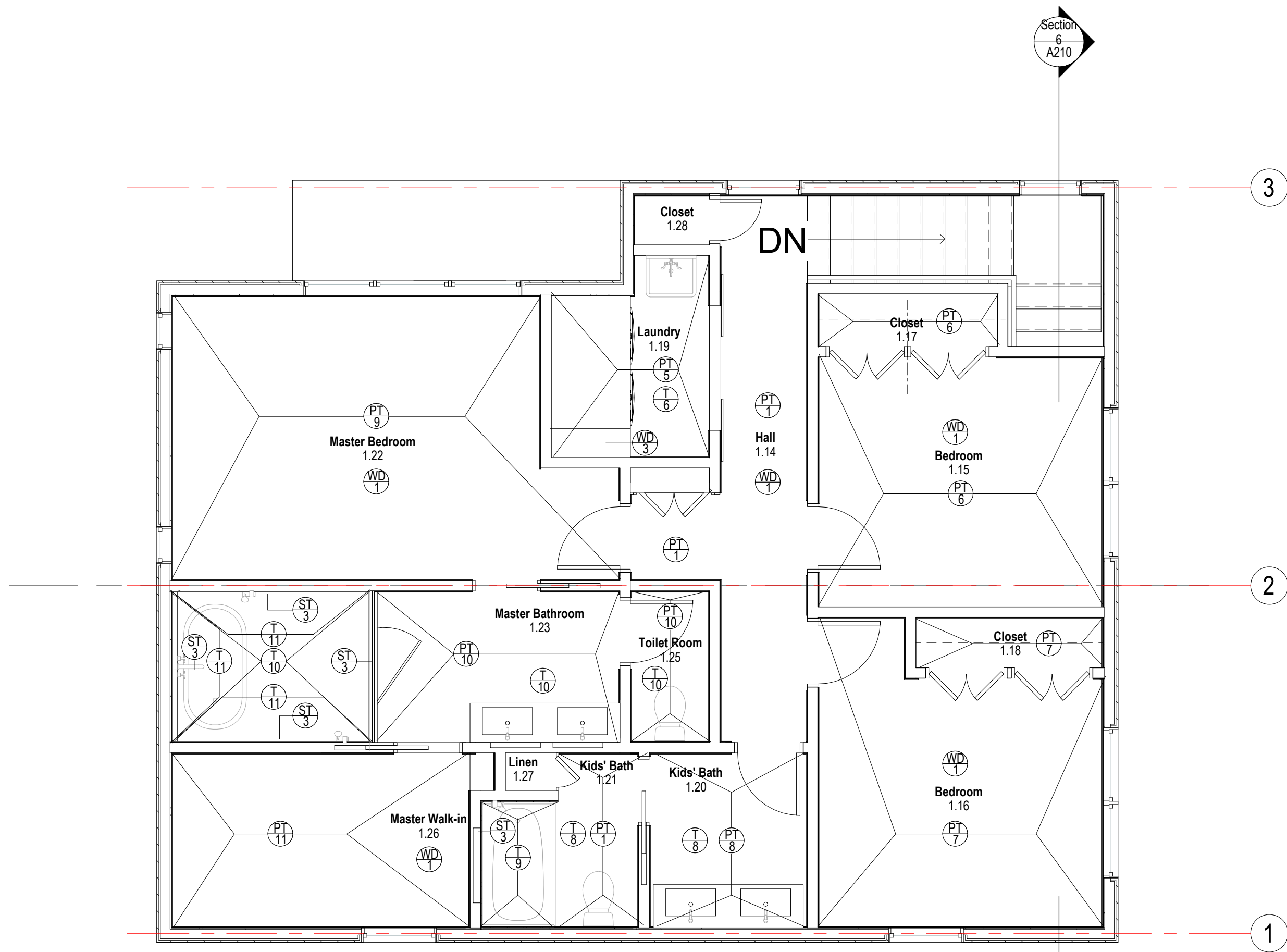


- | | | |
|-------------------------------|--------------------------------------|-----------------------------|
| project number
000 | drawing scale
As indicated | approver
Approver |
| drawing number
A120 | | revision
1 |





FINISH SCHEDULE						
Tag	Description	Location	Manufacturer	Model/color	Finish	Notes
PT1	paint	common area walls	Benjamin Moore	TBD off-white/gray	eggshell	Provide/confirm sample with clients
PT2	paint	mudroom millwork	Benjamin Moore	TBD charcoal	semi gloss	Provide/confirm sample with clients
PT3	paint	powder room walls	Benjamin Moore	TBD	eggshell	Provide/confirm sample with clients
PT4	paint	first floor bedroom & bathroom walls	Benjamin Moore	TBD	eggshell	Provide/confirm sample with clients
PT5	paint	laundry room walls	Benjamin Moore	TBD (off white)	eggshell	Provide/confirm sample with clients
PT6	paint	bedroom walls	Benjamin Moore	TBD	eggshell	Provide/confirm sample with clients
PT7	paint	bedroom walls	Benjamin Moore	TBD (PT2)	eggshell	Provide/confirm sample with clients
PT8	paint	kids' bathroom walls	Benjamin Moore	TBD	eggshell	Provide/confirm sample with clients
PT9	paint	master bedroom walls	Benjamin Moore	TBD (white)	eggshell	Provide/confirm sample with clients
PT10	paint	master bathroom walls	Benjamin Moore	TBD (charcoal)	eggshell	Provide/confirm sample with clients
PT11	paint	master walk-in walls	Benjamin Moore	TBD (offwhite)	eggshell	Provide/confirm sample with clients
PT12	paint	interior doors TYP U.O.N.	Benjamin Moore	TBD (offwhite)	semi gloss	Provide/confirm sample with clients
PT13	paint	base TYP	Benjamin Moore	TBD (light blue-gray)	semi gloss	Provide/confirm sample with clients
PT14	paint	ceilings TYP	Benjamin Moore	white	flat	n/a
ST1	stone	countertop kitchen, island, bar	TBD	TBD	TBD	island with waterfall edge
ST2	stone	fireplace details	TBD	TBD	TBD	hearth ledge & surround
ST2	stone	shower curb cap, niche shelves & thresholds	TBD	TBD	TBD	thresholds as needed, schluter preferred
T1	tile	kitchen walls	floor & decor	artisan frost 3 x 12	gloss	grout TBD
T2	tile	mudroom floor	floor & decor	concept grey 12 x24	matte	grout TBD, (charcoal)
T3	tile	powder room floor tile	floor & decor	encaustic patterned 8in hex	matte	grout TBD
T4	tile	first floor bathroom floor tile	floor & decor	billabeaumont shadow	mixed penny mosaic	grout TBD
T5	tile	first floor bathroom shower surround	floor & decor	canvas la belle air 3 x12	polished	grout TBD
T5	tile	laundry room floor	floor & decor	vetta crossville avani 12x 24 gray porcelain	matte	grout TBD
T7	tile	laundry room walls - REMOVED	--	TBD	TBD	grout TBD
T8	tile	kids' bathroom floor tile	TBD	TBD	TBD	grout TBD
T9	tile	kids' bathroom shower walls	floor & decor	canvas la belle antique blue 3 x12	TBD	grout TBD
T10	tile	master bathroom floor	floor & decor	festival industrial ceramic penny mosaic	matte	grout TBD
T11	tile	master bathroom walls	floor & decor	camarosa corta gray 15 x 30	matte	grout TBD
WD1	wood (flooring)	throughout	lumber liquidators	white oak	TBD	Provide/confirm sample with clients
WD2	wood (millwork)	milwork details (throughout)	dimensional lumber	white oak	TBD	see renderings for intent
WD3	wood (butcher block)	pantry countertop	TBD	blonde	satin	2 in thickness
WD4	wood (deck)	pressure treated lumber	TBD	TBD	TBD	stain TBD
WD5	wood (exterior details)	cedar	TBD	TBD	clear	clear seal (no stain)



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

168 Dean Street
Belmont, MA 02478

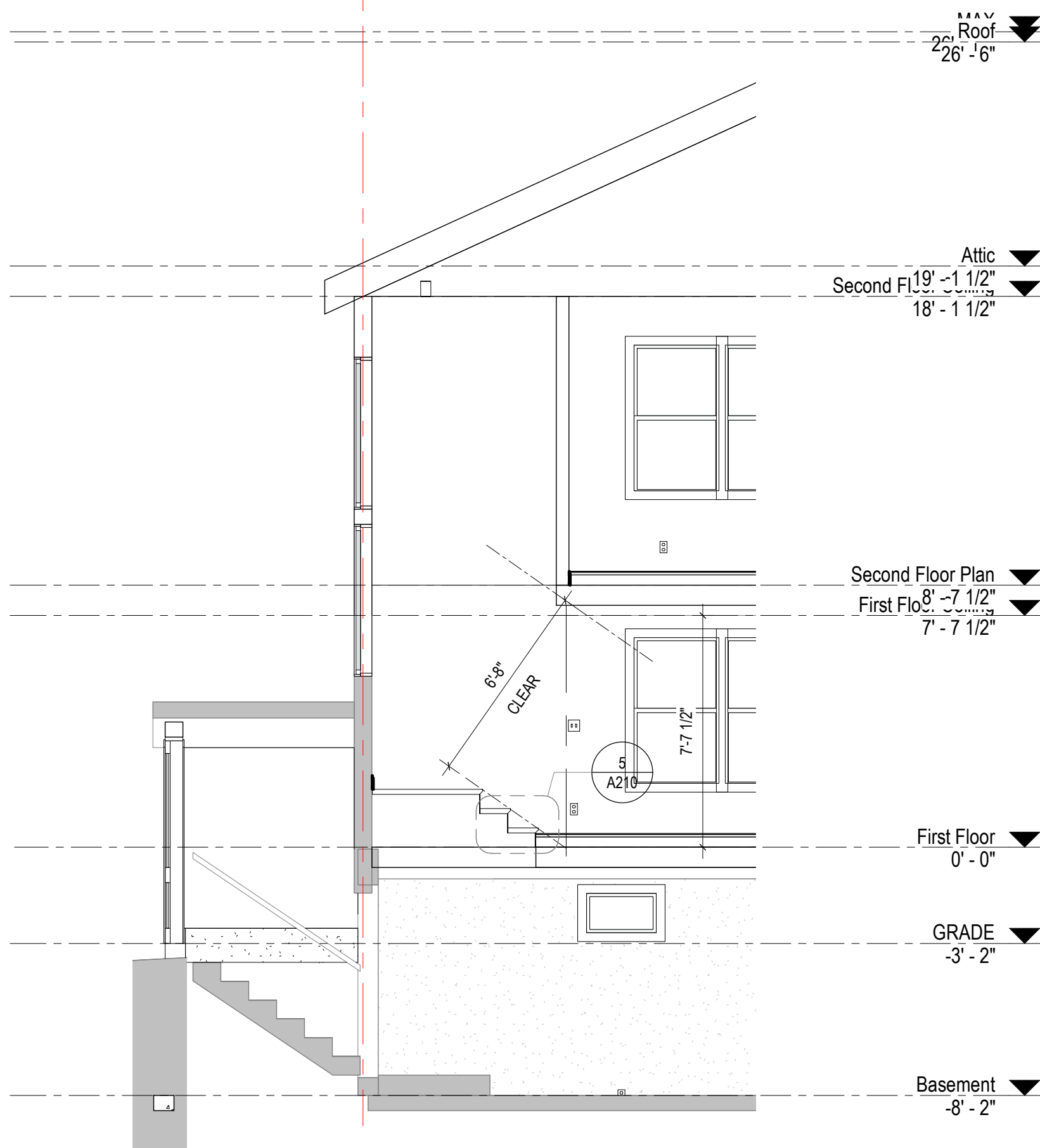
client information:
Kunal & Bhavika Shah

J^tA
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

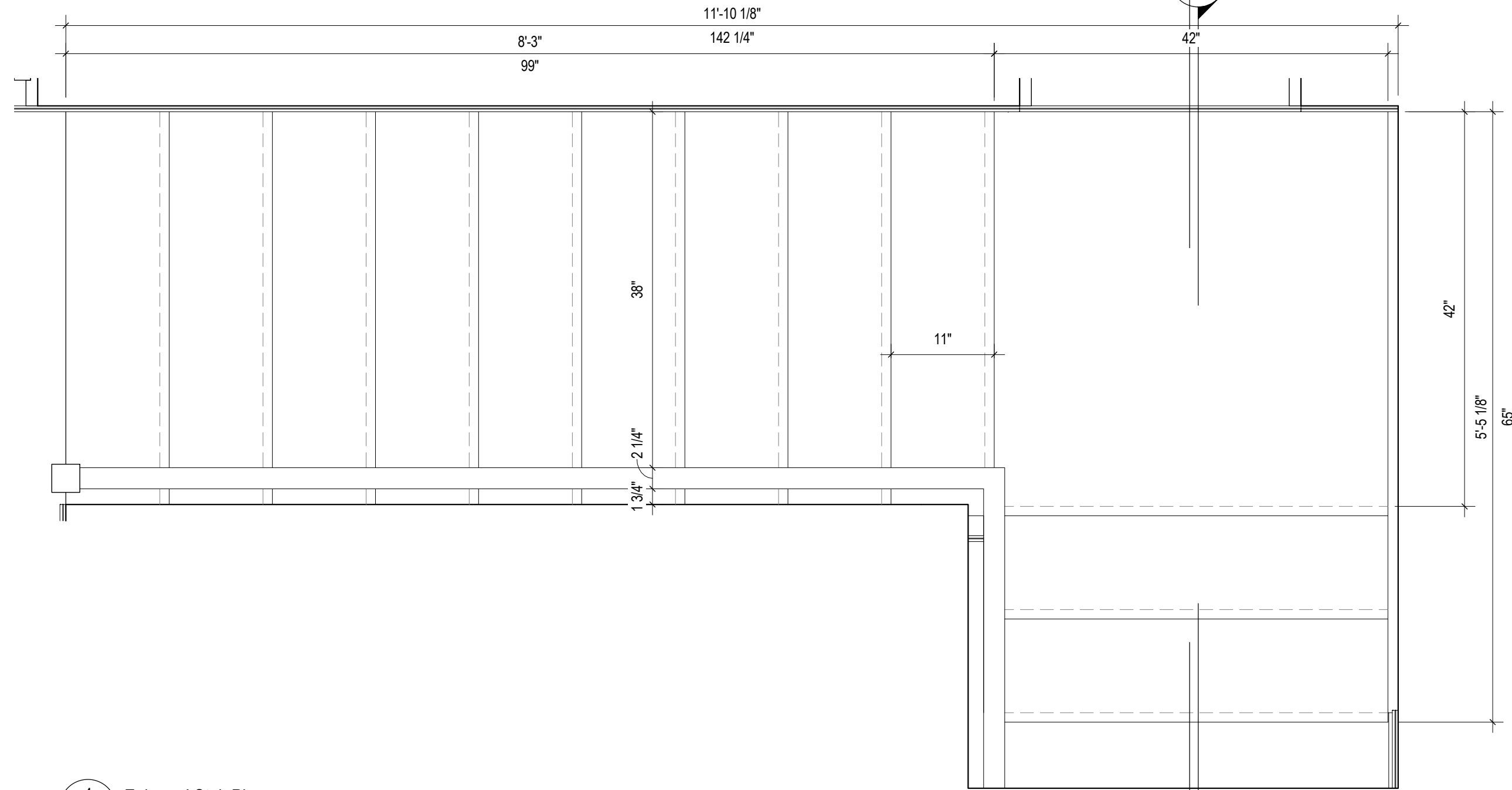
drawing title
FLOOR FINSHES PLAN

project number 000	drawing scale As indicated	approver Approver
------------------------------	--------------------------------------	-----------------------------

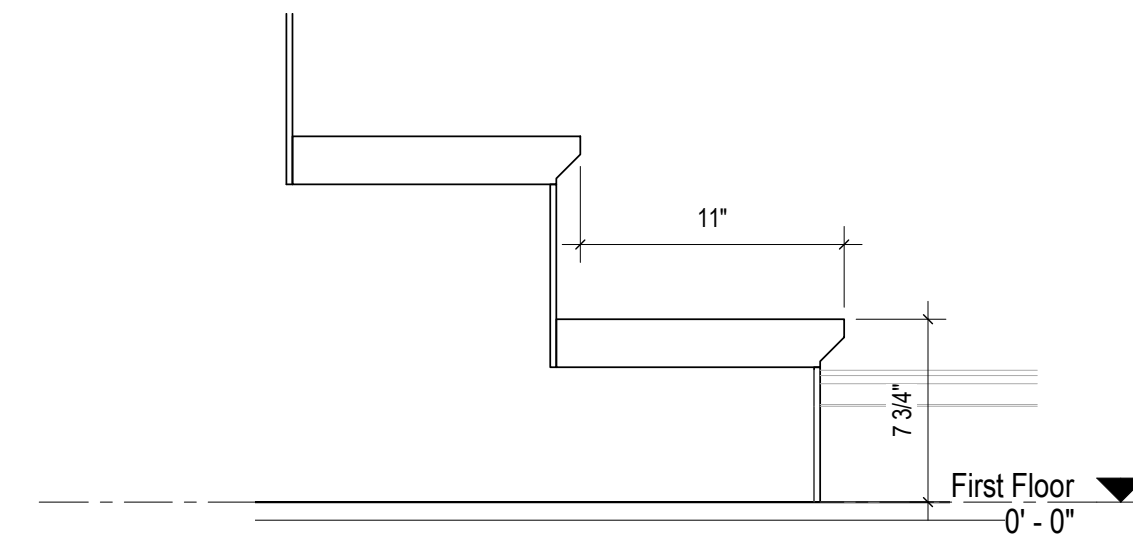
drawing number A140	revision 1
-------------------------------	----------------------



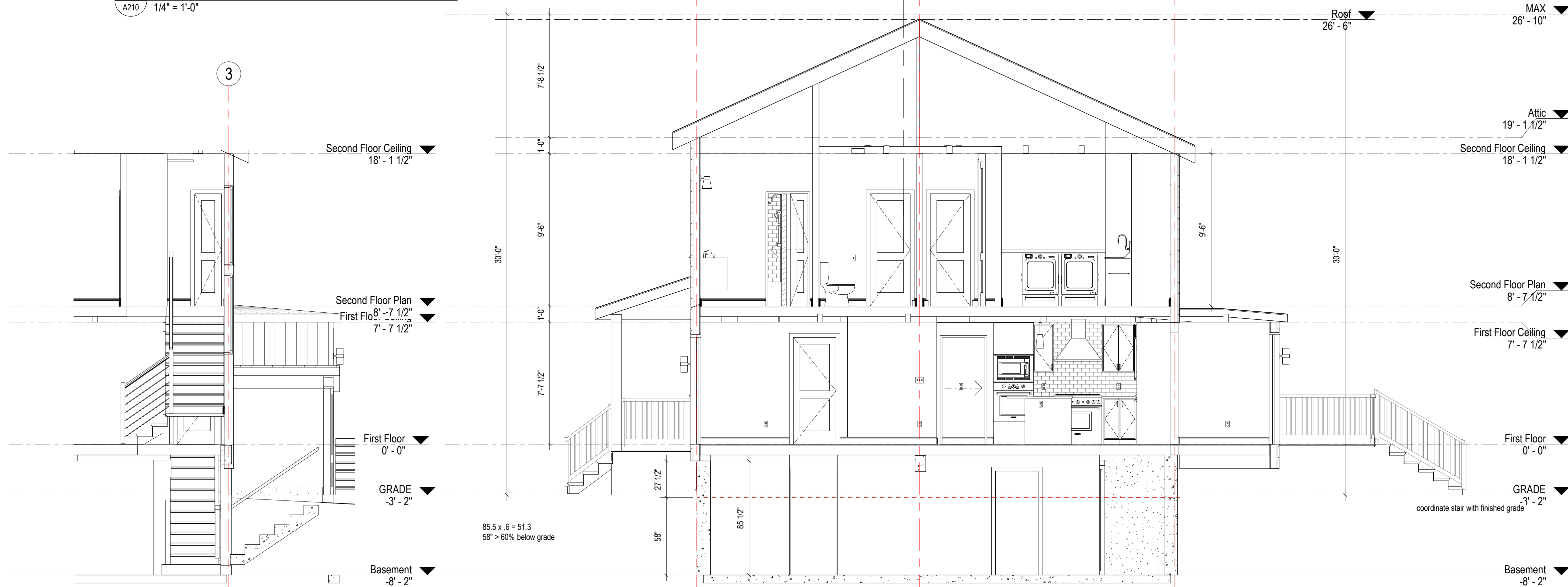
3 Section 6
A210 1/4" = 1'-0"



4 Enlarged Stair Plan
A210 1" = 1'-0"

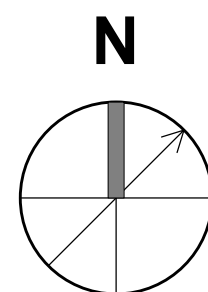


5 Section 6 - Callout 1
A210 1 1/2" = 1'-0"



1 Section 5
A210 1/4" = 1'-0"

2 Section 1
A210 1/4" = 1'-0"



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

168 Dean Street
Belmont, MA 02478

client information:
Kunal & Bhavika Shah

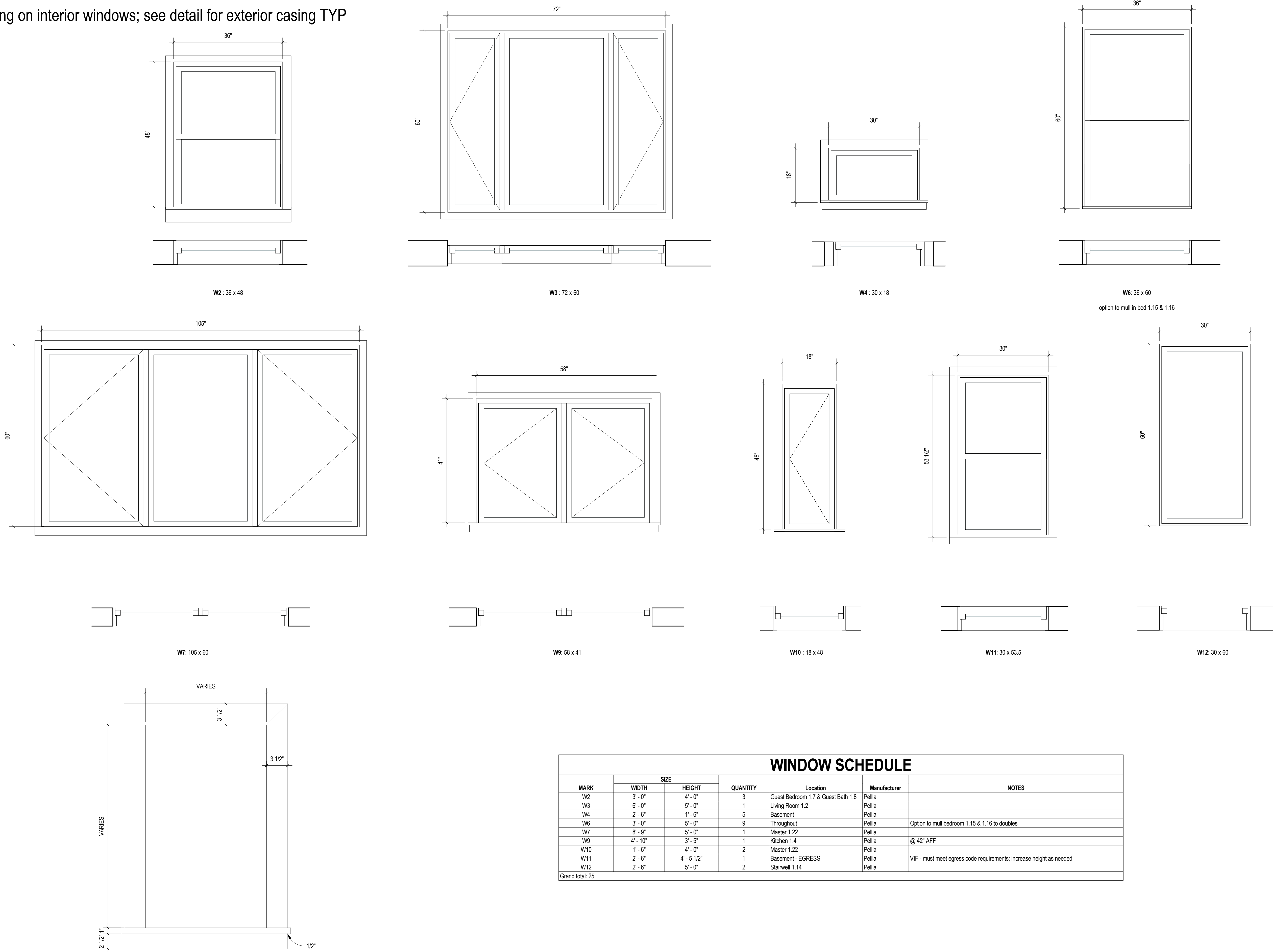
J^tA
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
BUILDING SECTIONS

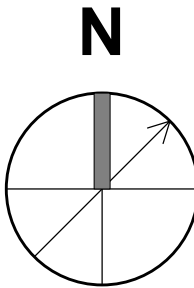
project number 000	drawing scale As indicated	approver Approver
drawing number A210	revision 1	

WINDOWS :

NOTE : no casing on interior windows; see detail for exterior casing TYP



WINDOW SCHEDULE						
MARK	SIZE		QUANTITY	Location	Manufacturer	NOTES
	WIDTH	HEIGHT				
W2	3' - 0"	4' - 0"	3	Guest Bedroom 1.7 & Guest Bath 1.8	Pellia	
W3	6' - 0"	5' - 0"	1	Living Room 1.2	Pellia	
W4	2' - 6"	1' - 6"	5	Basement	Pellia	
W6	3' - 0"	5' - 0"	9	Throughout	Pellia	Option to mull bedroom 1.15 & 1.16 to doubles
W7	8' - 9"	5' - 0"	1	Master 1.22	Pellia	
W9	4' - 10"	3' - 5"	1	Kitchen 1.4	Pellia	@ 42" AFF
W10	1' - 6"	4' - 0"	2	Master 1.22	Pellia	
W11	2' - 6"	4' - 5 1/2"	1	Basement - EGRESS	Pellia	VIF - must meet egress code requirements; increase height as needed
W12	2' - 6"	5' - 0"	2	Stairwell 1.14	Pellia	
Grand total: 25						



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:



revision	revision description	date
1	For Permit	07/29/2021
2	Window Rev	7/16/2021

project title:
Dean Street Residence

168 Dean Street
Belmont, MA 02478

client information:
Kunal & Bhavika Shah

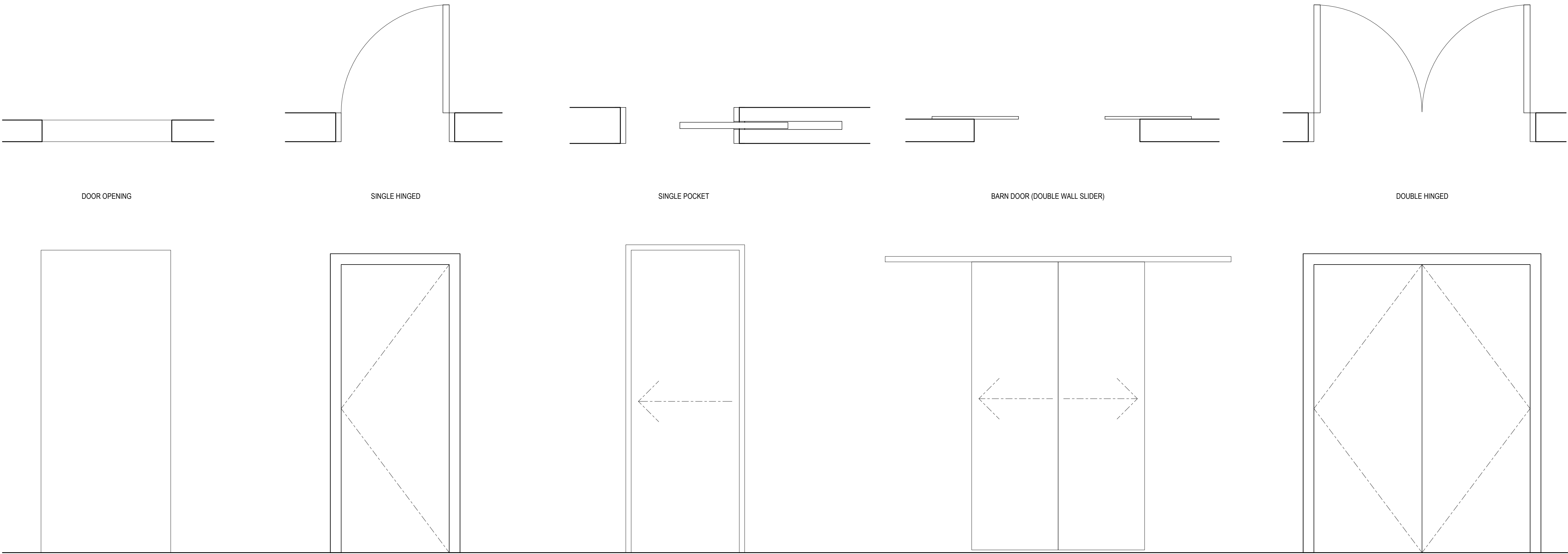
J^tA
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
WINDOW SCHEDULE & LEGEND

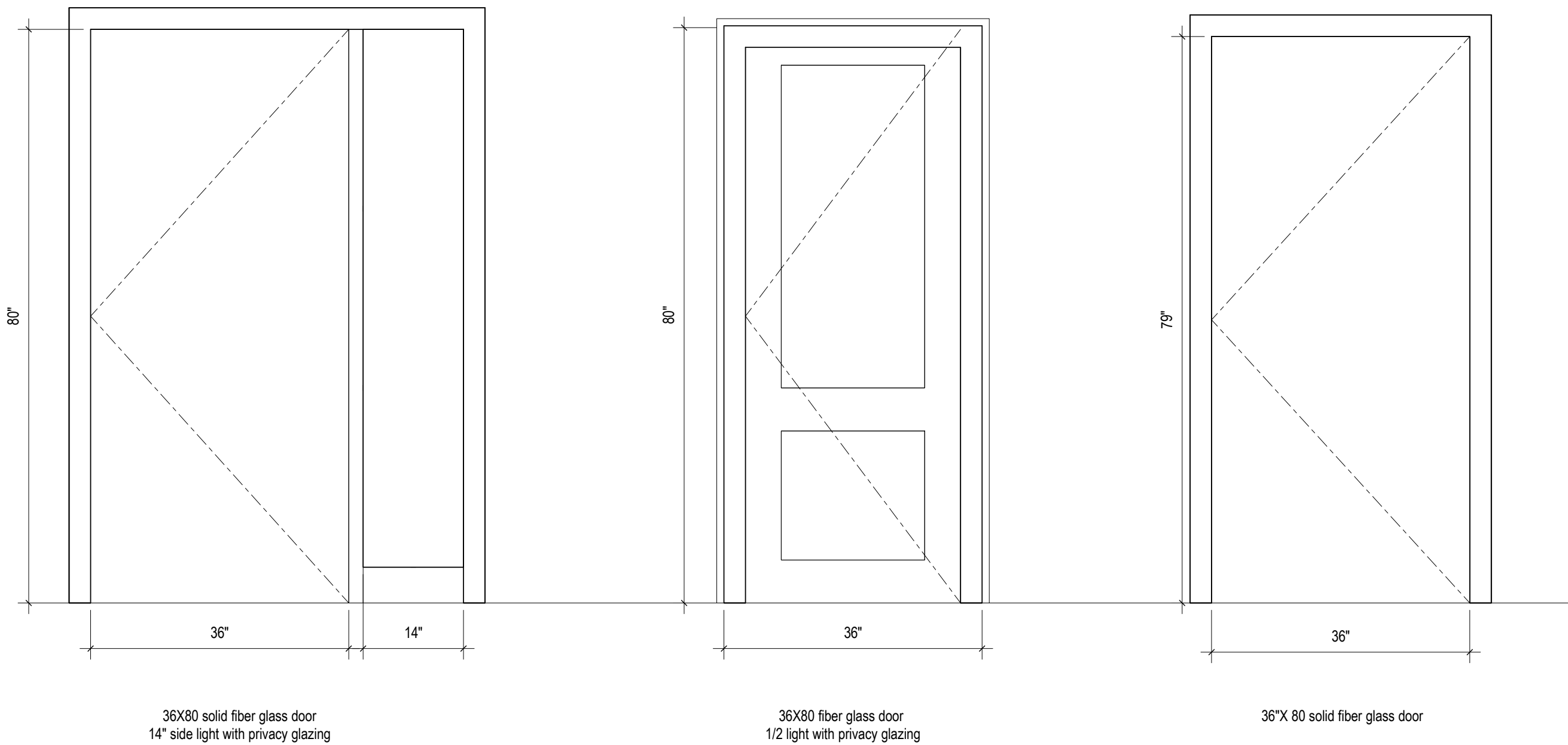
project number 000	drawing scale As indicated	approver Approver
drawing number A300	revision 2	

INTERIOR DOORS :

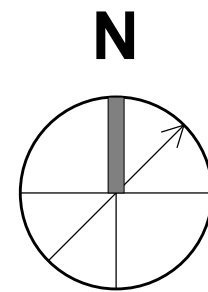
NOTE : no casing on framed openings; see detail for typical door casing



EXTERIOR DOORS :



