



Town of Belmont
Planning Board

APPLICATION FOR A SPECIAL PERMIT

Date: Jan 18, 2022

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 274 Brighton Street Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

House remodeling and addition:

This project is a 2nd-floor addition on top of the existing 1-story structure and a new 2-story addition attached to the rear of the existing structure.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

Dawei Jiang and Linlin Zhao

Address

274 Brighton Street

Belmont, MA 02478

Daytime Telephone Number

617-894-5183



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

January 19, 2022

Linlin Zhao and Dawei Jiang
274 Brighton Street
Belmont, MA 02478

RE: Denial to Construct an Addition

Dear Linlin Zhao and Dawei Jiang,

The Office of Community Development is in receipt of your building permit application for the construction of a second and rear addition at 274 Brighton Street located in the Single Residence C (SR-C) Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, §1.5.4C(2) allow expansions more than (30%) in the Single Residence C district by a Special Permit granted by the Planning Board.

1. The proposed increase in the percentage (152%) of the expansion exceeds 30% and is allowed by a Special Permit granted by the Planning Board.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request one (1) Special Permit from the Planning Board. If you choose this option, please contact the Office of Community Development to schedule an appointment with Robert Hummel, Senior Planner at (617) 993-2650 in order to begin the Special Permit process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

*SET BACK IS AVG. OF EXIST. SIDELINES PER AHJ

DENNY LAND SURVEYING & ENGINEERING
51 PARK DRIVE (617) 875-1725 BOSTON, MASS.

Zoning Compliance Check List

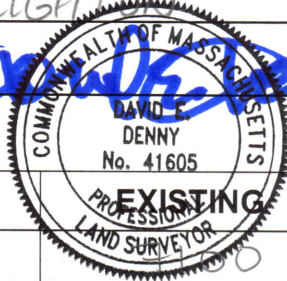
(Registered Land Surveyor)

Property Address: 274 BRIGHTON

Zone: SC

Surveyor Signature and Stamp: *David E. Denny*

Date: 11/23/2021



| | REQUIRED | EXISTING | PROPOSED |
|-----------------------|----------|----------|----------|
| Lot Area | 9,000 | 9,000 | — |
| Lot Frontage | 75.0' | 71.0' | — |
| Floor Area Ratio | — * | — * | — * |
| Lot Coverage (max) | 25% | 21.0% | 24.8% |
| Open Space (min) | 50% | 70.7% | 66.9% |
| Front Setback | 25' | 23.6' | 23.6' |
| Side Setback L | 10' | 9.3' | 10.3' |
| Side Setback R | 10' | 7.3' | 7.3' |
| Rear Setback | 30' | 36.8' | 40.0' |
| Building Height | 30' | 19.6' | 29.7' |
| Stories | 2.5' | 1 | 2 |
| 1/2 Story Calculation | | | |
| | | | |
| | | | |

NOTES:

- * 1) FRONT SETBACKS IS AVERAGE OF ABUTTERS
- 2) SEE PLAN SET BY ODD ARCHITECTS
- CHIM MING LEE AIA DATED 11/19/2021

12/5/2021

274 BRIGHTON STREET

| 274 Brighton ST Cellar/Basement CALCULATIONS Exist. Wall Segment Below Grade 12/1/2021 (Supplemental) | | | | | | | |
|---|--------|-----------|---------|---------|--------------|----------------------------|---------------------|
| SEGMENT | LENGTH | Wall AREA | POINT 1 | POINT 2 | Avg above FF | Wall Area Below Grade (sf) | Percent Below Grade |
| 1 | 34.2 | 246.2 | 31.47 | 31.19 | 6.33 | 216.5 | 87.9% |
| 2 | 24.4 | 175.7 | 31.11 | 27.90 | 4.51 | 109.9 | 62.6% |
| 3 | 33.8 | 243.4 | 27.66 | 27.71 | 2.69 | 90.8 | 37.3% |
| 4 | 3.1 | 22.3 | 27.71 | 27.74 | 2.73 | 8.4 | 37.8% |
| 5 | 20.6 | 148.3 | 27.74 | 28.26 | 3.00 | 61.8 | 41.7% |
| 6 | 20.3 | 146.2 | 28.19 | 31.11 | 4.65 | 94.4 | 64.6% |
| 7 | 11.3 | 81.4 | 31.34 | 31.68 | 6.51 | 73.6 | 90.4% |
| 8 | 2.0 | 14.4 | 31.68 | 31.74 | 6.71 | 13.4 | 93.2% |
| 9 | 8.8 | 63.4 | 31.74 | 31.72 | 6.73 | 59.2 | 93.5% |
| 10 | 9.1 | 65.5 | 31.72 | 31.72 | 6.72 | 61.2 | 93.3% |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | 167.60 | | | | | | |
| AVERAGE % BELOW GRADE= | | | | | | | 70.2% |

| | |
|------------|------|
| SILL/JOIST | 32.2 |
| BASE FF | 25.0 |
| Height | 7.2 |

See attached sketch of wall segments



Denny Land Surveying &
Engineering LLC

David Denny PE, PLS, RS

Land Surveyor & Consulting Engineer

Certified Plot, Condominium & Building Plans

A.L.T.A., Boundary & Topographic Surveys

Construction Layout, Inspections & Reports

51 Park Drive #2, Boston MA 02215

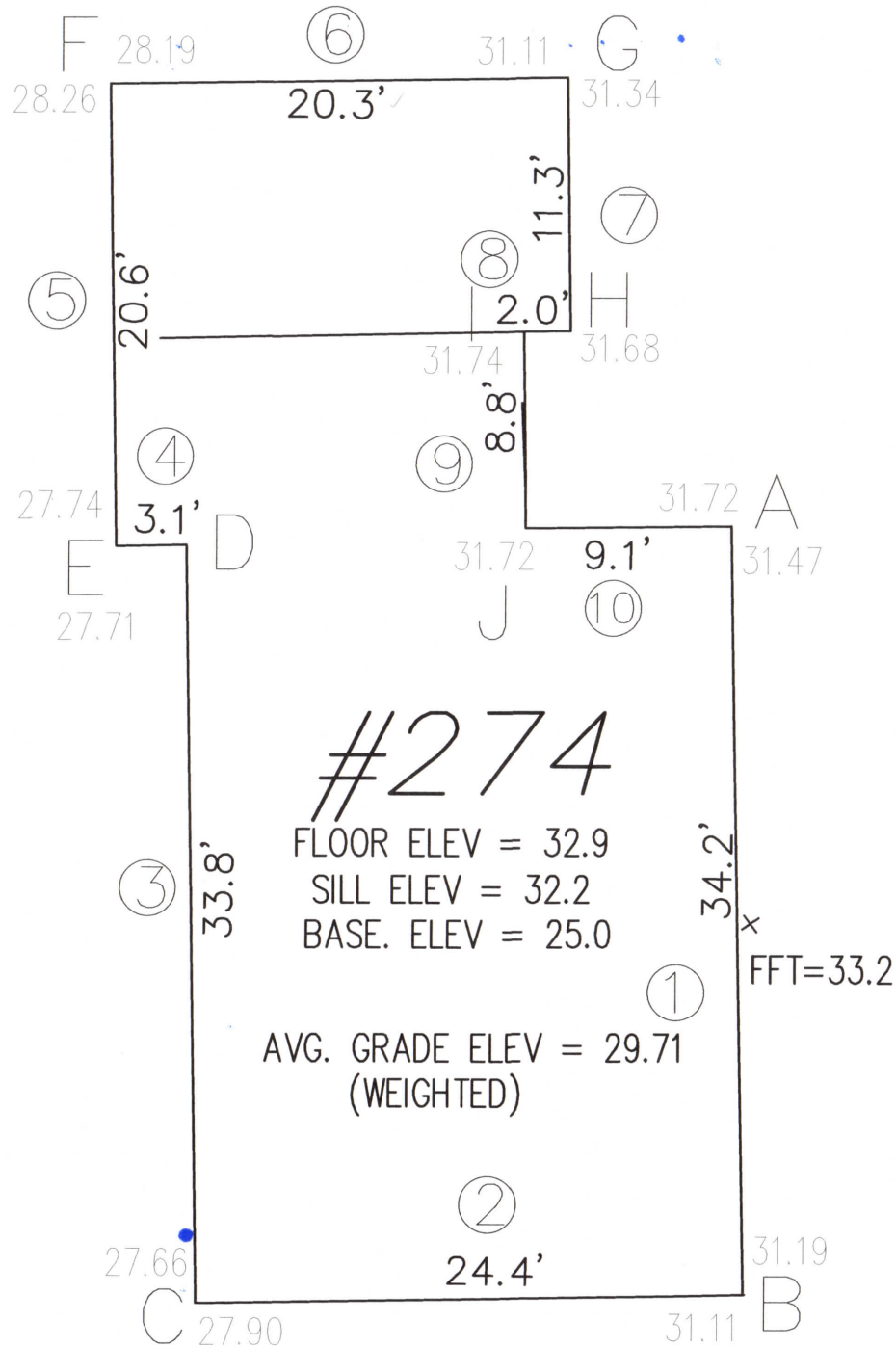
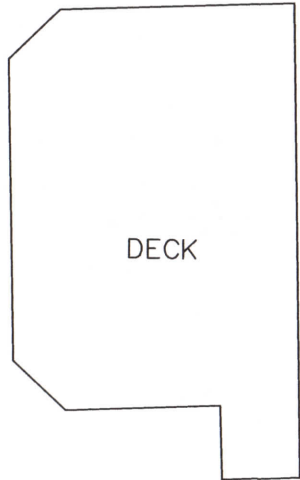
617-437-7993 617-875-1725

DLSEngineering@Comcast.net

1/2

12/5/2021

274 BRIGHTON STREET



JIANG RESIDENCE

SINGLE FAMILY ADDITION

274 Brighton Street

Belmont, Massachusetts 02478

ZONING SUMMARY:

| | | | |
|--|-------------|-------------------------|-------------------|
| 1. ZONE: RESIDENTIAL SINGLE RESIDENCE C (SR-C) | | | |
| | REQ'D | EXISTING | PROPOSED |
| 2. LOT SIZE | 9,000 SQ-FT | 7,100 S.F. (PER RECORD) | NO CHANGE |
| 3. FRONTAGE | 75 FT | 71 FT | NO CHANGE |
| 4. FRONT YARD | 25 FT | 23.6 FT | 23.6 FT |
| 5. SIDE YARD | 10 FT | 9.3/7.3 FT | (9.3/7.3)/10.3 FT |
| 6. REAR YARD | 30 FT | 48.9 FT | 40.0 FT |
| 7. HEIGHT | 30 FT | 19.6 FT | 29.7 FT |
| 8. COVERAGE | 25% | 21.0% | 24.6% |
| 9. OPEN SPACE | 50% | 70.7% | 67.1% |
| 10. F.A.R. | N/A | | |
| 11. TOTAL GROSS AREA | | 1,198 S.F. | 3,029 S.F. |
| TOTAL LIVING AREA (TLA)* | | 975 S.F. | 2,484 S.F. |
| 1ST FLOOR* | | 975 S.F. | 1,239 S.F. |
| 2ND FLOOR* | | N/A | 1,245 S.F. |
| ATTIC | | 0 S.F. | 322 S.F. |
| GARAGE | | 223 S.F. | 223 S.F. |

ABBREVIATIONS:

| | | | | | |
|----------|-----------------------|--------|---------------------------|--------|-------------------------------|
| ACT | ACOUSTIC CEILING TILE | F.E. | FIRE EXTINGUISHER | O.C. | ON CENTER |
| ADJ. | ADJUSTABLE | F.D. | FLOOR DRAIN | O.D. | OUTSIDE DIMENSION |
| A.F.F. | ABOVE FINISH FLOOR | FDN. | FOUNDATION | OPNG. | OPENING |
| ALUM. | ALUMINUM | FIN. | FINISHED | OPP. | OPPOSITE |
| ANOD. | ANODIZED | FIXT. | FIXTURE | O.R.B. | OIL RUB BRONZE |
| APPROX | APPROXIMATE | FLR. | FLOOR | PC(S) | PIECE(S) |
| ARCH | ARCHITECTURAL | F.O. | FACE OF | PL. | PLATE |
| A/V | AUDIO/VIDEO | FTG | FOOTING | PLAM | PLASTIC LAMINATE |
| B.PL. | BASE PLATE | GALV. | GALVANIZED | PR. | PAIRED |
| BM. | BEAM | G.C. | GENERAL CONTRACTOR | P.T. | PRESSURE TREATED PRESERVATIVE |
| BTW'N | BETWEEN ' | GL. | GLASS | PTD. | PAINTED |
| BITUM. | BITUMINOUS | GR. | GRADE | P'WD | PLYWOOD ' |
| BLK'G | BLOCKING ' | GRAV. | GRAVEL | R/A | RETURN/AIR |
| BD. | BOARD | GWB | GYPSTUM WALL BOARD | RAD. | RADIUS |
| BOT. | BOTTOM | HDW. | HARDWARE | R.D. | ROOF DRAIN |
| CAB. | CABINET | HGT. | HEIGHT | REINF | REINFORCEMENT |
| C.T. | CERAMIC TILE | HORZ. | HORIZONTAL | REQ'D | REQUIRED ' |
| C.J. | CONTROL JOINT | H.M. | HALLOW METAL | REV. | REVISION |
| C/L | CENTER/LINE | H.P. | HIGH POINT | R.O. | ROUGH OPENING |
| CLOS. | CLOSET | I.D. | INSIDE DIMENSION | RSR | RISER |
| CLNG. | CEILING | INSUL | INSULATION | S/A | SUPPLY/AIR |
| CLR. | COLOR | INT. | INTERIOR | SIM. | SIMILAR |
| CMU | CONC. MASONRY UNIT | INV. | INVERT | SQ. | SQUARE |
| COL. | COLUMN | JT. | JOINT | S.STL. | STAINLESS STEEL |
| CONT. | CONTINUOUS | LAV. | LAVATORY | STL. | STEEL |
| DIA. | DIAMETER | LTG. | LIGHTING | STND. | STAINED |
| DIAG. | DIAGONAL | L.P. | LOW POINT | SUSP. | SUSPENDED |
| DIM. | DIMENSION | M.H. | MAN HOLE | T&G | TONGUE & GROOVE |
| DN | DOWN | MFR. | MANUFACTURER | THK. | THICK |
| DR | DOOR | M.O. | MASONRY OPENING | T.O. | TOP OF |
| DTL. | DETAIL | MAX | MAXIMUM | TRD | TREAD |
| DWG. | DRAWING | MECH. | MECHANICAL | TYP. | TYPICAL |
| EA. | EACH | MDF | MEDIUM DENSITY FIBERBOARD | U.N.O. | UNLESS NOTED OTHERWISE |
| ELEC. | ELECTRICAL | MDO | MEDIUM DENSITY OVERLAY | VERT. | VERTICAL |
| ELEV. | ELEVATION | MET. | METAL | V.I.F. | VERIFIED IN FIELD |
| ENCL. | ENCLOSURE | MIN. | MINIMUM | WD. | WOOD |
| EQ. | EQUAL | MISC | MISCELLANEOUS | WDW. | WINDOW |
| EXP. | EXPANSION | N.I.C. | NOT IN CONTRACT | WHT. | WHITE |
| EX/EXST. | EXISTING | NOM. | NOMINAL | WGT. | WEIGHT |
| EXT. | EXTERIOR | N.T.S. | NOT TO SCALE | W/ | WITH |

PROJECT DESCRIPTION:

1. THIS PROJECT IS A SECOND-FLOOR ADDITION ON TOP OF THE EXISTING 1-STORY STRUCTURE AND A NEW 2-STORY ADDITION ATTACHED TO THE REAR OF THE EXISTING STRUCTURE.