DOOR AND FRAME SCHEDULE									
Number	Location	Hinge Type	Door				Hardware Group		Comments
			Width	Height	Thickness	Finish			
1.2	Living Room	exterior	3'-0"	6'-8"	1 3/4"	wood	keyed entry, dead bolt		
1.3	Dining Room	door opening	4'-0"	7'-0"		painted	n/a		
1.5	Mudroom	double hinged	6'-0"	6'-10"	1 3/4"	painted	keyed entry, dead bolt		
1.6	Kitchen	single pocket	2'-8"	6'-8"	1 3/4"	painted	passage		
1.7	Guest Room	single hinged	2'-8"	6'-8"	1 3/4"	painted	privacy		
1.8	Guest Bath	single hinged	2'-4"	6'-8"	1 3/4"	painted	privacy		
1.9	Powder Room	single hinged	2'-4"	6'-8"	1 3/4"	painted	privacy		
1.10	Hall	double hinged	2'-6"	6'-10"	1 3/4"	painted	dummy		
1.12	Guest Room	double hinged	5'-0"	6'-8"	1 3/4"	painted	dummy		
1.13	Living Room	single hinged	2'-8"	6'-8"	1 3/4"	painted	passage		
1.14	Hall	double hinged	3'-0"	9'-0"	1 3/4"	painted	dummy		
1.15	Bedroom	hinged	2'-6"	7'-0"	1 3/4"	painted	privacy		
1.16	Bedroom	single hinged	2'-6"	7'-0"	1 3/4"	painted	privacy		
1.19	Hall	double sliding (barn)	5'-0"	9'-0"	3/4"	painted	barn door hardware		
1.20	Kids' Bath	single hinged	2'-6"	7'-0"	1 3/4"	painted	privacy		
1.21	Kids' Bath	single pocket	2'-6"	7'-0"	1 3/4"	painted	privacy		
1.22	Master Bedroom	single hinged	2'-6"	7'-0"	1 3/4"	painted	privacy		
1.23	Master Bathroom	single pocket	2'-6"	7'-0"	1 3/4"	painted	privacy		
1.25	Toilet Room	single hinged	2'-6"	7'-0"	1 3/4"	painted	privacy		
1.26	Master Walk-in	single pocket	2'-6"	7'-0"	1 3/4"	painted	keyed entry		
1.27	Kids' Bath	single hinged	1'-3"	7'-0"	1 3/4"	painted	privacy		
1.28	Hall	single hinged	1'-8"	7'-0"	1 3/4"	painted	passage		
1.29	Basement Stair	single hinged	2'-6"	6'-8"	1 3/4"	painted	privacy lock		
1.42	Dod House Stair	exterior	2'-6"	6'-8"	2"	wood	keyed entry, dead bolt		
1.73	Guest Closet	double sliding	6'-0"	6'-8"	1 3/4"	painted	dummy		
1.117	Hall	door opening	2'-6"	6'-8"		painted	n/a		
1.171	Closet	double hinged	3'-0"	6'-10"	1 3/4"	painted	dummy		
1.172	Bedroom	double hinged	3'-0"	6'-10"	1 3/4"	painted	dummy		
1.181	Bedroom	double hinged	3'-0"	6'-10"	1 3/4"	painted	dummy		
1.182	Closet	double hinged	3'-0"	6'-10"	1 3/4"	painted	dummy		
G1		garage door	16'-0"	7'-0"	1 1/2"	painted	remote		
G2		single hinged	3'-0"	7'-0"	1 3/4"	painted	keyed entry		



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019- all rights reserved

consultant / contractor information:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

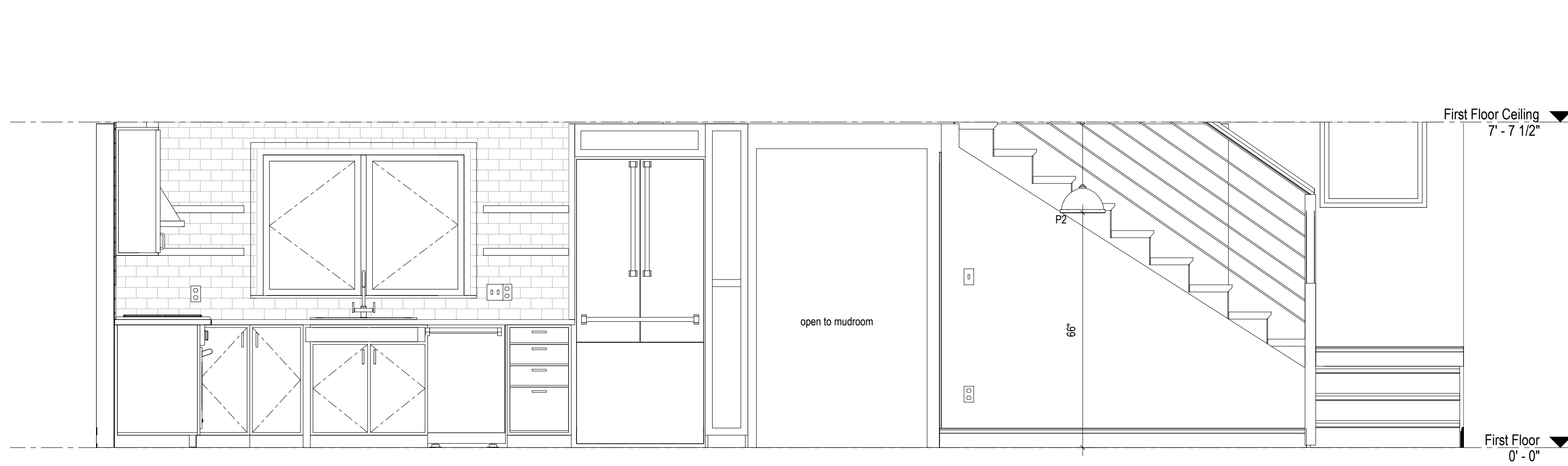
168 Dean Street
Belmont, MA 02478

client information:
Kunal & Bhavika Shah

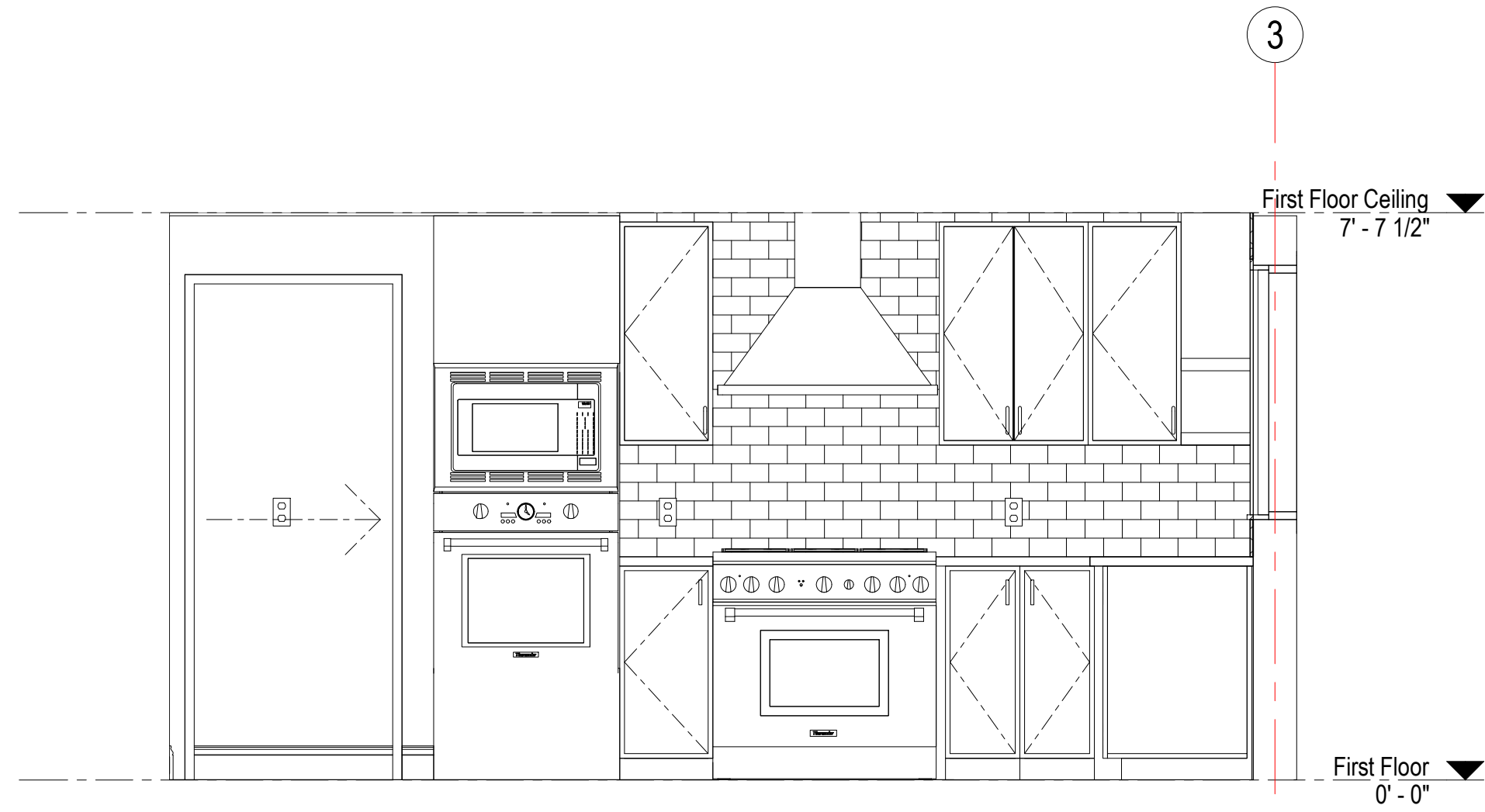
J^t A
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
DOOR SCHEDULE & LEGEND

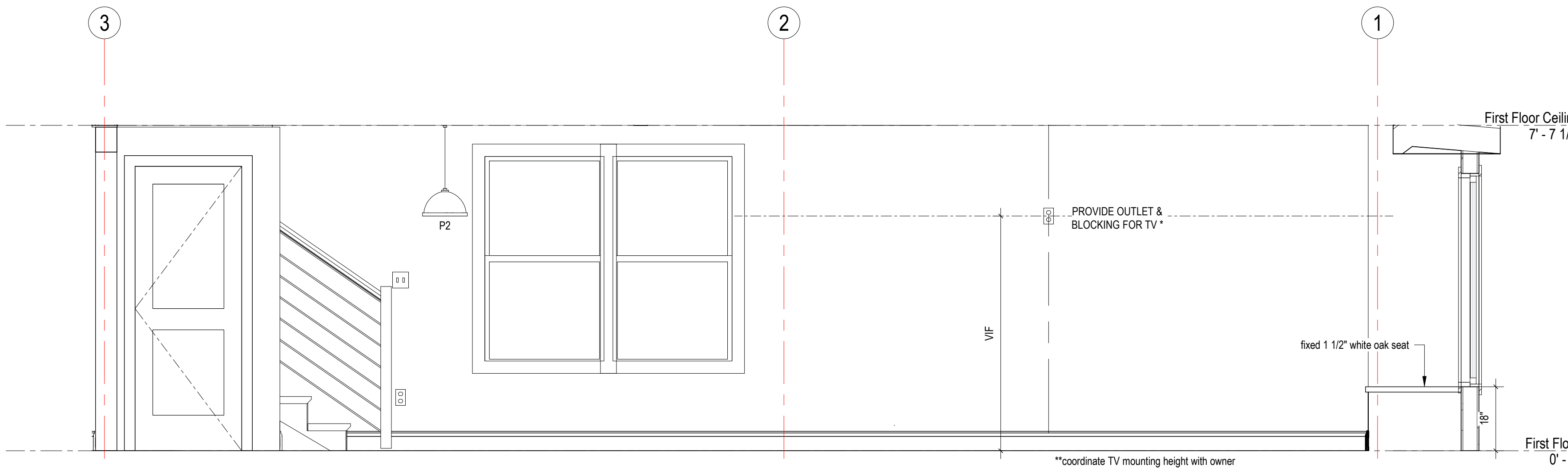
project number 000	drawing scale As indicated	approver Approver
drawing number A350	revision 1	



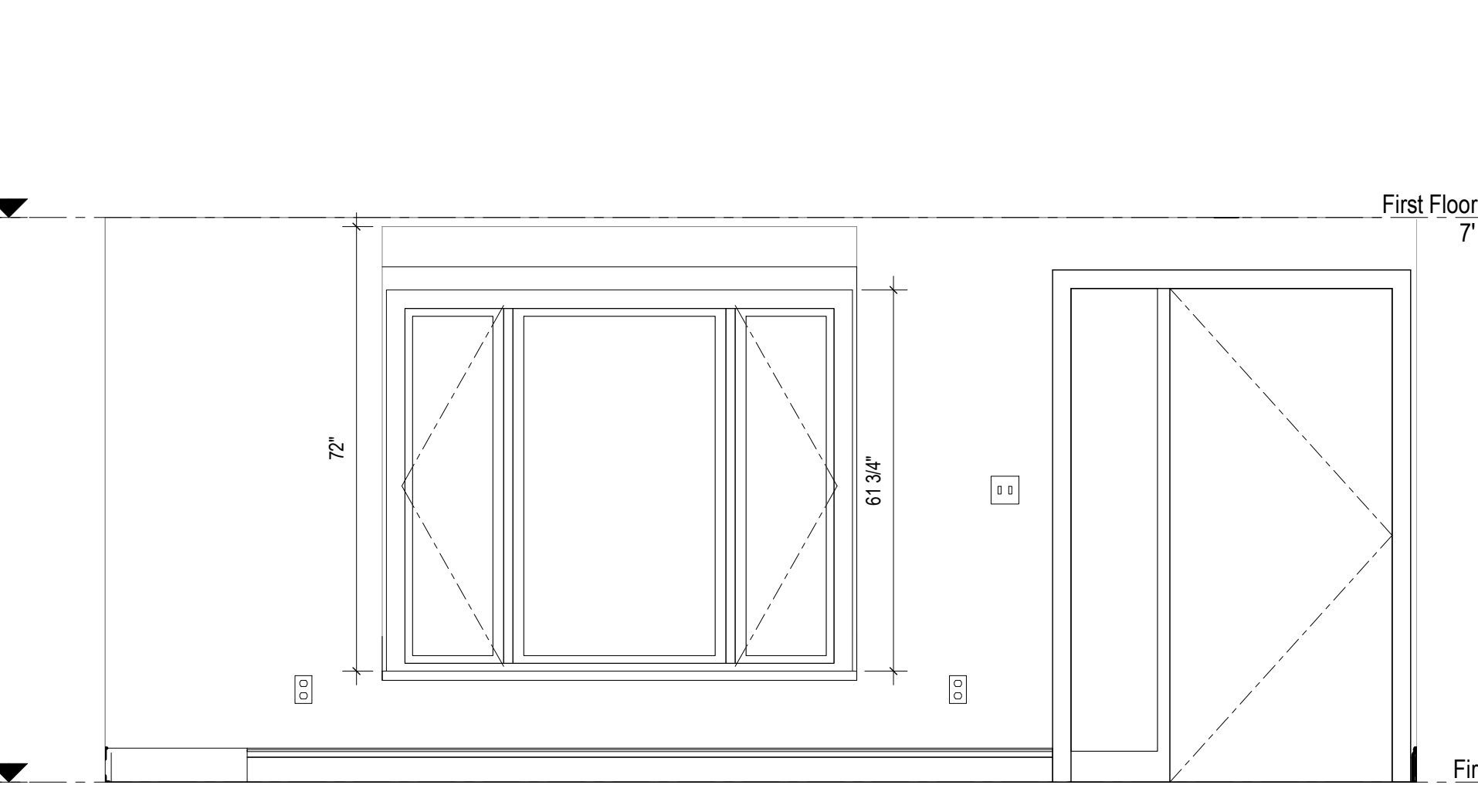
1 ELEVATION
A600
1/2" = 1'-0"



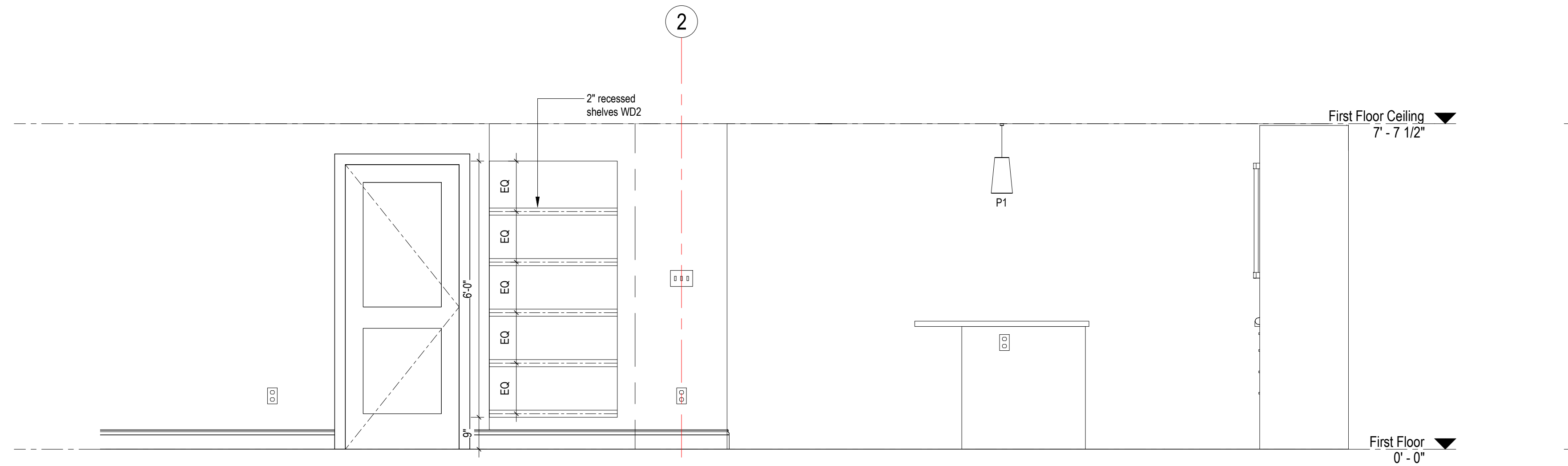
6 ELEVATION
A600
1/2" = 1'-0"



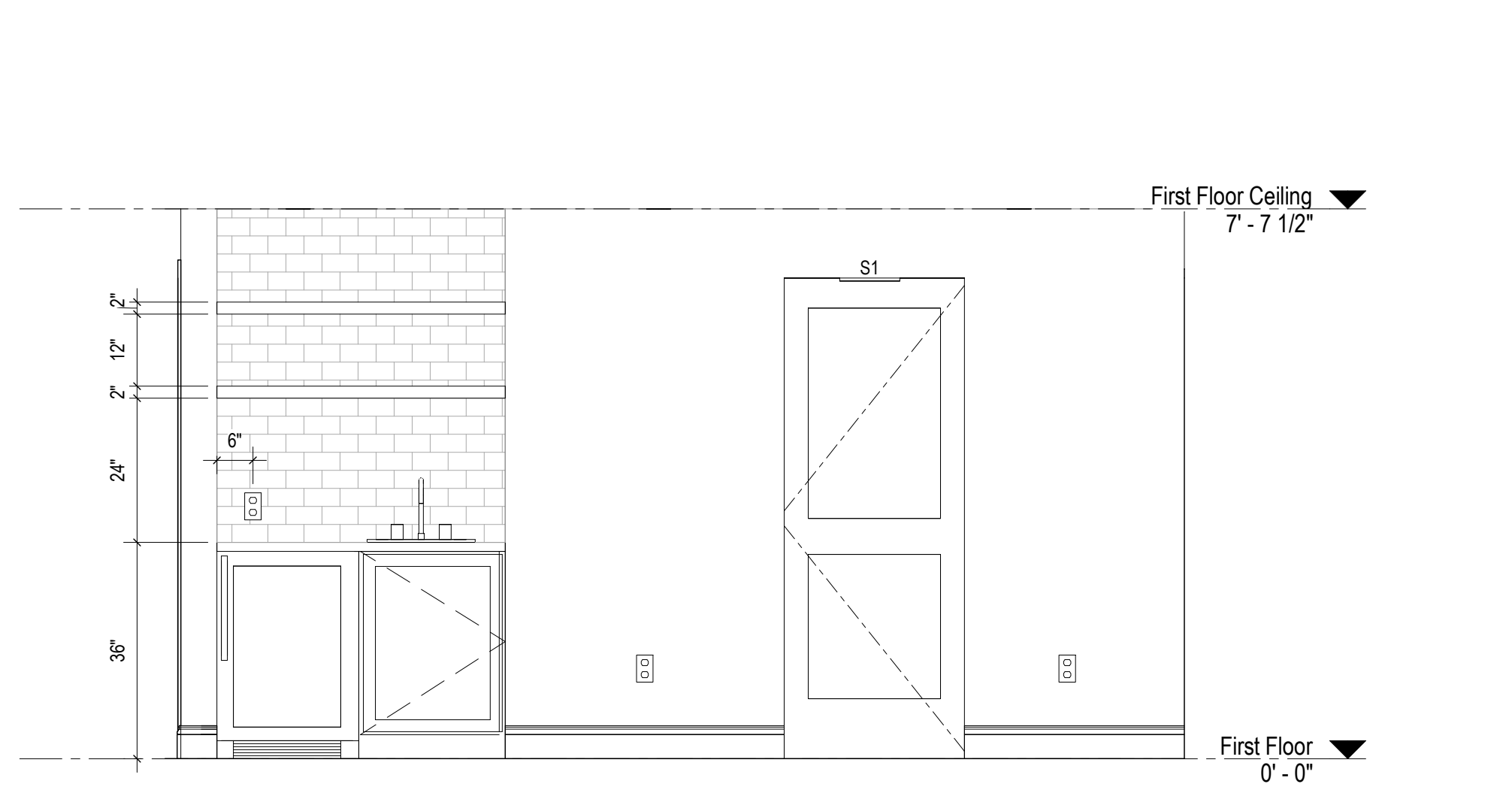
2 ELEVATION
A600
1/2" = 1'-0"



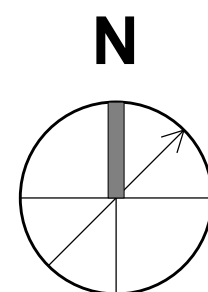
3 ELEVATION
A600
1/2" = 1'-0"



4 ELEVATION
A600
1/2" = 1'-0"



7 ELEVATION
A600
1/2" = 1'-0"



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

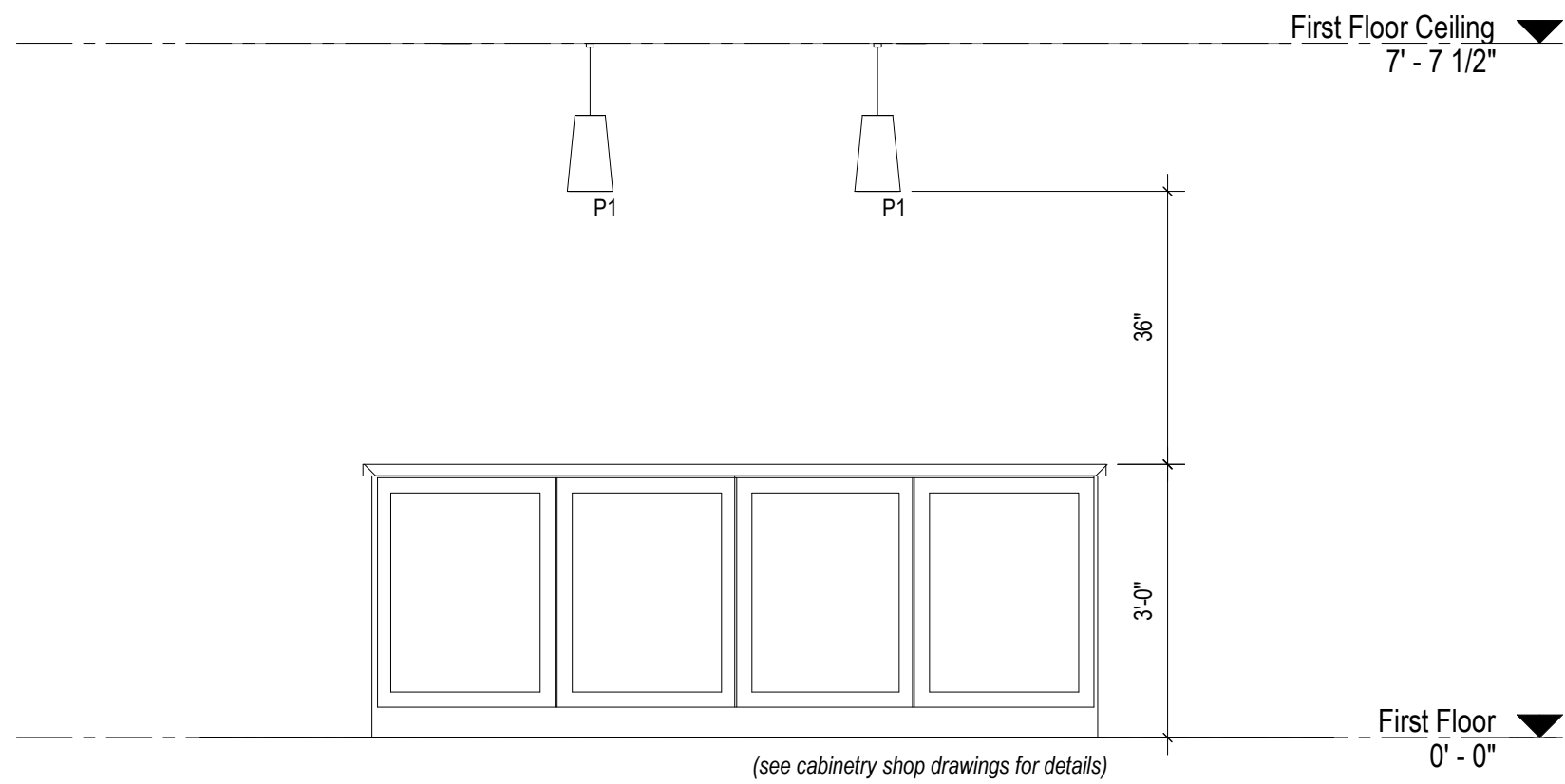
168 Dean Street
Belmont, MA 02478

client information:
Kunal & Bhavika Shah

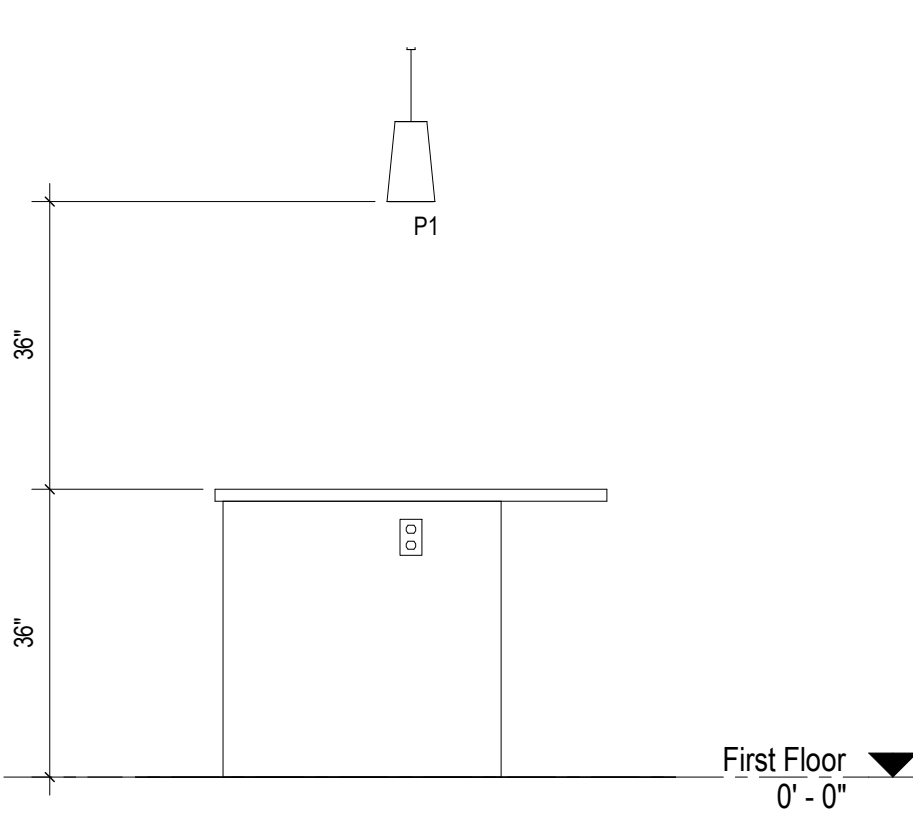
J^t A
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
INTERNAL ELEVATIONS

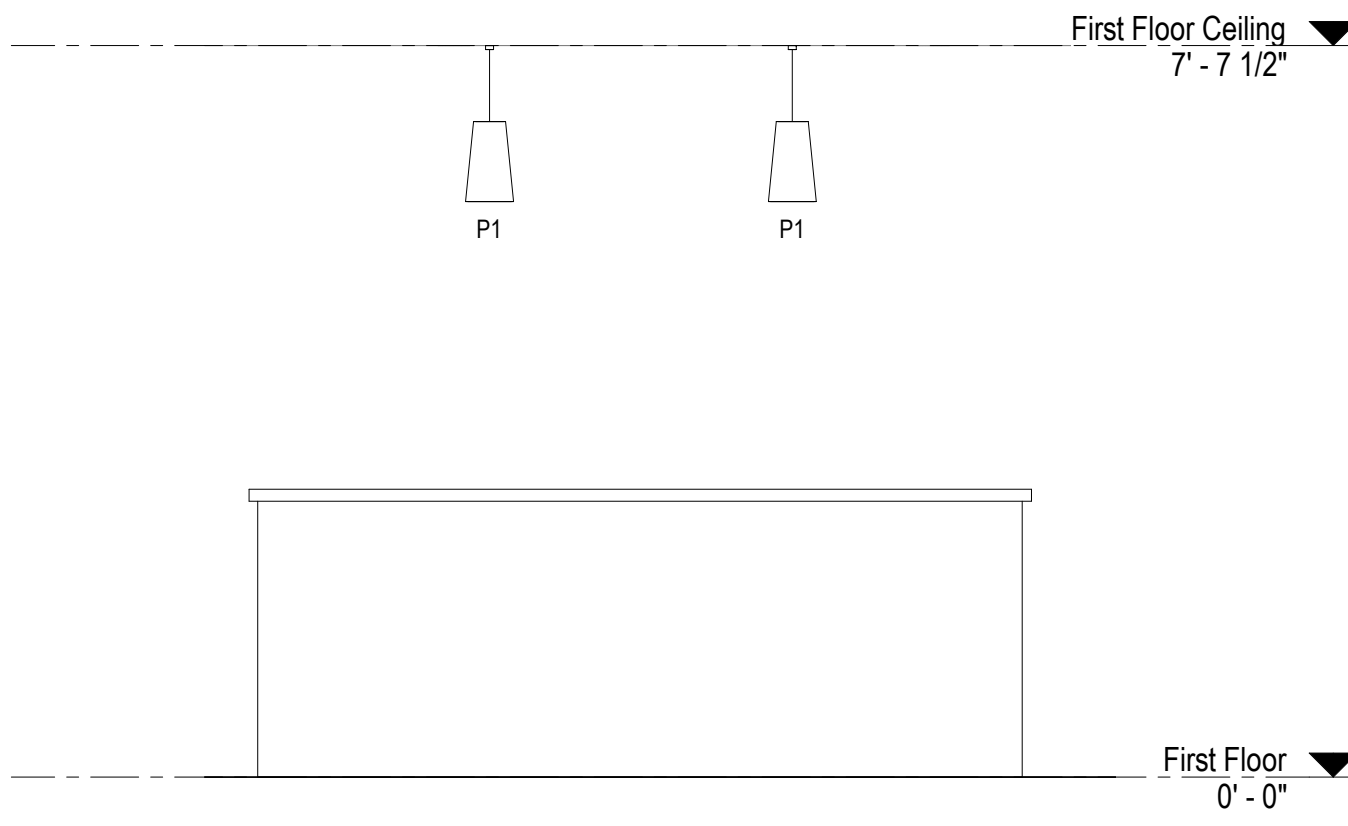
project number	drawing scale	approver
000	1/2" = 1'-0"	Approver
drawing number	revision	
A600	1	



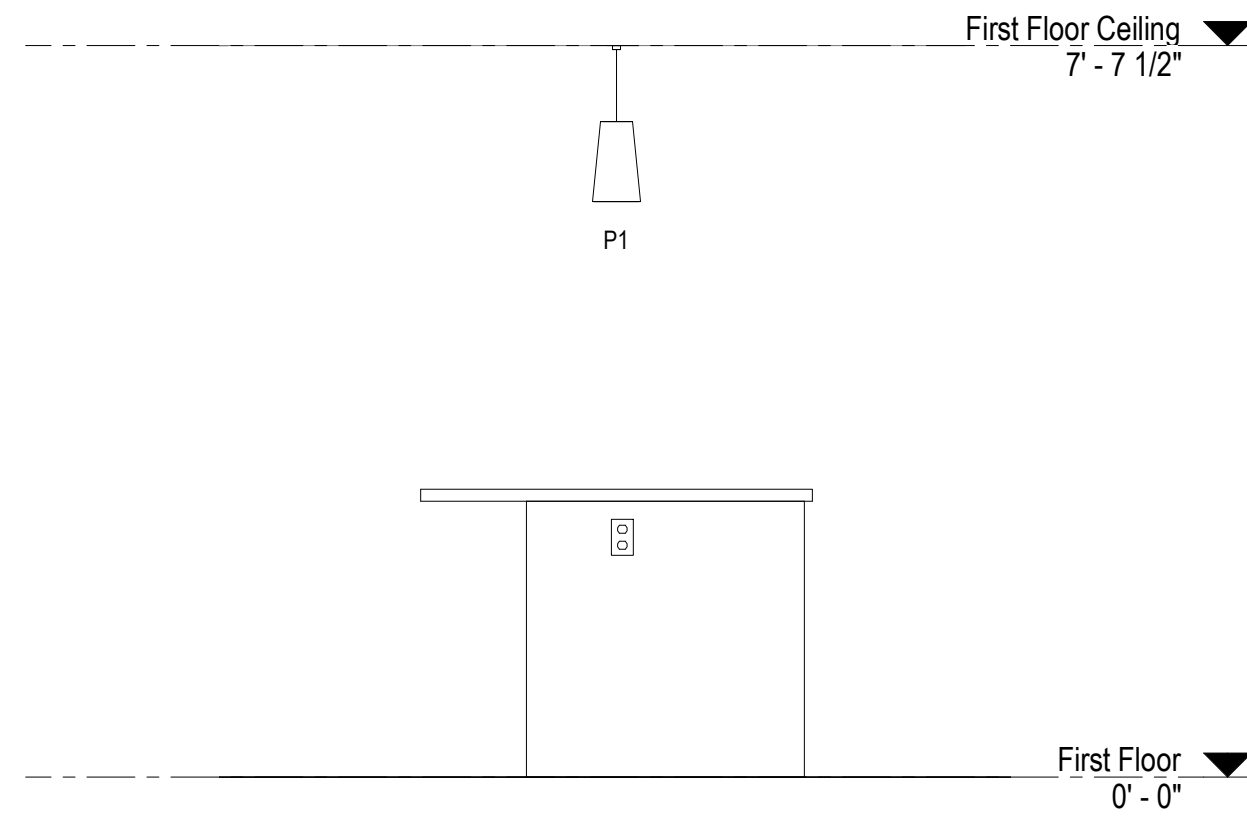
1 ELEVATION
A601 1/2" = 1'-0"



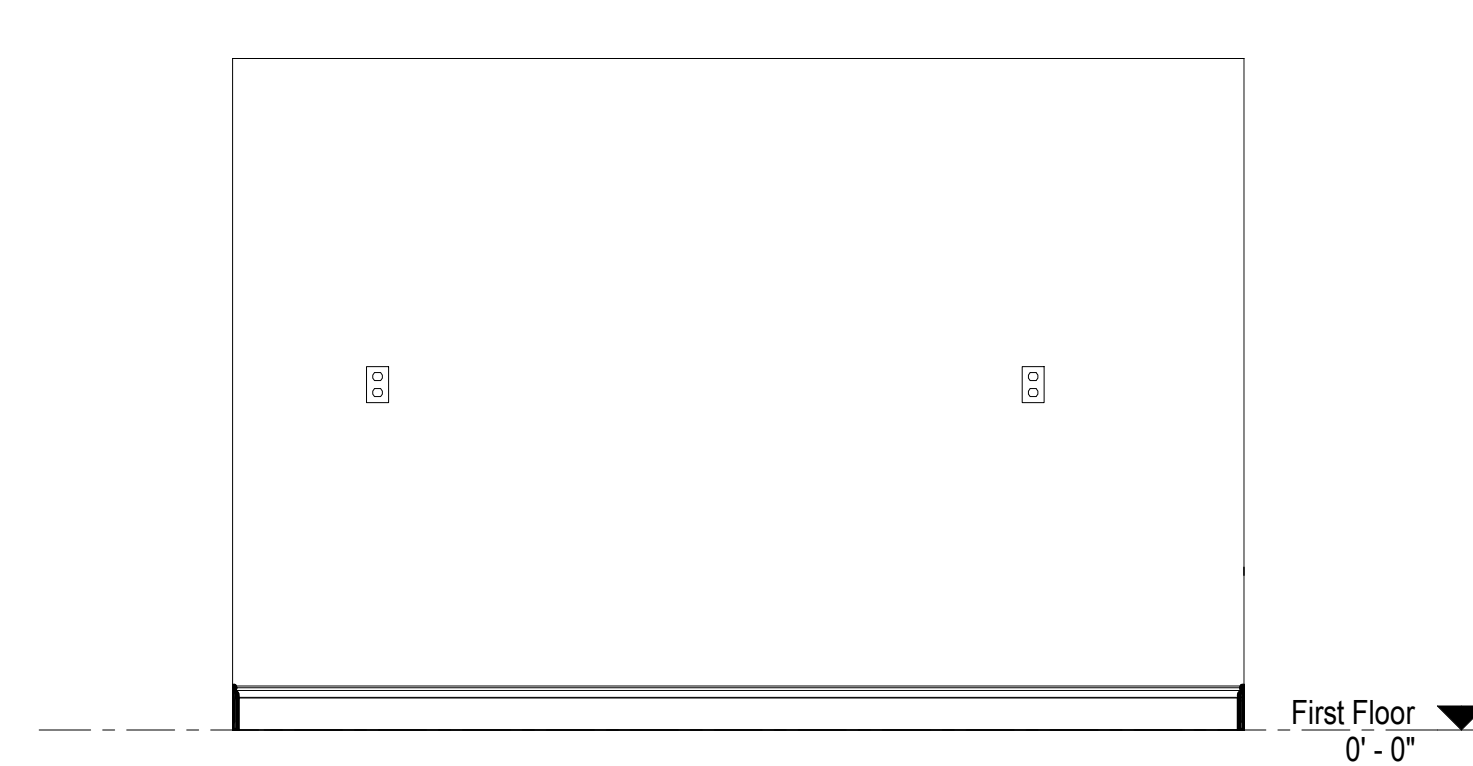
2 ELEVATION
A601 1/2" = 1'-0"



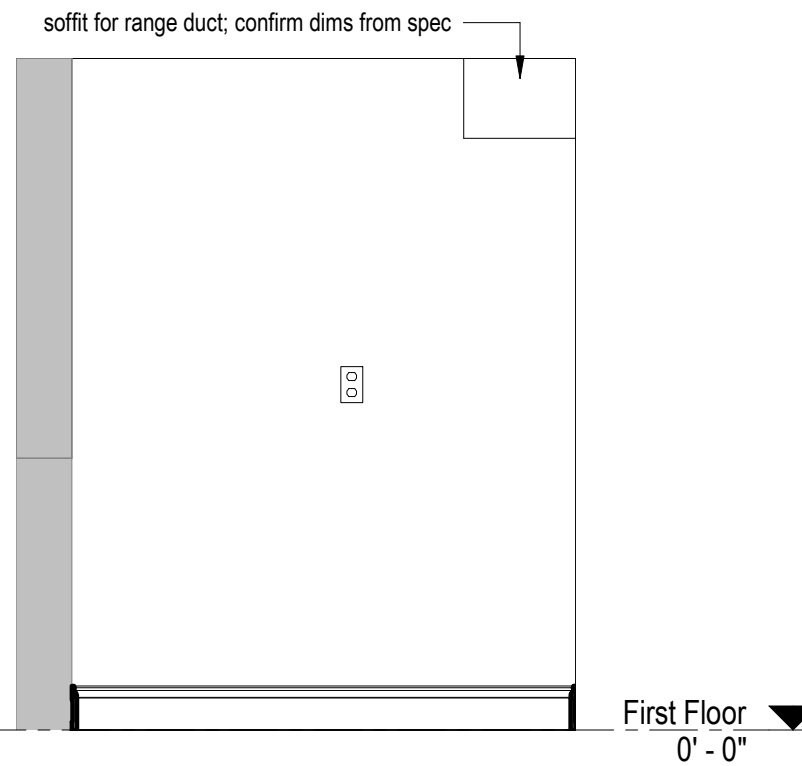
3 ELEVATION
A601 1/2" = 1'-0"



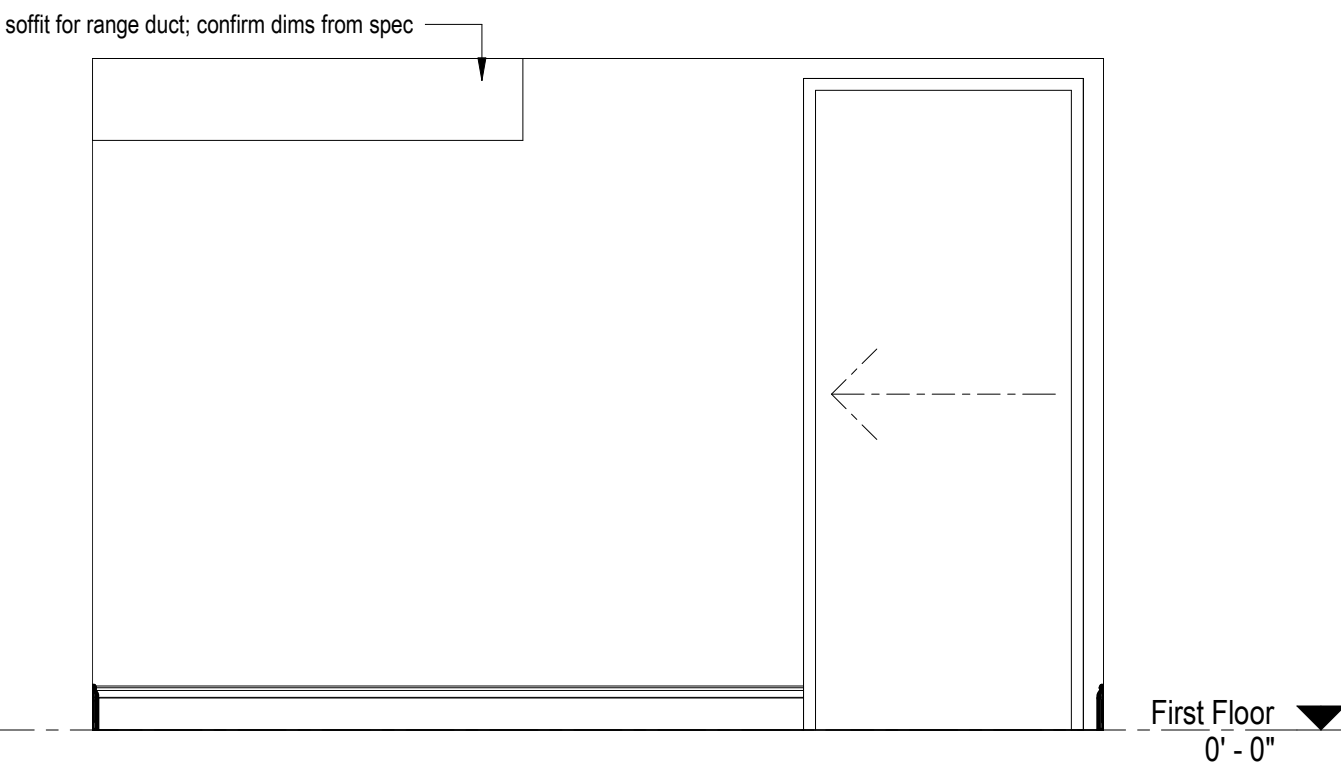
4 ELEVATION
A601 1/2" = 1'-0"



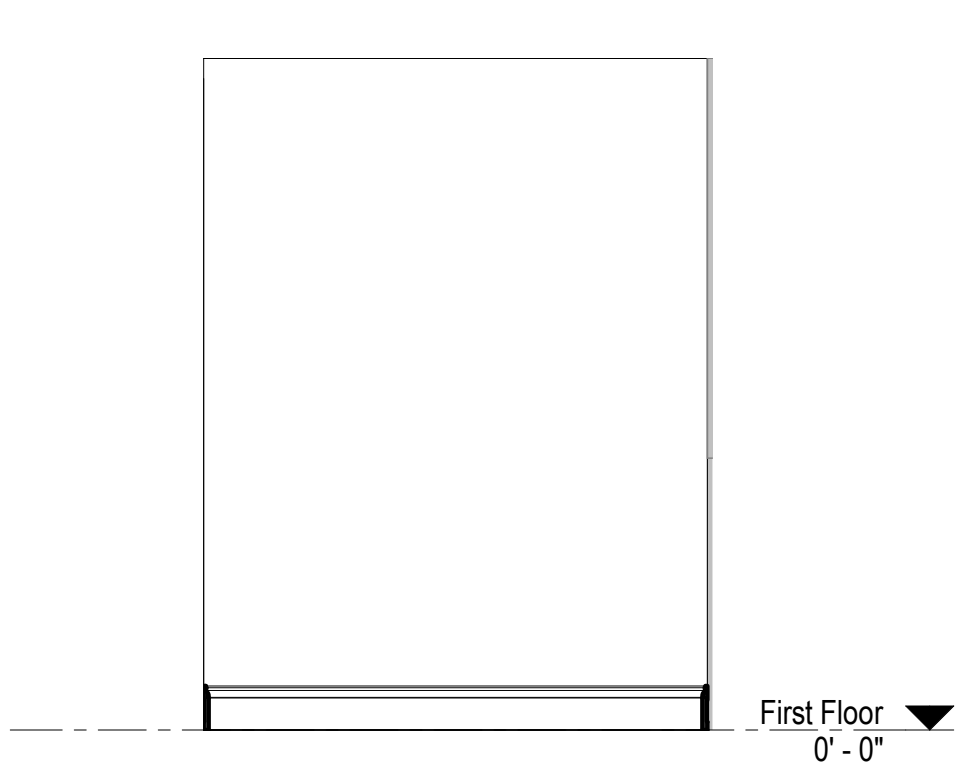
5 ELEVATION
A601 1/2" = 1'-0"



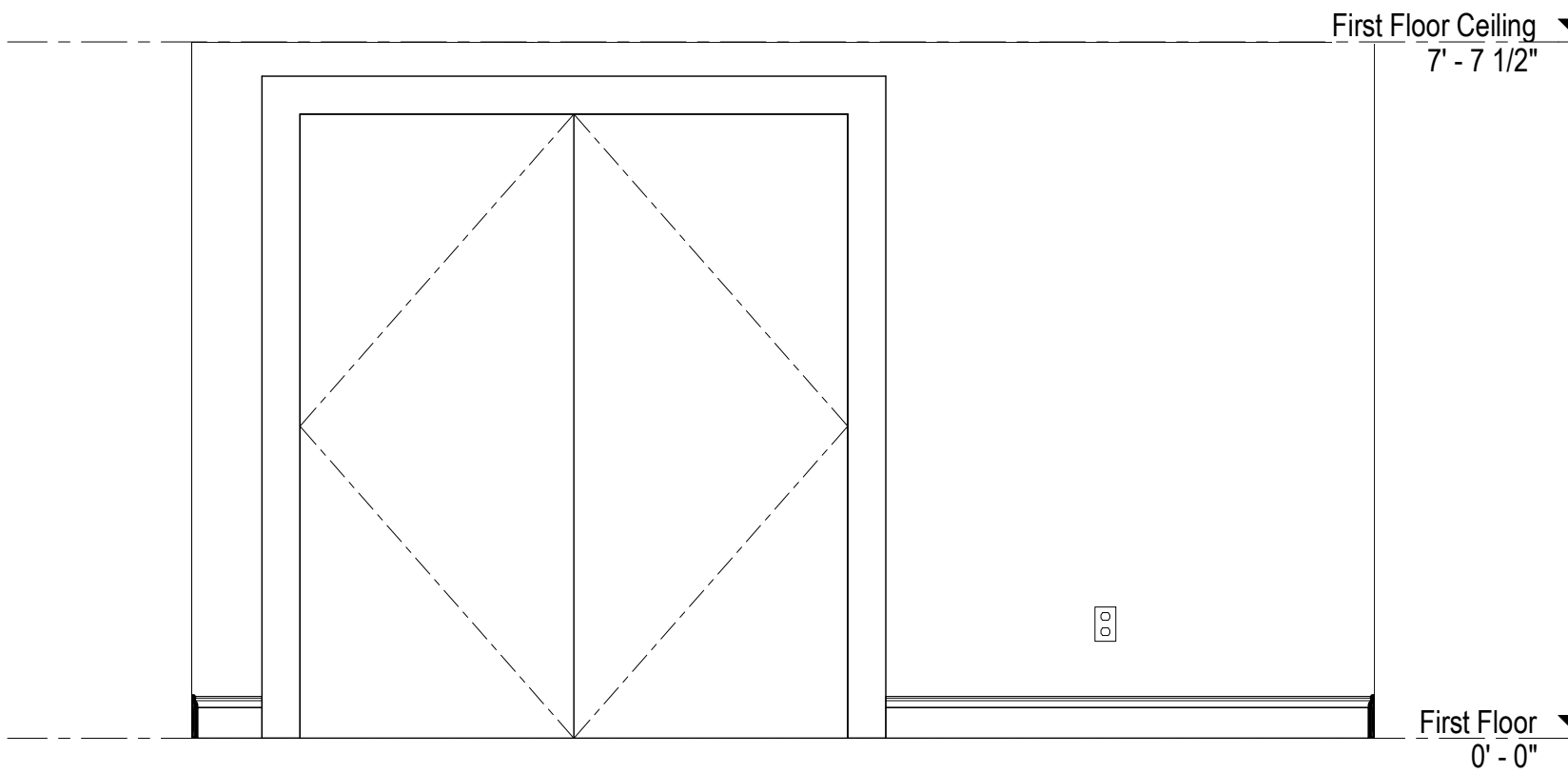
6 ELEVATION
A601 1/2" = 1'-0"



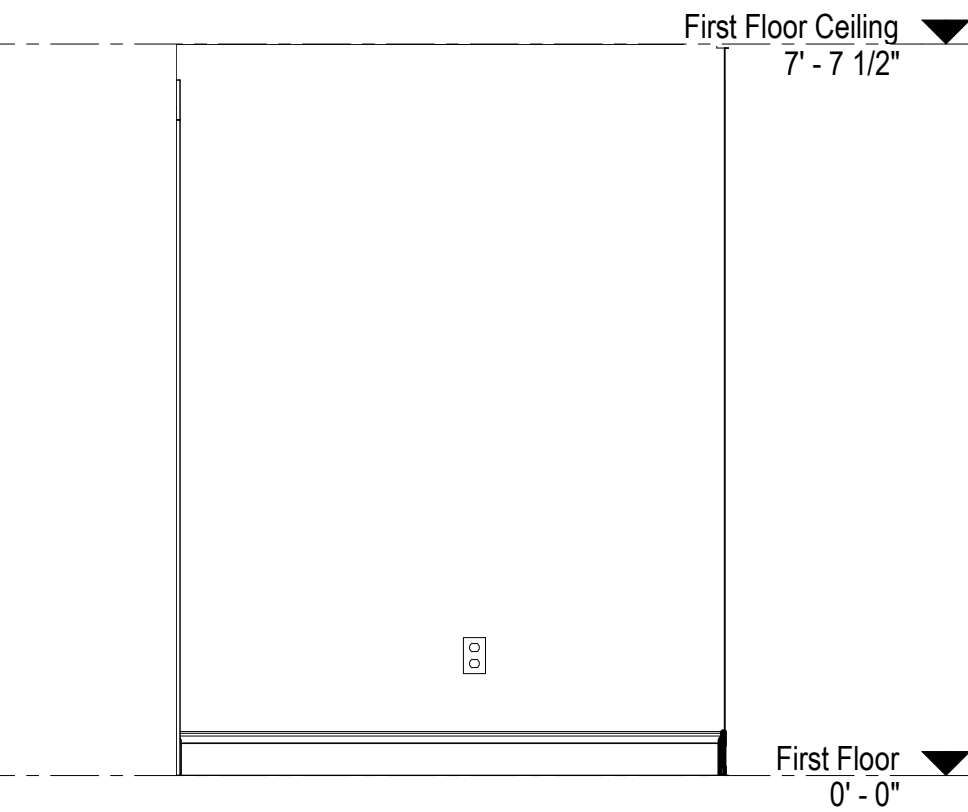
7 ELEVATION
A601 1/2" = 1'-0"



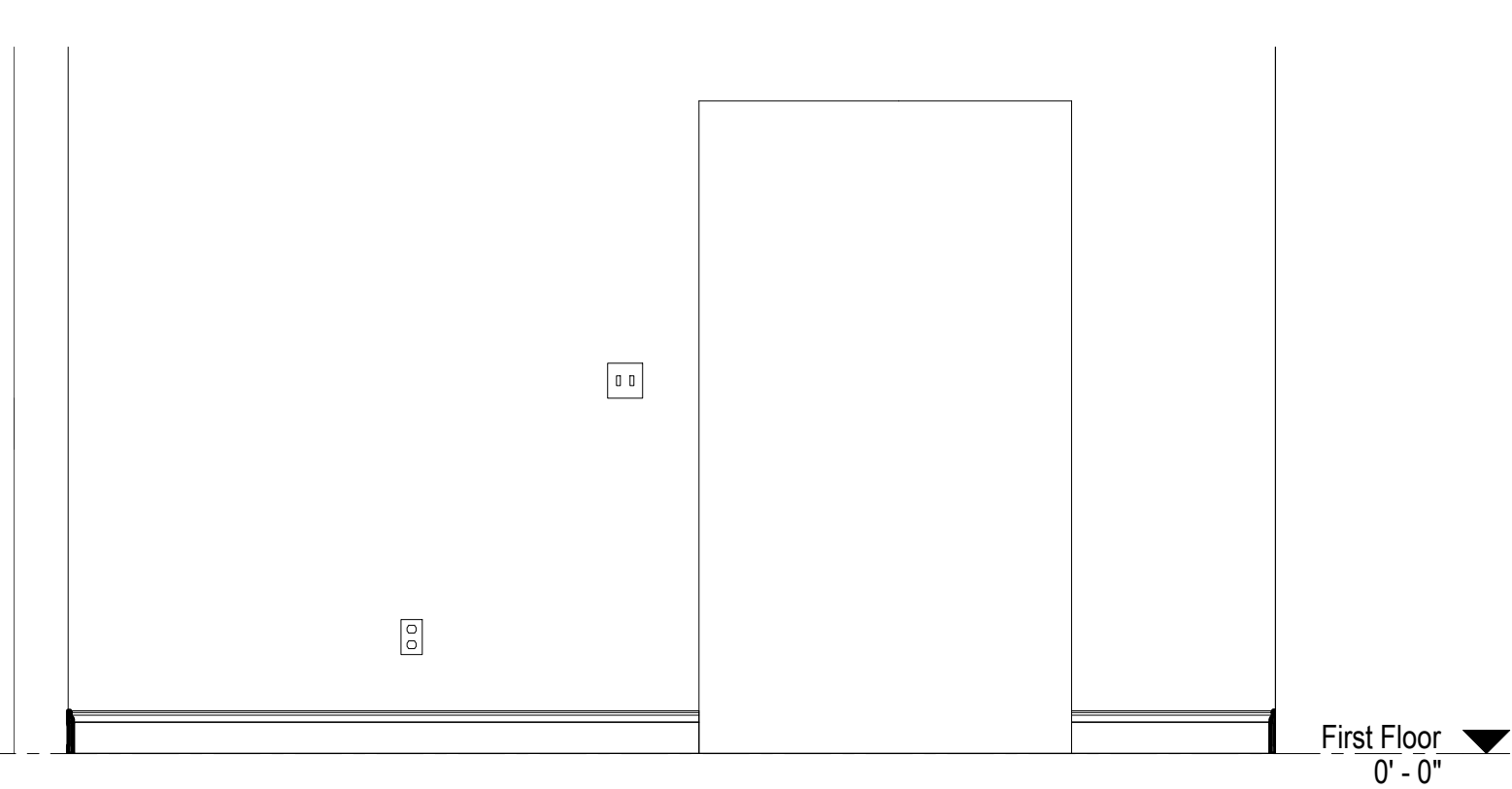
8 ELEVATION
A601 1/2" = 1'-0"



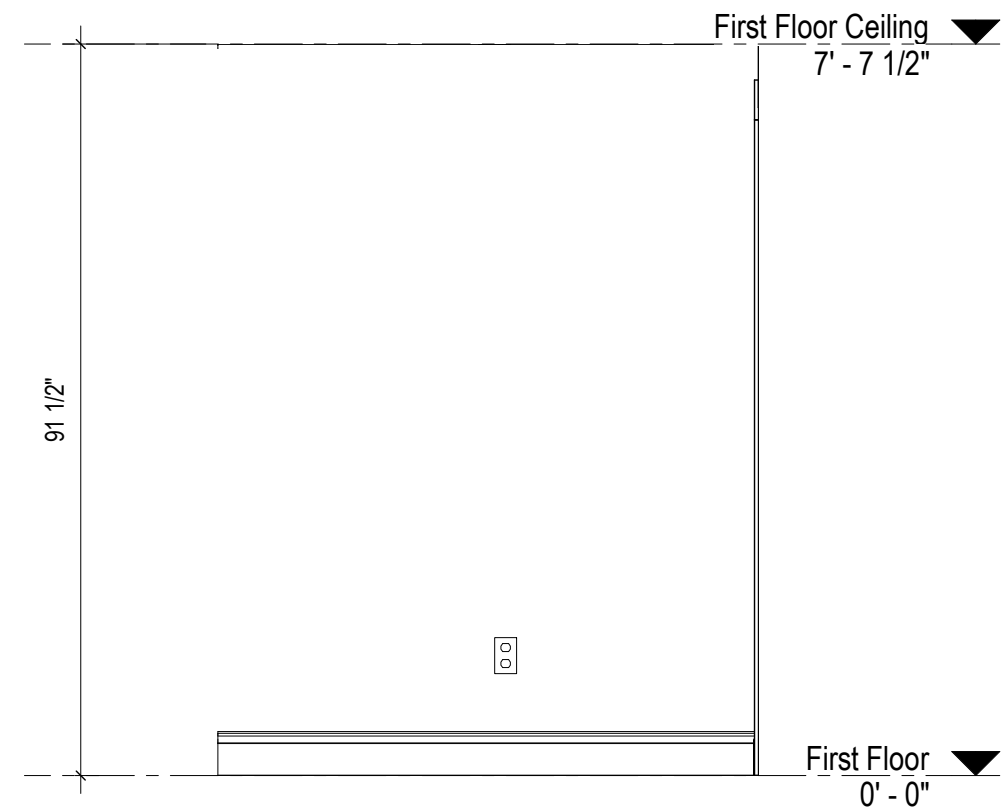
9 ELEVATION
A601 1/2" = 1'-0"



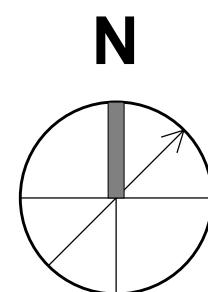
10 ELEVATION
A601 1/2" = 1'-0"



11 ELEVATION
A601 1/2" = 1'-0"



12 ELEVATION
A601 1/2" = 1'-0"



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

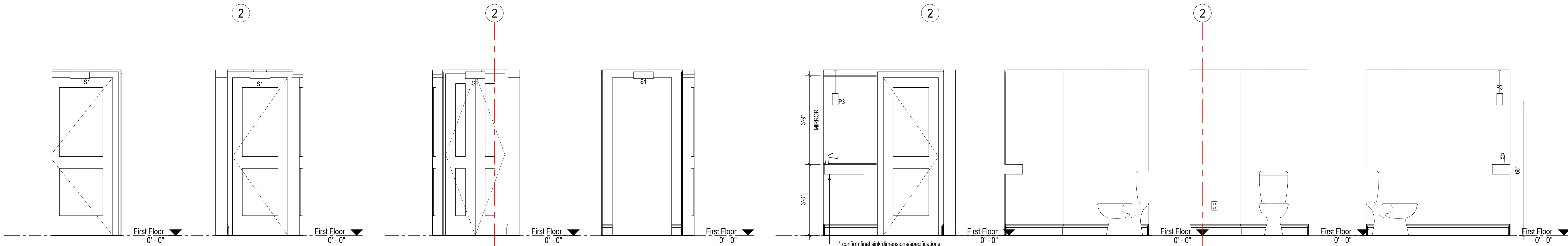
168 Dean Street
Belmont, MA 02478

client information:
Kunal & Bhavika Shah

J^tA
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
INTERNAL ELEVATIONS

project number 000	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A601	revision 1	



1 ELEVATION
A602 1/2" = 1'-0"

2 ELEVATION
A602 1/2" = 1'-0"

3 ELEVATION
A602 1/2" = 1'-0"

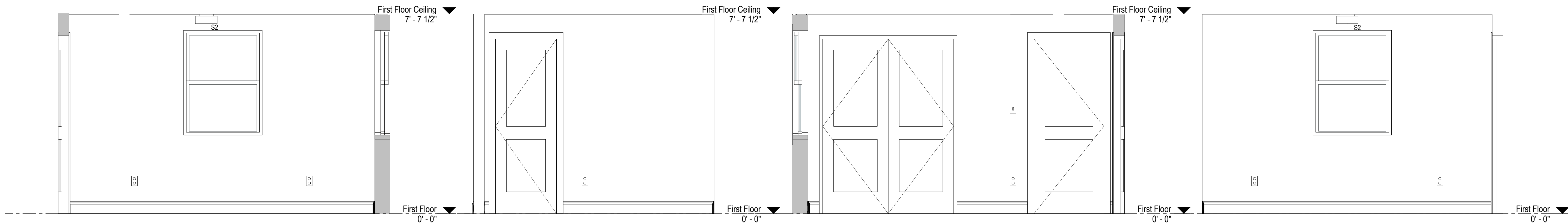
4 ELEVATION
A602 1/2" = 1'-0"

5 ELEVATION
A602 1/2" = 1'-0"

6 ELEVATION
A602 1/2" = 1'-0"

7 ELEVATION
A602 1/2" = 1'-0"

8 ELEVATION
A602 1/2" = 1'-0"

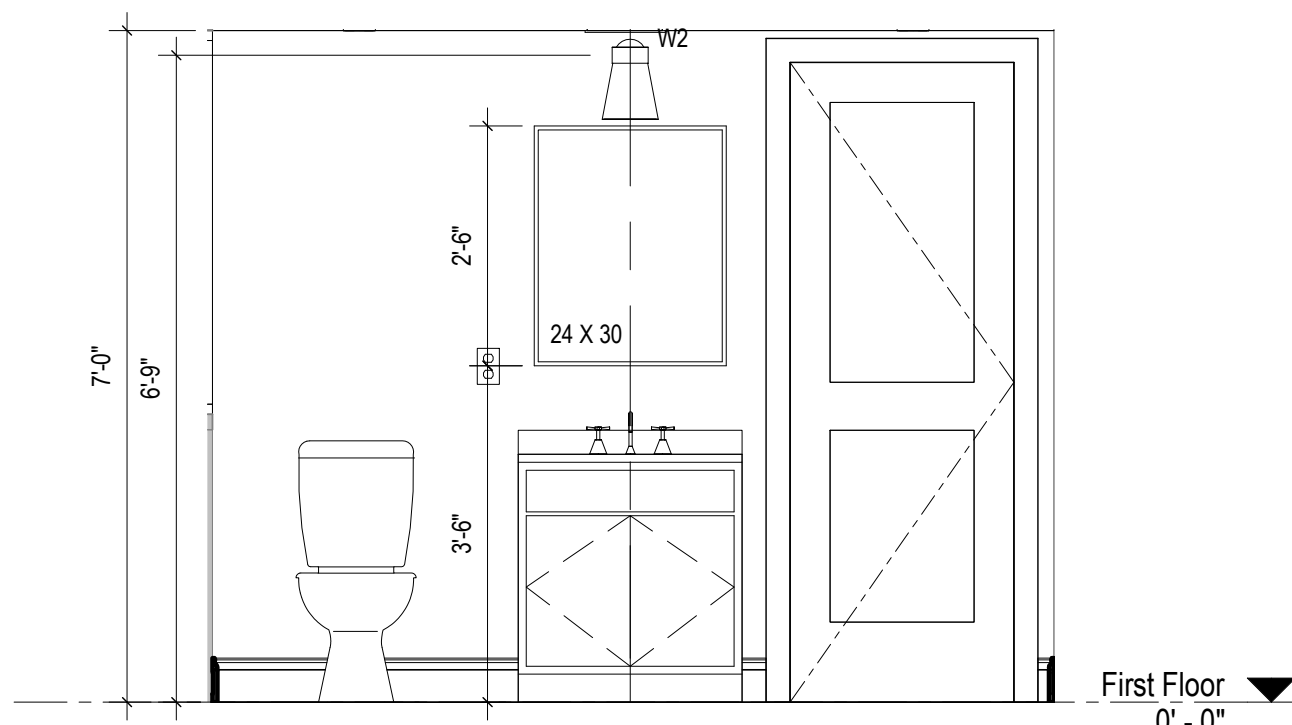


9 ELEVATION
A602 1/2" = 1'-0"

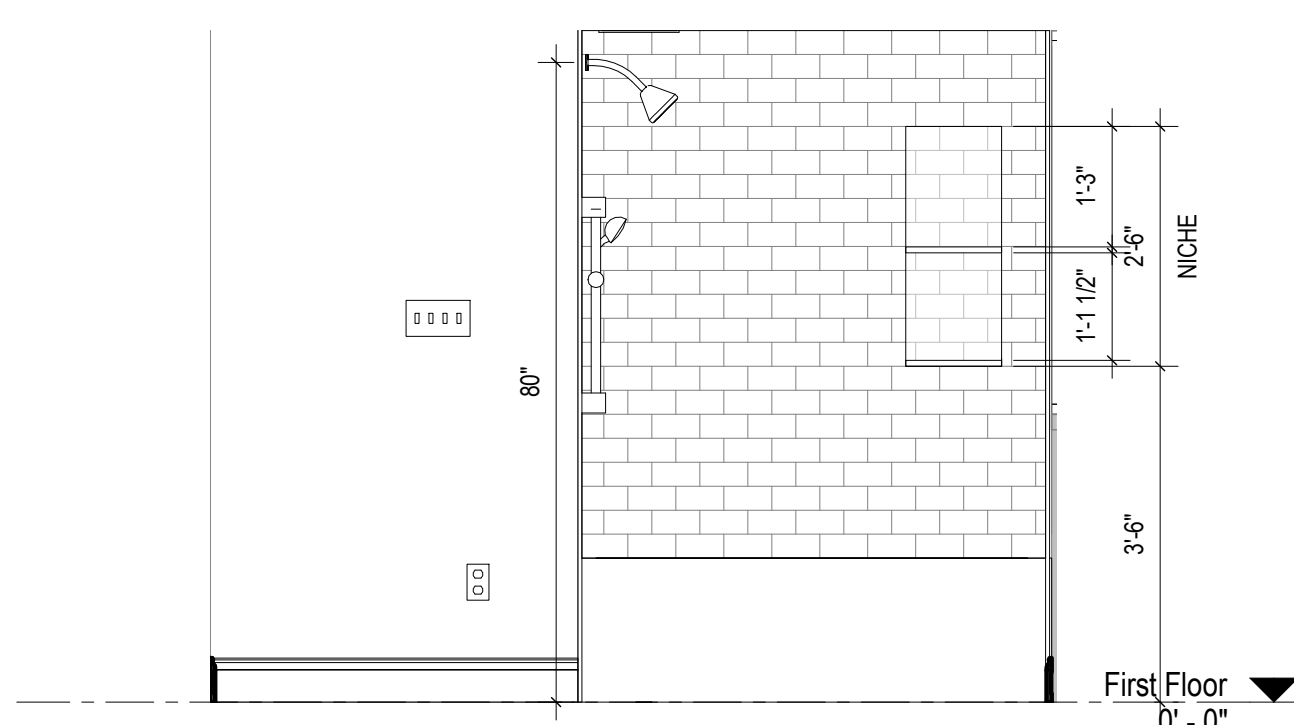
10 ELEVATION
A602 1/2" = 1'-0"