DRAWING LIST:

| | |
|------|---|
| A0.0 | PROJECT DESCRIPTION, ZONING/CODE SUMMARY, DRAWING LIST, NOTES & ABBREVIATIONS |
| A0.1 | AREA CALCULATION |
| A0.2 | LEGENDS, WALL TYPES & EXISTING/ DEMOLITION PLANS |
| A0.3 | SCHEDULES |
| A1.1 | PROPOSED BASEMENT PLAN |
| A1.2 | PROPOSED FIRST FLOOR PLAN |
| A1.3 | PROPOSED SECOND FLOOR LAN |
| A1.4 | PROPOSED ATTIC PLAN |
| A1.5 | PROPOSED ROOF PLAN |
| A2.1 | BASEMENT REFLECTED CEILING PLAN |
| A2.2 | FIRST FLOOR REFLECTED CEILING PLAN |
| A2.3 | SECOND FLOOR REFLECTED CEILING PLAN |
| A3.1 | PROPOSED BUILDING ELEVATIONS |
| A3.2 | PROPOSED BUILDING ELEVATIONS |
| A3.3 | BUILDING SECTION |
| A3.4 | BUILDING SECTION |
| A4.1 | FRAMING NOTES, DETAILS & FOUNDATION PLAN |
| A4.2 | FIRST/SECOND FLOOR FRAMING PLANS |
| A4.3 | ATTIC & ROOF FRAMING PLANS |

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL CODES AND ORDINANCES:
- a. MASSACHUSETTS RESIDENTIAL CODE – INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 WITH MASSACHUSETTS AMENDMENTS TO IRC 9TH ED. (2017)
- b. MASSACHUSETTS ENERGY CODE – INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015 WITH MASSACHUSETTS STRETCH ENERGY CODE AMENDMENTS (2017).
- c. LOCAL CITY/TOWN ZONING CODE/ BY-LAW.
- d. ALL OTHER APPLICABLE CODES.
2. ALL PERMITS AND LICENSES SHALL BE SECURED BY CONTRACTOR(S).
3. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUBCONTRACTORS WITH ALL INFORMATION IN REGARDS TO FULL SCOPE OF THE PROJECT AND THEIR RESPECTIVE TRADES DURING BIDDING AND CONSTRUCTION PHASES.
4. DO NOT SCALE DRAWINGS FOR DIMENSIONS. ALL GRADE APPROXIMATE. ALL HEIGHTS TO BE CONFIRMED WITH FIELD CONDITIONS.
5. ALL DIMENSIONS AND LAYOUTS SHALL BE FIELD VERIFIED AND COORDINATED WITH ARCHITECTURAL DRAWINGS AND SITE PLAN BY GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL REVIEW ALL PLANS AND REPORT ANY INCONSISTENCIES OR AMBIGUITIES. THE CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS. THE CONTRACTOR SHALL PROCEED ONLY AFTER THESE ISSUES ARE RESOLVED.
6. WORK NOT INDICATED ON THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT IS SHOWN AT CORRESPONDING SITUATIONS SHALL BE REPEATED.
7. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING PROTECTIVE BARRIER TO SEPARATE WORK AREAS FROM AREAS COMPLETED OR BEYOND THE LIMITS OF THE CONTRACT.
8. GENERAL CONTRACTOR SHALL COORDINATE PHASING AND SEPARATION OF WORK WITH OWNER.
9. CONTRACTOR(S) SHALL RECTIFY, WITHOUT COST OF OWNER, ANY DEFECTS DUE TO FAULTY WORKMANSHIP. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE HIGHEST STANDARDS OF TRADES AND PRACTICES.
10. ARCHITECT IS NOT RESPONSIBLE FOR ANALYSIS OF EXISTING STRUCTURE OR FOUNDATION BEYOND VISIBLE AREA. EXISTING STRUCTURAL CONDITIONS ARE ASSUMED TO BE ACCURATE. IF DISCREPANCY OCCURS, CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO CONSTRUCTION. FAILURE TO DO SO RELIEVES ARCHITECT OF ANY RESPONSIBILITY. A CERTIFIED STRUCTURAL ENGINEER WILL BE HIRED AT OWNER'S EXPENSE IF REQUIRED BY LOCAL BUILDING OFFICIAL.
11. ELECTRICAL CONTRACTOR SHALL PROVIDE DESIGN-BUILD SERVICES. ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE CODES. THE ELECTRICIAN SHALL PROVIDE ADEQUATE RECEPTACLES, LIGHTING AND APPROPRIATE SWITCH LOCATIONS PER CODE REQUIREMENTS. SCHEDULE ALL INSPECTIONS IN TIMELY MANNER.
12. ELECTRICIAN CONTRACTOR SHALL PROVIDE CARBON MONOXIDE (CO), SMOKE AND HEAT DETECTION ALARMS PER CODE REQUIREMENTS. ALL FIRE ALARMS TO BE HOT WIRED WITH BATTERY BACKUP. FIRE ALARM DEVICES AND LOCATIONS OF NEWLY CONSTRUCTED & EXISTING AREAS TO BE REVIEWED & APPROVED BY LOCAL FIRE DEPARTMENT.
13. ELECTRICAL CONTRACTOR TO PROVIDE TEL/DATA & CABLE OUTLETS APPROVED BY OWNER.
14. PLUMBING CONTRACTOR TO PROVIDE DESIGN-BUILD SERVICES. ALL PLUMBING WORK SHALL BE IN COMPLIANCE WITH APPLICABLE CODES. THE PLUMBER SHALL PROVIDE ANY REQUIRED DRAWINGS FOR PERMIT APPLICATION AND BE RESPONSIBLE FOR THE FIXTURE SCHEDULE FOR THE OWNER'S APPROVAL, IF REQUIRED BY THE OWNER. COORDINATE THE LOCATIONS OF REQUIRED TIE-INS AND THE LAYOUT OF PIPING/VENT WITH THE GENERAL CONTRACTOR. FOLLOW CODE GUIDELINES FOR CUTTING AND NOTCHING FRAMING MEMBERS. SCHEDULE ALL INSPECTIONS IN TIMELY MANNER.
15. HVAC CONTRACTOR TO PROVIDE DESIGN-BUILD SERVICES INCLUDING LAYOUT/INSTALLATION WITH COMPLETE LISTING AND SIZES OF ALL EQUIPMENTS PROPOSED FOR USE AND ROUTING OF ALL DUCT WORK AND PIPING. ALL HVAC WORK SHALL BE IN COMPLIANCE WITH APPLICABLE CODES. GENERAL CONTRACTOR SHALL COORDINATE THIS LAYOUT WITH FRAMERS PRIOR TO FRAMING.
16. ALL IN WALL PLUMBING & ELECTRICAL COMPONENTS PASSING THRU STUD WALLS TO BE COVERED WITH METAL SHIELD PLATES TO PREVENT PUNCTUATION.

ENERGY CONSERVATION NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH 2015 IECC, 780 CMR 51.00 AMENDMENTS TO IRC(2015) & MASSACHUSETTS STRETCH ENERGY CODE.
2. ALL BUILDING MATERIALS & SYSTEMS INCLUDING BUT NOT LIMITED TO AIR BARRIER, MOISTURE BARRIER, INSULATION PRODUCTS, MECHANICAL/ELECTRICAL/PLUMBING EQUIPMENTS SHALL BE INSTALLED PER MANUFACTURERS' MANUALS & INSTRUCTIONS.
3. CONSTRUCTION DOCUMENTS DEMONSTRATE COMPLIANCE FOR THE BUILDING ENVELOPE. THERMAL ENVELOPE REPRESENTED ON CONSTRUCTION DOCUMENTS.
4. THE BOTTOM FLOOR OF HEATED SPACE TO BE INSULATED WITH MINIMUM R-30 INSULATION AND VAPOR BARRIER ON WARM SIDE OF THERMAL ENVELOPE, TYP. (IECC TABLE R402.1.1)
5. FLOOR INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND IN SUBSTANTIAL CONTACT WITH THE UNDERSIDE OF SUBFLOOR, OR FLOOR FRAMING CAVITY INSULATION IS IN CONTACT WITH TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION IS INSTALL ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS. (IECC R303.2 402.2.7)
6. ALL NEW EXTERIOR WALLS SHALL BE 2X6 @ 16" O.C. TO BE INSULATED WITH R-20 INSULATION AND VAPOR BARRIER ON WARM SIDE OF THERMAL ENVELOPE, TYP. (2015 IECC TABLE R402.1.2) WALL INSULATION IS INSTALLED PER MANUFACTURER'S INSTRUCTIONS. (IECC R303.2)
7. THE CEILING OF HEATED SPACE/OR CAVITY OF ROOF RAFTERS OF HEATED SPACE TO BE INSULATED WITH MINIMUM R-49 INSULATION AND VAPOR BARRIER ON WARM SIDE OF THERMAL ENVELOPE, TYP. (IECC TABLE R402.1.2)
8. CEILING INSULATION IS INSTALLED PER MANUFACTURER'S INSTRUCTIONS. BLOWN OR SPRAY INSULATION SHALL BE MARKED IN INCHES EVERY 300 SQ-FT. (IECC R303.1.1.1)
9. ATTIC ACCESS HATCH AND DOOR INSULATION >=R-VALUE OF ADJACENT ASSEMBLY. (IECC R402.2.4)
10. THE BASEMENT WALL OF OCCUPIED SPACE TO BE INSULATED WITH R-19 IN CAVITY, OR R-15 INTERIOR OR EXTERIOR CONTINUOUS INSULATION. (2015 IECC TABLE R402.1.2)
11. BUILDING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS. (IECC 2015 R403.3.5)
12. ALL FENESTRATION WINDOWS INSULATED GLASS PANEL WITH MAX. U-FACTOR 0.30. (780CMR51)
13. ALL SKYLIGHTS INSULATED GLASS PANEL WITH MAX. U-FACTOR 0.55, OR TO MEET ENERGY STAR FENESTRATION U-FACTOR/SHGC REQUIREMENTS. (IECC TABLE R402.1.2)
14. U-FACTORS OF FENESTRATION PRODUCTS ARE DETERMINED IN ACCORDANCE WITH NFRC TEST PROCEDURE OR TAKEN FROM THE DEFAULT TABLE. (IECC R303.1.3)
15. BUILDING ENVELOPE AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE PERFORMED PER IECC R402.4.
16. EXTERIOR DOORS TO BE INSULATED AND WEATHER-STRIPPED.
17. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION WITH PROPER CAULK, GASKET, WEATHER-STRIPPING OR OTHER AIR BARRIER MATERIALS.
18. WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT, AND SWING DOORS NO MORE THAN 0.5 CFM. (IECC R402.4.3)
19. AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS. (IECC 403.6)
20. BLOWER DOOR TEST @ 50 PA. <=3 ACH IN MASSACHUSETTS CLIMATE ZONE 5A. (IECC 402.4.1.2)
21. HEATING AND COOLING EQUIPMENT IS SIZED PER ACAA MANUAL S BASED ON LOADS CALCULATED PER ACAA MANUAL J OR OTHER METHODS APPROVED BY THE CODE OFFICIAL. (IECC R403.7)
22. AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM. PROGRAMMABLE THERMOSTATS INSTALLED FOR CONTROL OF PRIMARY HEATING AND COOLING SYSTEMS AND INITIALLY SET BY MANUFACTURER TO CODE SPECIFICATIONS. (IECC R403.1.1)
23. HVAC PIPING INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED. (IECC R403.4.1)
24. HVAC PIPING CONVEYING FLUIDS ABOVE 105°F OR CHILLED FLUIDS BELOW 55°F SHALL BE INSULATED TO A MINIMUM OF R-3. (IECC R403.4)
25. DUCTS AND AIR HANDLERS SHALL BE INSULATED AND SEALED PER R403.3. SUPPLY & RETURN AIR DUCTS IN ATTIC SHALL BE INSULTED TO MIN. R-8 (3"ø OR GREATER) OR R-6 (LESS THAN 3"ø). DUCTS IN OTHER PORTION SHALL BE INSULATED TO MIN. R-6 (3"ø OR GREATER) OR R-4.2 (LESS THAN 3"ø). (IECC R403.3.1)
26. DUCTS AND REGISTERS SHALL BE TAPED AND SEALED (ROUGH-IN OR POST-CONSTRUCTION) TO MEASURE W/ A DIFFERENTIAL 0.1 INCH W.G. EXCEPT THE ENTIRE SYSTEM IS WITH IN BUILDING ENVELOPE. (IECC R403.3.3)
27. TOTAL LEAKAGE OF THE DUCTS SHALL BE LESS THAN OR EQUAL TO 4 CFM PER 100 S.F. OF CONDITIONED SPACE. (IECC R403.3.4)
28. AIR HANDLER LEAKAGE DESIGNATED BY MANUFACTURER AT <=2% OF DESIGN AIR FLOW. (IECC R403.3.2.1)
29. ALL MECHANICAL VENTILATION SYSTEM FANS NOT PART OF TESTED AND LISTED HVAC EQUIPMENT MEET EFFICACY AND AIR FLOW LIMITS. (IECC R403.6.1)
30. HOT WATER BOILERS SUPPLYING HEAT THROUGH 1- OR 2-PIPE HEATING SYSTEMS HAVE OUTDOOR SETBACK CONTROL TO LOWER BOILER WATER TEMPERATURE BASED ON OUTDOOR TEMPERATURE. (IECC R403.2)
31. RECESSED LIGHTING INSTALLED IN BUILDING THERMAL ENVELOPE TO BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM PER ASTM E283 (IECC R402.4.5)
32. NOT LESS THAN 75% OF LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL BE HIGH-EFFICIENT LAMPS OR CONTAIN ONLY HIGH-EFFCIENT LAMPS EXCEPT LOW-VOLTAGE LIGHTING. (IECC R404.1)
33. HOT WATER PIPES SHALL BE INSULATED TO R-3 IF PIPING 3/4" OR LARGER, PIPING SERVE MORE THAN ONE UNIT, PIPING LOCATED OUTSIDE CONDITIONED SPACE, PIPING FROM WATER HEATER TO DISTRIBUTION MANIFOLD, OR PIPING UNDER A FLOOR SLAB. (IECC R403.5.3)
34. MANDATORY HEATED WATER CIRCULATION AND TEMPERATURE MAINTENANCE SYSTEM TO BE IN ACCORDANCE 2015 IECC R403.5.1, AND TO HAVE AUTOMATIC OR MANUAL CONTROLS. (IECC R403.5.1)
35. HEATED WATER CIRCULATION SYSTEM HAVE A CIRCULATION PUMP. THE SYSTEM RETURN PIPE IS A DEDICATED PIPE OR A COLD WATER SUPPLY PIPE. GRAVITY AND THERMOS-SYPHON CIRCULATION SYSTEMS ARE NOT PRESENT. CONTROLS FOR CIRCULATING HOT WATER SYSTEM PUMPS START PUMP WITH SIGNAL FOR HOT WATER DEMAND WITHIN THE OCCUPANCY. CONTROLS AUTOMATICALLY TURN OFF THE PUMP WHEN WATER IS AT SET-POINT TEMPERATURE AND NO DEMAND FOR HOT WATER EXISTS. (IECC R403.5.1.1)
36. THE RECIRCULATION PUMPS IN WATER DISTRIBUTION SYSTEMS PUMP WATER BACK TO HEATED WATER SOURCE THROUGH A COLD WATER SUPPLY PIPE, AND THE PUMPS HAVE CONTROLS THAT LIMIT THE TEMPERATURE OF THE WATER ENTERING THE COLD WATER PIPING 104°F. (IECC R403.5.2)

PERMIT SET

ARCHITECT:

OoDD Architects Limited Liability Company

P. O. Box 66001 Newton, Massachusetts 02466

Ph: 617.953.9428 EMAIL: OoDDAr@gmail.com

JIANG RESIDENCE

SINGLE FAMILY ADDITION

274 Brighton Street

Belmont, Massachusetts 02478

DRAWING GENERAL NOTES:

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| Date | Notes |
|-----------|--------------|
| 1/11/2022 | 1 PERMIT SET |

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| |
| |
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| |