11 ELEVATION
A602 1/2" = 1'-0"

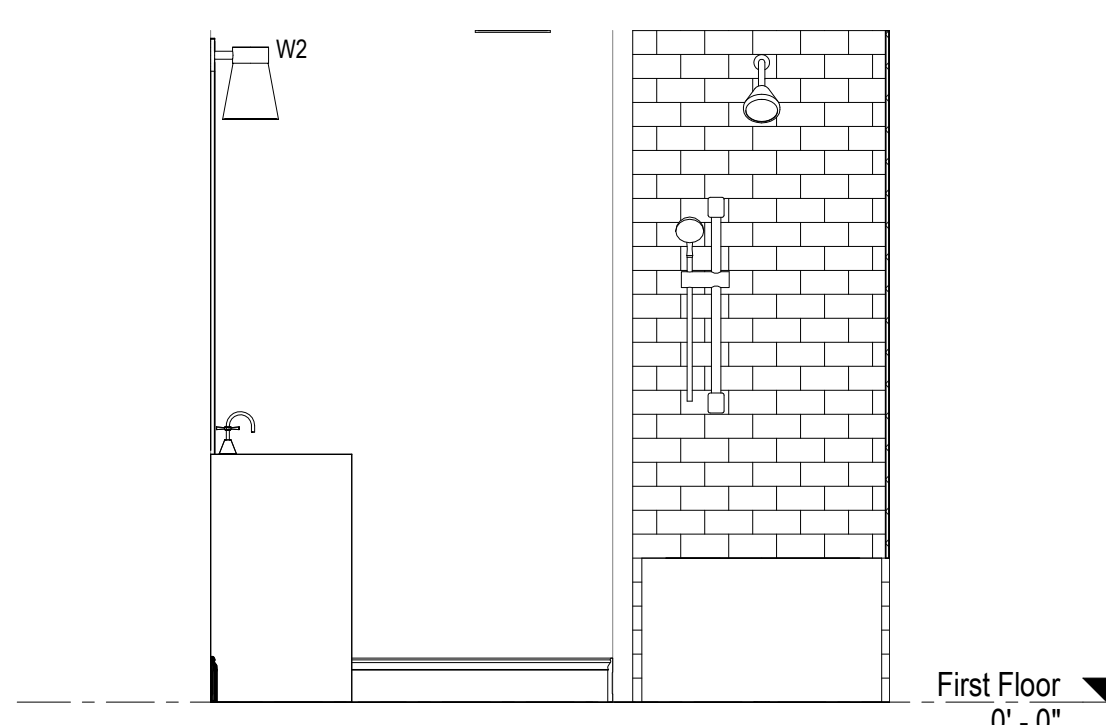
12 ELEVATION
A602 1/2" = 1'-0"



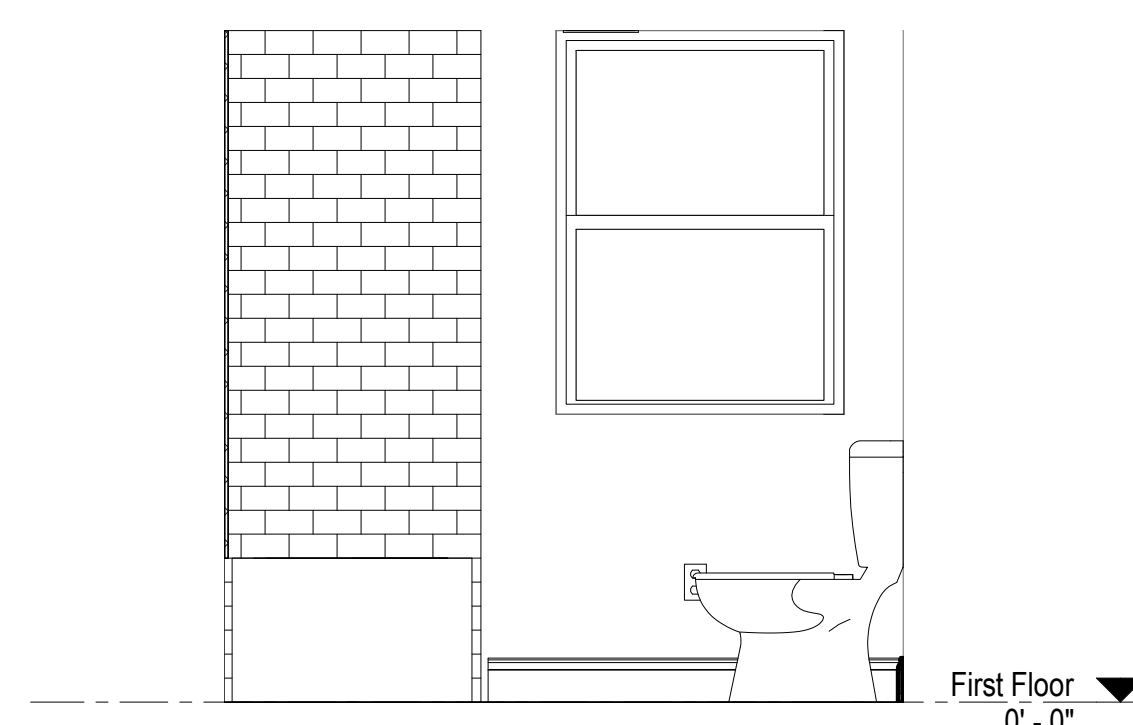
13 ELEVATION
A602 1/2" = 1'-0"



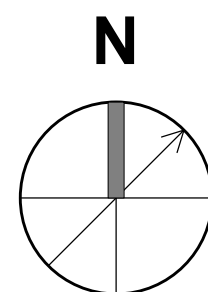
14 ELEVATION
A602 1/2" = 1'-0"



15 ELEVATION
A602 1/2" = 1'-0"



16 ELEVATION
A602 1/2" = 1'-0"



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved.

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

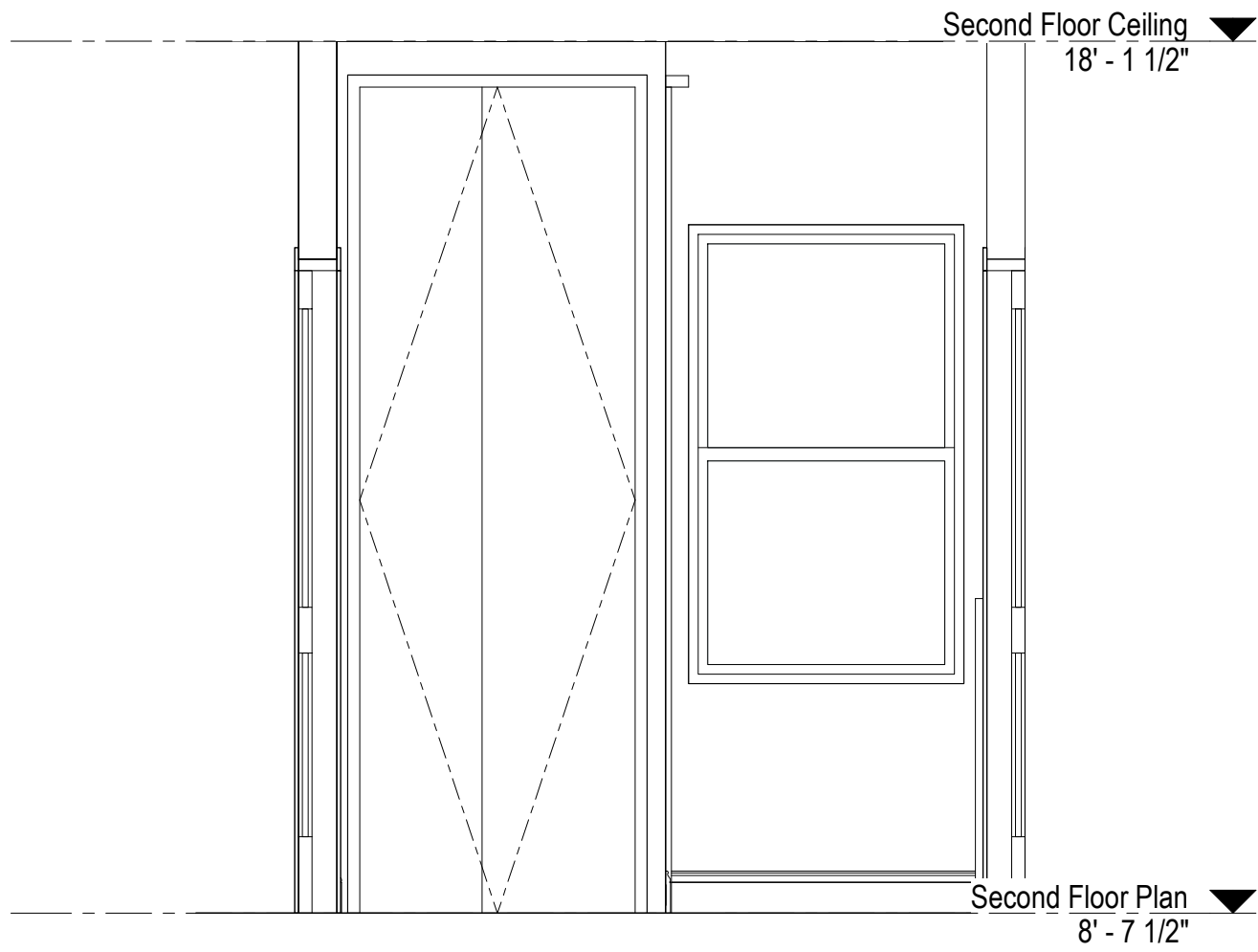
168 Dean Street
Belmont, MA 02478

client information:
Kunal & Bhavika Shah

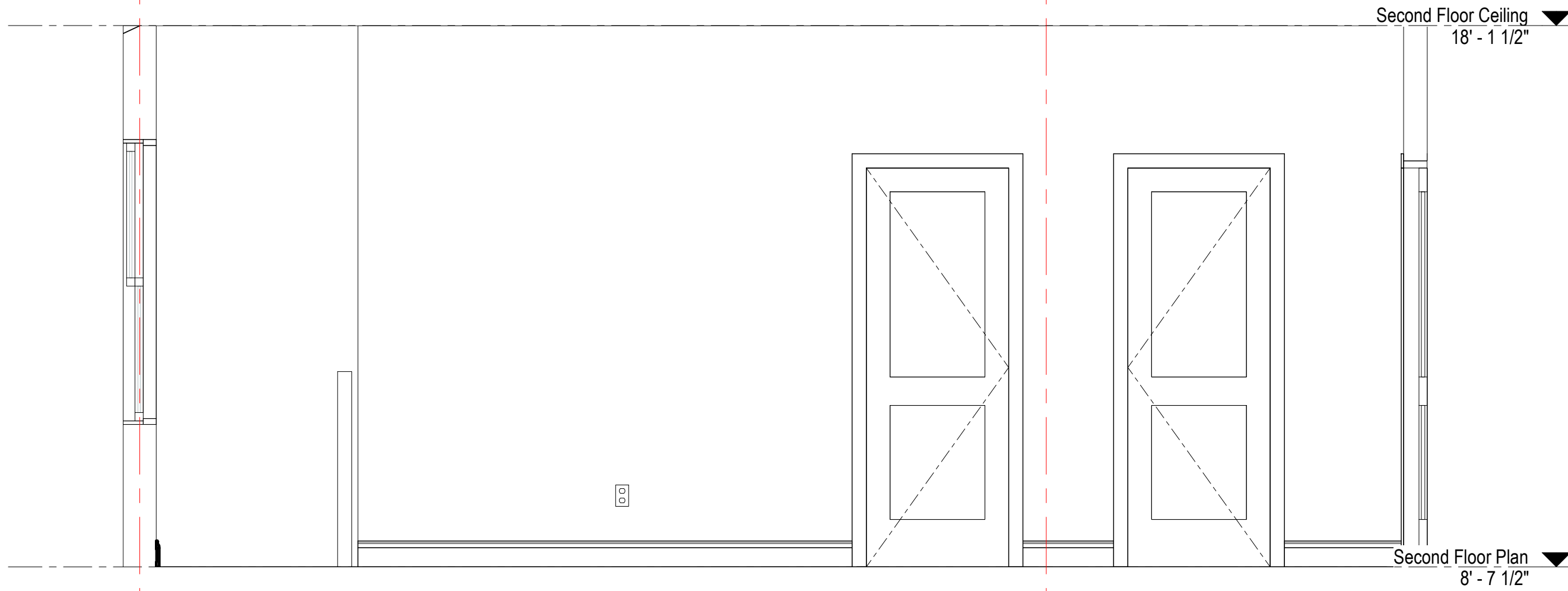
J^tA
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
INTERNAL ELEVATIONS

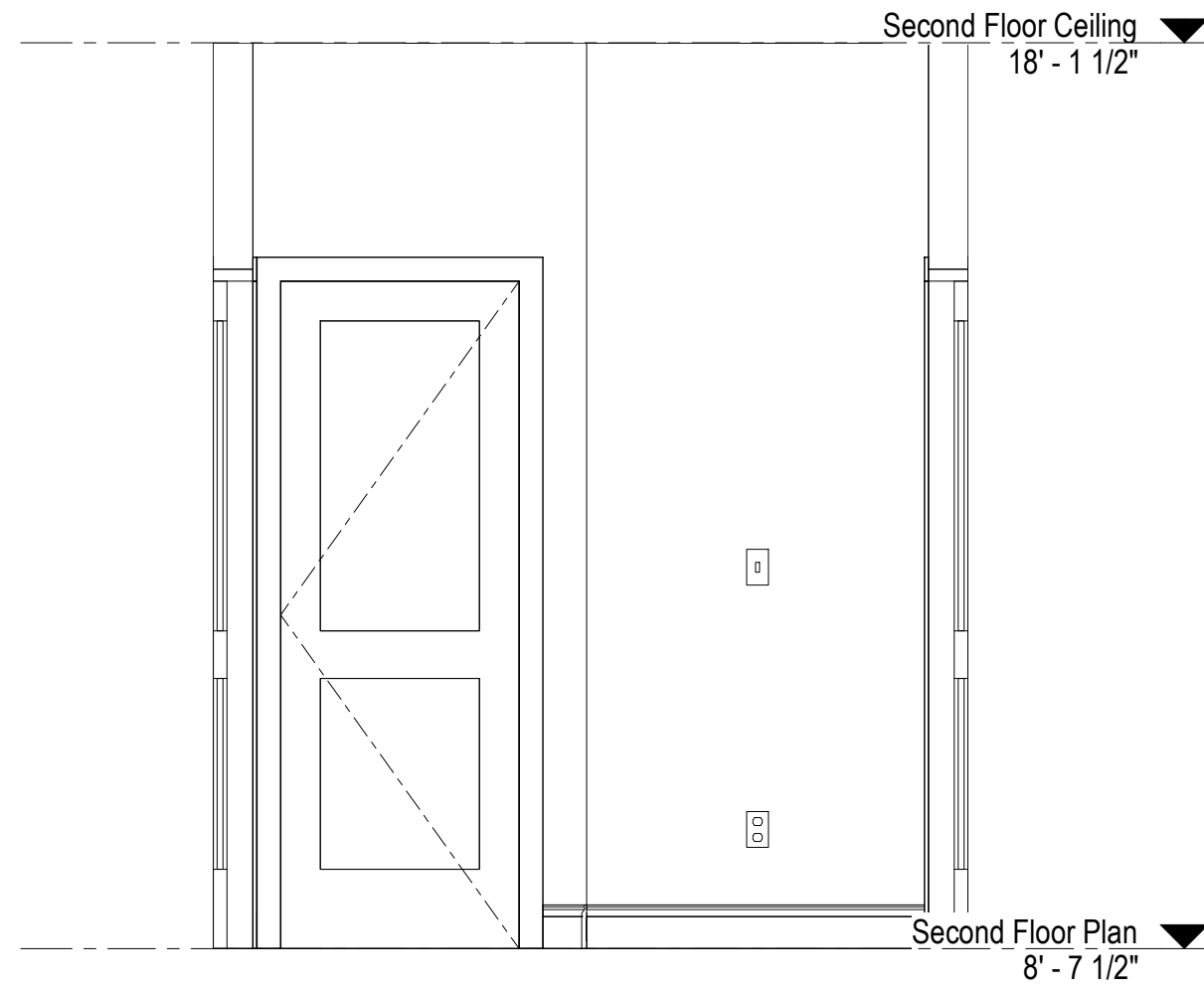
project number 000	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A602	revision 1	



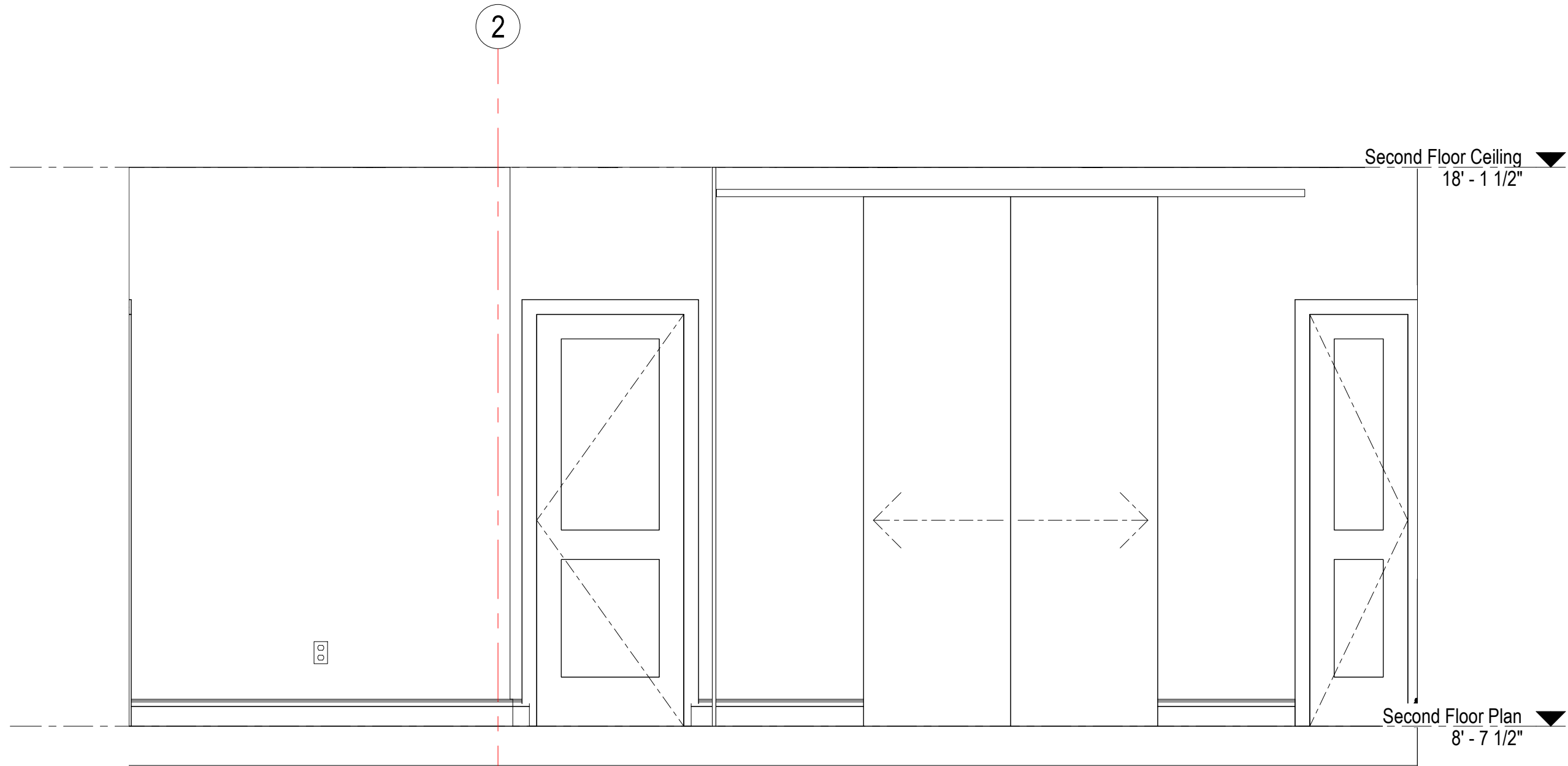
1 ELEVATION
A603 1/2\" = 1'-0"



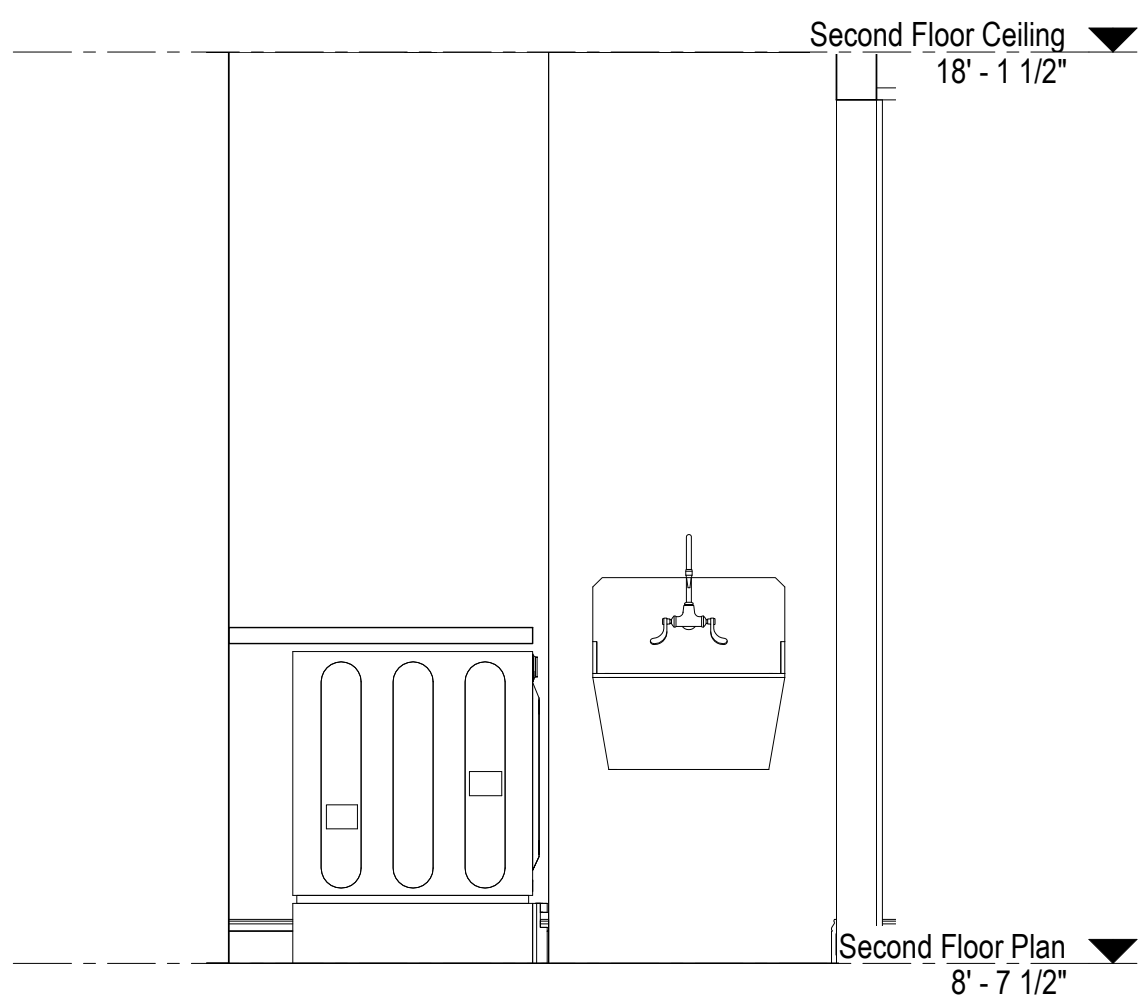
2 ELEVATION
A603 1/2\" = 1'-0"



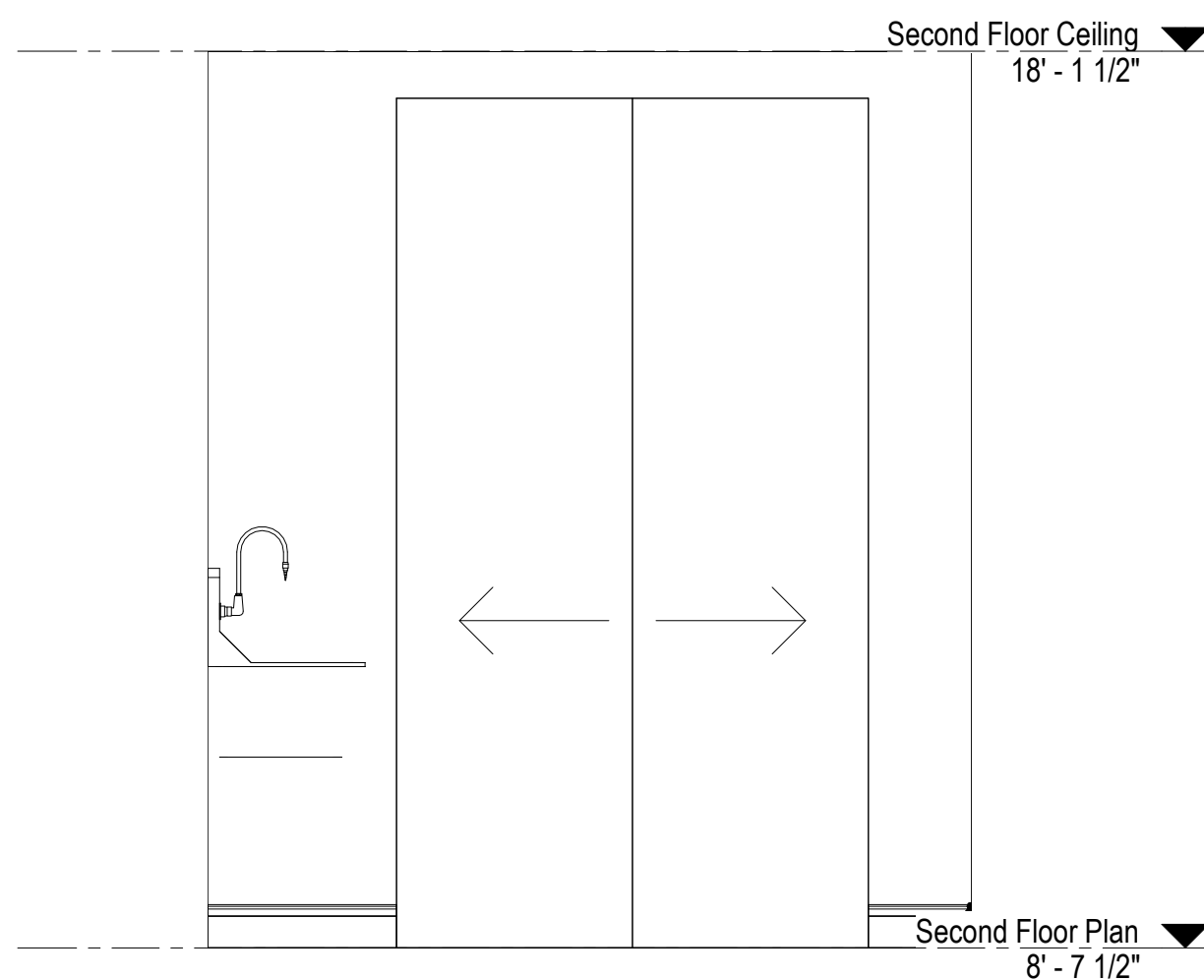
3 ELEVATION
A603 1/2\" = 1'-0"



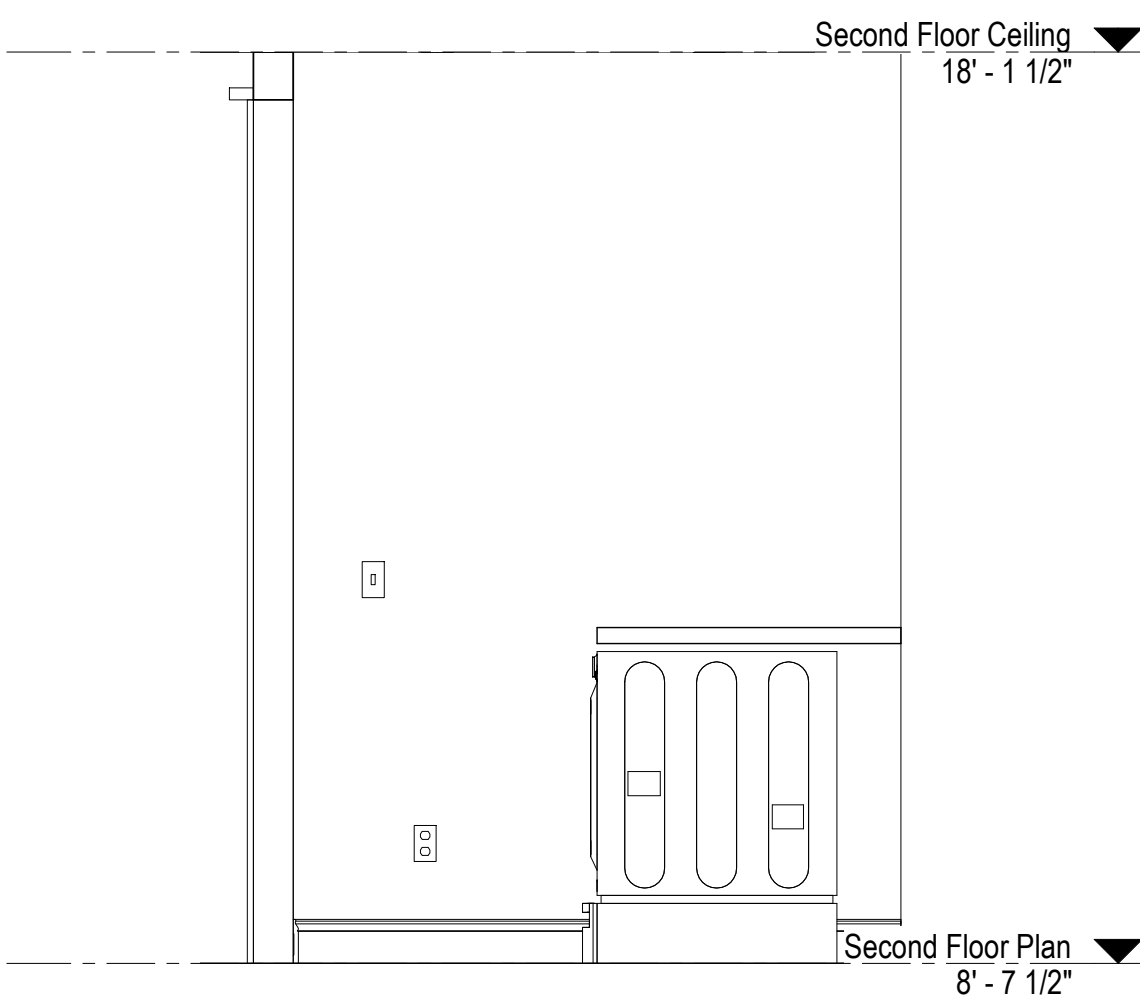
4 ELEVATION
A603 1/2\" = 1'-0"



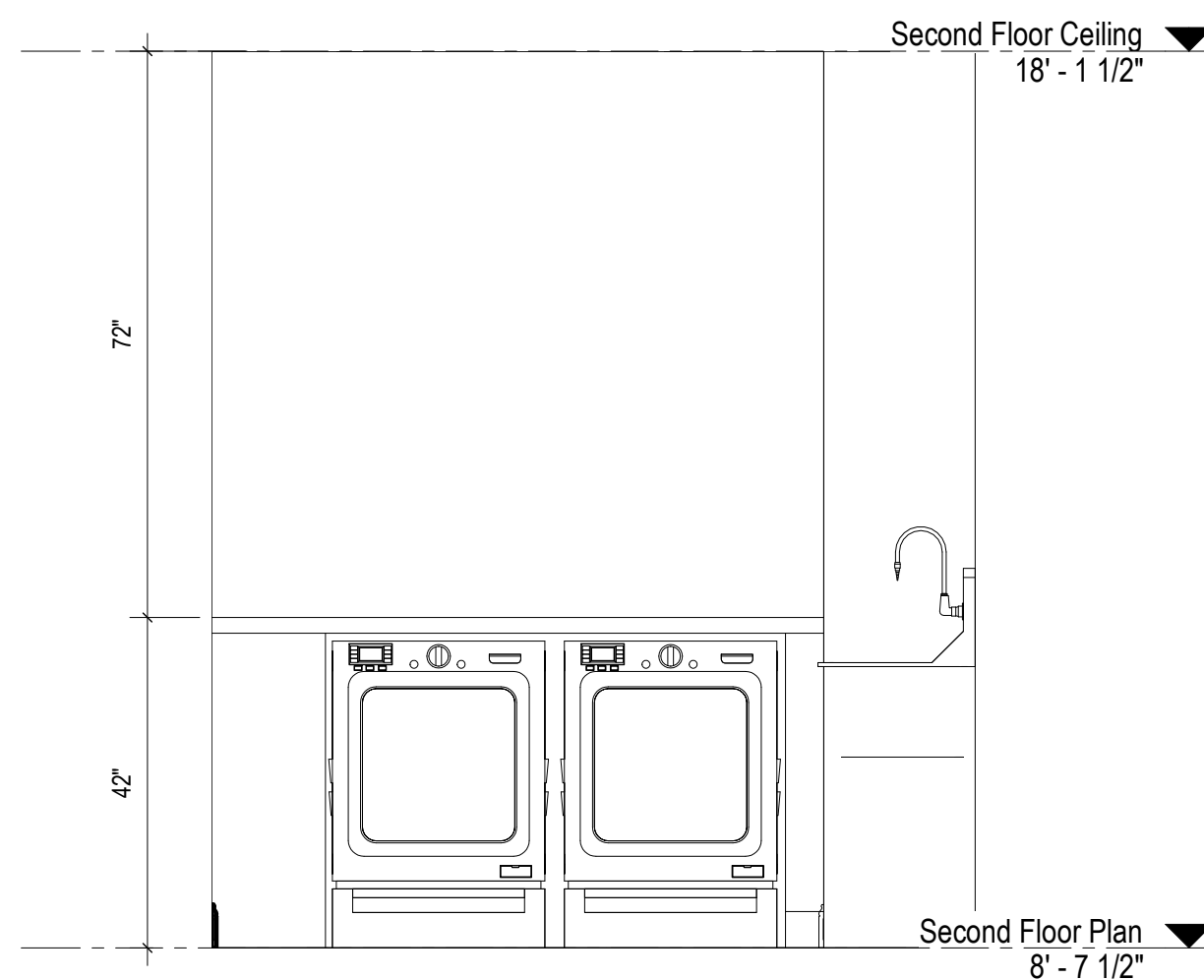
5 ELEVATION
A603 1/2\" = 1'-0"



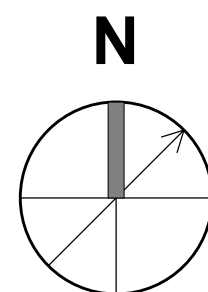
6 ELEVATION
A603 1/2\" = 1'-0"



7 ELEVATION
A603 1/2\" = 1'-0"



8 ELEVATION
A603 1/2\" = 1'-0"



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

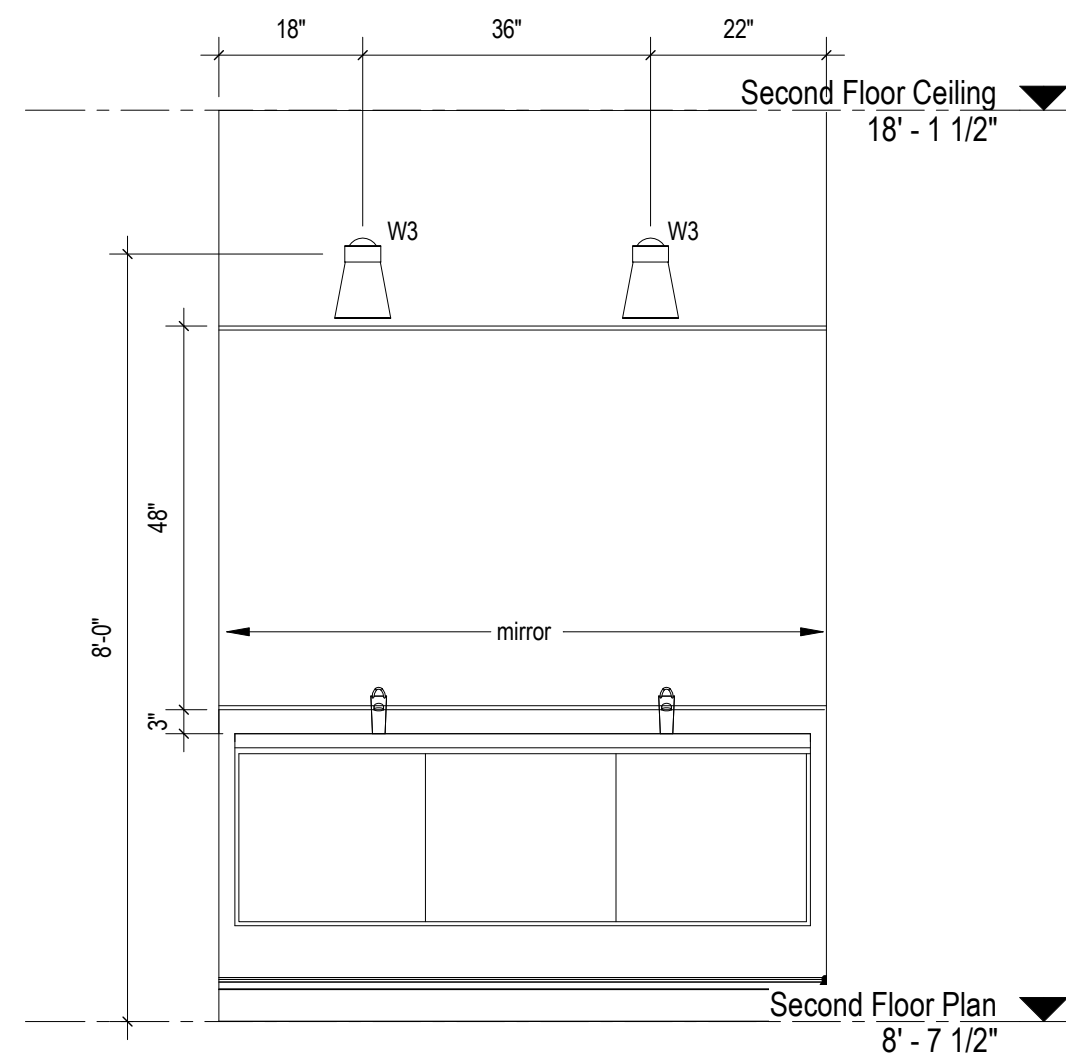
168 Dean Street
Belmont, MA 02478

client information:
Kunal & Bhavika Shah

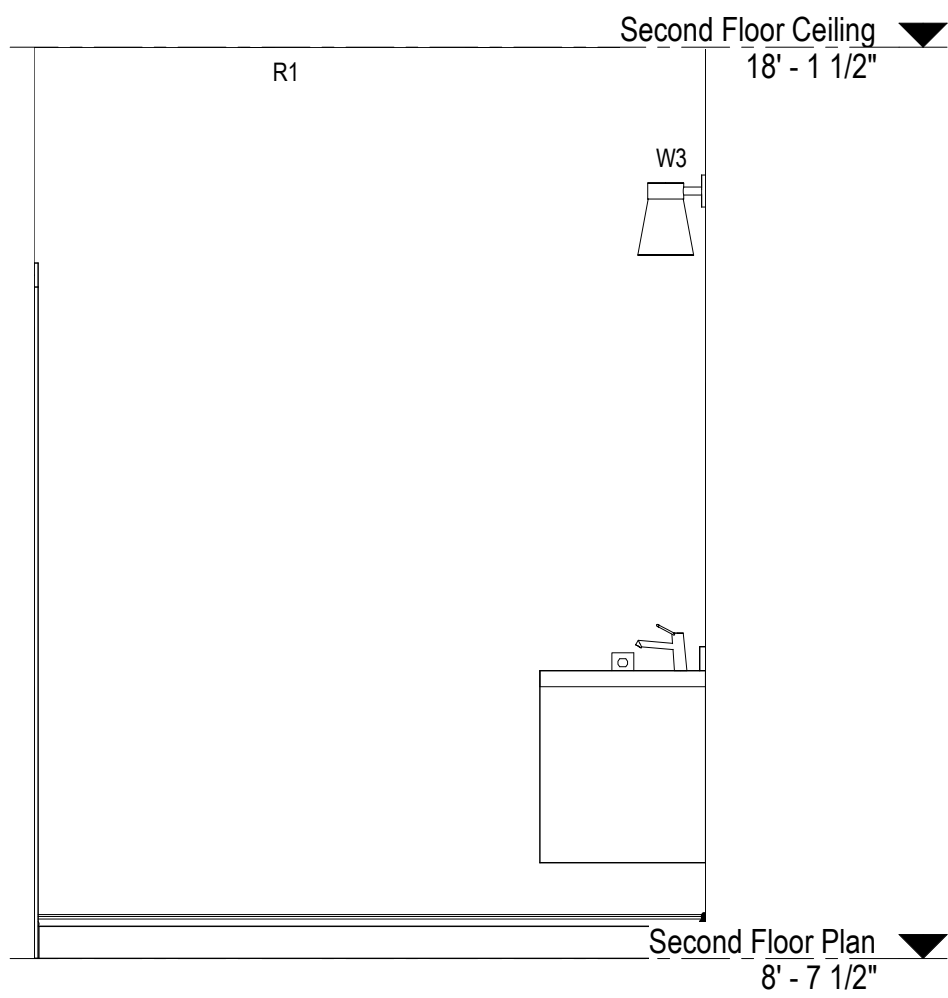
J^tA
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
INTERNAL ELEVATIONS

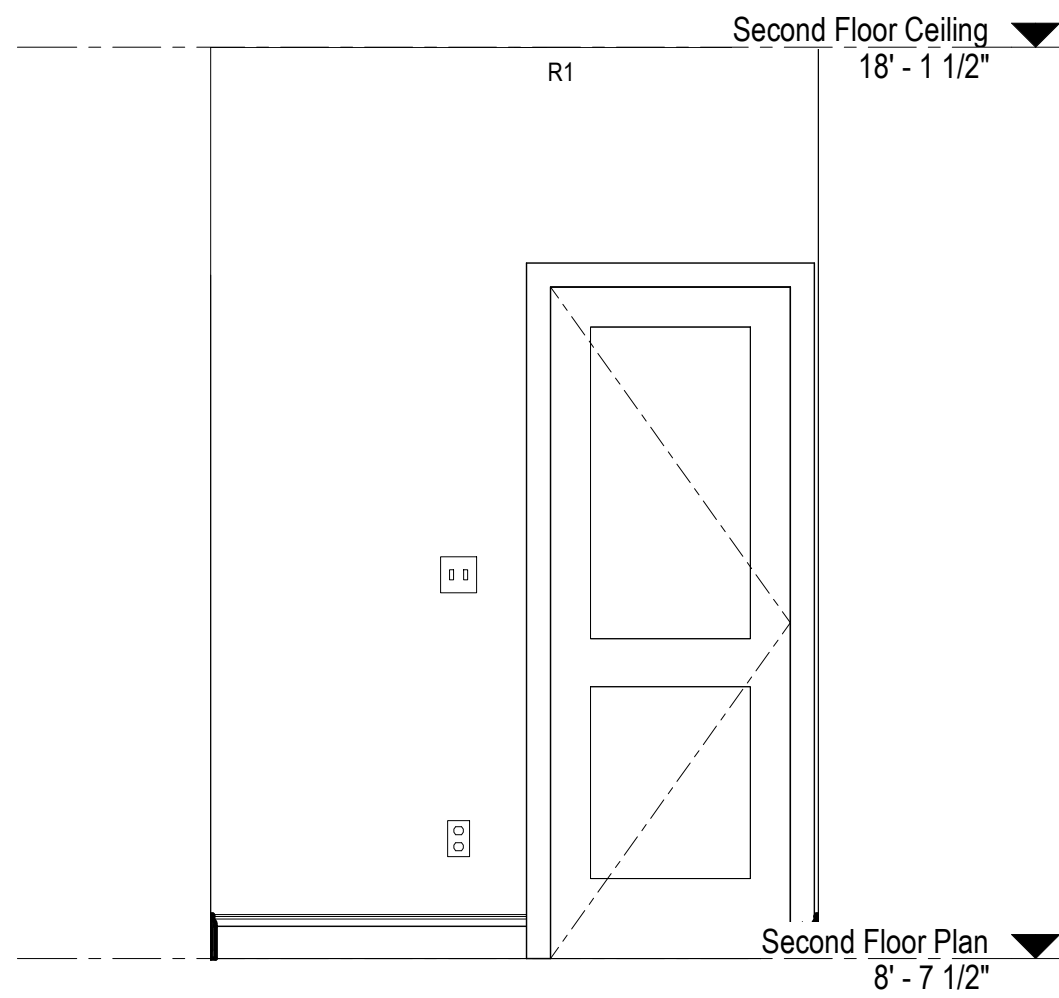
project number 000	drawing scale 1/2\" = 1'-0"	approver Approver
drawing number A603	revision 1	



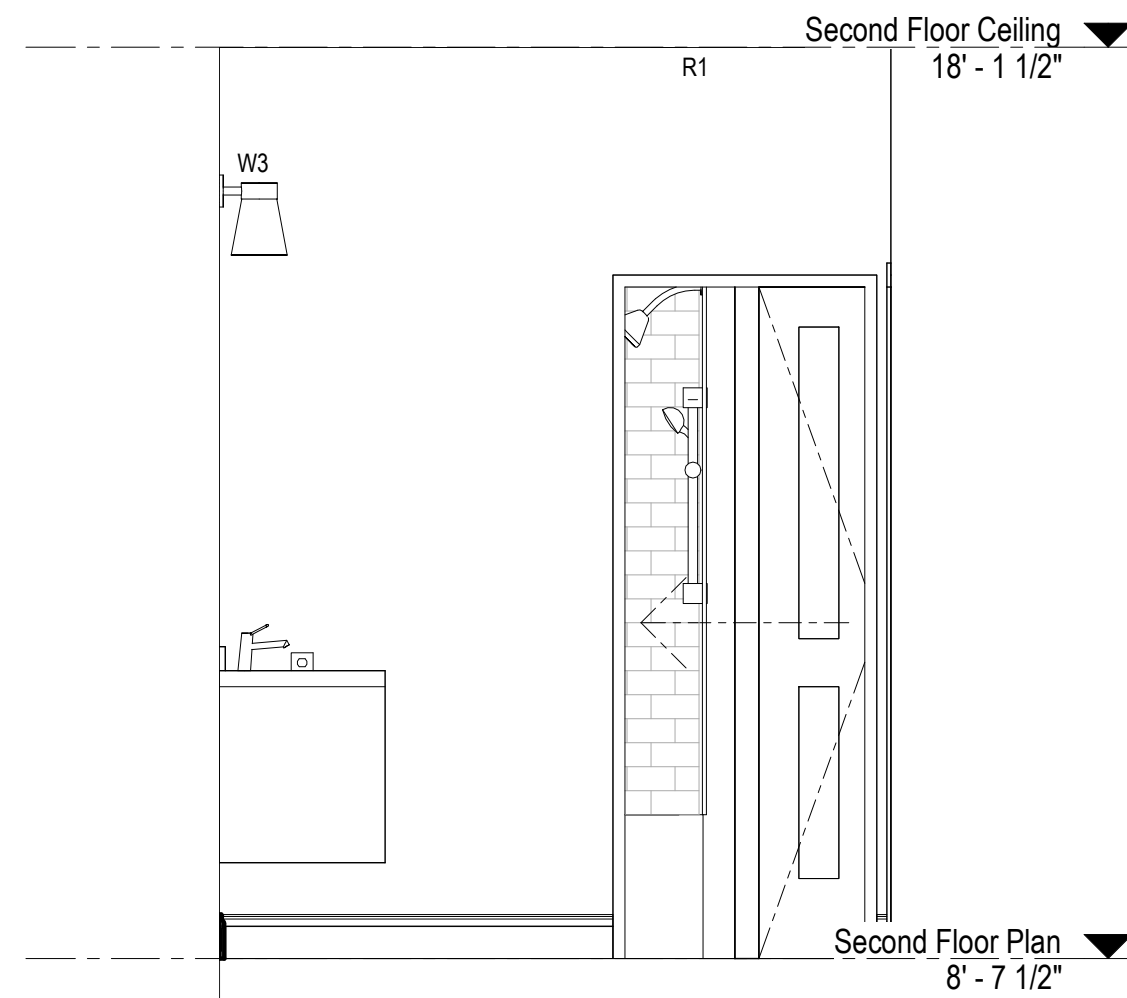
1 ELEVATION
A604 1/2" = 1'-0"



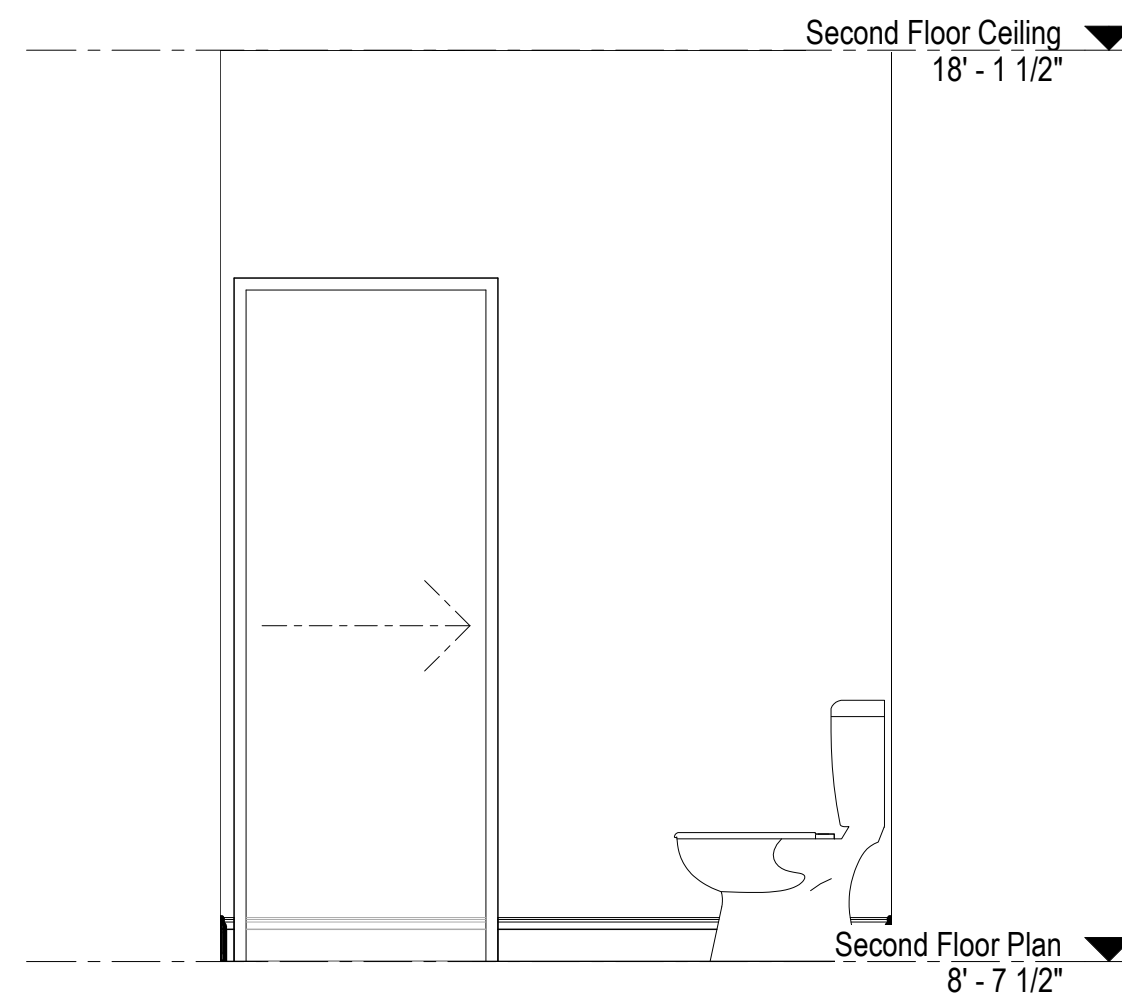
2 ELEVATION
A604 1/2" = 1'-0"



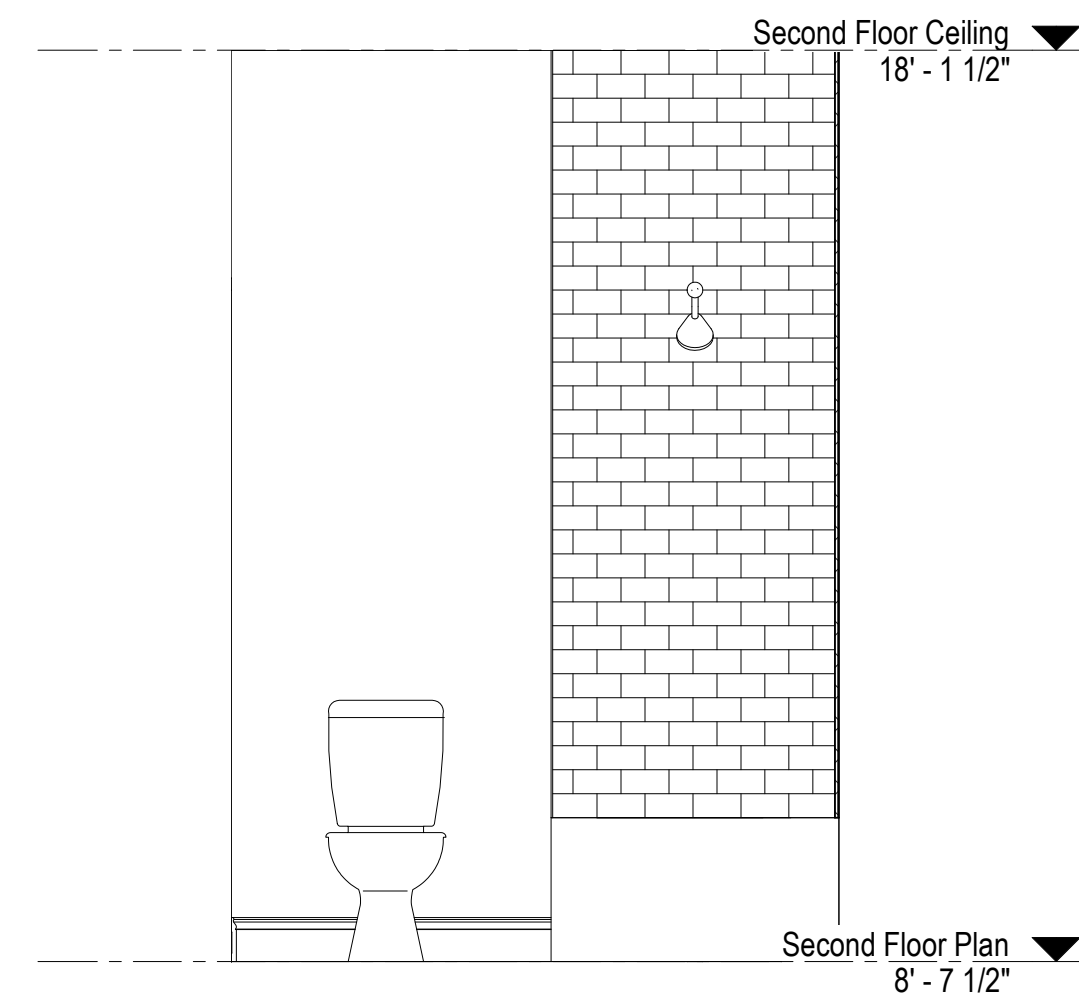
3 ELEVATION
A604 1/2" = 1'-0"



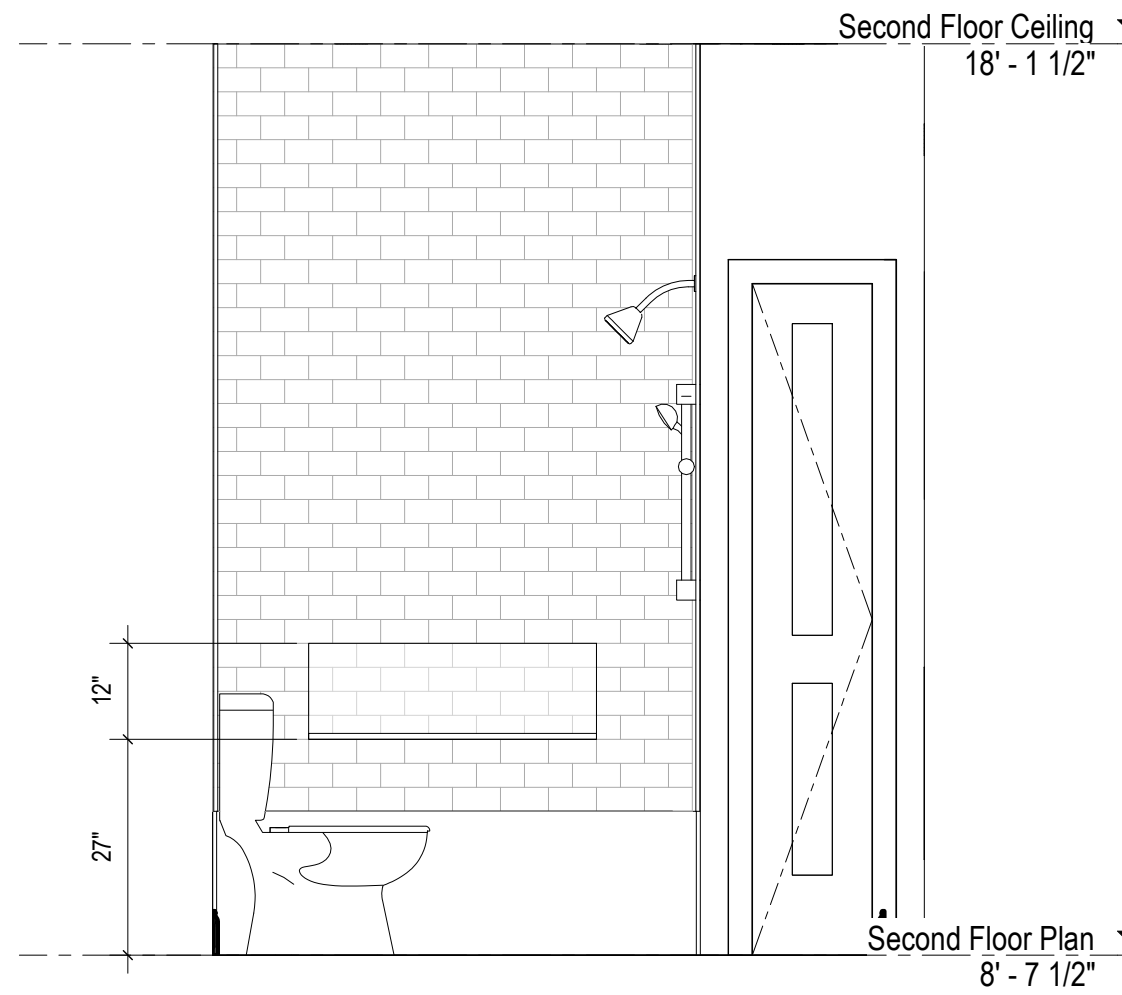
4 ELEVATION
A604 1/2" = 1'-0"



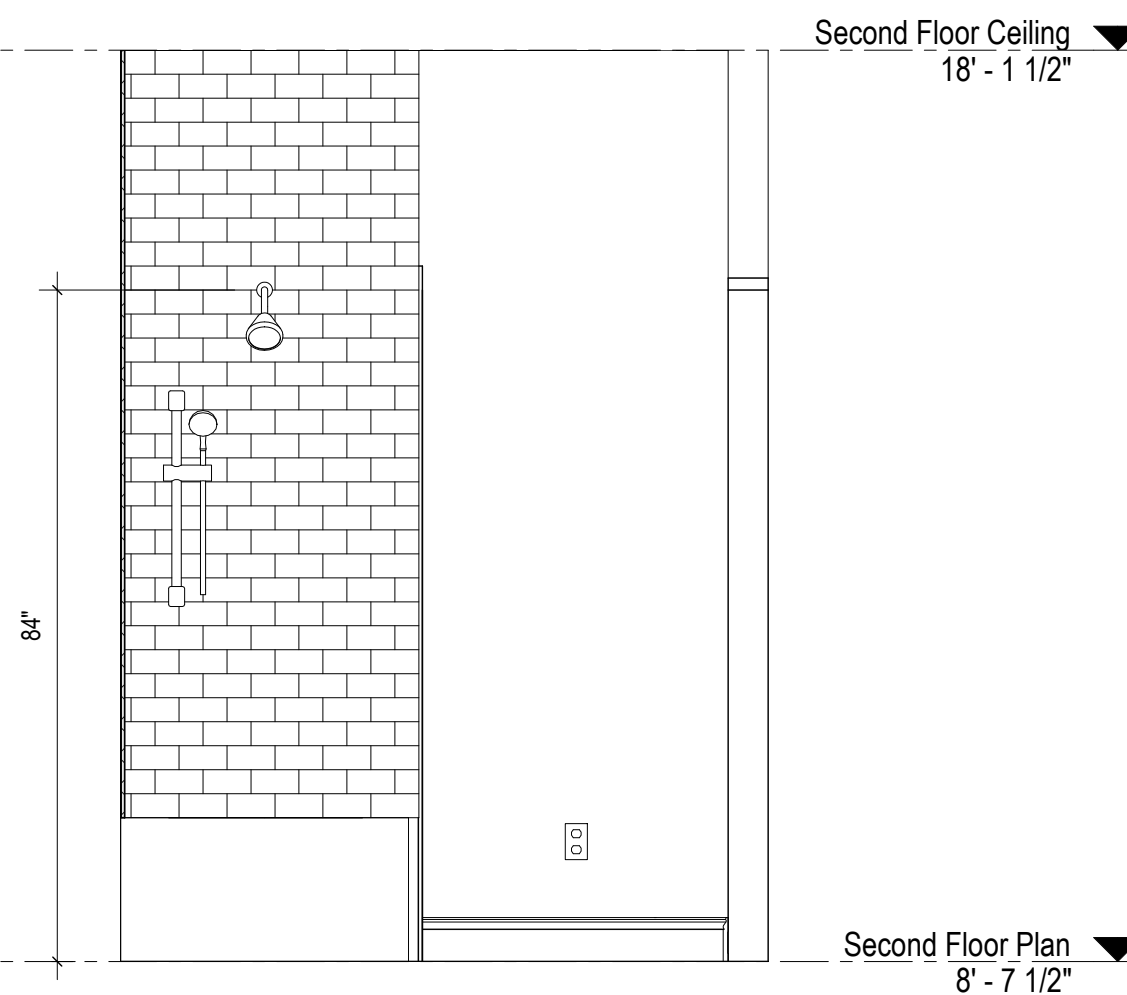
5 ELEVATION
A604 1/2" = 1'-0"



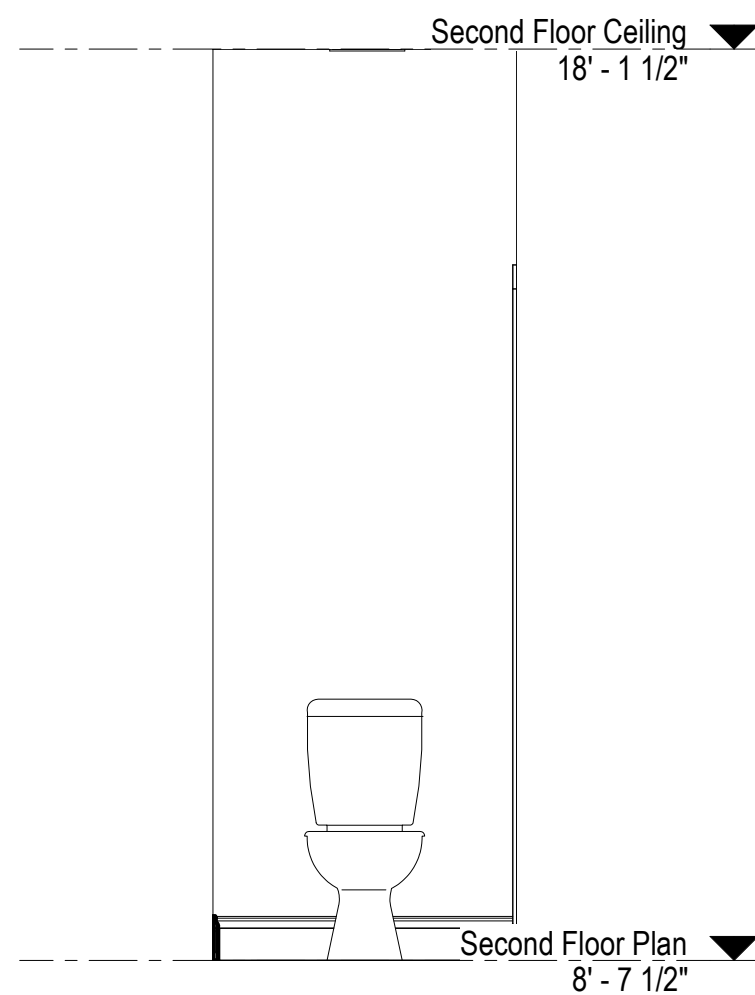
6 ELEVATION
A604 1/2" = 1'-0"