CHI-H-MING LEE, AIA

ARCHITECT

PROJECT DESCRIPTION,

ZONING/CODE SUMMARY,

DRAWING LIST, NOTES &

ABBREVIATIONS

SCALE: NO SCALE

DATE: JANUARY 11, 2022

DRAWN BY: CL

CHECKED BY: CL



A0.0

ARCHITECT:

OoDD Architects Limited Liability Company

P. O. Box 66001 Newton, Massachusetts 02466

PH: 617.953.9428 EMAIL: OoDDAr@gmail.com

JIANG RESIDENCE

SINGLE FAMILY ADDITION

274 Brighton Street
Belmont, Massachusetts 02478

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Date 1/11/2022 Notes PERMIT SET



Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

AREA CALCULATION

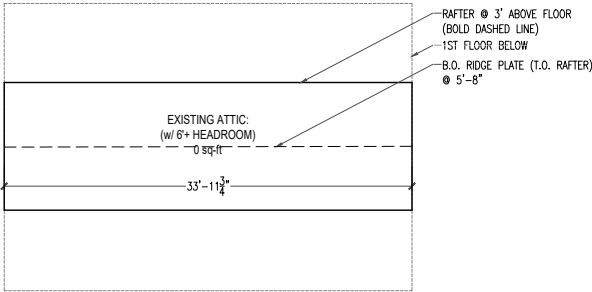
SCALE: 1/8"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



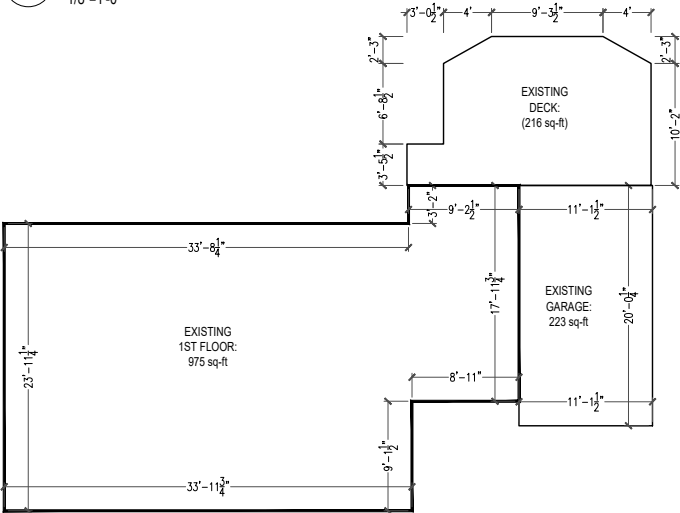
A0.1

AREA CALCULATION:

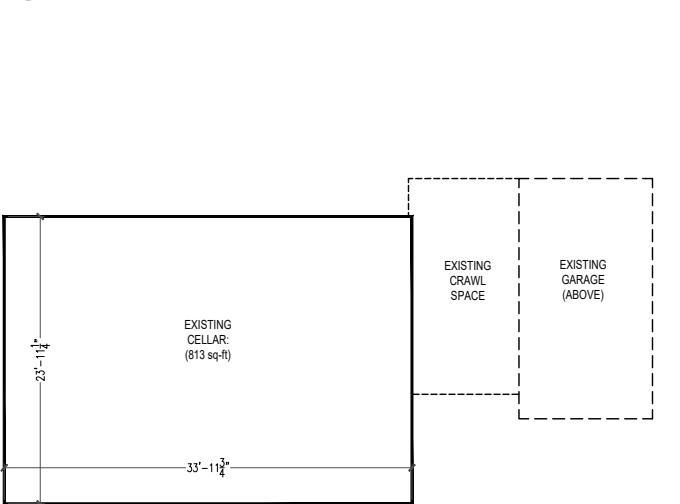
| | EXISTING | PROPOSED |
|--------------------------|------------|------------|
| TOTAL GROSS AREA | 1,198 S.F. | 3,029 S.F. |
| TOTAL LIVING AREA (TLA)* | 975 S.F. | 2,484 S.F. |
| 1ST FLOOR* | 975 S.F. | 1,239 S.F. |
| 2ND FLOOR* | N/A | 1,245 S.F. |
| ATTIC | 0 S.F. | 322 S.F. |
| GARAGE | 223 S.F. | 223 S.F. |



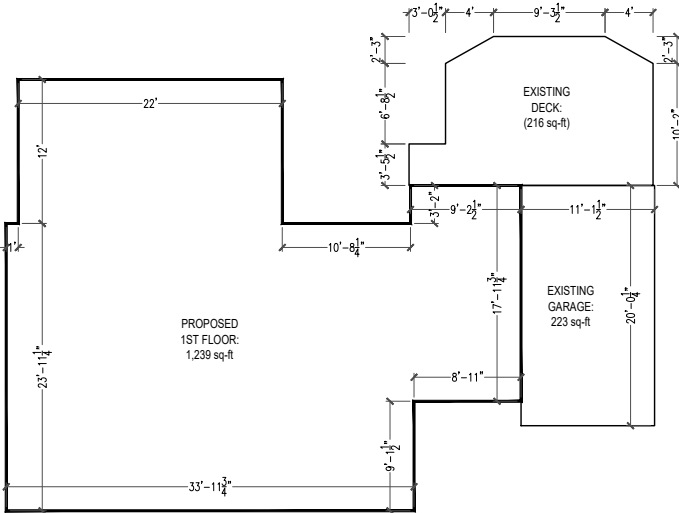
2 EXISTING ATTIC
1/8"=1'-0"



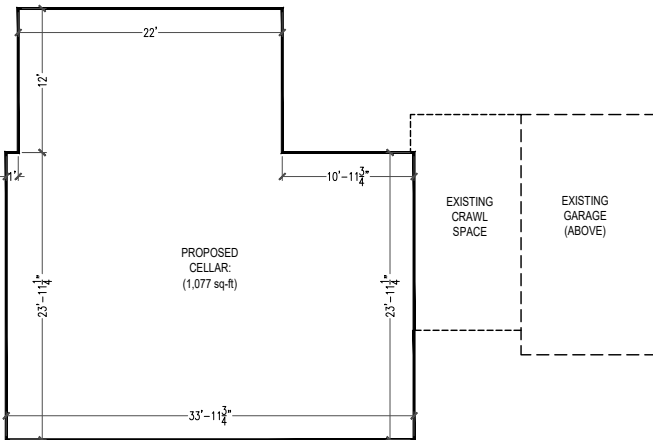
1 EXISTING FIRST FLOOR
1/8"=1'-0"



0 EXISTING BASEMENT
1/8"=1'-0"

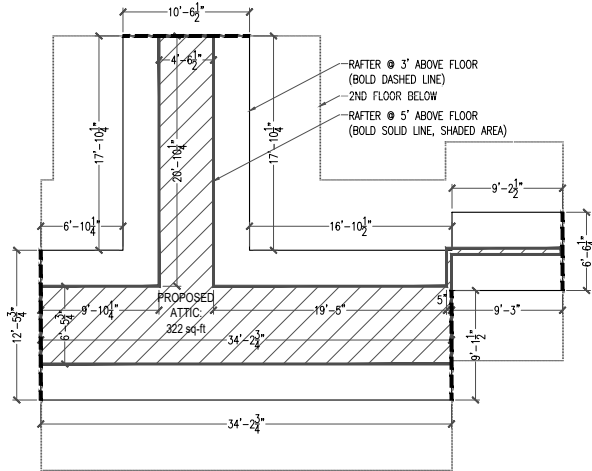


1A PROPOSED FIRST FLOOR
1/8"=1'-0"

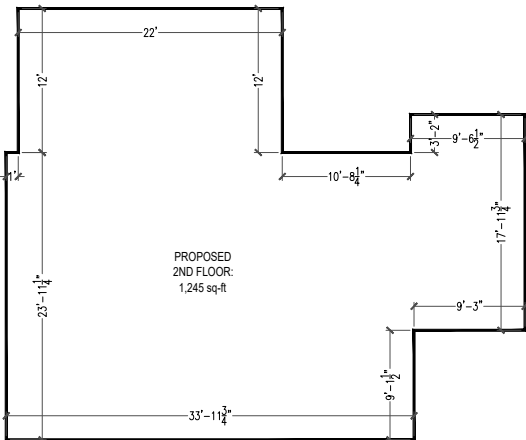


0A PROPOSED BASEMENT
1/8"=1'-0"

"HALF-STORY" CALCULATION (SEE A1.4 FOR GRAPHS):
1. "THE LINE OF INTERSECTION OF THE RAFTER BOTTOMS AND THE INTERIOR WALL SURFACE IS NOT MORE THAN THREE FEET ABOVE FLOOR LEVEL" (DASHED):
 $(10'-6\frac{1}{2}" + (6'-6\frac{1}{2}" + (9'-1\frac{1}{2}" + (12'-5\frac{1}{2}" = 38'-8"$
 $38'-8"$ IS 23% OF P2, (50% MAX.)
THE PERIMETER OF THE SECOND FLOOR: 164'-8" (P2)
2. "THE POTENTIAL SPACE HAVING HEADROOM OF FIVE FEET OR MORE" (SHADED): 322 SQ-FT = 25.8% OF A2, (60% MAX.)
THE AREA OF THE SECOND FLOOR: 1,245 SQ-FT (A2)

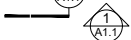


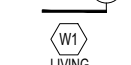
3A PROPOSED ATTIC
1/8"=1'-0"

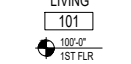



2A PROPOSED SECOND FLOOR
1/8"=1'-0"

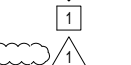
SYMBOLS & MATERIALS


BUILDING SECTION: 

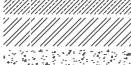
WALL DETAIL SECTION: 


WINDOW TYPE: 


ROOM NAME/NUMBER: 

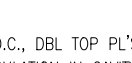
SPOT ELEVATION: 

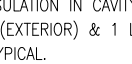
DOOR NUMBER: 

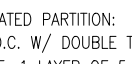
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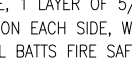
DEMOLITION NOTE: 

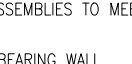
REVISION NOTE: 

MATERIALS: 


MASONRY: 


METAL: 

CONCRETE: 


WOOD: 

WALL/ PARTITION TYPES


EXISTING EXTERIOR WALL TO REMAIN: 

NEW EXTERIOR WALL: 


2X6 @ 16" O.C., DBL TOP PL'S & SINGLE BOT. PL W/ R-20 INSULATION IN CAVITY, 5/8" SHEATHING/ AIR BARRIER (EXTERIOR) & 1 LAYER 5/8" GWB (INTERIOR), TYPICAL.

INTERIOR 1-HR FIRE RATED PARTITION: 


2X4 @ 16" O.C. W/ DOUBLE TOP PLATES & SINGLE BOTTOM PLATE, 1 LAYER OF 5/8" TYPE-X GYPSUM WALL BOARD ON EACH SIDE, W/ GLASS FIBER OR MINERAL WOOL BATTS FIRE SAFING FILLED IN STUD CAVITY, OR ASSEMBLIES TO MEET ASTM-E119 OR UL 263 TESTING.

INTERIOR STRUCTURAL BEARING WALL: 

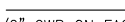
2X4 @ 16" O.C. W/ DOUBLE TOP PLATES & SINGLE BOTTOM PLATE W/ 1 LAYER OF 1/2" GWB ON EACH SIDE. (MAX. CUTTING/NOTCHING=25% OF STUD WIDTH, MAX. BORED HOLE= 40% OF STUD WIDTH)

INTERIOR NON-RATED, NON-STRC. PARTITION: 

2X4 @ 16" O.C. W/ 1 LAYER OF 1/2" GWB ON EACH SIDE. (MAX. CUTTING/NOTCHING=40% OF STUD WIDTH, MAX. BORED HOLE= 60% OF STUD WIDTH)

INTERIOR NON-RATED, INSULATED PARTITION: 

2X4 @ 16" O.C. W/ 1 LAYER OF 1/2" GWB ON EACH SIDE & R21 CLOSED CELL INSULATION IN CAVITY

INTERIOR NON-RATED, NON-STRC. PARTITION: 

2X6 @ 16" O.C. W/ 1 LAYER OF 1/2" GWB ON EACH SIDE. (MAX. CUTTING/NOTCHING=40% OF STUD WIDTH, MAX. BORED HOLE= 60% OF STUD WIDTH)

DEMOLITION NOTES:

- 1 REMOVE EXISTING DOOR & TRIM
- 2 REMOVE EXISTING PARTITION AS INDICATED
- 3 REMOVE EXISTING EXTERIOR WALL FOR NEW WINDOW. SEE PLAN & SCHEDULE FOR MORE INFO, TYP.
- 4 REMOVE EXISTING EXTERIOR WALL FOR OPENING. SEE PLAN.
- 5 REMOVE EXISTING CHIMNEY/ FIREPLACE.
- 6 REMOVE EXISTING KITCHEN PLUMBING WATER/GAS PIPES. CUT & CAP ALL SERVICES TO STUD/ SUB-FLOOR. SEE PROPOSE PLANS FOR MODIFICATION, TYP.
- 7 REMOVE EXISTING BATHROOM PLUMBING FIXTURES. CUT & CAP ALL SERVICES TO BELOW SUB-FLOOR OR BEYOND STUDS, TYP.
- 8 REMOVE EXISTING BATHROOM FLOOR/WALL FINISHES TO STUD/SUB-FLOOR TO RECEIVE NEW FINISHES AS SPECIFIED, TYP.
- 9 REMOVE EXISTING KITCHEN CABINET & APPLIANCES.
- 10 REMOVE EXISTING WINDOW & TRIM, INFILL OPENING W/ MATCHING STUDS WALL FINISH TO MATCH EXISTING ADJACENT, TYP.
- 11 REMOVE FLOOR/ SUBFLOOR TO RECEIVE NEW SISTERED JOISTS.
- 12 REMOVE EXISTING WOOD WALL PANELS.
- 13 REMOVE EXISTING ROOF/ RAFTERS.

PLAN LEGEND

● STRUCTURAL STL POST/ WOOD POST

⊕ PLUMBING DRAIN/ VENT PIPE

⊙ PLUMBING CLEANOUT

⊕ TUB/ SHOWER VALVE

⊕ LAUNDRY HOOKUP

— CORN — CORN PLUMBING DRAIN LINE

— GAS — GAS GAS LINE

HEATING BASEBOARD (H.W. OR ELEC.)

HEATING RADIATOR (H.W. OR STEAM)

C.W. DOMESTIC WATER

S/ACV SUPPLY AIR REGISTER ON WALL

RETURN AIR GRILLE ON WALL

R.C.P. LIGHTING/ ELECTRICAL LEGEND

⊕ SD FIRE SMOKE DETECTOR

⊕ CO CARBON MONOXIDE DETECTOR

⊕ HD FIRE THERMAL HEAT DETECTOR

⊕ R RECESSED LIGHT FIXTURE, 3000K L.E.D.

⊕ S WALL MOUNTED SCONCE LIGHT FIXTURE

⊕ F SURFACE MOUNTED FIXTURE, 3000K L.E.D.

⊕ 2ft SURFACE-MOUNTED LINEAR FIXTURE, 3000K L.E.D.

⊕ P SURFACE MOUNTED PENDANT LIGHT

— UNDER-COUNTER L.E.D. LIGHT STRIP 3000K

— TRACK LIGHT

⊕ KITCHEN DISPOSAL

⊕ FAN CEILING VENTILATION FAN

⊕ FAN CEILING VENTILATION FAN W/ LIGHT

⊕ T THERMOSTAT

⊕ S SECURITY ALARM KEYPAD

⊕ MOTION DETECTOR

⊕ COAX DIGITAL COAXIAL CONNECTION (IN/OUT)

⊕ TEL TEL/FAX CONNECTION

⊕ HDMI HDMI CONNECTION

⊕ ETHN ETHERNET DATA CONNECTION

⊕ AUD AUDIO/SPEAKER CONNECTION

⊕ 120V ELECTRIC OUTLET, 120V

⊕ 240V ELECTRIC OUTLET, 240V

⊕ GFCI ELECTRIC OUTLET, GFCI

⊕ LIGHT SWITCH STANDARD

⊕ LIGHT SWITCH 2-WAY W/ DIMMER

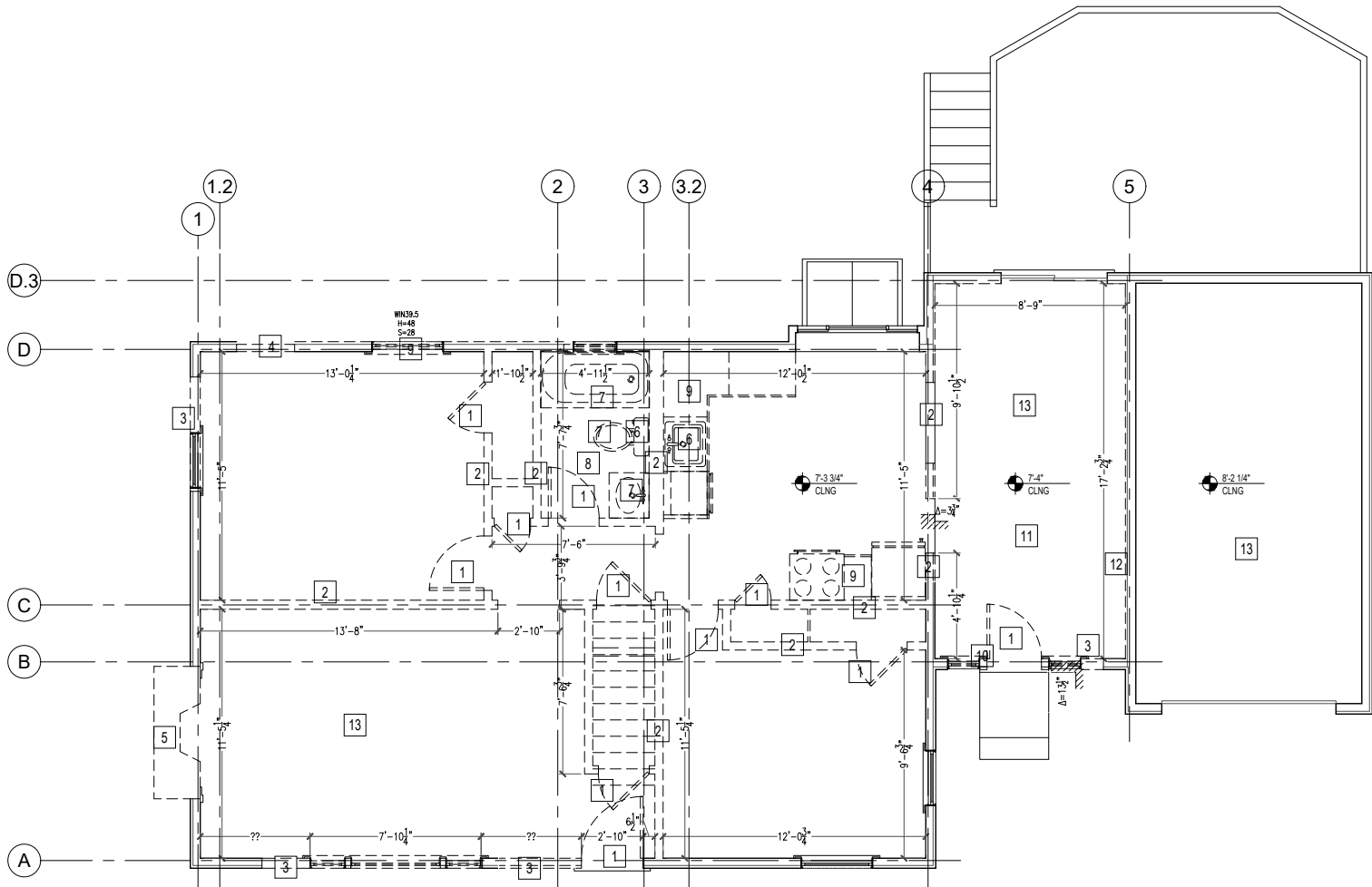
⊕ LIGHT SWITCH 3-WAY

⊕ LIGHT SWITCH 3-WAY W/ DIMMER

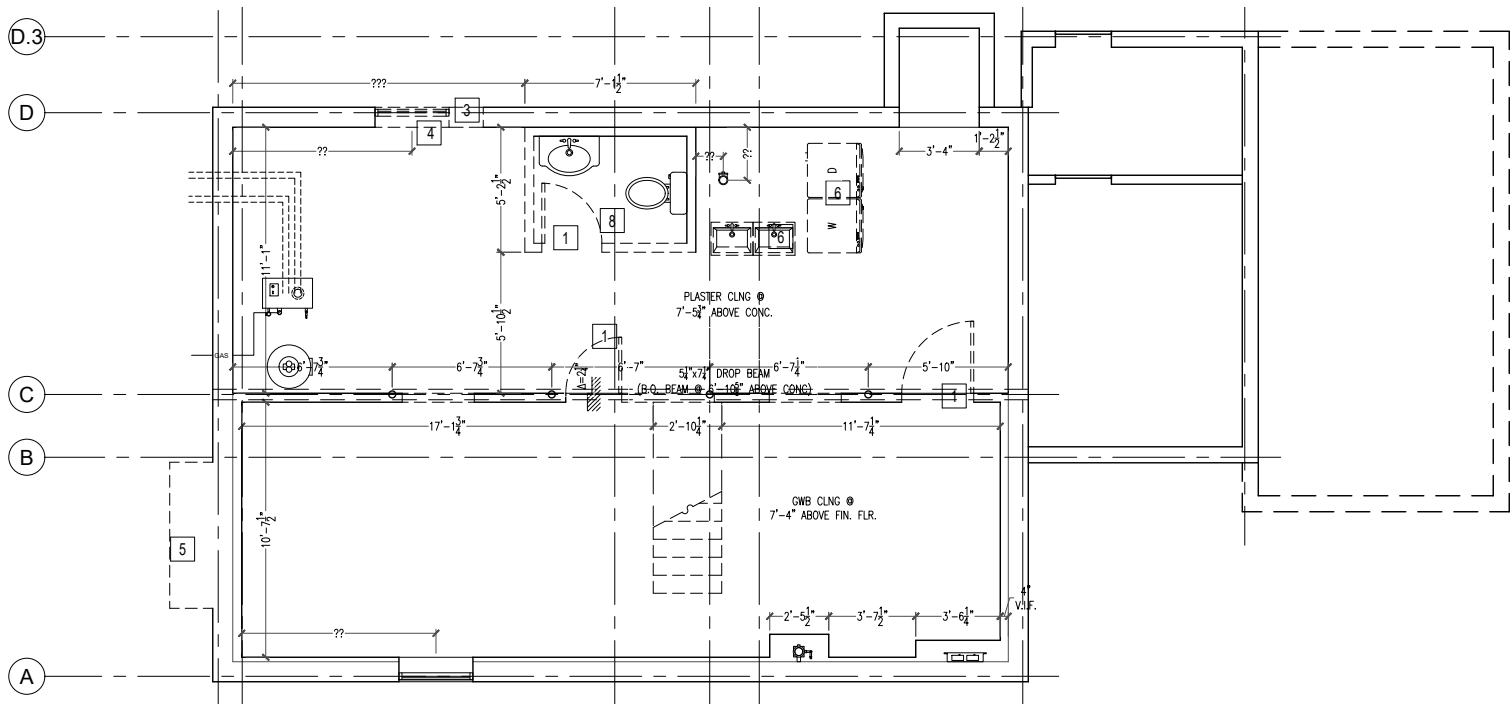
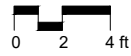
⊕ SUPPLY AIR REGISTER

⊕ RETURN AIR GRILLE

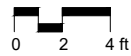
— CROWN MOULDING



2 EXISTING FIRST FLOOR DEMOLITION PLAN
1/4"=1'-0"



1 EXISTING BASEMENT DEMOLITION PLAN
1/4"=1'-0"



ARCHITECT:

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Ph: 617.953.9428 EMAIL: OoDDAr@gmail.com

JIANG RESIDENCE

SINGLE FAMILY ADDITION

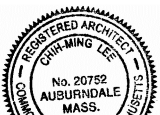
274 Brighton Street

Belmont, Massachusetts 02478

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Date: 1/11/2022 Notes: PERMIT SET



CHI-MING LEE, AIA ARCHITECT

LEGENDS, WALL TYPES & EXISTING/ DEMOLITION PLANS

SCALE: AS NOTED
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



A0.2

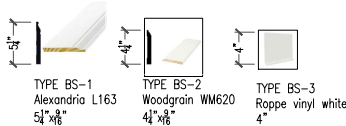
ROOM FINISH SCHEDULE

| ROOM | FLOOR | BASE | | WALL | | CEILING | | MOLDING | | REMARKS |
|-----------------------|---------------|-------|-----------|----------------|--------|---------------------------------------|------------|-------------|------------|-------------------------------|
| | | MAT'L | FINISH | MAT'L | FINISH | HGT. | CLNG.CROWN | DOOR CASING | WDW CASING | |
| B01 EXERCISE | ENG. WOOD | EXST. | EXST. | EXST. | EXST. | 7'-4"(EX) | | | | |
| B02 HALLWAY | ENG. WOOD | BS-3 | VINYL | GWB(MOLD RES.) | | 7'-4"(EX) | | | | |
| B03 MECHANICAL | CONCRETE | N/A | N/A | GWB(MOLD RES.) | | 7'-7"(±) | | | | |
| B04 BATHROOM | TILES TYPE-5F | BS-3 | VINYL | GWB(MOLD RES.) | | 7'-4"(EX) | | | | TILES ON WALL @ 40-42" A.F.F. |
| B05 LAUNDRY | TILES TYPE-5F | BS-3 | VINYL | GWB(MOLD RES.) | | 7'-4" | | | | |
| B06 STORAGE | CONCRETE | N/A | N/A | CONC. | N/A | 7'-8 ¹ / ₂ "(±) | | | | |
| 101 LIVING | HARDWOOD | BS-1 | PTD. WHT. | GWB | CLR-1 | 8'-0" | | | | |
| 102 COAT | HARDWOOD | BS-2 | PTD. WHT. | GWB | WHT. | 8'-2" | | | | |
| 103 DINING | HARDWOOD | BS-1 | PTD. WHT. | GWB | CLR-1 | 8'-2" | | | | |
| 104 KITCHEN | HARDWOOD | BS-1 | PTD. WHT. | GWB | CLR-1 | 8'-2" | | | | |
| 105 BREAKFAST | HARDWOOD | BS-1 | PTD. WHT. | GWB | CLR-1 | 8'-2" | | | | |
| 106A CLOSET | HARDWOOD | BS-2 | PTD. WHT. | GWB | WHT. | 8'-2" | | | | |
| 106B CLOSET | HARDWOOD | BS-2 | PTD. WHT. | GWB | WHT. | 8'-2" | | | | |
| 107 POWDER | TILES TYPE-1F | N/A | | GWB/TILES-W | CLR- | 8'-2" | | | | TILES ON WALL @ 40-42" A.F.F. |
| 108 PANTRY | HARDWOOD | BS-2 | PTD. WHT. | GWB | WHT. | 8'-2" | | | | |
| 109 FAMILY | HARDWOOD | BS-1 | PTD. WHT. | GWB | CLR- | 8'-2" | | | | |
| 110 BATHROOM | TILES TYPE-2F | N/A | | GWB/TILES-2W | CLR- | 8'-2" | | | | TILES ON WALL @ 40-42" A.F.F. |
| 201 HALLWAY | HARDWOOD | BS-1 | PTD. WHT. | GWB | CLR- | 8'-1 3/4" | | | | |
| 202 OFFICE | HARDWOOD | BS-1 | PTD. WHT. | GWB | CLR- | 8'-1 3/4" | | | | |
| 203 BEDROOM #1 | HARDWOOD | BS-1 | PTD. WHT. | GWB | CLR- | 8'-1 3/4" | | | | |
| 203A CLOSET | HARDWOOD | BS-2 | PTD. WHT. | GWB | CLR- | 8'-1 3/4" | | | | |
| 204 BEDROOM #2 | HARDWOOD | BS-1 | PTD. WHT. | GWB | CLR- | 8'-1 3/4" | | | | |
| 204A CLOSET | HARDWOOD | BS-2 | PTD. WHT. | GWB | CLR- | 8'-1 3/4" | | | | |
| 205 BATHROOM | TILES TYPE-3F | N/A | | GWB/TILES-3W | CLR- | 8'-1 3/4" | | | | TILES ON WALL @ 40-42" A.F.F. |
| 206 BEDROOM #3 MASTER | HARDWOOD | BS-1 | PTD. WHT. | GWB | CLR- | 8'-1 3/4" | | | | |
| 207 MASTER BATHROOM | TILES TYPE-4F | BS-2 | PTD. WHT. | GWB/TILES-4W | CLR- | 8'-1 3/4" | | | | TILES ON WALL @ 40-42" A.F.F. |
| 208 WALK-IN CLOSET | HARDWOOD | N/A | | GWB | CLR- | 8'-1 3/4" | | | | |
| 209 SITTING | HARDWOOD | BS-1 | PTD. WHT. | GWB | CLR- | 8'-1 3/4" | | | | |

DOOR SCHEDULE

| DOOR No. | WIDTH x HGT. | TYPE | DOOR SLAB | FINISH | HINGE | HANDLE | LOCKSET | WALL THK. | OTHER | REMARKS |
|----------|--------------|-------------|--------------------|------------|-------|-------------|------------|-----------|--------------------|--------------------------------|
| X01 | 72"x80" | ST-SWING/ST | BY OWNER | TBD | BRASS | SAT. NICKEL | KEYED KNOB | 4-1/2" | | |
| X02 | 32"x80" | IN-SWING | BY OWNER | TBD | BRASS | SAT. NICKEL | KEYED KNOB | 4-1/2" | | |
| X03 | 32"x80" | IN-SWING | BY OWNER | TBD | BRASS | SAT. NICKEL | KEYED KNOB | 6-1/2" | | |
| X04 | 96"Wx84"H | SECTIONAL | INSUL. STL. | PTD. WHT. | | | | | GARAGE DOOR REMOTE | REPLACE EXST GARAGE DOOR/TRACK |
| B03 | 36"x80" | IN-SWING | VINYL RAISED PANEL | VINYL WHT. | BRASS | SAT. NICKEL | PASSAGE | 4-1/2" | | |
| B04 | 30"x80" | IN-SWING | VINYL RAISED PANEL | VINYL WHT. | BRASS | SAT. NICKEL | PRIVACY | 4-1/2" | | |
| B05 | 36"x80" | IN-SWING | VINYL RAISED PANEL | VINYL WHT. | BRASS | SAT. NICKEL | PASSAGE | 4-1/2" | | |
| 102 | 32"x80" | OUT-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PASSAGE | 4-1/2" | | |
| 104 | 32"x80" | OUT-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PASSAGE | 4-1/2" | | |
| 106A | (2)2x18"x80" | BI-FOLD | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PULL | 4-1/2" | | |
| 106B | 24"x80" | OUT-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PASSAGE | 4-1/2" | | |
| 107 | 28"x80" | OUT-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PASSAGE | 4-1/2" | | |
| 108 | 28"x80" | OUT-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PASSAGE | 4-1/2" | | |
| 109 | 32"x80" | IN-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PRIVACY | 4-1/2" | | |
| 110 | 32"x80" | IN-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PRIVACY | 4-1/2" | | |
| 202 | 32"x80" | IN-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PRIVACY | 4-1/2" | | |
| 203 | 32"x80" | IN-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PRIVACY | 4-1/2" | | |
| 203A | (2)2x18"x80" | BI-FOLD | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PULL | 4-1/2" | | |
| 204 | 32"x80" | IN-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PRIVACY | 4-1/2" | | |
| 204A | (2)2x18"x80" | BI-FOLD | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PULL | 4-1/2" | | |
| 205 | 30"x80" | IN-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PRIVACY | 4-1/2" | | |
| 206 | 32"x80" | IN-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PRIVACY | 4-1/2" | | |
| 207 | 30"x80" | IN-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PRIVACY | 4-1/2" | | |
| 208 | 30"x80" | IN-SWING | WD. RAISED PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PASSAGE | 4-1/2" | | |
| 209 | (2)30"x80" | OUT-SWING | WD. W/ GLASS PANEL | PTD. WHT. | BRASS | SAT. NICKEL | PASSAGE | 4-1/2" | | |