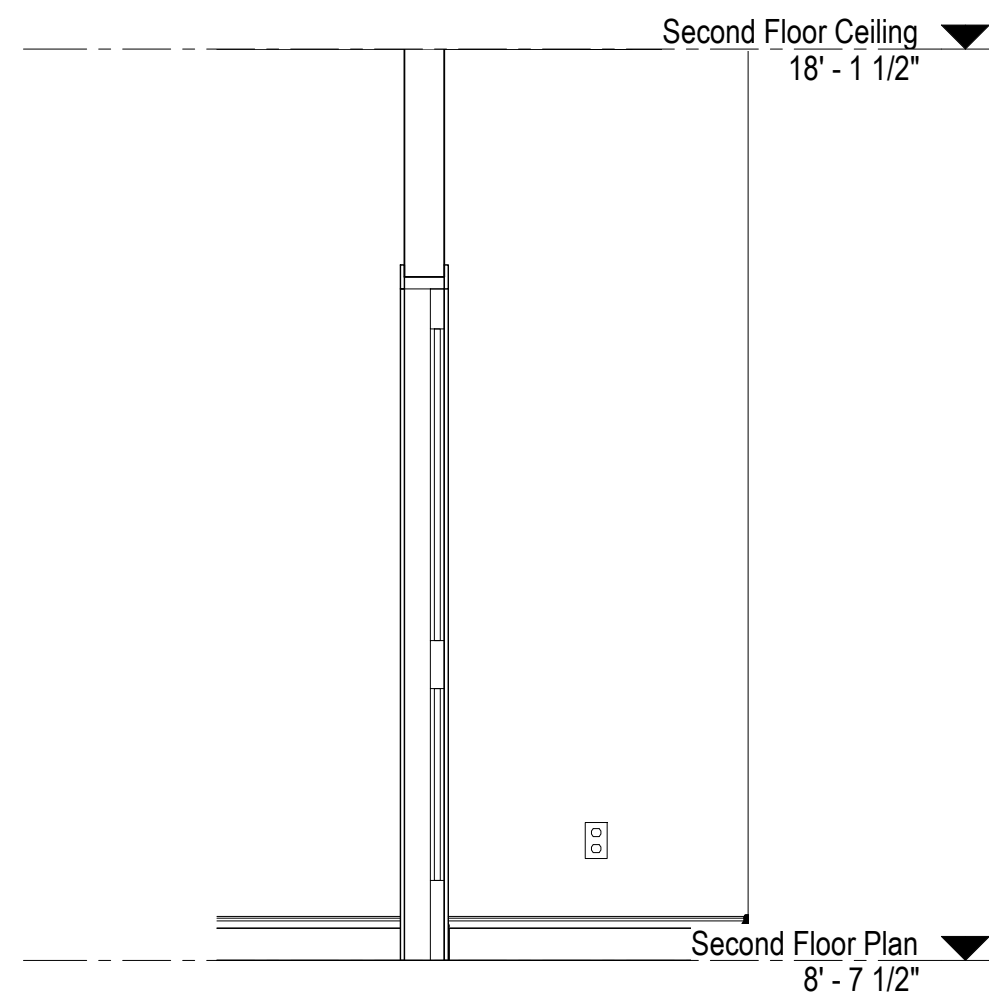
7 ELEVATION
A604 1/2" = 1'-0"



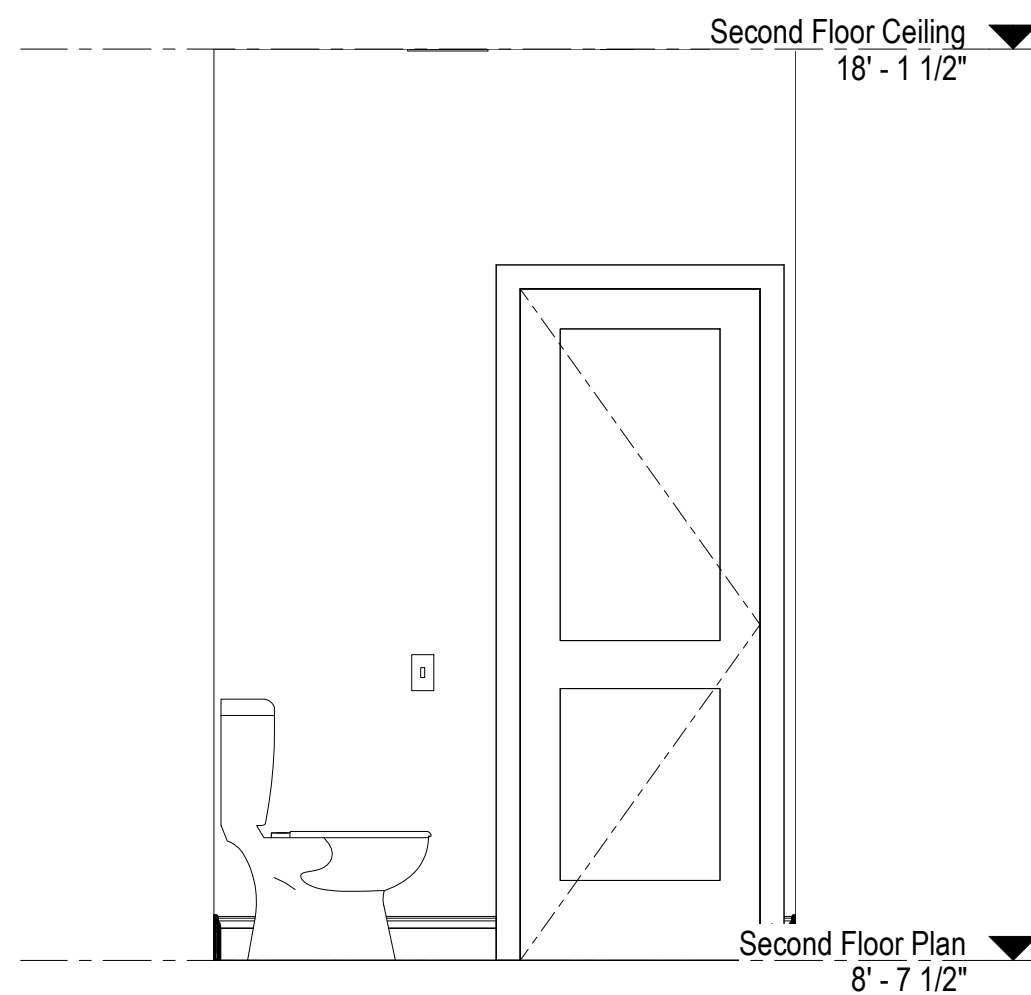
8 ELEVATION
A604 1/2" = 1'-0"



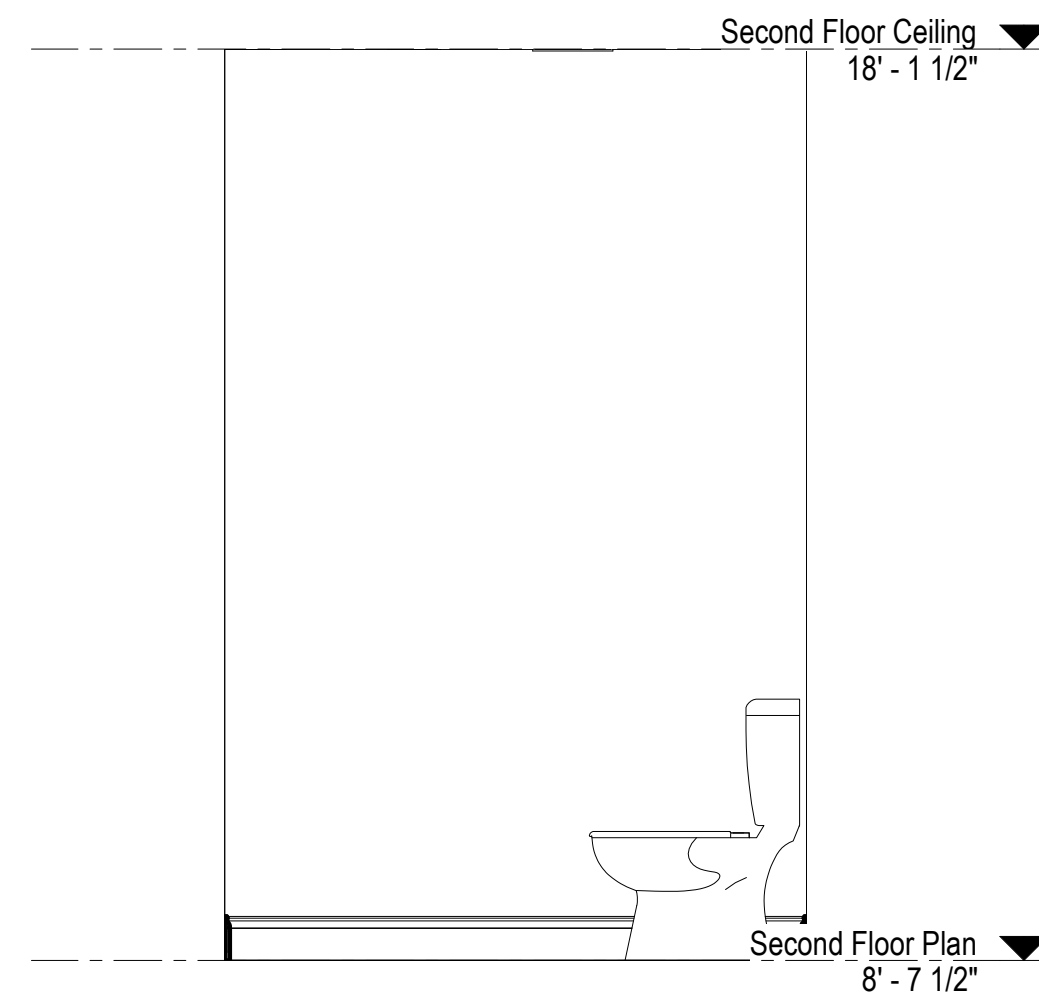
10 ELEVATION
A604 1/2" = 1'-0"



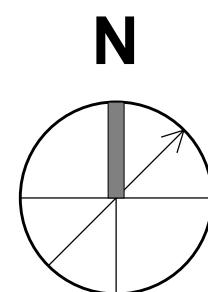
9 ELEVATION
A604 1/2" = 1'-0"



11 ELEVATION
A604 1/2" = 1'-0"



12 ELEVATION
A604 1/2" = 1'-0"



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

168 Dean Street
Belmont, MA 02478

client information:
Kunal & Bhavika Shah

J^tA
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
INTERNAL ELEVATIONS

project number 000	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A604	revision 1	



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved.

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

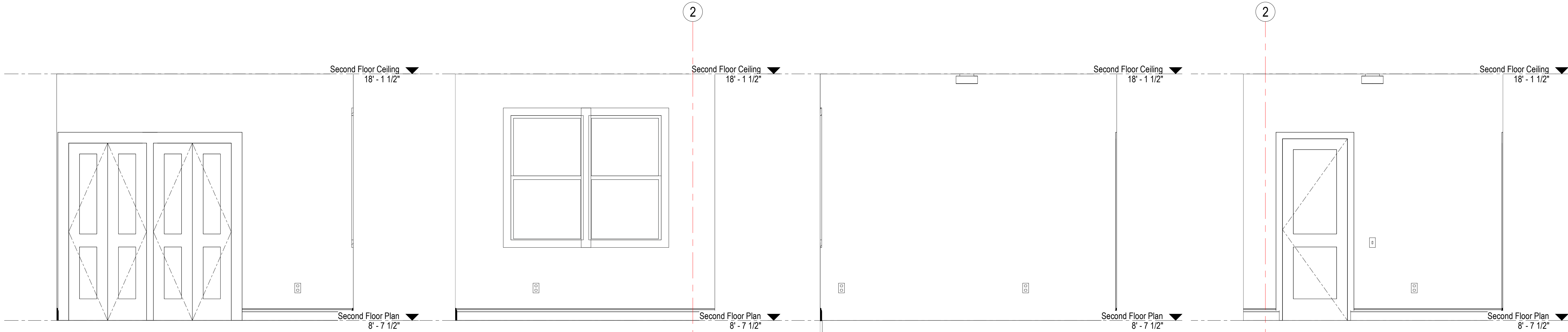
168 Dean Street
Belmont, MA 02478

client information:
Kunal & Bhavika Shah

J^tA
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
INTERNAL ELEVATIONS

project number 000	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A605	revision 1	

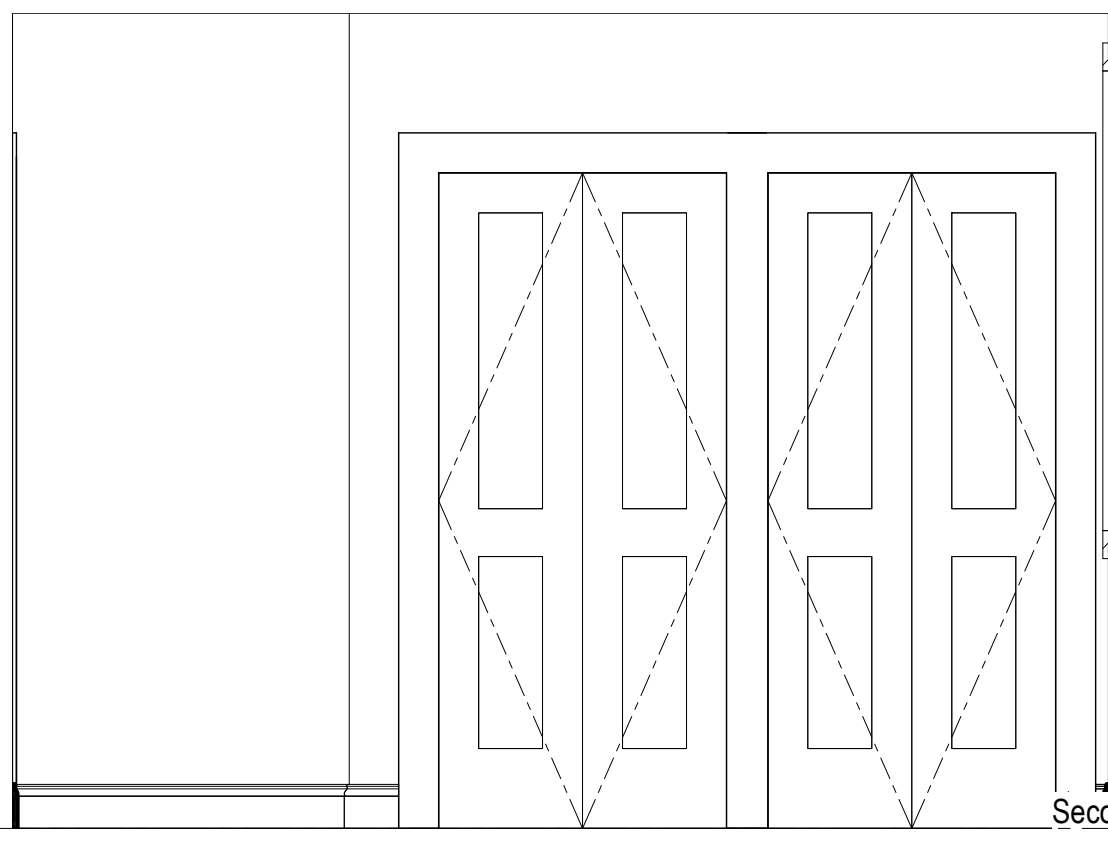


1 ELEVATION
A606 1/2" = 1'-0"

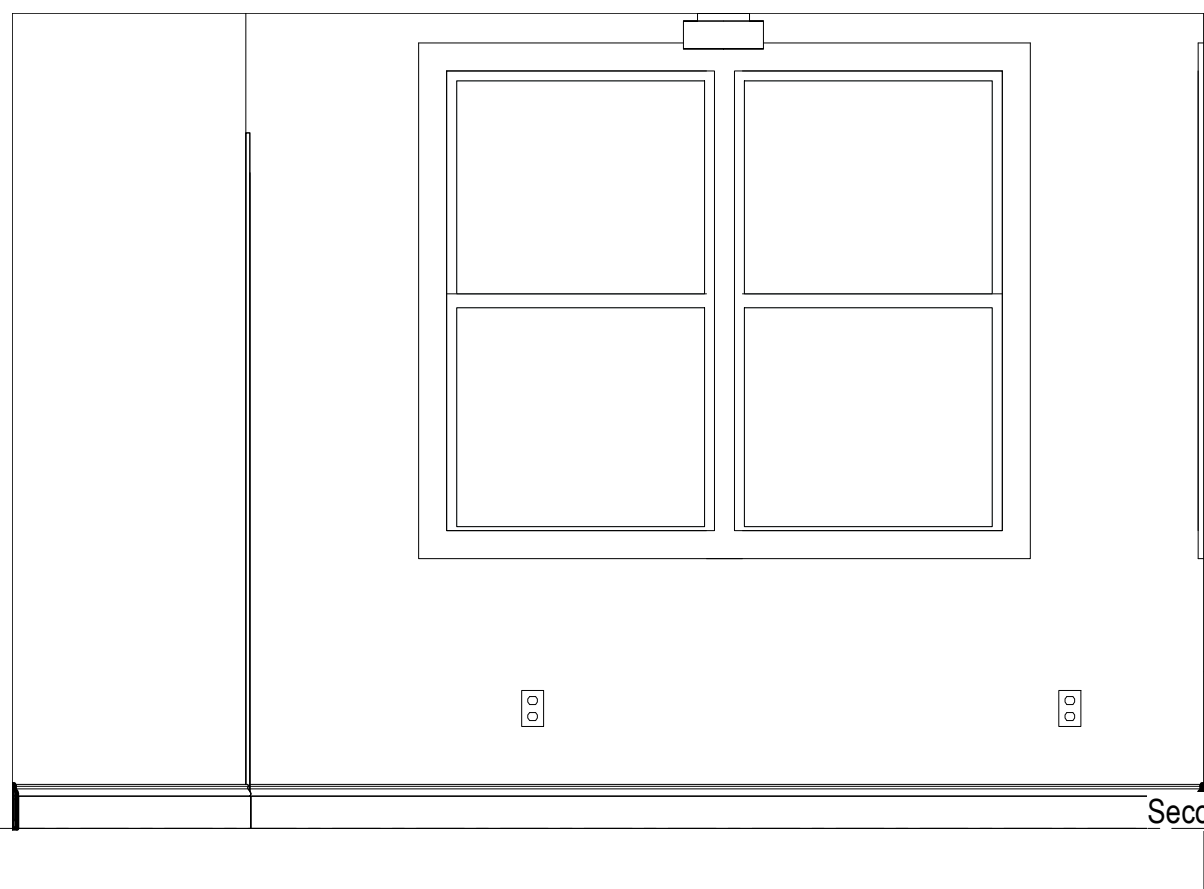
2 ELEVATION
A606 1/2" = 1'-0"

3 ELEVATION
A606 1/2" = 1'-0"

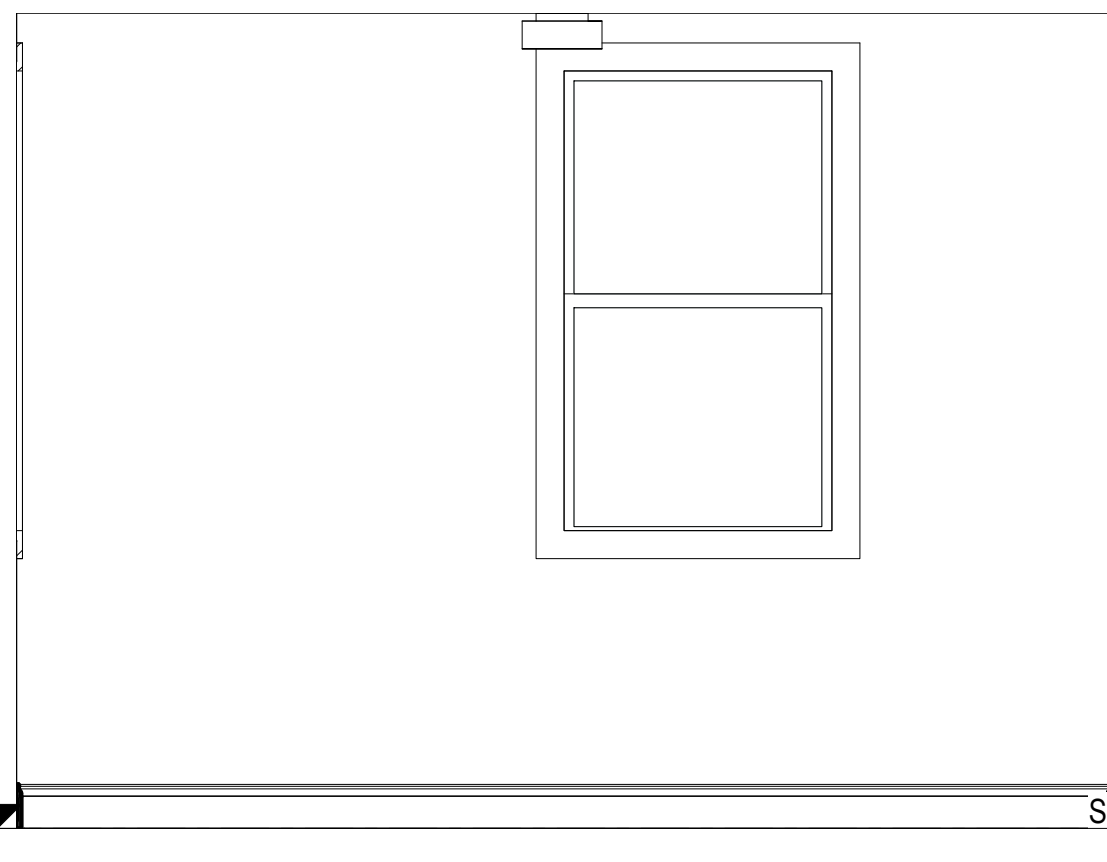
4 ELEVATION
A606 1/2" = 1'-0"



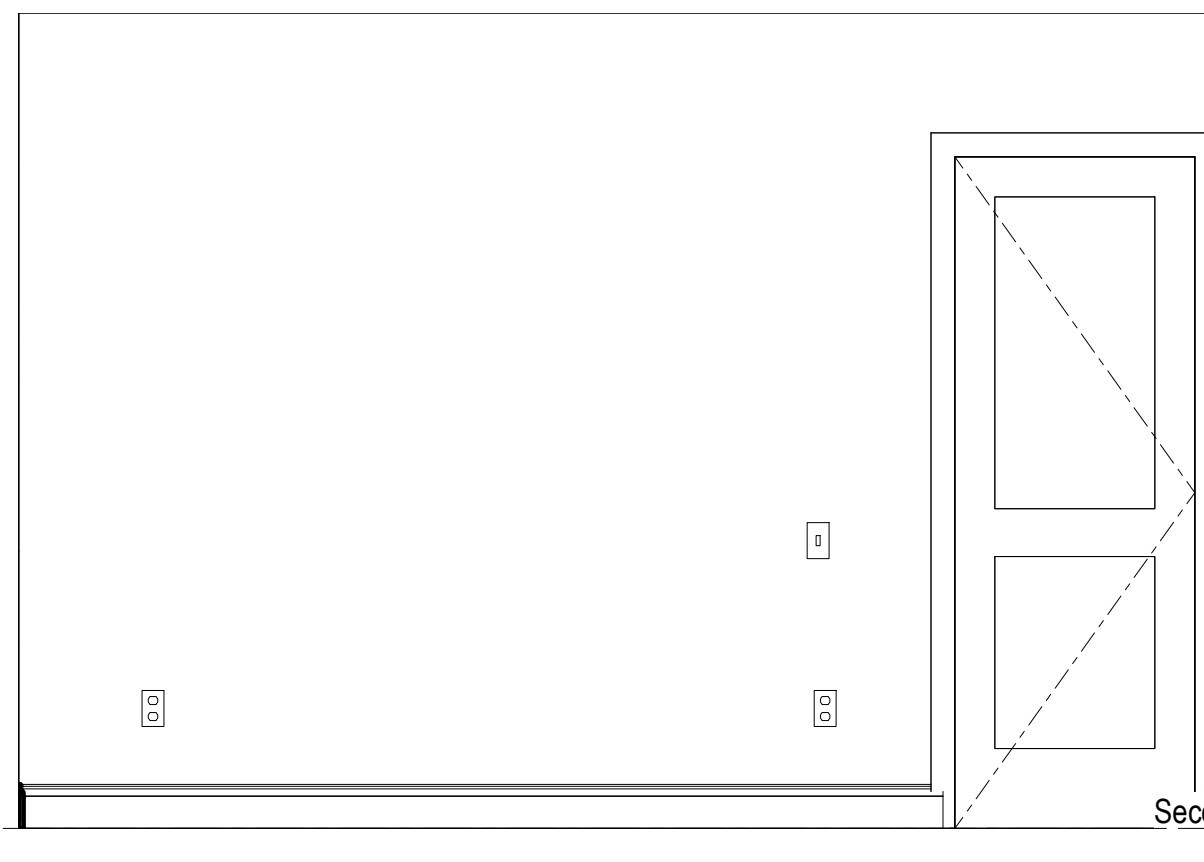
5 ELEVATION
A606 1/2" = 1'-0"



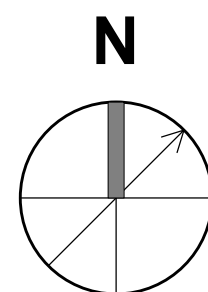
6 ELEVATION
A606 1/2" = 1'-0"



7 ELEVATION
A606 1/2" = 1'-0"



8 ELEVATION
A606 1/2" = 1'-0"



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

168 Dean Street
Belmont, MA 02478

client information:
Kunal & Bhavika Shah

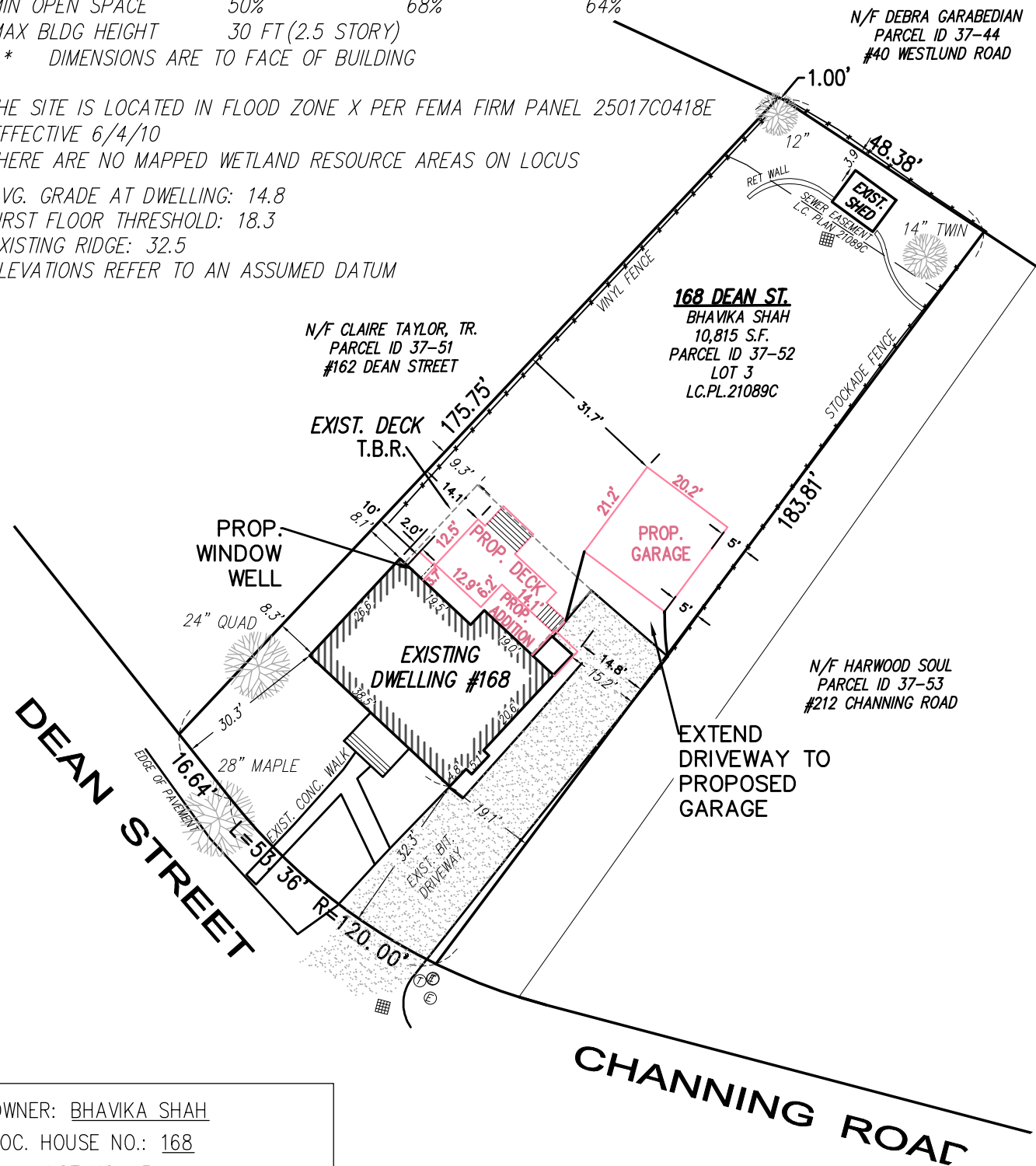
J^tA
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
INTERNAL ELEVATIONS

project number 000	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A606	revision 1	

ZONING INFORMATION:	SINGLE RESIDENCE C		
	<u>REQ.D</u>	<u>EXIST.*</u>	<u>PROP.</u>
MIN LOT AREA	9,000 SF	10,815 SF	10,815 SF
MIN LOT FRONTAGE	75 FT	70 FT	70 FT
MIN FRONT SETBACK	25 FT	30.3 FT	30.3 FT
MIN SIDE YARD	10 FT	8.1 FT DWELLING	8.1 FT DWELLING
		5.0 FT GARAGE	5.0 FT GARAGE
MIN REAR YARD	30 FT	96 FT	73.25 FT
		3.9 FT SHED	3.9 FT SHED
MAX LOT COVERAGE	25%	17.8%	20.1%
MIN OPEN SPACE	50%	68%	64%
MAX BLDG HEIGHT	30 FT (2.5 STORY)		
* DIMENSIONS ARE TO FACE OF BUILDING			

THE SITE IS LOCATED IN FLOOD ZONE X PER FEMA FIRM PANEL 25017C0418E
EFFECTIVE 6/4/10
THERE ARE NO MAPPED WETLAND RESOURCE AREAS ON LOCUS
AVG. GRADE AT DWELLING: 14.8
FIRST FLOOR THRESHOLD: 18.3
EXISTING RIDGE: 32.5
ELEVATIONS REFER TO AN ASSUMED DATUM



OWNER: BHAVIKA SHAH
LOC. HOUSE NO.: 168
LOT NO.: 3
APT. NO.: N/A
DATE: 4/29/21
SCALE: 1"=30'

BUILDING PERMIT PLAN
BELMONT, MASSACHUSETTS
PREPARED FOR: BHAVIKA SHAH



CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS
1 MAIN STREET, SUITE 1 PHONE: (978) 779-6091
LUNENBURG, MA 01462 www.dillisandroy.com

FOR PROPERTY LINE INFORMATION THIS PLAN RELIES ON DEEDS AND PLANS OF RECORD.
THIS PLAN IS NOT REPRESENTED TO BE A TITLE EXAMINATION OR A RETRACEMENT SURVEY.

SCALE: 1" = 30'
DATE: APRIL 29, 2021
REFERENCE: LC. PL.21089C
FILE No.: 6601



HOUSE RENOVATION
168 DEAN STREET
BELMONT, MA

GENERAL CONDITIONS

- G. C. MUST BUILD EXACTLY WHAT IS SHOWN ON STRUCTURAL DRAWINGS. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED WITH THE ENGINEER PRIOR TO CONSTRUCTION. ALL UNAUTHORIZED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ENGINEERING AND ARCHITECTURAL DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE STRUCTURE, SITE AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ENGINEER IS SPECIFYING THE FINISHED CONDITION ONLY, WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.
- FOR RENOVATION WORK STRUCTURAL DRAWINGS PRODUCED WITH ASSUMPTIONS MADE REGARDING EXISTING CONDITIONS. IF CONTRACTOR FINDS EXISTING CONDITIONS NOT AS ASSUMED CONTACT ENGINEER IMMEDIATELY. REVISIONS TO THE STRUCTURAL FRAMING MAY BE REQUIRED. FOR EXACT LOCATIONS OF FLOOR AND ROOF OPENINGS, POSTS, ETC., SEE ARCHITECTURAL DRAWINGS.