BASE TYPES:



WINDOW SCHEDULE

WINDOW INSTALLATION NOTES:

- CONTRACTOR TO CHECK W/ MFR. FOR ALL ROUGH OPENINGS, TYP.
- ALL WINDOWS SHALL MEET STATE ENERGY CONSERVATION STRETCH CODE REQUIREMENTS TO HAVE U VALUE .30 OR LOWER
- (*) WINDOWS IN ALL BEDROOMS & SLEEPING QUARTERS SHALL MEET REQUIREMENTS FOR EMERGENCY ESCAPE:
WINDOW SILL NO HIGHER THAN 44" A.F.F., &
MINIMUM CLEAR OPN'G: 3.3 S.F. (DOUBLE-HUNG ONLY), MIN. CLEAR OPN'G 20"x24" IN EITHER DIRECTION
MINIMUM CLEAR OPN'G: 5.7 S.F. (CASEMENT & OTHERS), MIN. WIDTH: 20", MIN. HGT.: 24"
- WINDOW FINISH SILL HEIGHT @ 2ND FLR & ATTIC SHALL NOT BE LOWER THAN 24" A.F.F
- (t) ALL WINDOWS WITH SILL LOWER THAN 18" A.F.F. OR ON STAIRS WALLS OR IN BATHROOMS SHALL BE TEMPERED GLASS.
- CONTRACTOR TO VERIFY EXISTING WINDOW DIMENSIONS, STYLE, MULLION PATTERNS & OTHER DETAILS FOR NEW WINDOWS TO MATCH

| TYPE | ROUGH OPN'G | FIN. SILL | MATERIAL | STYLE | JAMB | EXT.FIN. | INT.FIN. | HARDWARE | GRIDS | REMARKS |
|--------|---|-----------|--------------|------------|----------------------------------|----------|----------|----------|-------|--------------------------------------|
| W1 | 98 ³ / ₄ "Wx57 ¹ / ₂ "H | 28" | A.F.F. VINYL | 3WIDE D.H. | 4 ⁹ / ₁₆ " | ALUM. | VINYL | WHT | N/A | HARVEY 20-4046-20 OR EQ. |
| W2 | 42"Wx57 ¹ / ₂ "H | 28" | A.F.F. VINYL | DBL HUNG | 6 ⁹ / ₁₆ " | VINYL | VINYL | WHT | 2X1/0 | HARVEY CLASSIC 3446 OR EQ. |
| W2A | 42"Wx57 ¹ / ₂ "H | 28" | A.F.F. VINYL | DBL HUNG | 4 ⁹ / ₁₆ " | VINYL | VINYL | WHT | 2X1/0 | HARVEY CLASSIC 3446 OR EQ. |
| W3 | 42"Wx61 ¹ / ₂ "H | 28" | A.F.F. VINYL | DBL HUNG | 6 ⁹ / ₁₆ " | VINYL | VINYL | WHT | 2X1/0 | HARVEY CLASSIC 34410 OR EQ. |
| W4 | 30"Wx57 ¹ / ₂ "H | 28" | A.F.F. VINYL | DBL HUNG | 4 ⁹ / ₁₆ " | VINYL | VINYL | WHT | 2X1/0 | HARVEY CLASSIC 2446 OR EQ. |
| W5 | 30"Wx61 ¹ / ₂ "H | 28" | A.F.F. VINYL | DBL HUNG | 6 ⁹ / ₁₆ " | VINYL | VINYL | WHT | 2X1/0 | HARVEY CLASSIC 24410 OR EQ. |
| W6(t) | 26"Wx53 ¹ / ₂ "H | 32" | A.F.F. VINYL | DBL HUNG | 6 ⁹ / ₁₆ " | VINYL | VINYL | WHT | 2X1/0 | HARVEY CLASSIC 2042 OR EQ. |
| W7(t) | 26"Wx57 ¹ / ₂ "H | 32" | A.F.F. VINYL | DBL HUNG | 6 ⁹ / ₁₆ " | VINYL | VINYL | WHT | 2X1/0 | HARVEY CLASSIC 2046 OR EQ. |
| W8 | 96"Wx55 ¹ / ₂ "H | 28" | A.F.F. VINYL | D.H. BAY | 6 ⁹ / ₁₆ " | VINYL | VINYL | WHT | N/A | HARVEY DBL HUNG BAY |
| W9 | 42"Wx37 ¹ / ₂ "H | ___ | A.F.F. VINYL | DBL HUNG | 6 ⁹ / ₁₆ " | VINYL | VINYL | WHT | N/A | HARVEY CLASSIC 34210 |
| W10 | 22"Wx16"H | ___ | A.F.F. VINYL | AWNING | 4 ⁹ / ₁₆ " | ALUM. | VINYL | WHT | N/A | HARVEY AWNING |
| W11(t) | 30"Wx37 ¹ / ₂ "H | ___ | A.F.F. VINYL | DBL HUNG | 6 ⁹ / ₁₆ " | VINYL | VINYL | WHT | N/A | HARVEY CLASSIC 24210, TEMPERED GLASS |

SCHEDULE (PRELIMINARY/ TO BE CONFIRMED BY OWNER)

| TYPE (QTY.) | ROOM | DESCRIPTION | DIMENSION | SPECIFICATIONS | MODEL NO. | REMARKS |
|--------------|-------------|----------------------------------|---------------|---|------------------------|-------------------------------|
| P-WC1 (X1) | 107 | TOILET BOWL/TANK | 28.8"Lx17.7"H | 2 PCS, 1.25GPF, ELONGATED, COMFORT HEIGHT | KOHLER CIMARRON | BY OWNER (ALLOWANCE) |
| P-WC2 (X1) | 110 | TOILET BOWL/TANK | | | | BY OWNER (ALLOWANCE) |
| P-WC3 (X1) | 205 | TOILET BOWL/TANK | | | | BY OWNER (ALLOWANCE) |
| P-WC4 (X1) | 207 | TOILET BOWL/TANK | | | | BY OWNER (ALLOWANCE) |
| P-FC1 (X1) | 107 | VANITY FAUCET | | | | BY OWNER (ALLOWANCE) |
| P-FC2 (X1) | 110 | VANITY FAUCET | | | | BY OWNER (ALLOWANCE) |
| P-FC3 (X2) | 205 | VANITY FAUCET | | | | BY OWNER (ALLOWANCE) |
| P-FC4 (X2) | 207 | M.BA. VANITY FAUCET | | | | BY OWNER (ALLOWANCE) |
| P-FC5 (X1) | 104 | KITCHEN FAUCET | | | | BY OWNER (ALLOWANCE) |
| P-SK1 (X1) | 107 | VANITY SINK | | | | BY OWNER (ALLOWANCE) |
| P-SK2 (X1) | 110 | VANITY SINK | | | | BY OWNER (ALLOWANCE) |
| P-SK3 (X2) | 205 | VANITY SINK | | | | BY OWNER (ALLOWANCE) |
| P-SK4 (X2) | 207 | M.BA. VANITY SINK | | | | BY OWNER (ALLOWANCE) |
| P-SK5 (X1) | 104 | KITCHEN SINK | | | | BY OWNER (ALLOWANCE) |
| P-TB1 (X1) | 205 | DROP-IN TUB | | | | BY OWNER (ALLOWANCE) |
| P-TB2 (X1) | 207 | M.BA. TUB | | | | BY OWNER (ALLOWANCE) |
| P-VL1 (X1) | 110 | SHOWER VALVE | | | | BY OWNER (ALLOWANCE) |
| P-VL2 (X1) | 205 | TUB/SHOWER VALVE | | | | BY OWNER (ALLOWANCE) |
| P-VL3 (X1) | 207 | M.BA. TUB VALVE/FAUCET | | | | BY OWNER (ALLOWANCE) |
| P-VL4 (X1) | 207 | M.BA. SHOWER VALVE | | | | BY OWNER (ALLOWANCE) |
| P-VL5 (X1) | B04 | SHOWER VALVE | | | | BY OWNER (ALLOWANCE) |
| VN-1 (X1) | 107 | VANITY, WOOD | 37"x22"xH | | | BY OWNER (ALLOWANCE) |
| VN-2 (X1) | 110 | VANITY, WOOD | 37"x22"xH | | | BY OWNER (ALLOWANCE) |
| VN-3 (X1) | 205 | VANITY, WOOD | 61"x22"xH | | | BY OWNER (ALLOWANCE) |
| VN-4 (X1) | 207 | M.BA. VANITY, WOOD | 61"x22"xH | | | BY OWNER (ALLOWANCE) |
| DISPOSAL | 103 | KITCHEN SINK DISPOSAL | | 1HP, S.STL. | InSinkErator EVOLUTION | BY G.C. |
| R1 (X_) | | 5" RECESSED LIGHT L.E.D. | | 3000K, WHITE TRIM | | ELECTRICAL |
| R2 (X_) | | 5" RECESSED LIGHT (WATERPROOF'D) | | 3000K, WHITE TRIM | | ELECTRICAL |
| P1 | 103 | DINING ROOM PENDANT | | | | BY OWNER (ALLOWANCE) |
| P2 | 104 | ABOVE-SINK PENDANT | | | | BY OWNER (ALLOWANCE) |
| L-TRK | 104 | ABOVE-ISLAND TRACK LIGHT | 60"L | | | PENDANTS BY OWNER (ALLOWANCE) |
| UTIL. L.E.D. | VARIES | SURFACE MTD. LINEAR L.E.D. | 24" OR 36" | | | ELECTRICAL |
| S1 (X1) | 107 | POWDER ROOM VANITY SCONCE | | | | BY OWNER (ALLOWANCE) |
| S2 (X1) | 110 | GUEST ROOM VANITY SCONCE | | | | BY OWNER (ALLOWANCE) |
| S3 (X2) | 205 | BATHROOM VANITY SCONCES | | | | BY OWNER (ALLOWANCE) |
| S4 (X2) | 207 | M.BA. VANITY SCONCES | | | | BY OWNER (ALLOWANCE) |
| S5 (X3) | | FRONT DOORS SCONCES | | | | BY OWNER (ALLOWANCE) |
| S6 (X2) | | REAR PATIO SCONCES | | | | BY OWNER (ALLOWANCE) |
| TILE-1F & 1W | 107 | POWDER ROOM FLR/WALL TILES | | | | BY OWNER (ALLOWANCE) |
| TILE-2F & 2W | 110 | GUEST ROOM FLR/WALL TILES | | | | BY OWNER (ALLOWANCE) |
| TILE-3F & 3W | 205 | BATHROOM FLR/WALL TILES | | | | BY OWNER (ALLOWANCE) |
| TILE-4F & 4W | 207 | M.BA. FLR/WALL TILES | | | | BY OWNER (ALLOWANCE) |
| TILE-5F & 5W | B04, B05 | BATHROOM, LAUNDRY FLR/WALL | | | | BY OWNER (ALLOWANCE) |
| MC1 (x1) | 107 | RECESSED MEDICINE CABINET | | | | BY OWNER (ALLOWANCE) |
| MC2 (x1) | 110 | SURF. MTD. MEDICINE CABINET | | | | BY OWNER (ALLOWANCE) |
| MC3 (x2) | 205 | SURF. MTD. MEDICINE CABINET | | | | BY OWNER (ALLOWANCE) |
| MC4 (x2) | 207 | SURF. MTD. MEDICINE CABINET | | | | BY OWNER (ALLOWANCE) |
| BS-1 | | WALL BASE | 5-1/2"x9/16" | ALEXANDRIA L163 | | BY G.C. |
| BS-2 | | WALL BASE | 4-1/4"x9/16" | WOODGRAIN WM620 | | BY G.C. |
| BS-3 | | BSMT WALL BASE | 4" | ROPPE | | BY G.C. |
| MLD-1 | 101,103,104 | CROWN MOLDING | | | | BY G.C. |
| MLD-2 | 104 | CROWN MOLDING | | TO MATCH KITCHEN CABINET | | BY G.C. |
| ATTIC LADDER | 201 | | | LOUISVILLE, 8-10FT, 350LB | | BY G.C. |

PERMIT SET

ARCHITECT:

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Ph: 617.953.9428 EMAIL: OoDDAr@gmail.com

JIANG RESIDENCE

SINGLE FAMILY ADDITION

274 Brighton Street

Belmont, Massachusetts 02478

DRAWING GENERAL NOTES:

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| Date | Notes |
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Chi-Hing Lee

CHI-HING LEE, AIA

ARCHITECT

SCHEDULES

SCALE: NO SCALE
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



A0.3

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ARCHITECT:

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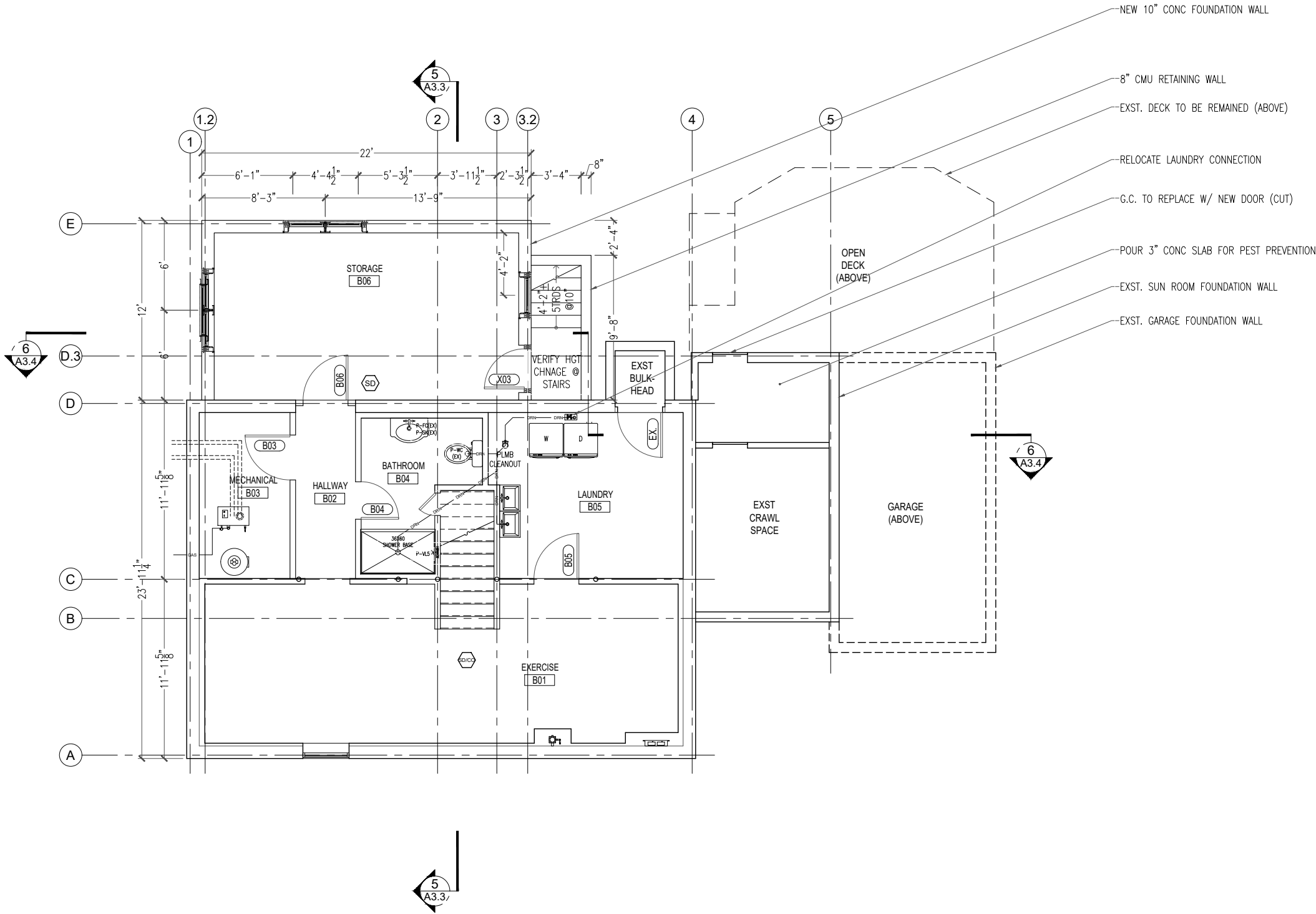
Chi-Hing Lee
CHI-H-MING LEE, AIA ARCHITECT

PROPOSED BASEMENT PLAN

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



A1.1



1 PROPOSED BASEMNET PLAN
1/4"=1'-0"

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| Date | Notes |
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| 1/11/2022 | PERMIT SET |
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Chi-Ming Lee

CHI-MING LEE, AIA

ARCHITECT

PROPOSED FIRST FLOOR

PLAN

SCALE: 1/4"=1'-0"

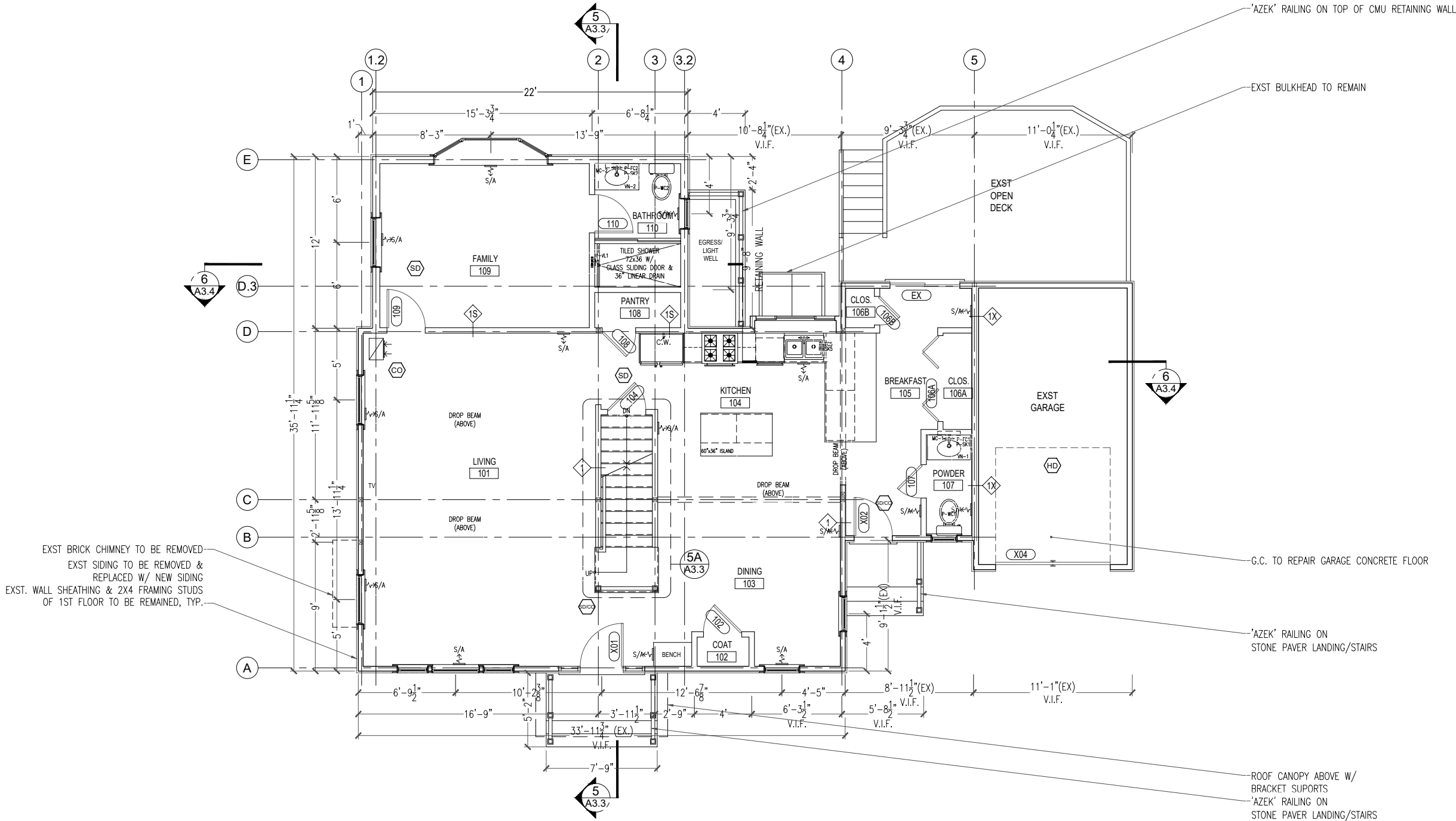
DATE: JANUARY 11, 2022

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A1.2



EXST BRICK CHIMNEY TO BE REMOVED
EXST SIDING TO BE REMOVED &
REPLACED W/ NEW SIDING
EXST. WALL SHEATHING & 2X4 FRAMING STUDS
OF 1ST FLOOR TO BE REMAINED, TYP.

G.C. TO REPAIR GARAGE CONCRETE FLOOR

'AZEK' RAILING ON
STONE PAVER LANDING/STAIRS

ROOF CANOPY ABOVE W/
BRACKET SUPPORTS
'AZEK' RAILING ON
STONE PAVER LANDING/STAIRS

2 PROPOSED FIRST FLOOR PLAN

1/4"=1'-0"



PERMIT SET

ARCHITECT:

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Chih-Ming Lee

CHIH-MING LEE, AIA

ARCHITECT

PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

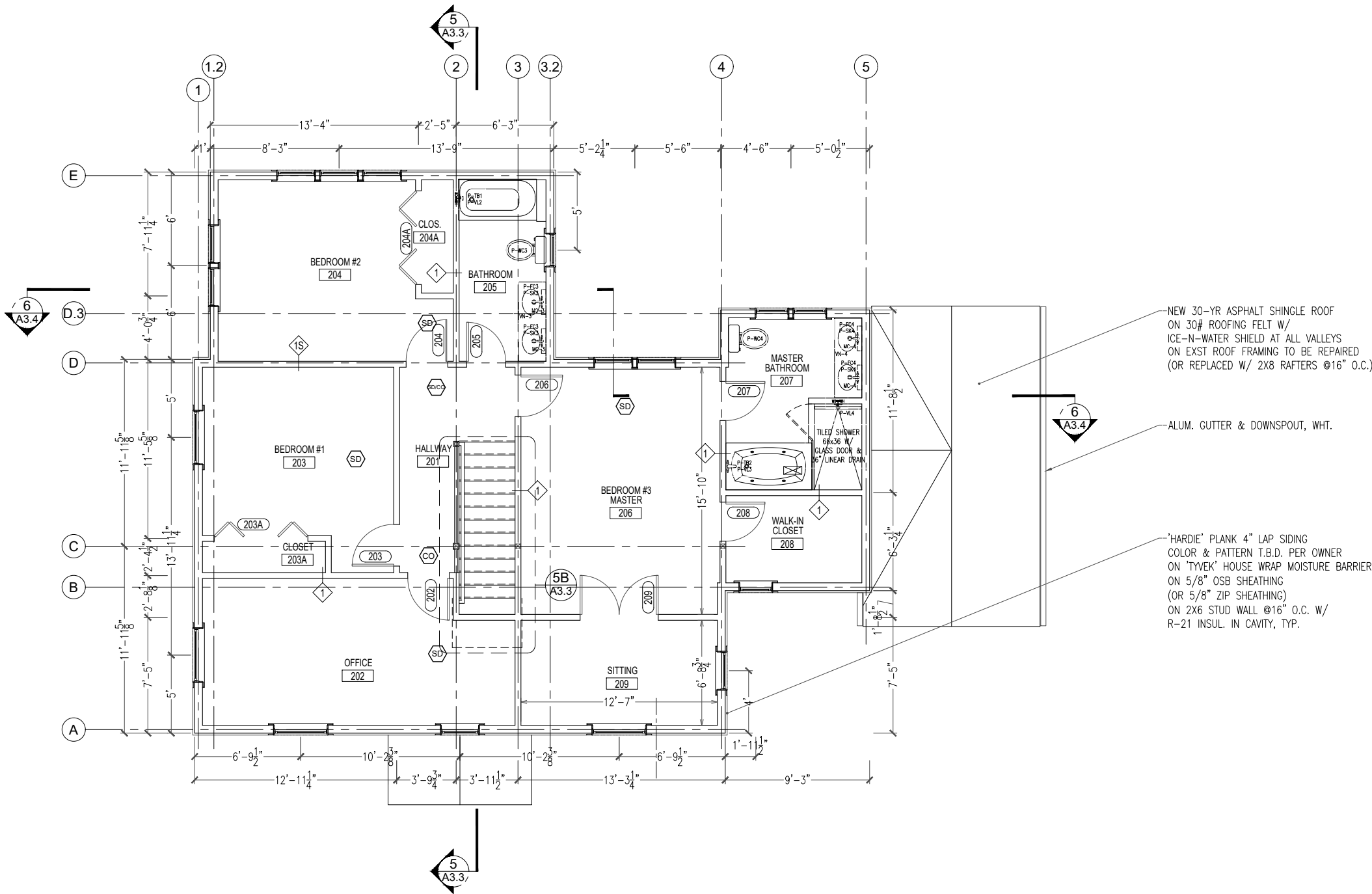
DATE: JANUARY 11, 2022

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A1.3



3 PROPOSED SECOND FLOOR PLAN
1/4"=1'-0"



ARCHITECT:

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| Date | Notes |
|-----------|------------|
| 1/11/2022 | PERMIT SET |



Chi-Ming Lee

CHIH-MING LEE, AIA

ARCHITECT

PROPOSED ATTIC PLAN

SCALE: 1/4"=1'-0"

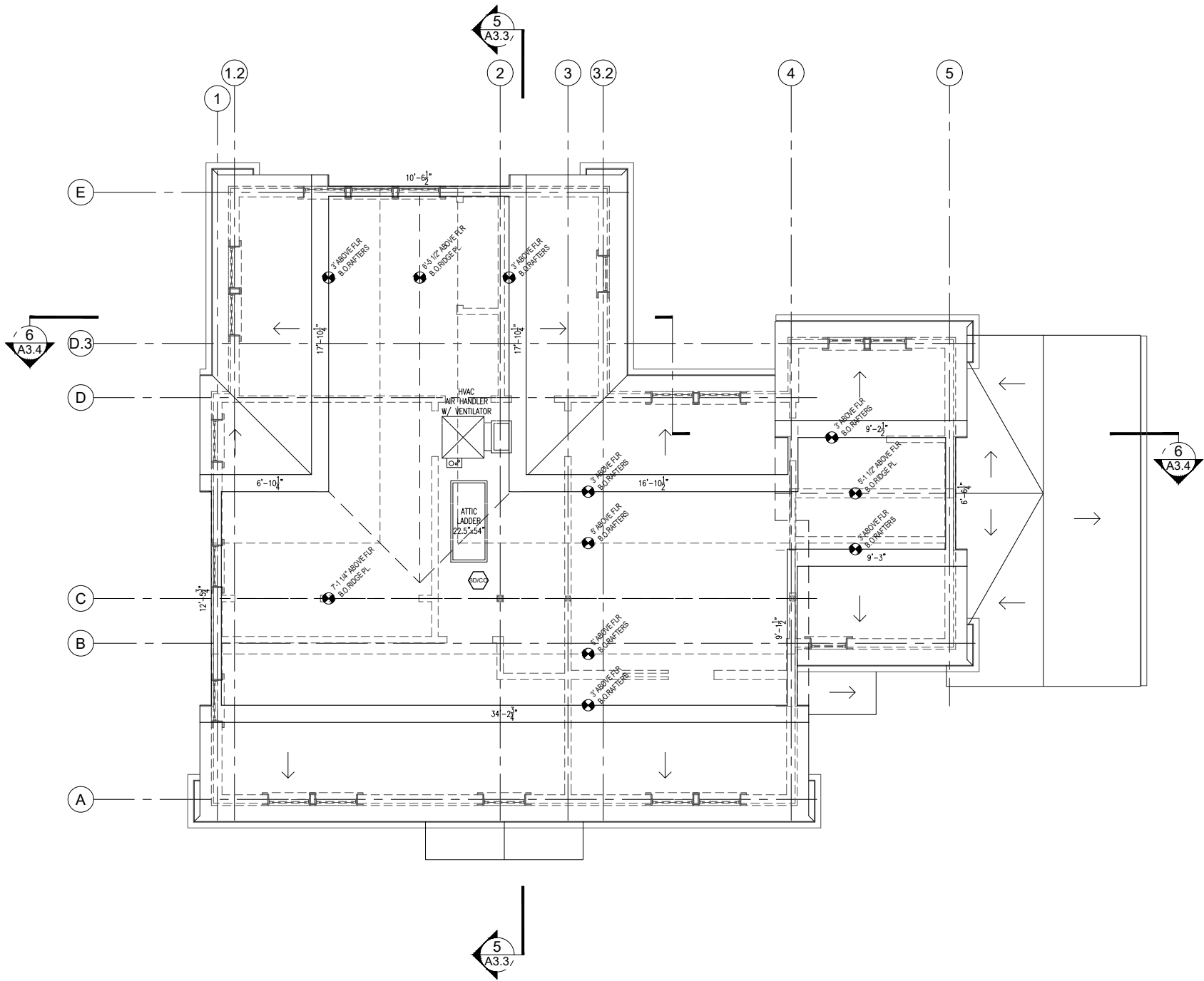
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CHECKED BY: CL



A1.4



PROPOSED ATTIC PLAN

1/4"=1'-0"