FOUNDATIONS

- WHERE FOUNDATIONS ARE EXISTING, DESIGN HAS BEEN COMPLETED ASSUMING FOUNDATIONS ARE SUITABLE TO SUPPORT PROPOSED RENOVATION. CONTRACTOR RESPONSIBLE FOR VERIFYING THAT THE EXISTING FOUNDATION CONFORMS TO BUILDING CODE REQUIREMENTS AND REPORT FOOTING CONDITIONS TO ENGINEER FOR VERIFICATION.
- EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE STRUCTURAL BACKFILL AS REQUIRED BY THE ARCHITECT. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.
- EXTERIOR FOOTINGS SHALL BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FEET, OR AS MODIFIED BY THE STRUCTURAL ENGINEER, BELOW THE LOWEST ADJACENT GROUND EXPOSED TO FREEZING. ANY ADJUSTMENT OF FOOTING ELEVATIONS DUE TO FIELD CONDITIONS MUST HAVE THE APPROVAL OF THE ARCHITECT.
- SOIL BEARING CAPACITY: FOOTINGS MUST BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 POUNDS PER SQUARE FOOT.
- BACKFILL BELOW FOOTINGS AND SLABS SHALL BE MADE WITH APPROVED GRANULAR MATERIALS PLACED IN 6" LAYERS. LAYERS SHALL BE COMPACTED TO 96% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557.
- BACKFILLING AGAINST WALLS OR PIERS MAY ONLY BE DONE AFTER WALLS OR PIERS ARE BRACED TO PREVENT MOVEMENT. FOR WOOD FRAMED RESIDENTIAL CONSTRUCTION, NO BACKFILLING OF WALLS MAY TAKE PLACE UNTIL THE FIRST FLOOR DECK HAS BEEN FRAMED AND SHEATHED, UNLESS WRITTEN APPROVAL IS GIVEN BY THE ARCHITECT OR ENGINEER.
- PROVIDE FOUNDATION DRAINAGE, WATERPROOFING/DAMP-PROOFING, AND FOUNDATION WALL INSULATION AS INDICATED ON THE ARCHITECTURAL DRAWINGS.

CONCRETE

- ALL CONCRETE WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF ACI-318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- CONCRETE SHALL ACHIEVE A MINIMUM 28 DAY DESIGN STRENGTH AS FOLLOWS:FOOTINGS, WALLS, INTERIOR SLABS-ON-GRADE, AND OTHER CONCRETE NOT OTHERWISE SPECIFIED - 3000 PSI. EXTERIOR SLABS EXPOSED TO WEATHER - 4000 PSI.
- SLUMP AT THE POINT OF DISCHARGE FROM THE READY-MIX TRUCK SHALL BE 3-5".
- REINFORCING STEEL: TYPICAL - ASTM A615, GRADE 60. FIELD BENT - ASTM A615, GRADE 40 WELDED WIRE FABRIC - ASTM A185.

ROUGH CARPENTRY

- ALL ROUGH CARPENTRY WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS BUILDING CODE (MBC) AND THE INTERNATIONAL BUILDING CODE (IBC).
- REFER THE MBC AND IBC FOR FRAMING COMPONENTS NOT SPECIFIED IN PLANS AND SECTIONS. NOTIFY THE ENGINEER OF ANY COMPONENT NOT DEFINED IN EITHER THE MBC AND IBC OR IN THESE DRAWINGS.
3. REFER TO IBC FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE 2304.9.1 FOR CONNECTION FASTENING NOT IDENTIFIED IN THESE PLANS OR DETAILS. ENGINEER MAKES NO CLAIMS TOWARDS EXISTING CONDITIONS.
- WHEN NOT OTHERWISE IDENTIFIED, ALL WOOD BEAMS, JOISTS, RAFTERS, HEADERS, STRINGERS, PLATES, AND SILLS SHALL BE SPRUCE PINE FIR #2 OR BETTER, WITH A MINIMUM Fb = 875 PSI (SINGLE USE) AND Fb = 1000 PSI (REPETITIVE USE), AND E SHALL BE 1,400,000 PSI OR BETTER.
- WOOD STUDS MAY BE EASTERN HEMLOCK, EASTERN SPRUCE, OR HEM-FIR, GRADED "STUD" GRADE, #2 OR BETTER.
- LVL BEAMS, AS NOTED ON PLANS, SHALL HAVE A MINIMUM Fb = 3100 PSI, E = 2,000,000 PSI, AND Fv = 285 PSI. LVL BEAMS SHALL BE "VERSALAM" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR.
- WOOD "I" BEAMS SHALL BE BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR. MANUFACTURER'S RECOMMENDATIONS FOR BEARING, REINFORCING, CUTS, CANTILEVERS, FASTENING, ETC., SHALL BE STRICTLY ADHERED TO.
- ENGINEERED WOOD POSTS (VERSA COLUMNS), AS NOTED ON PLANS, SHALL BE VERSA-LAM 1.7 26S0.
- PLYWOOD WALL SHEATHING, ROOF SHEATHING, AND SUBFLOORING SHALL BE APA GRADE, TRADEMARKED C-D INTERIOR WITH EXTERIOR GLUE. SUBFLOORING SHALL BE 3/4" THICK TONGUE AND GROOVE, AND SHALL BE GLUED TO FLOOR JOISTS WITH AN APPROVED ADHESIVE PRIOR TO NAILING. ROOF SHEATHING SHALL BE 1/2" THICK AND WALL SHEATHING SHALL BE 1/2" THICK.
- ALL WOOD HAVING DIRECT CONTACT WITH CONCRETE OR MASONRY, AND WHEREVER WOOD IS WITHIN 8" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION, SHALL BE PRESSURE TREATED.
- ALL METAL CONNECTORS INCLUDING JOIST AND BEAM HANGERS AND COLUMN CAP AND BASES SHALL BE BY SIMPSON STRONG-TIE CORP. THE CONTRACTOR SHALL STRICTLY ADHERE TO MANUFACTURER'S FASTENING REQUIREMENTS. CONTRACTOR TO VERIFY ALL CONNECTOR SIZES TO FRAMING ELEMENTS BEFORE ORDERING.
- UNLESS DETAILED OR SPECIFIED OTHERWISE ON THE PLANS, HEADERS AND BEAMS SHALL BE SUPPORTED BY AT LEAST ONE JACK STUD AND ONE KING STUD.
- FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING BETWEEN JOISTS AT MIDSPAN. FOR SPANS EXCEEDING 14 FEET, PROVIDE TWO ROWS OF FULL DEPTH BLOCKING BETWEEN JOISTS AT THIRD POINTS OF THE SPAN.
- GABLE-END WALL STUDS IN CATHEDRAL, PARTIAL CATHEDRAL, OR HIGH CEILING SPACES SHALL SPAN UNINTERRUPTED FROM THE FLOOR PLATE TO THE UNDERSIDE OF THE ROOF RAFTERS. THEY SHOULD NOT BE INTERRUPTED BY ANY HORIZONTAL PLATES OR BEAMS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- MEMBERS WITHIN BUILT-UP BEAMS, WHETHER MADE OF SAWN OR ENGINEERED LUMBER, SHALL ONLY BE SPLICED OVER SUPPORTS.
- PROVIDE SIMPSON H1 OR H2.5 HURRICANE TIES BETWEEN EACH RAFTER BOTTOM AND ITS BEARING POINT.
- CONTRACTOR SHALL CAREFULLY COORDINATE THE WORK OF ALL TRADES TO MINIMIZE THE NEED FOR CUT, BORED OR NOTCHED IN FRAMING LUMBER. STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN THE BUILDING CODE WITHOUT WRITTEN APPROVAL FROM THE ENGINEER. AT WOOD POSTS LANDING ON FLOOR DECK, PROVIDE SOLID VERTICAL WOOD BLOCKING WITHIN DECK SANDWICH TO LINK UPPER POST WITH LOWER SUPPORT. BLOCKING TO MATCH UPPER POST SIZE.
- SET LVL BEAMS THAT FRAME FLUSH WITH DIMENSIONED LUMBER JOISTS 3/8" BELOW THE TOP OF JOISTS TO ALLOW FOR JOIST SHRINKAGE. WHERE BEARING WALLS OR POSTS LAND ON THESE BEAMS, INFILL GAP WITH 3/8" PLYWOOD FOR SOLID BEARING.
- BEAMS COMPRISED OF 3 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF 2-1/2"Ø BOLTS AT 16" ON CENTER OR 3-1/4"Ø DIAMETER SELF TAPPING LAG SCREWS AT 16" ON CENTER, ALTERNATING INSERTION SIDES, FOLLOW MANUF. SPECS, UNLESS NOTED OTHERWISE ON DRAWING.
- IN ADDITION TO THE FLOOR JOIST SHOWN IN THE PLANS, CONTRACTOR SHALL INSTALL DOUBLE JOISTS UNDER ALL PARTITIONS WALLS RUNNING PARALLEL TO THE DIRECTION OF FRAMING.
- MINIMUM BEAM BEARING TO BE 3 INCHES UNLESS NOTED OTHERWISE ON PLAN.
- BEARING WALL SCHEDULE
-ALL EXTERIOR WALLS:
2x6@16"OC WITH 2 ROWS OF HORIZONTAL BLOCKING AT 1/3 POINTS
-1ST FLOOR INTERIOR BEARING WALLS:
2x4@16 or 2x6@16"OC WITH 2 ROWS OF HORIZONTAL BLOCKING AT 1/3 POINTS
-2ND & 3RD FLOOR INTERIOR BEARING WALLS:
2x4@16 or 2x6@16"OC WITH 1 ROW OF HORIZ. BLOCKING AT MID-HEIGHT OF WALL

DESIGN LOADS PER MASSACHUSETTS STATE BUILDING CODE

LIVE LOADS

GROUND SNOW LOAD:	40 PSF
UNINHABITABLE ATTICS WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTICS WITH LIMITED STORAGE:	20 PSF
HABITABLE ATTICS AND SLEEPING AREAS:	30 PSF
ALL OTHER AREAS	40 PSF

WIND LOADS

MASSACHUSETTS STATE BUILDING CODE	128 MPH, EXPOSURE B
-----------------------------------	---------------------

DEAD LOAD

WEIGHTS OF MATERIALS AND CONSTRUCTION

LATERAL FRAMING NOTES:

- THE STRUCTURAL DESIGN OF THIS RESIDENCE WAS PERFORMED IN COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS. THE PRESCRIPTIVE REQUIREMENTS OF THIS CODE DO NOT APPLY PER SECTIONS 301.1.1 ALTERNATIVE PROVISIONS AND 301.1.3 ENGINEERED DESIGN.
- FRAMING COMPONENTS AND FASTENERS AS IDENTIFIED IN THESE DRAWINGS AND NOTES ADEQUATELY RESIST THE LATERAL LOAD REQUIREMENTS AS DEFINED BY THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.

STRUCTURAL STEEL

- STRUCTURAL STEEL WORK SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION: "SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS" LATEST EDITION.
- STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM A992, WITH A MINIMUM YIELD STRENGTH OF 50 KSI. PLATES, ANGLES, CHANNELS, AND MISC. FABRICATED HARDWARE SHALL CONFORM TO ASTM A36, WITH A MINIMUM YIELD STRENGTH OF 36 KSI. RECTANGULAR STEEL TUBING SHALL CONFORM TO ASTM A500, GRADE B, WITH A MINIMUM YIELD STRENGTH OF 46 KSI.
- ALL STEEL TO STEEL FIELD CONNECTIONS SHALL BE MADE BY HIGH STRENGTH BOLTING WITH ASTM A325 BOLTS OR WELDING WITH E70 XX ELECTRODES. STEEL TO CONCRETE AND STEEL TO WOOD FIELD CONNECTIONS MAY BE MADE WITH ASTM A 307 BOLTS.
- STEEL SHALL BE SHOP-PAINTED WITH A MODIFIED ALKYD PRIMER UNLESS OTHERWISE NOTED.
- NO CUTTING OF OR OPENINGS THROUGH STEEL WILL BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- CONTRACTOR TO SUBMIT SHOP DRAWING TO ARCHITECT AND ENGINEER FOR APPROVAL.

HANGER SELECTION TABLE				
MEMBER	QT	1	2	3
2XB		LUS2B	LUS2B-2	LUS2B-3
2X10		LUS210	LUS210-2	LUS210-3
2X12		LUS210	LUS210-2	LUS210-3
9½" LVL		HU9	HHUS410	HHUS610
11½" LVL		HU11	HHUS410	HHUS610
14" LVL		HU14	HHUS410	HHUS610
2½" FLG I-JOIST		IUS 2.37		
2½" FLG I-JOIST		IUS 2.56		
3½" FLG I-JOIST		IUS 3.56		

NOTE:

- USE HANGERS ABOVE FOR PROPOSED STRUCTURE UNLESS OTHERWISE NOTED ON FRAMING PLANS.
- INSTALL ALL HANGERS WITH MAXIMUM NUMBER OF FASTENERS.

Rev: Date:

FOR CONST.

Date : JUNE 7, 2021

DRAWING SCALES
SHOWN ARE BASED ON
AN 24x36 SIZE DRAWING

NOTES AND
SPECS

S0.0



**DAVIDSON
ENGINEERING
ASSOCIATES, INC.**

617-775-7250

Mike@DavidsonEngineer.com



**HOUSE RENOVATION
168 DEAN STREET
BELMONT, MA**

Rev: Date:

Date : JUNE 7, 2021

DRAWING SCALES
SHOWN ARE BASED ON
AN 24x36 SIZE DRAWING

FOUNDATION

S1.0



HOUSE RENOVATION
168 DEAN STREET
BELMONT, MA

Rev: Date:

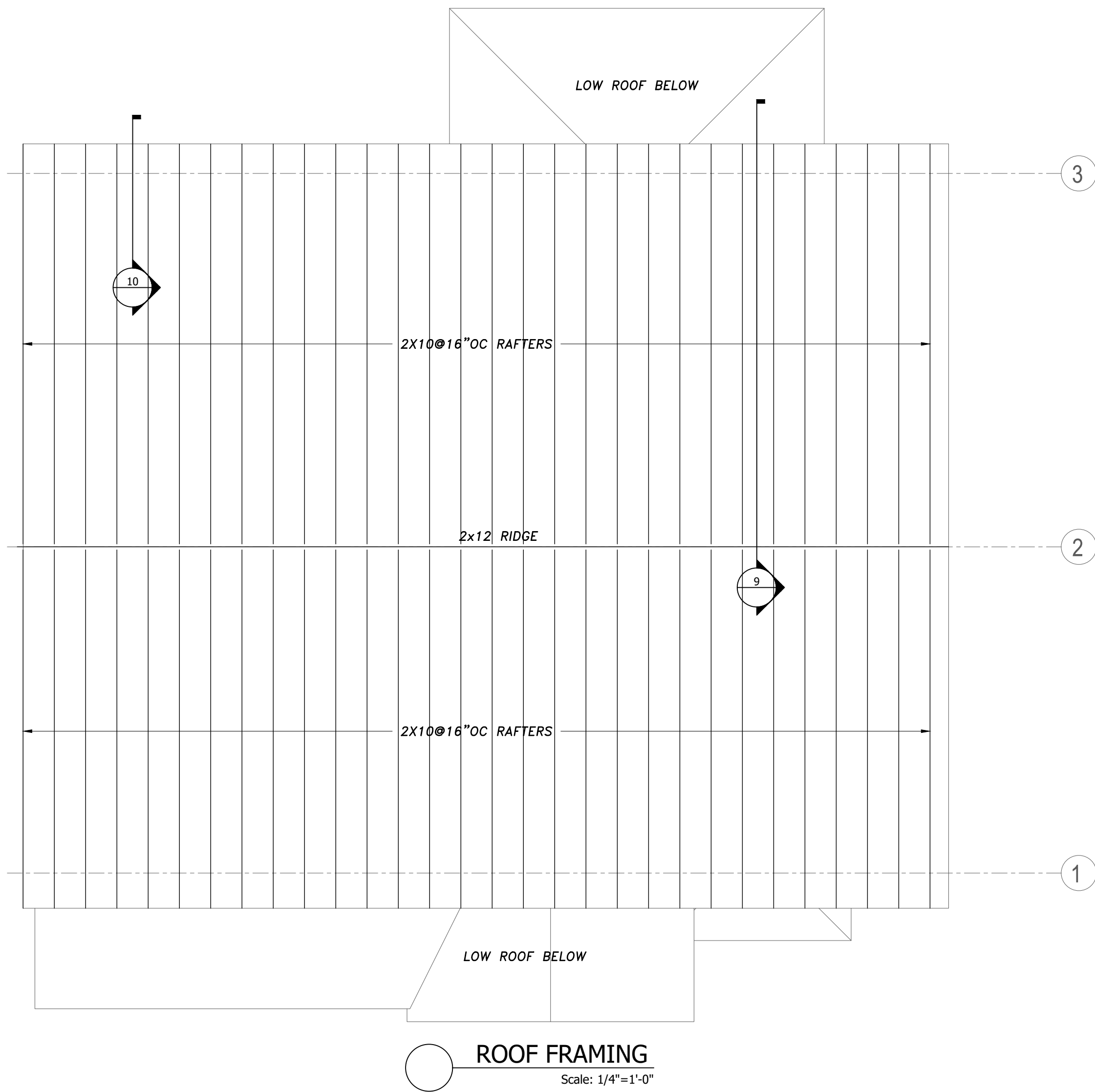
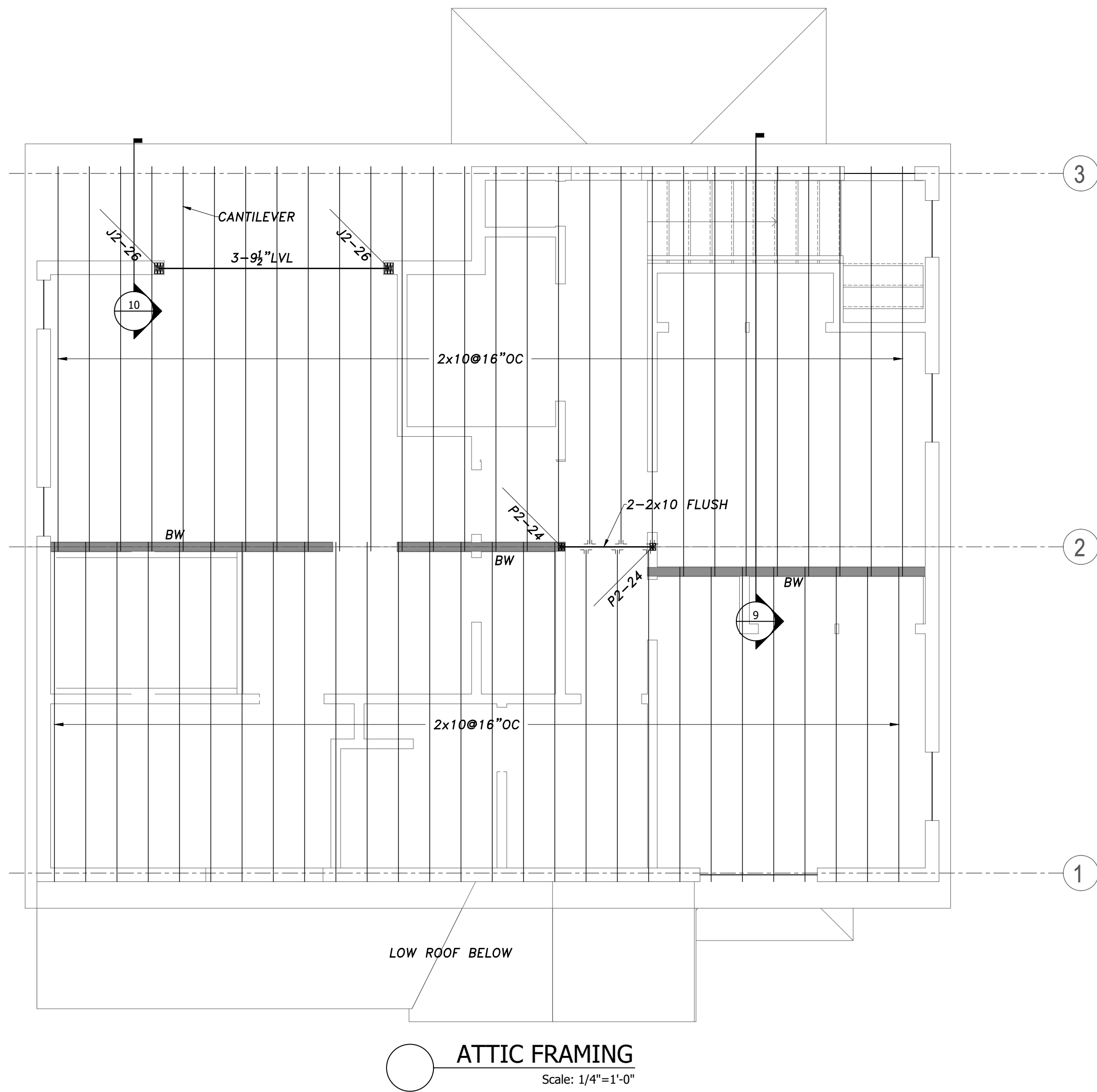
FOR CONST.

Date : JUNE 7, 2021

DRAWING SCALES
SHOWN ARE BASED ON
AN 24x36 SIZE DRAWING

ROOF /
ATTIC /

S1.2



FLOOR FRAMING NOTES

1. TYPICAL HEADERS ARE TO BE 3-2x8 BEAM W/ 1-2x6 JACK STUD AND 1-2x6 KING STUD.
2. ANY POSTS NOT SHOWN ARE TO BE 2x6 POSTS WITH NUMBER OF 2x PLIES ON POST TO MATCH PLIES ON THE BEAM.
3. ALL INDIVIDUAL LVLS ARE 1 1/2" THICK UNLESS NOTED OTHERWISE.
4. TIMBERLOKS IN LEDGERS TO PENETRATE WOOD ATTACHMENT MEMBER A MINIMUM OF 3". TIMBERLOKS TO BE EQUALLY SPACED VERTICALLY AND HAVE MINIMUM EDGE DISTANCE OF 1.5"
5. BEAMS COMPRISED OF 3 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH OF 2-1/2" BOLTS AT 16" ON CENTER, OR 3-1/4" DIAMETER SELF TAPPING LAG SCREWS AT 16" ON CENTER, ALTERNATING INSERTION SIDES. FOLLOW MANUF. SPECS.
6. BW DENOTES 2x4@16 OR 2x6@16 WALL, UNLESS NOTED OTHERWISE
7. ALL SISTER JOISTS SHOWN TO BE NAILED TO EXISTING JOISTS W/ 3-12d@16" OC.

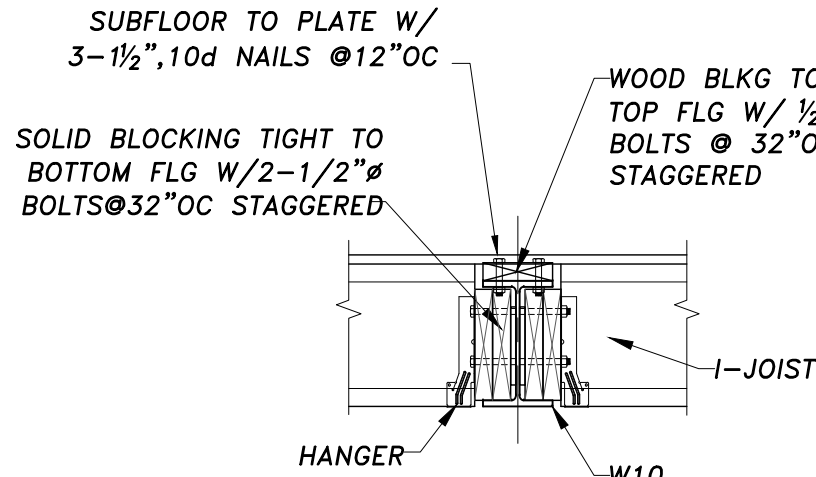
LEGEND

BW = BEARING WALL
FVP = FLAT VALLEY PLATE
(E) = EXISTING
(N) = NEW
TBR = TO BE REMOVED

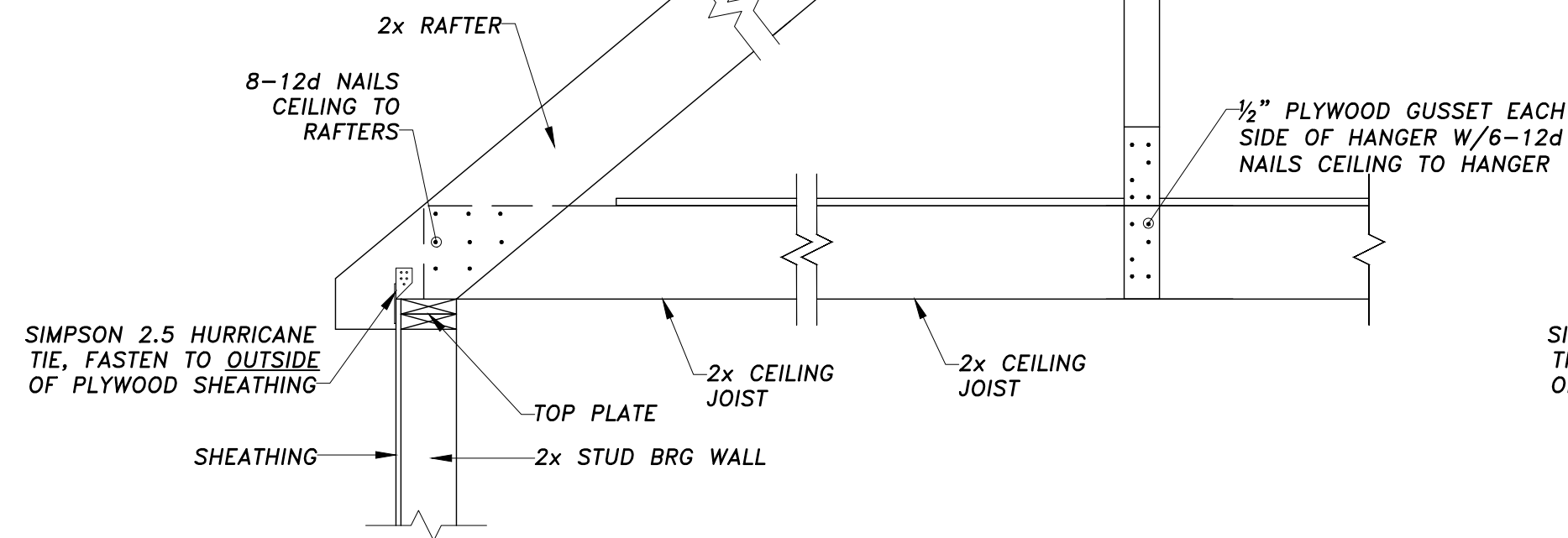
POST LOCATION
POST UP (BOVE LINE)
POST DOWN (BELOW LINE)

DIM. LUMBER POST
NUMBER OF STUDS
P3-26 SIZE OF STUD
TYPE OF POST:
P-POST, J-JACK,

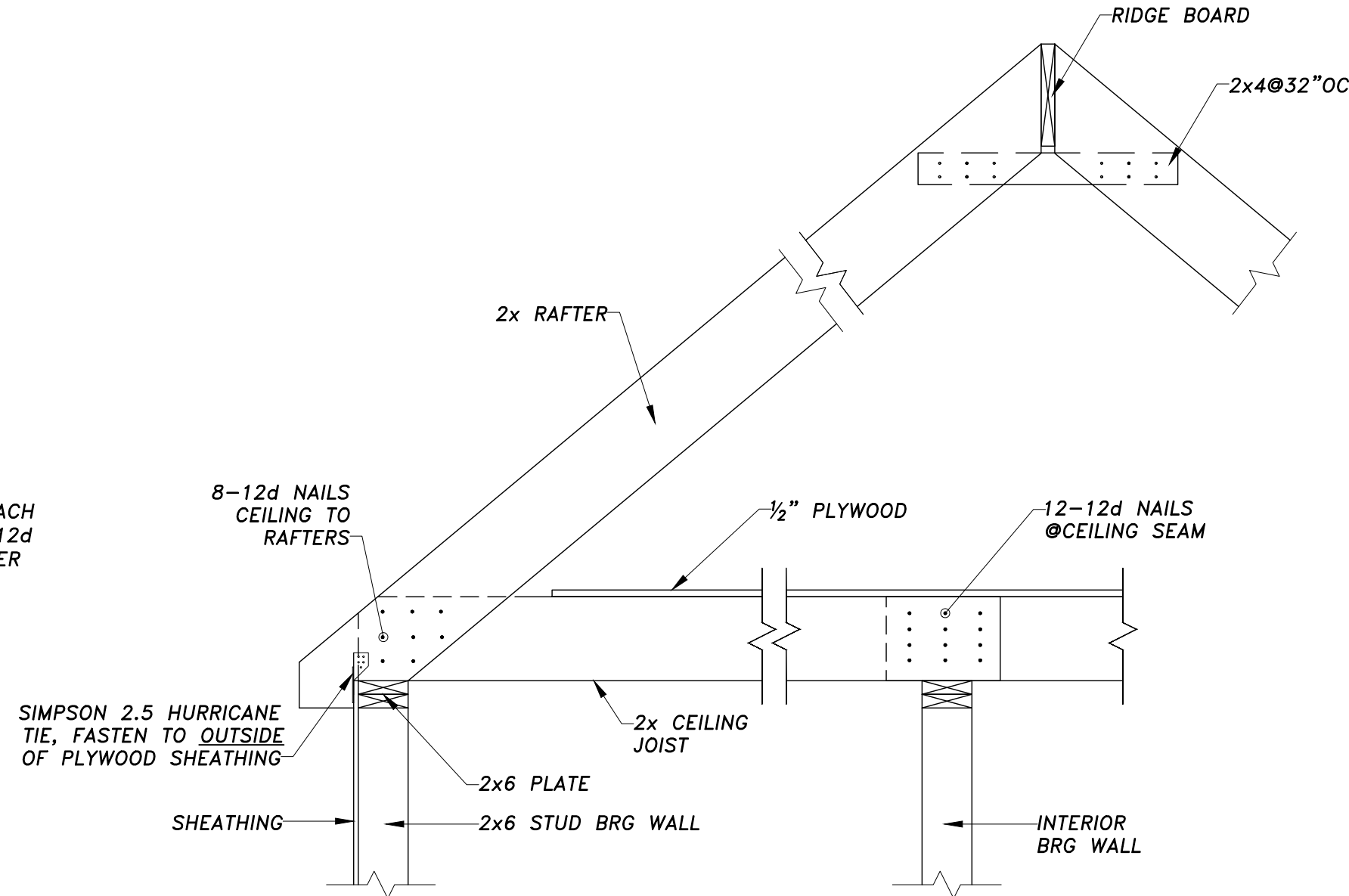
ENGINEERED POST
LC 3 1/2" SIZE
TYPE OF POST:
VC-VERSA COLUMN,
LC-LALLY COLUMN,
HSS-TUBE STEEL



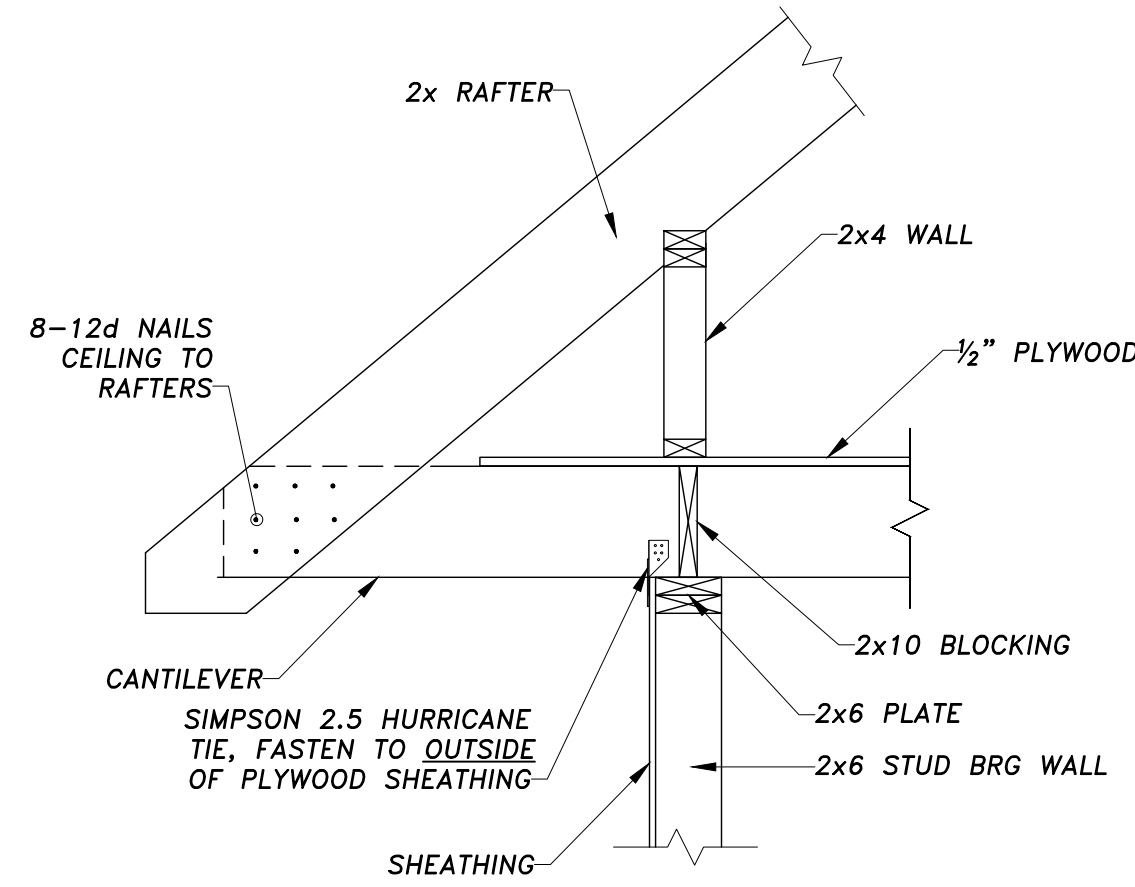
7 FOUNDATION DETAIL
Scale: 3/4" = 1'-0"



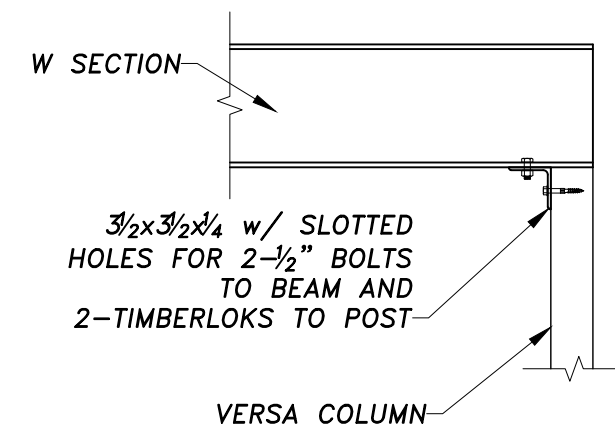
8 TYPICAL ROOF FRAMING SECTION
Scale: 3/4" = 1'-0"



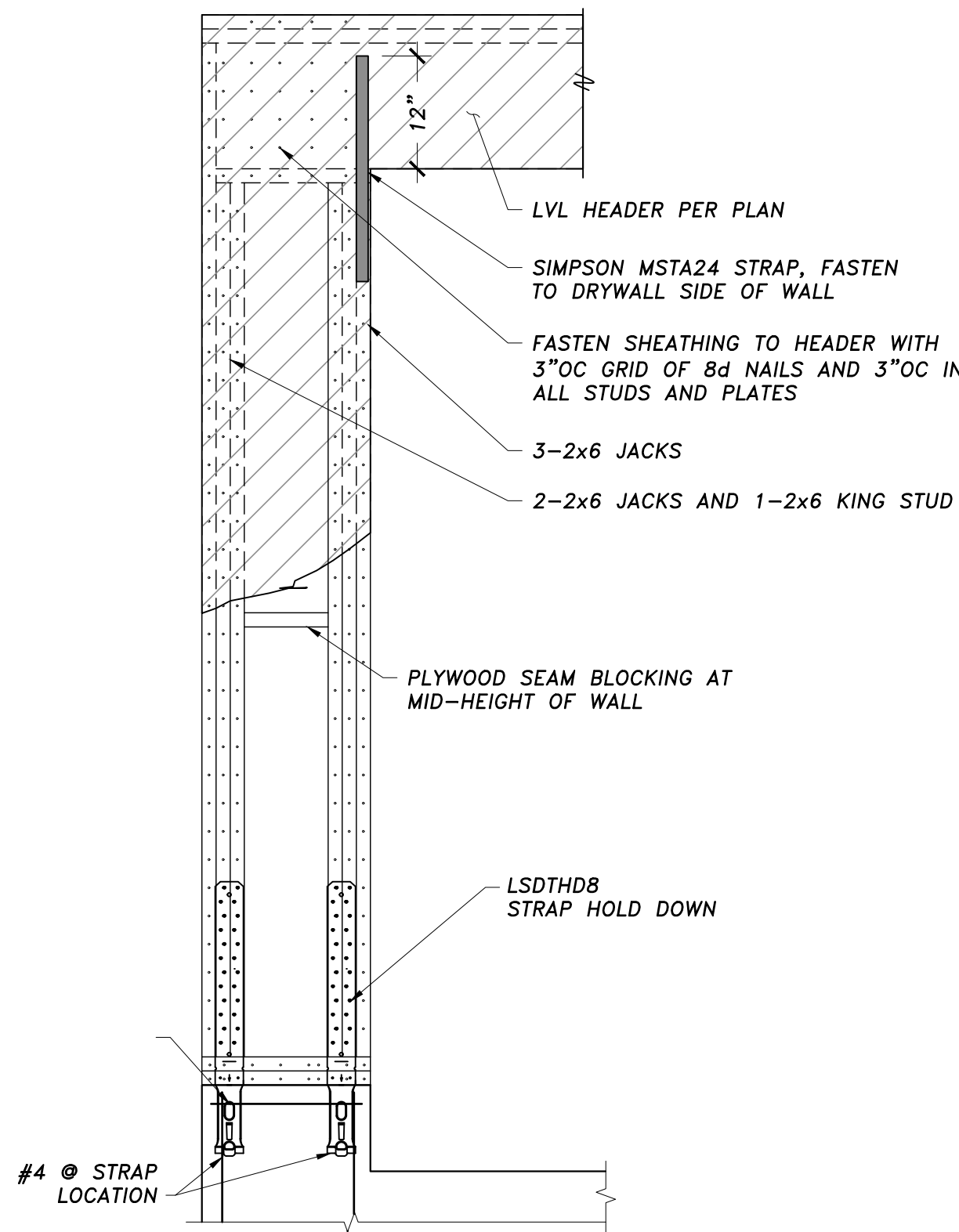
9 TYPICAL ROOF FRAMING SECTION
Scale: 3/4" = 1'-0"



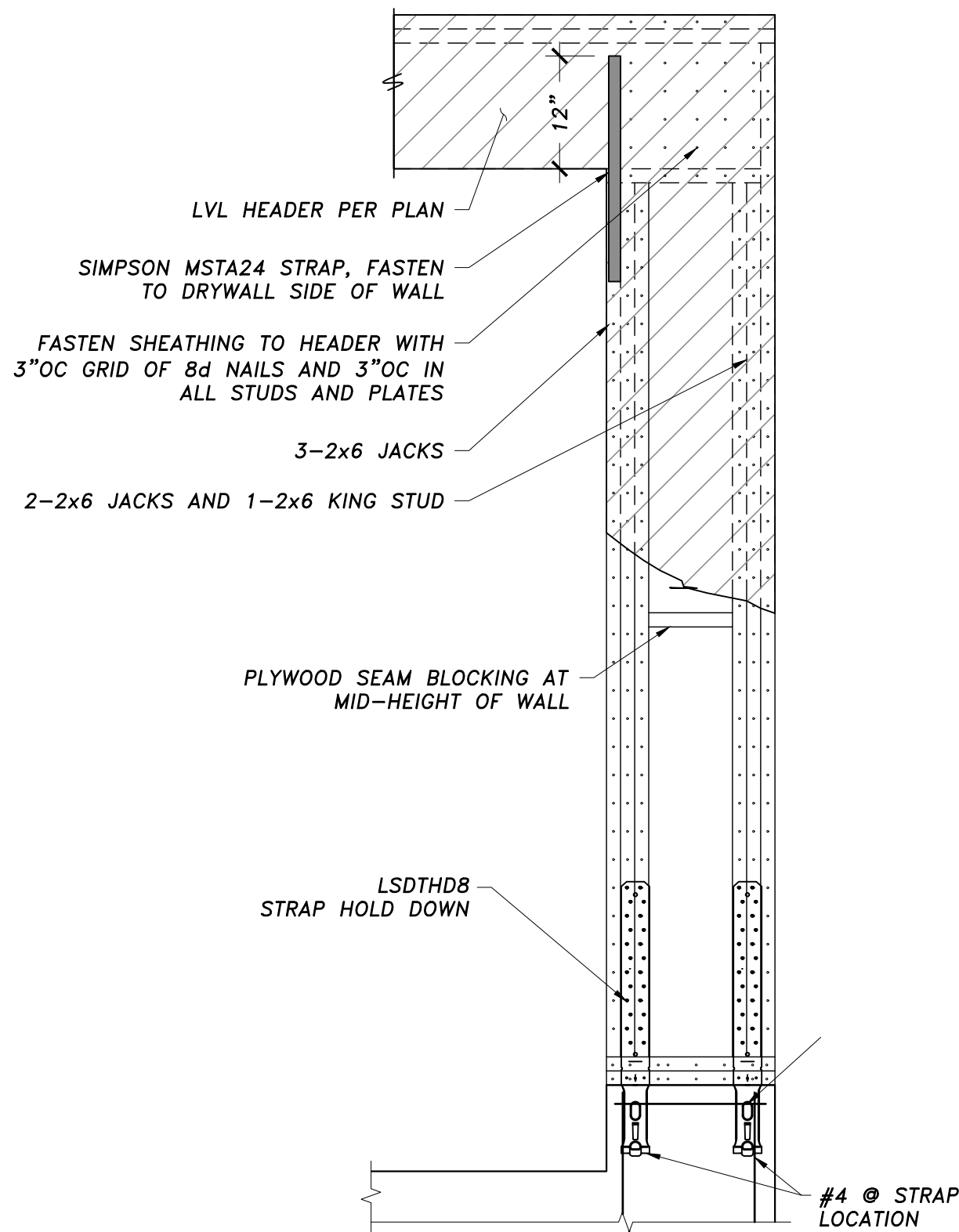
10 TYPICAL ROOF FRAMING SECTION
Scale: 3/4" = 1'-0"



13 TYP. BEAM TO COLUMN DETAIL
Scale: 3/4" = 1'-0"



11 PORTAL FRAME DETAILS
3/4" = 1'-0"

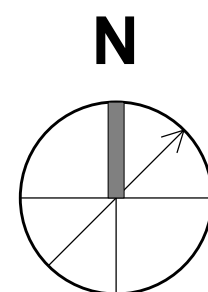


FLOOR FRAMING NOTES

1. TYPICAL HEADERS ARE TO BE 3-2x8 BEAM W/ 1-2x6 JACK STUD AND 1-2x6 KING STUD.
2. ANY POSTS NOT SHOWN ARE TO BE 2x6 POSTS WITH NUMBER OF 2x PLIES ON POST TO MATCH PLIES ON THE BEAM.
3. ALL INDIVIDUAL LVLS ARE 1 1/2" THICK UNLESS NOTED OTHERWISE.
4. TIMBERLOKS IN LEDGERS TO PENETRATE WOOD ATTACHMENT MEMBER A MINIMUM OF 3". TIMBERLOKS TO BE EQUALLY SPACED VERTICALLY AND HAVE MINIMUM EDGE DISTANCE OF 1.5"
5. BEAMS COMPRISED OF 3 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH OF 2-1/2" BOLTS AT 16" ON CENTER, OR 3-1/4" DIAMETER SELF TAPPING LAG SCREWS AT 16" ON CENTER, ALTERNATING INSERTION SIDES. FOLLOW MANUF. SPECS.
6. BW DENOTES 2x4@16 OR 2x6@16 WALL, UNLESS NOTED OTHERWISE
7. ALL SISTER JOISTS SHOWN TO BE NAILED TO EXISTING JOISTS W/ 3-12d@16" OC.

LEGEND

BW = BEARING WALL	POST LOCATION
FVP = FLAT VALLEY PLATE	POST UP (BOVE LINE)
(E) = EXISTING	POST DOWN (BELOW LINE)
(N) = NEW	
TBR = TO BE REMOVED	
	DIM. LUMBER POST
	NUMBER OF STUDS
	P3-26 SIZE OF STUD
	TYPE OF POST: P-POST, J-JACK, ENGINEERED POST
	LC 3/2 SIZE
	TYPE OF POST: VC-VERSA COLUMN, LC-LALLY COLUMN, HSS-TUBE STEEL



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

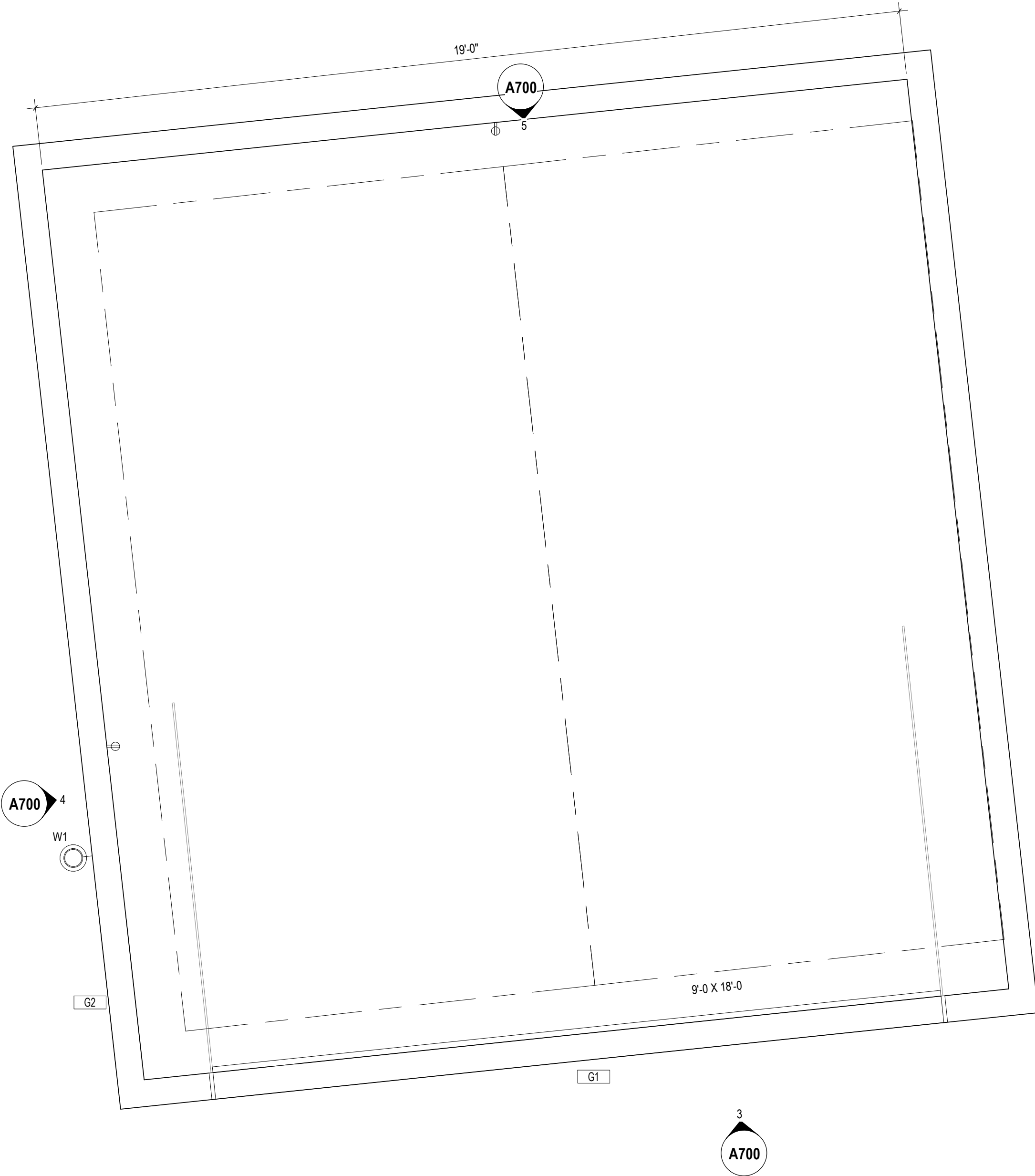
168 Dean Street
Belmont, MA 02478

client information:
Kunal & Bhavika Shah

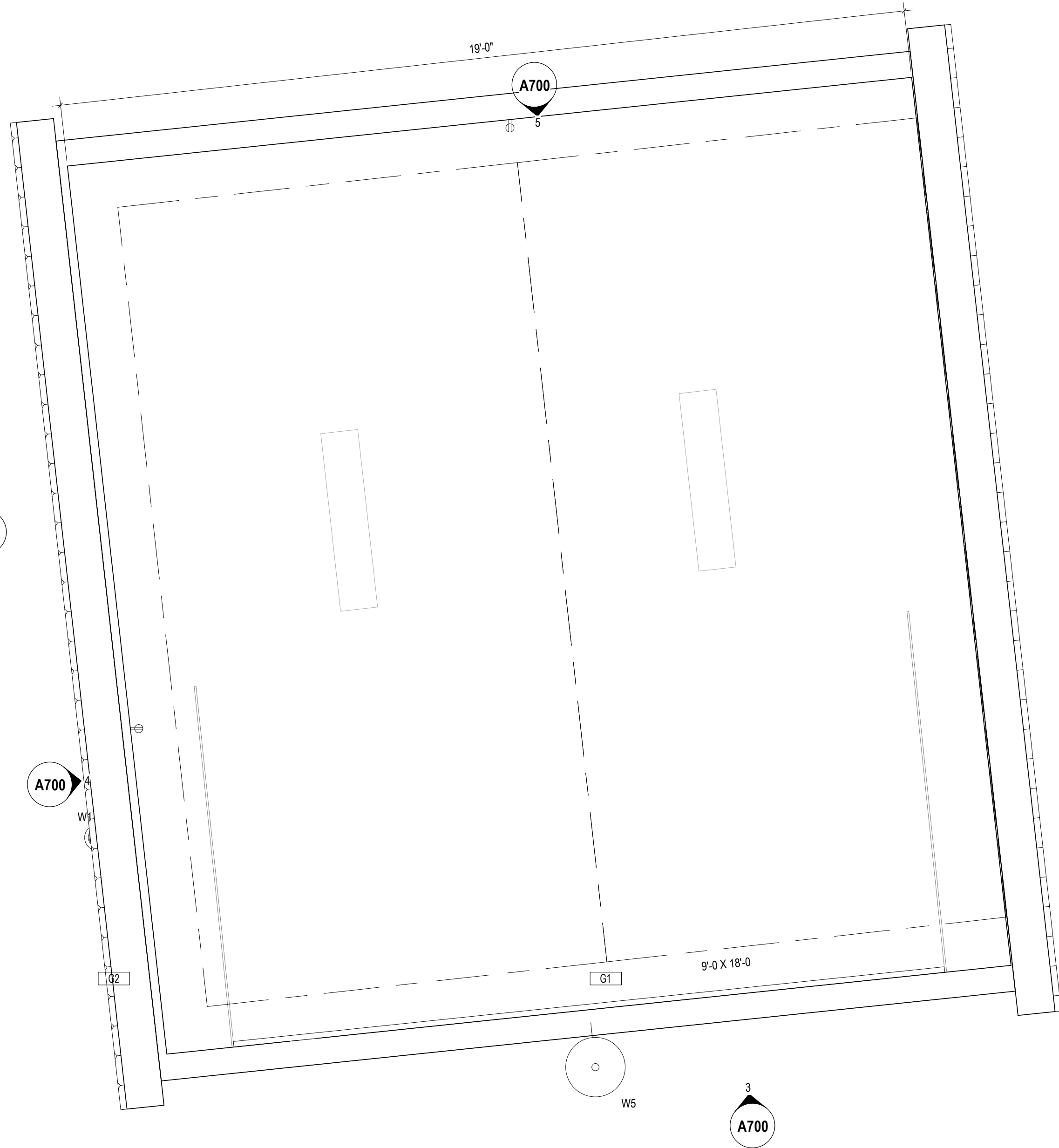
J^t A
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
3D VIEWS

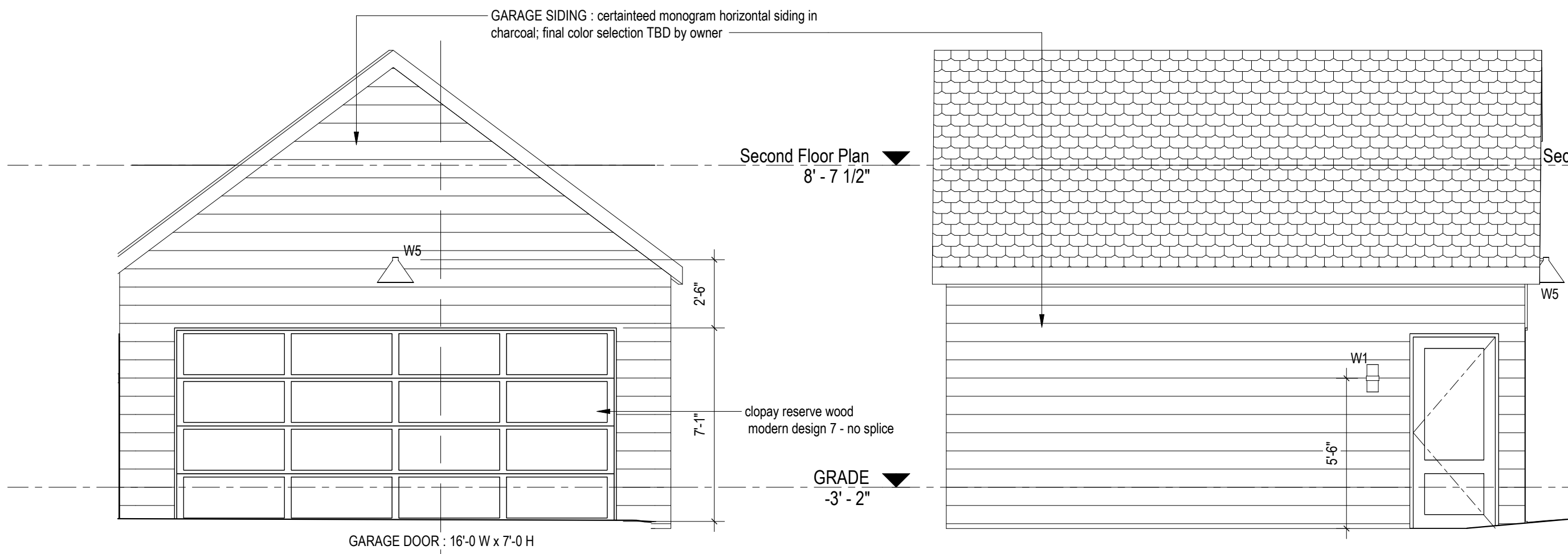
project number 000	drawing scale	approver Approver
drawing number A900		revision 1



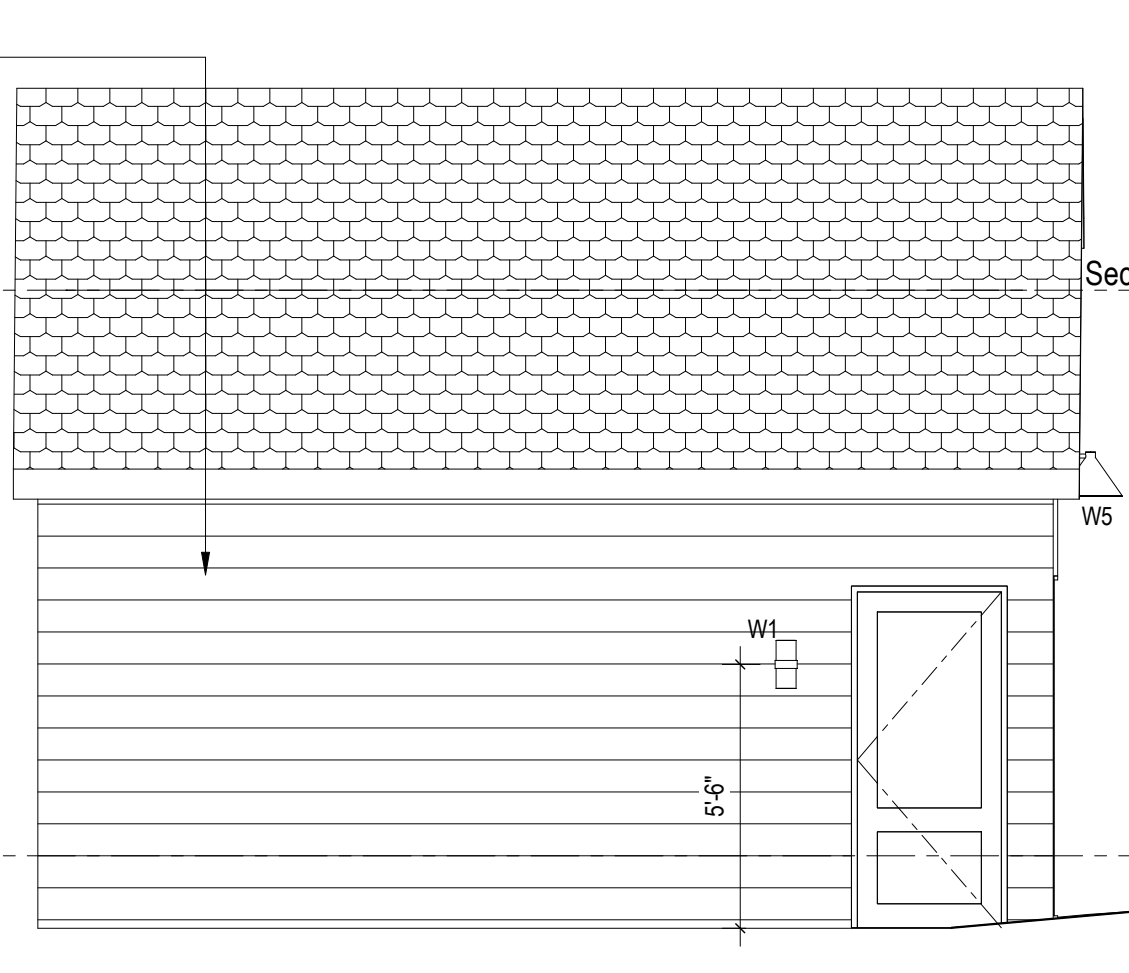
1 Garage Plan
A700 1/2" = 1'-0"



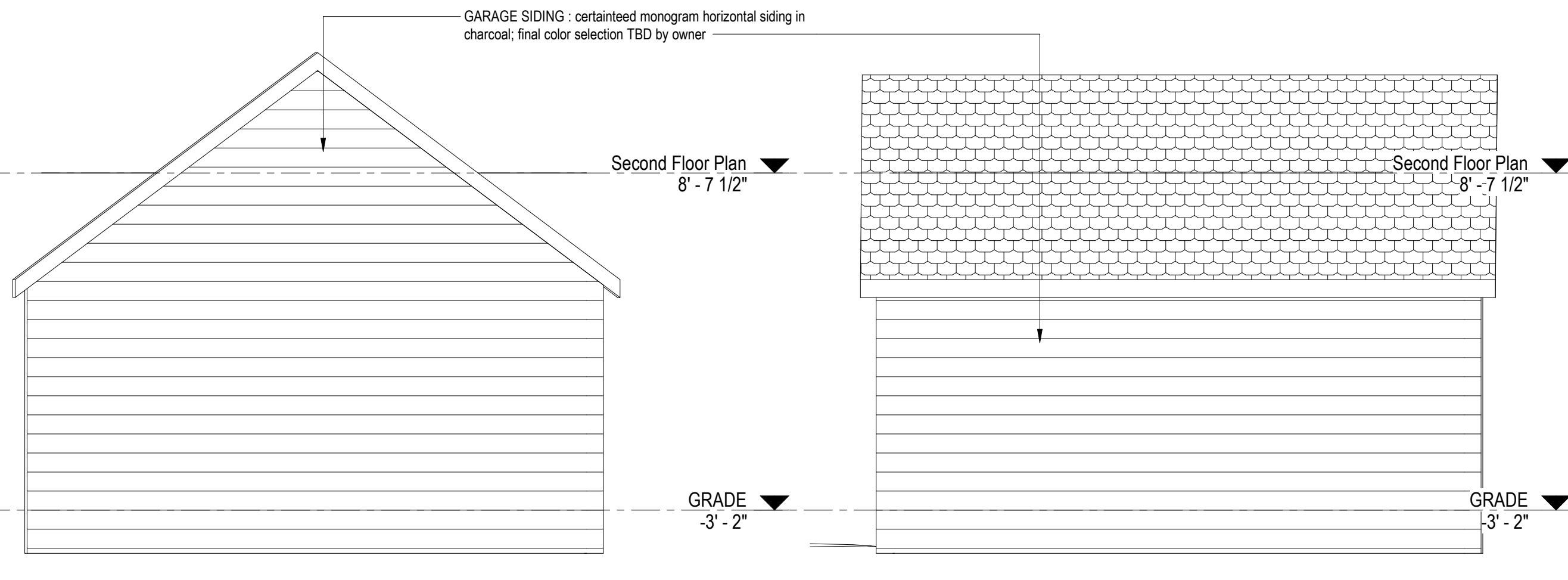
2 Garage RCP
A700 1/2" = 1'-0"



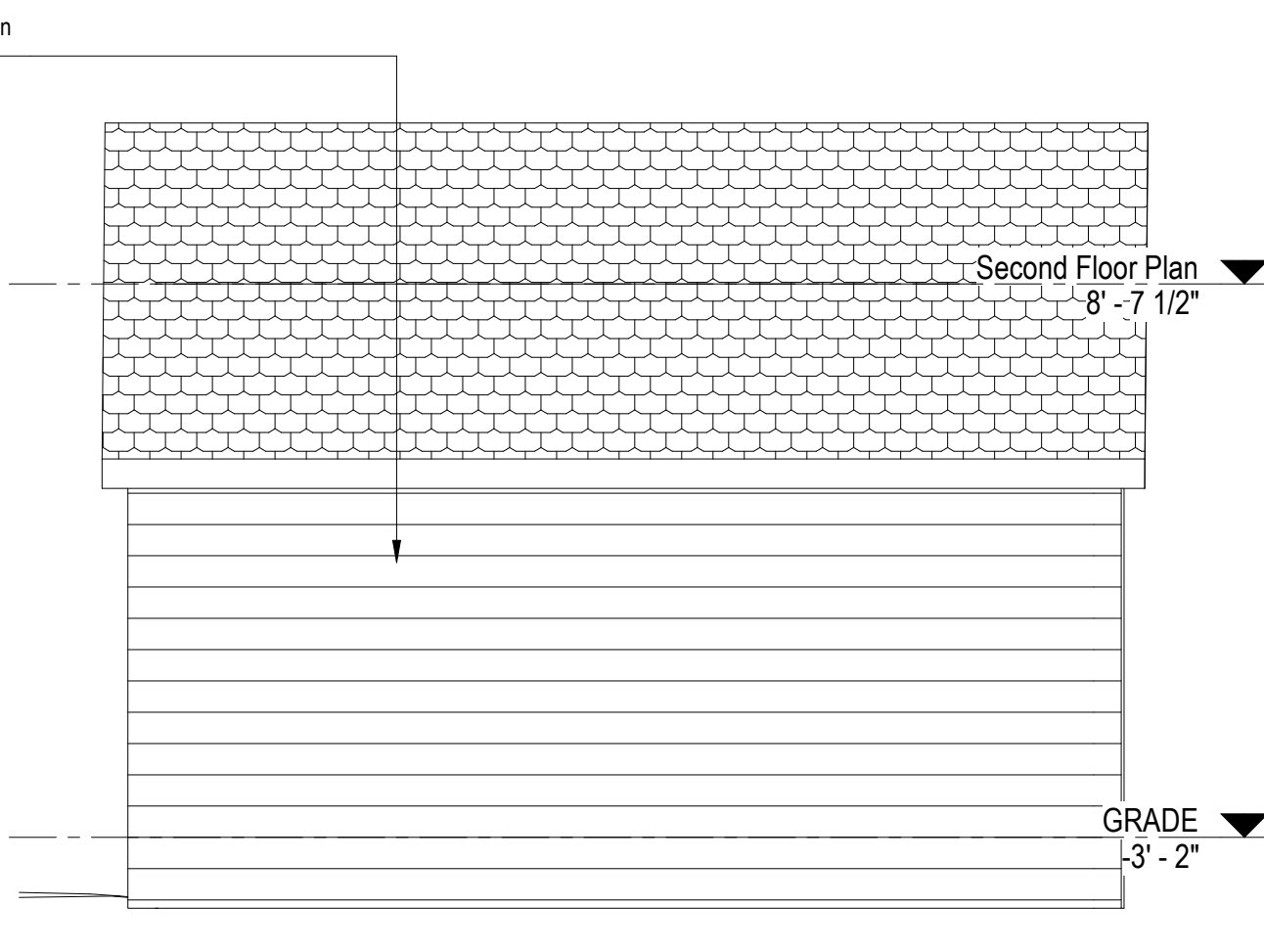
3 ELEVATION - GARAGE
A700 1/4" = 1'-0"



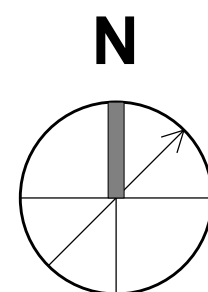
4 ELEVATION - GARAGE
A700 1/4" = 1'-0"



5 ELEVATION - GARAGE
A700 1/4" = 1'-0"



6 ELEVATION - GARAGE
A700 1/4" = 1'-0"



For Construction

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:

stamp:



revision	revision description	date
1	For Permit	07/29/2021

project title:
Dean Street Residence

168 Dean Street
Belmont, MA 02478

client information:
Kunal & Bhavika Shah

J^t A
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
GARAGE PLANS & ELEVATIONS

project number 000	drawing scale As indicated	approver Approver
drawing number A700	revision 1	