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Chi-Ming Lee

CHIH-MING LEE, AIA

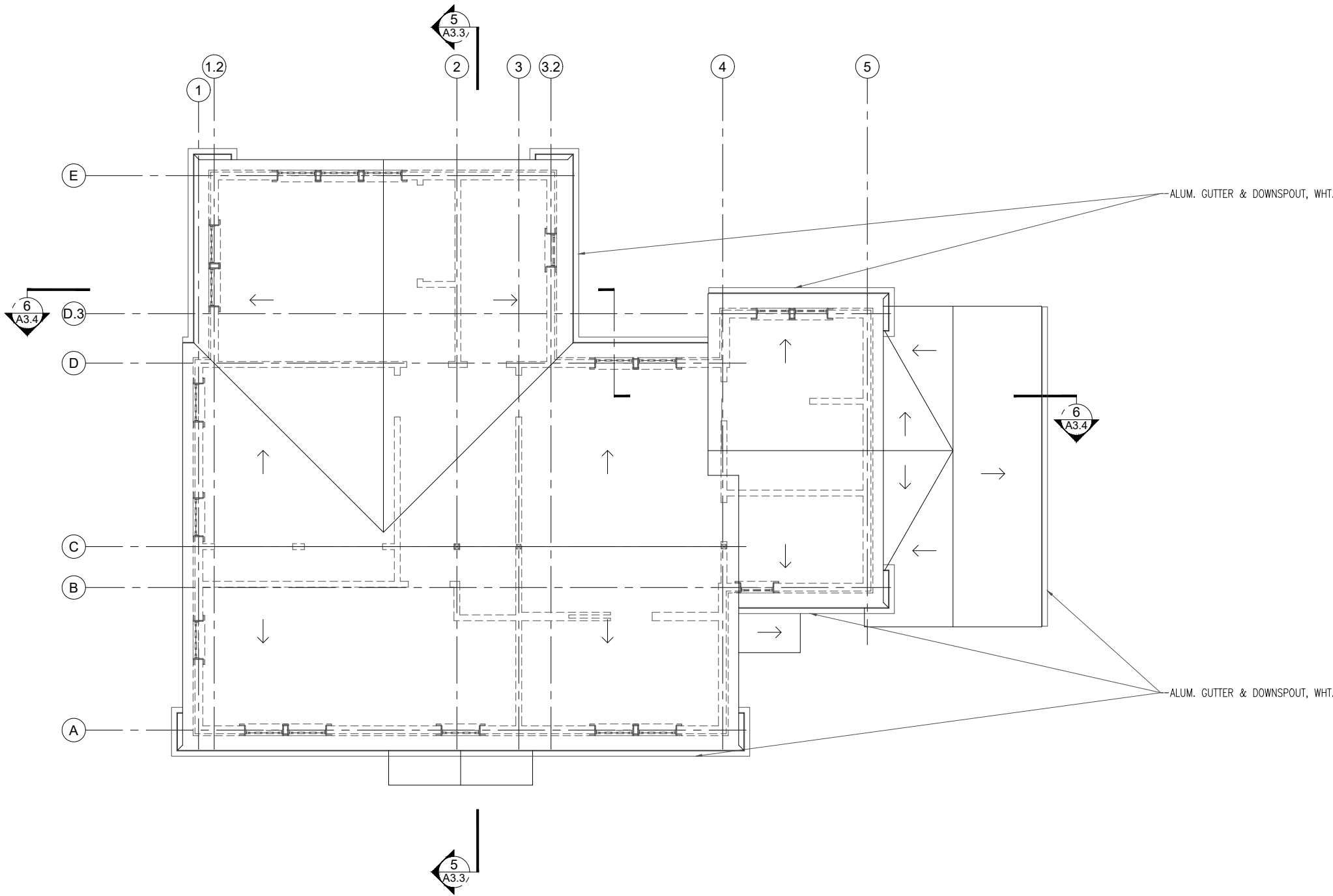
ARCHITECT

PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



A1.5



PERMIT SET

ARCHITECT:

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| Date | Notes |
|-----------|------------|
| 1/11/2022 | PERMIT SET |
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Chi-Ming Lee

CHIH-MING LEE, AIA

ARCHITECT

BASEMENT REFLECTED

CEILING PLAN

SCALE: 1/4"=1'-0"

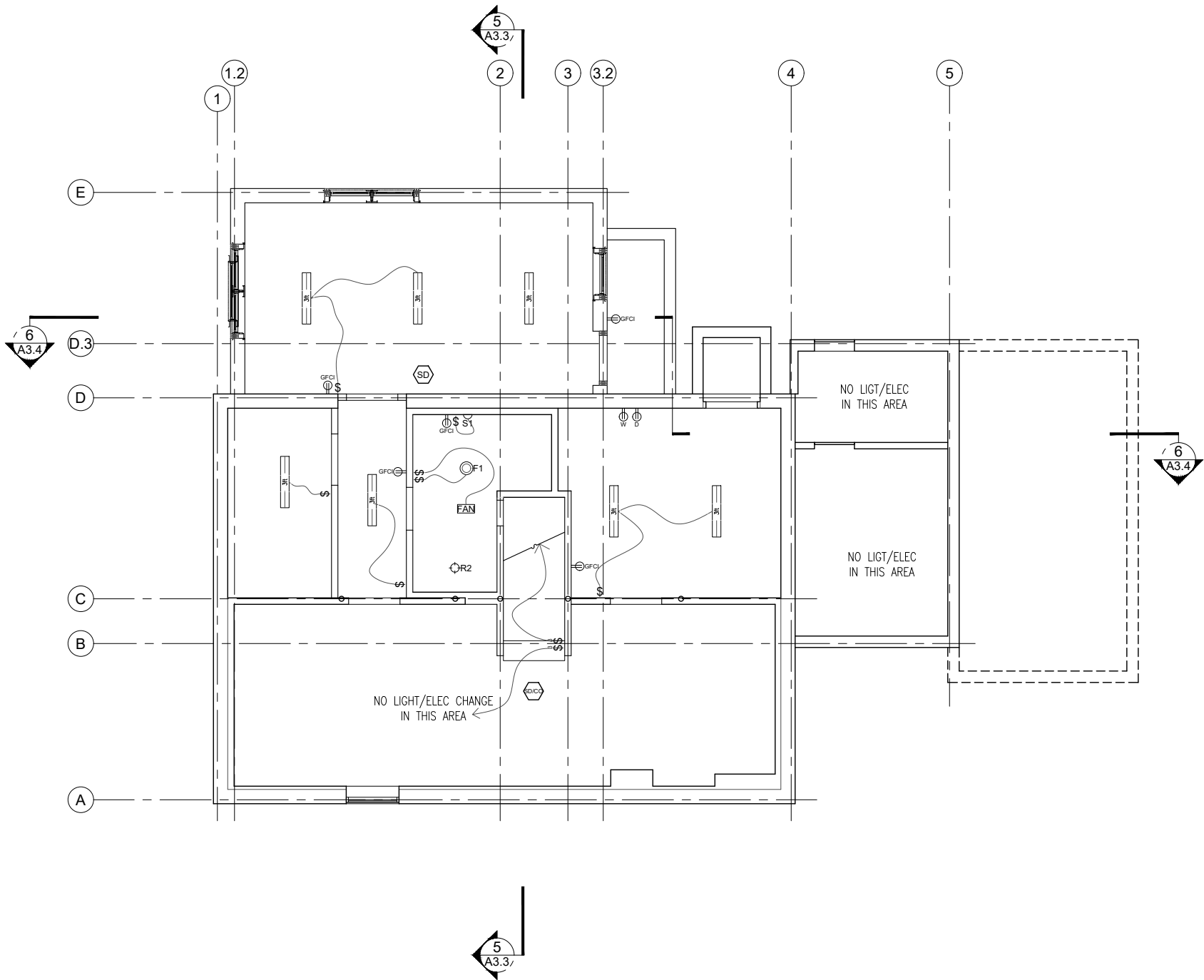
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A2.1



BASEMENT REFLECTED CEILING PLAN

1/4"=1'-0"

PERMIT SET

ARCHITECT:

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| Date | Notes |
|-----------|------------|
| 1/11/2022 | PERMIT SET |



Chih-Ming Lee

CHIH-MING LEE, AIA

ARCHITECT

FIRST FLOOR REFLECTED

CEILING PLAN

SCALE: 1/4"=1'-0"

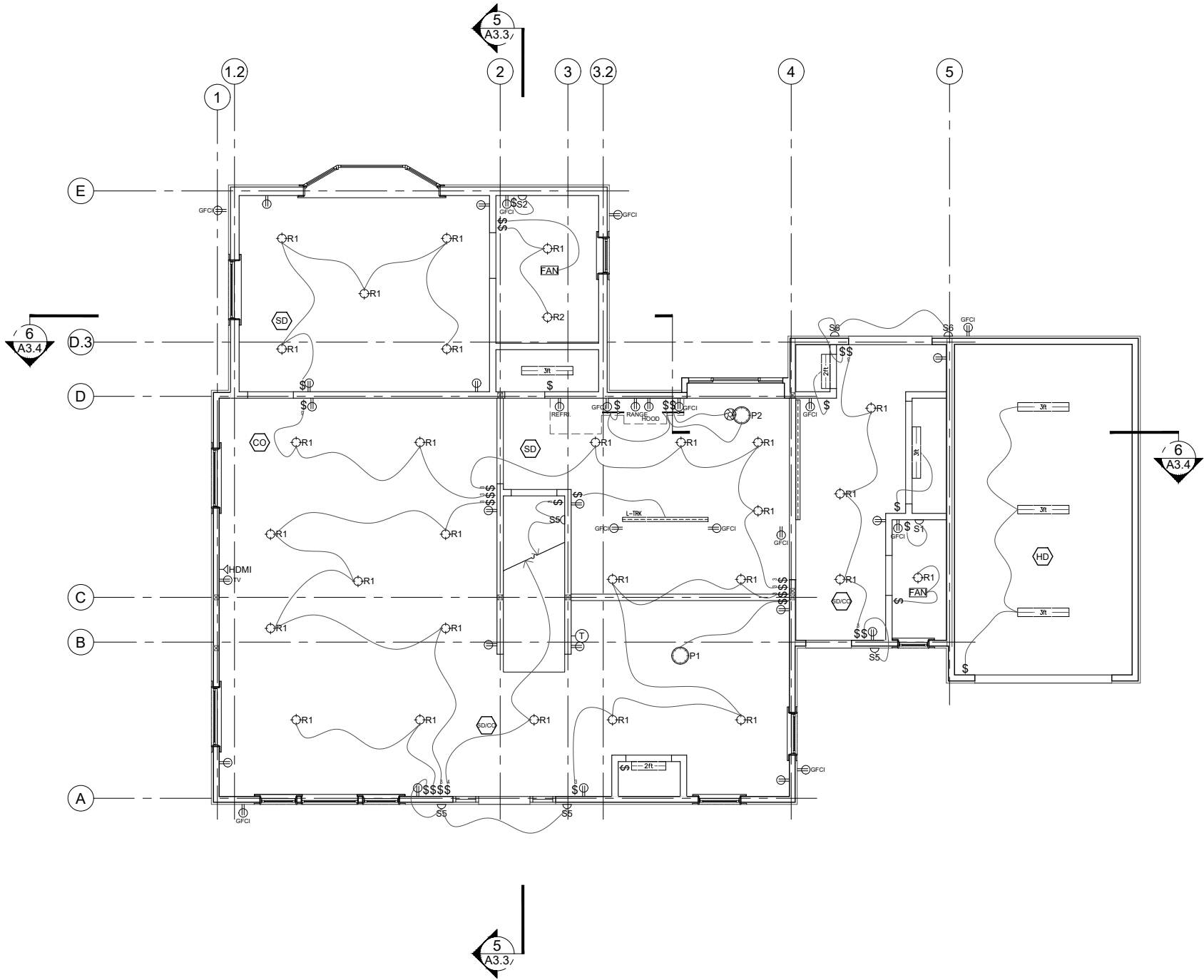
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CHECKED BY: CL



A2.2



FIRST FLOOR REFLECTED CEILING PLAN

1/4"=1'-0"

PERMIT SET

ARCHITECT:

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PH: 617.953.9428 EMAIL: OoDDAr@gmail.com

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Belmont, Massachusetts 02478

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| 1/11/2022 | PERMIT SET |



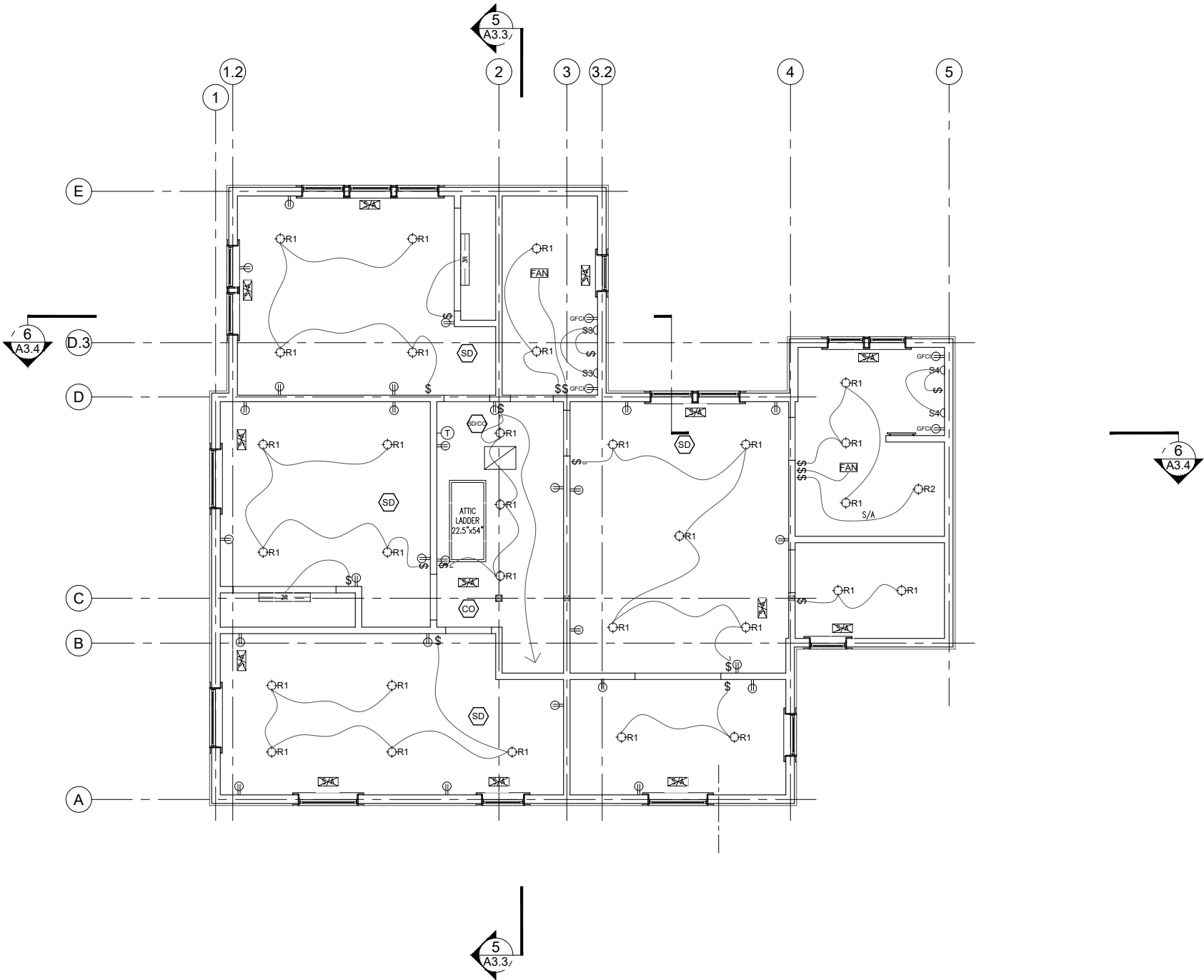
Chih-Ming Lee
CHIH-MING LEE, AIA ARCHITECT

SECOND FLOOR REFLECTED
CEILING PLAN

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



A2.3



3 SECOND FLOOR REFLECTED CEILING PLAN

1/4"=1'-0"

PERMIT SET

ARCHITECT:

OoDD Architects Limited Liability Company

P. O. Box 66001 Newton, Massachusetts 02466
PH: 617.953.9428 EMAIL: OoDDAr@gmail.com

JIANG RESIDENCE

SINGLE FAMILY ADDITION

274 Brighton Street

Belmont, Massachusetts 02478

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CHI-MING LEE, AIA ARCHITECT

PROPOSED BUILDING

ELEVATIONS

SCALE: 1/4"=1'-0"

DATE: JANUARY 11, 2022

DRAWN BY: STAFF, CL

CHECKED BY: CL



A3.1

59.41'
PROP. RIDGE

55.05'
PROP. BLDG HGT
(MID-PT ROOF)

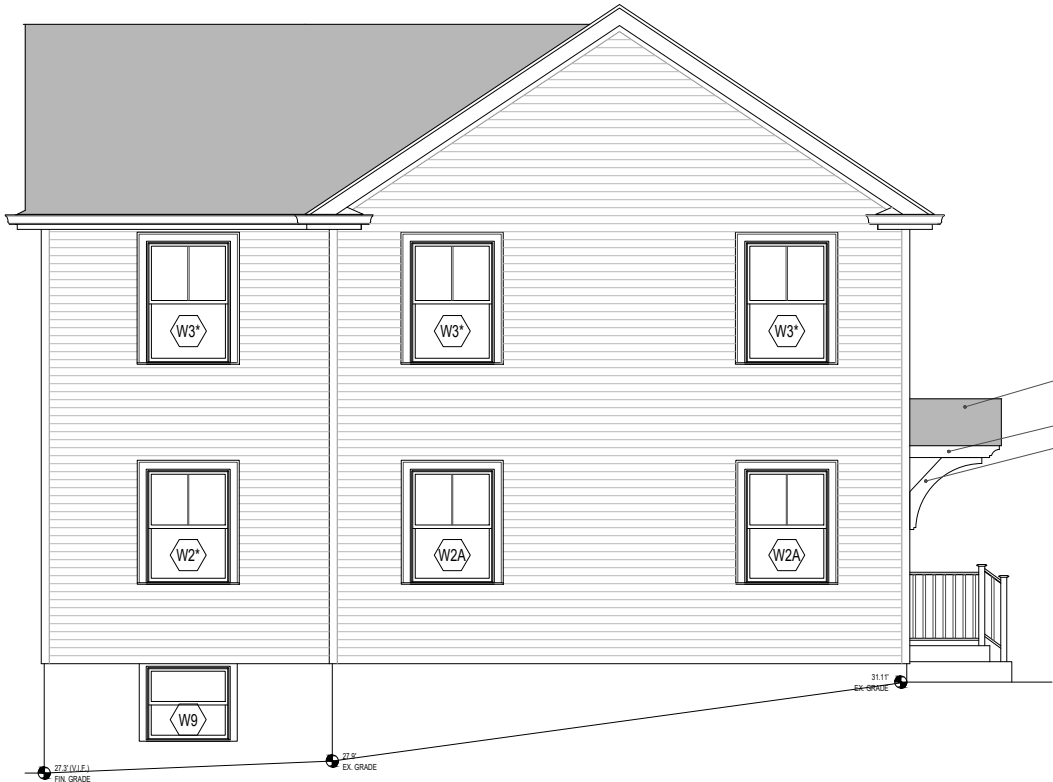
50.68'
PROP. EAVES

42.27'
2ND FIN FLR

33.1'
1ST FIN FLR

29.7'
AVG GRADE PLANE

24.75'
BSMT CONC FLR



2 PROPOSED SOUTH ELEVATION
1/4"=1'-0"

30-YR ARCH ASPHALT SHINGLE ROOF ON
30# ROOFING FELT W/
ICE-N-WATER SHIELD 5' FROM EAVES & ALL VALEYS
ON 5/8" ROOF SHEATHING, TYP.

ALUM GUTTER & DOWNSPOUT WHT.
& RETURN AT CORNERS, TYP.

VINYL SIDING
COLOR & PATTERN T.B.D. PER OWNER
ON 'TYVEK' HOUSE WRAP MOISTURE BARRIER
ON 5/8" OSB SHEATHING, TYP.

1X PVC FACIA

PTD. WOOD BRACKET

VINYL WINDOW, TYP.

4 1/2" PVC WINDOW, WHT.

'AZEK' VINYL RAILING

STONE PAVER LANDING/ STAIRS

59.41'
PROP. RIDGE

55.05'
PROP. BLDG HGT
(MID-PT ROOF)

50.68'
PROP. EAVES

42.27'
2ND FIN FLR

33.1'
1ST FIN FLR

29.7'
AVG GRADE PLANE

24.75'
BSMT CONC FLR



1 PROPOSED EAST (STREET) ELEVATION
1/4"=1'-0"



ARCHITECT:

OoDD Architects Limited Liability Company

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PH: 617.953.9428 EMAIL: OoDDAr@gmail.com

JIANG RESIDENCE

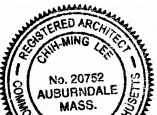
SINGLE FAMILY ADDITION

274 Brighton Street
Belmont, Massachusetts 02478

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Chi-Hing Lee
CHI-HING LEE, AIA ARCHITECT

PROPOSED BUILDING
ELEVATIONS

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



A3.2



PROPOSED NORTH ELEVATION

1/4"=1'-0"

30-YR ARCH ASPHALT SHINGLE ROOF ON 30# ROOFING FELT W/
ICE-N-WATER SHIELD 5' FROM EAVES & ALL VALEYSON 5/8" ROOF SHEATHING, TYP.

59.41'
PROP. RIDGE

ALUM GUTTER & DOWNSPOUT WHIT.
& RETURN AT CORNERS, TYP.

55.05'
PROP. BLDG HGT
(MID-PT ROOF)

4" PVC CORNER TRIM

BAY WINDOW W/ ASPHALT SHINGLE ROOF

VINYL SIDING
COLOR & PATTERN T.B.D. PER OWNER
ON 'TYVEK' HOUSE WRAP MOISTURE BARRIER
ON 5/8" OSB SHEATHING, TYP.

EXST ROOF TO BE REPAIRED

EXST GARAGE ROOF/RAFTERS TO BE REPAIRED

42.27'
2ND FIN FLR

EXST WOOD DECK & RAILING
TO BE REPAIRED & RE-PAINTED

8" CMU RETAINING WALL &
'AZEK' VINYL RAILING

EXST WOOD POST TO BE REPAIRED

33.1'
1ST FIN FLR

29.7'
AVG GRADE PLANE

24.75'
BSMT CONC FLR

PROPOSED WEST ELEVATION

1/4"=1'-0"

PERMIT SET

ARCHITECT:
OoDD Architects Limited Liability Company
P. O. Box 66001 Newton, Massachusetts 02466
PH: 617.953.9428 EMAIL: OoDDAr@gmail.com

JIANG RESIDENCE
SINGLE FAMILY ADDITION

274 Brighton Street
Belmont, Massachusetts 02478

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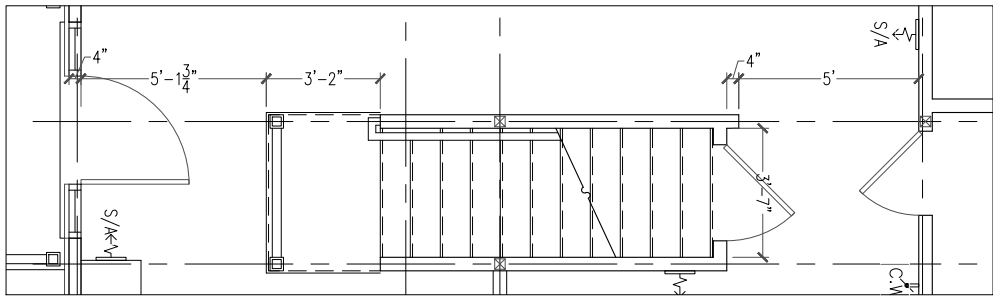
Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

BUILDING SECTION

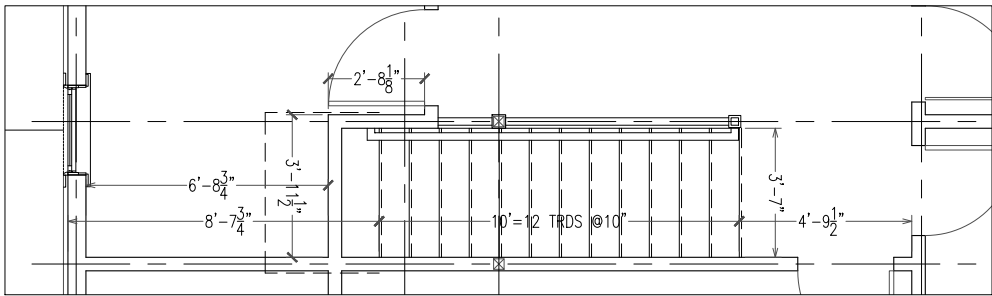
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DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



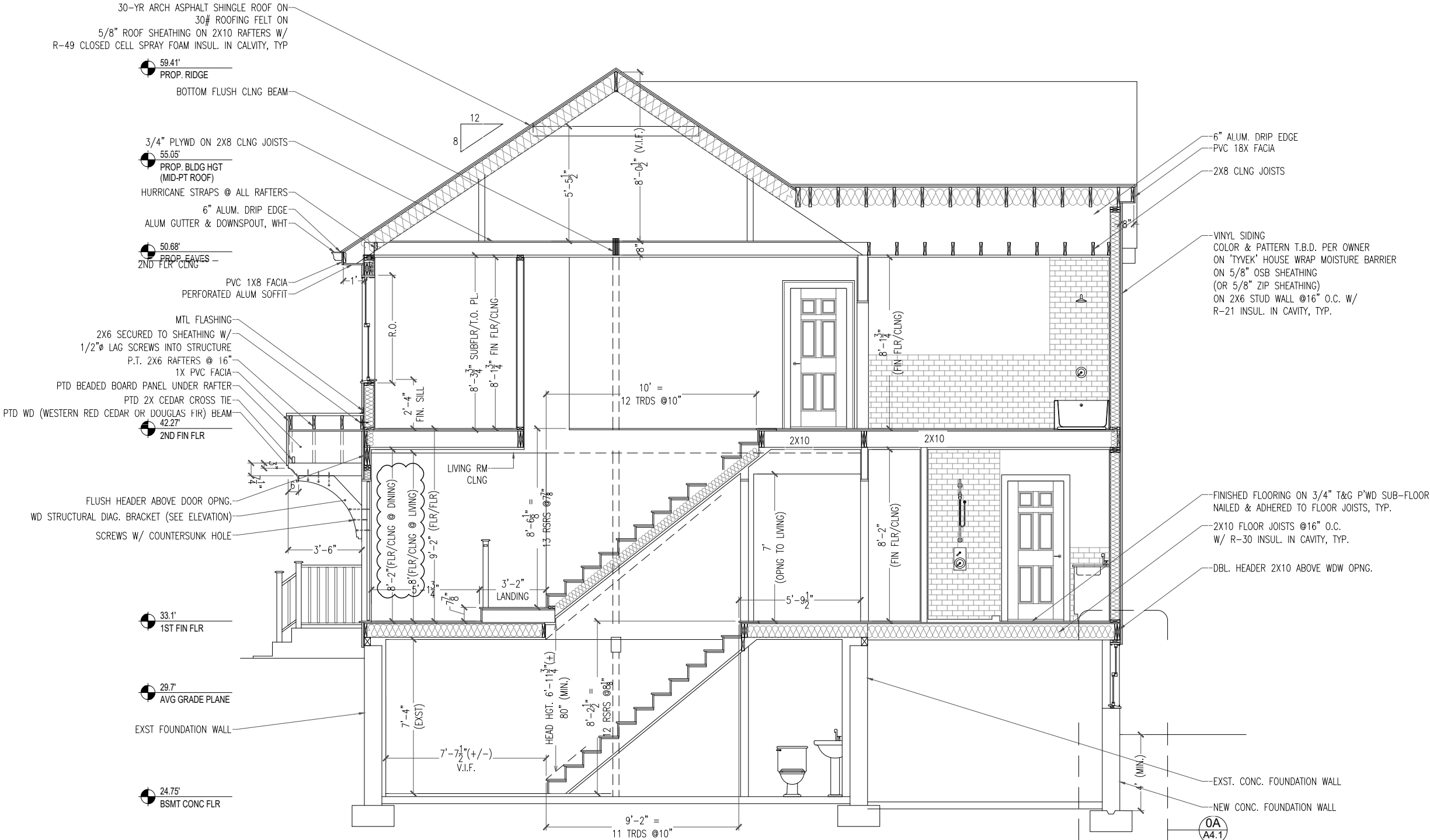
A3.3



5A ENLARGED STAIRS
3/8"=1'-0" (1ST FLOOR)



5B ENLARGED STAIRS
3/8"=1'-0" (2ND FLOOR)



5 SECTION A-A
3/8"=1'-0"



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JIANG RESIDENCE

SINGLE FAMILY ADDITION

274 Brighton Street
Belmont, Massachusetts 02478

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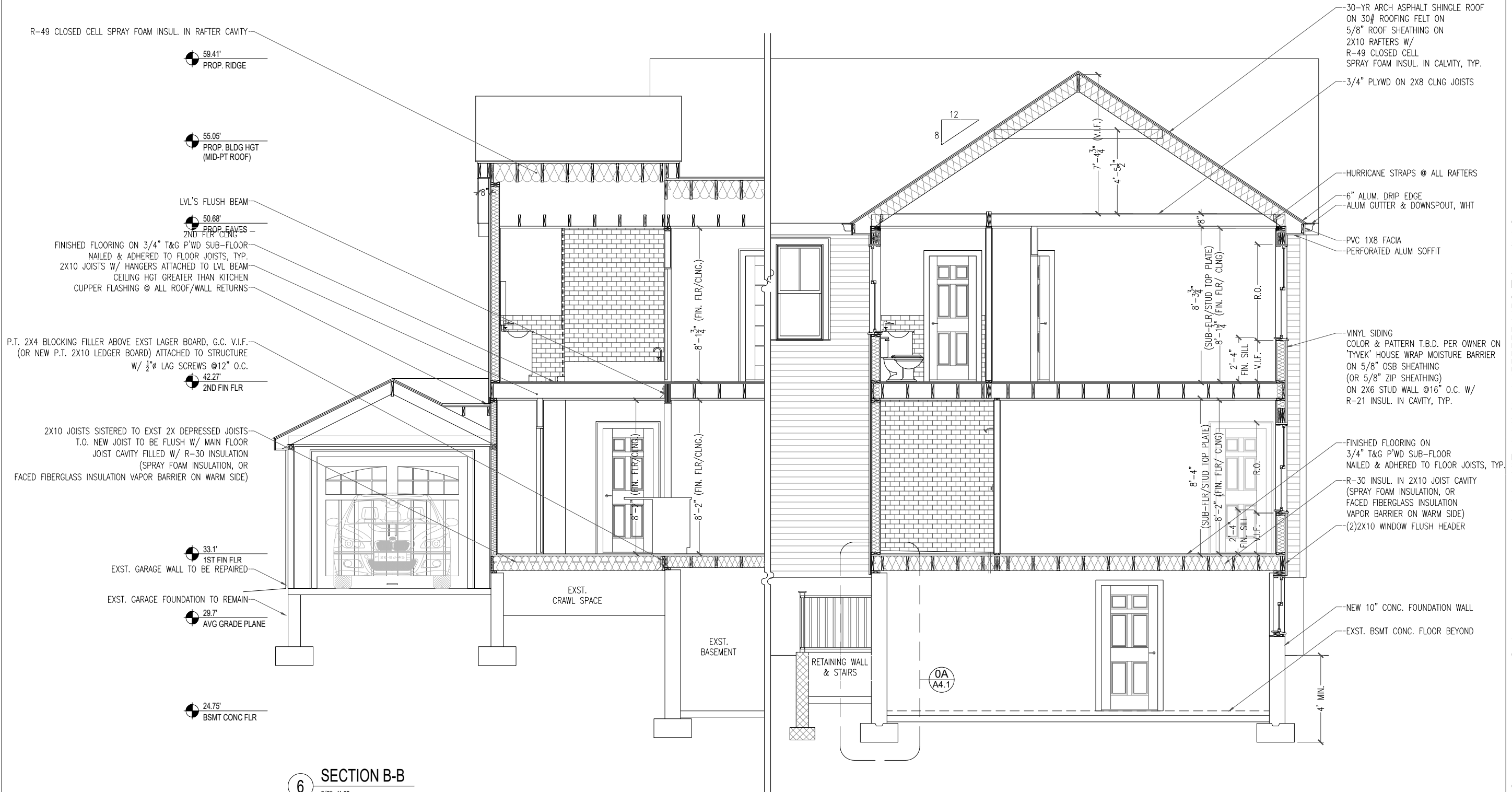
Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

BUILDING SECTION

SCALE: 3/8"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
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A3.4



6 SECTION B-B
3/8"=1'-0"

ARCHITECT:

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PH: 617.953.9428 EMAIL: OoDDAr@gmail.com

JIANG RESIDENCE

SINGLE FAMILY ADDITION

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Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

FRAMING NOTES,
FOUNDATION PLAN & DETAILS

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL

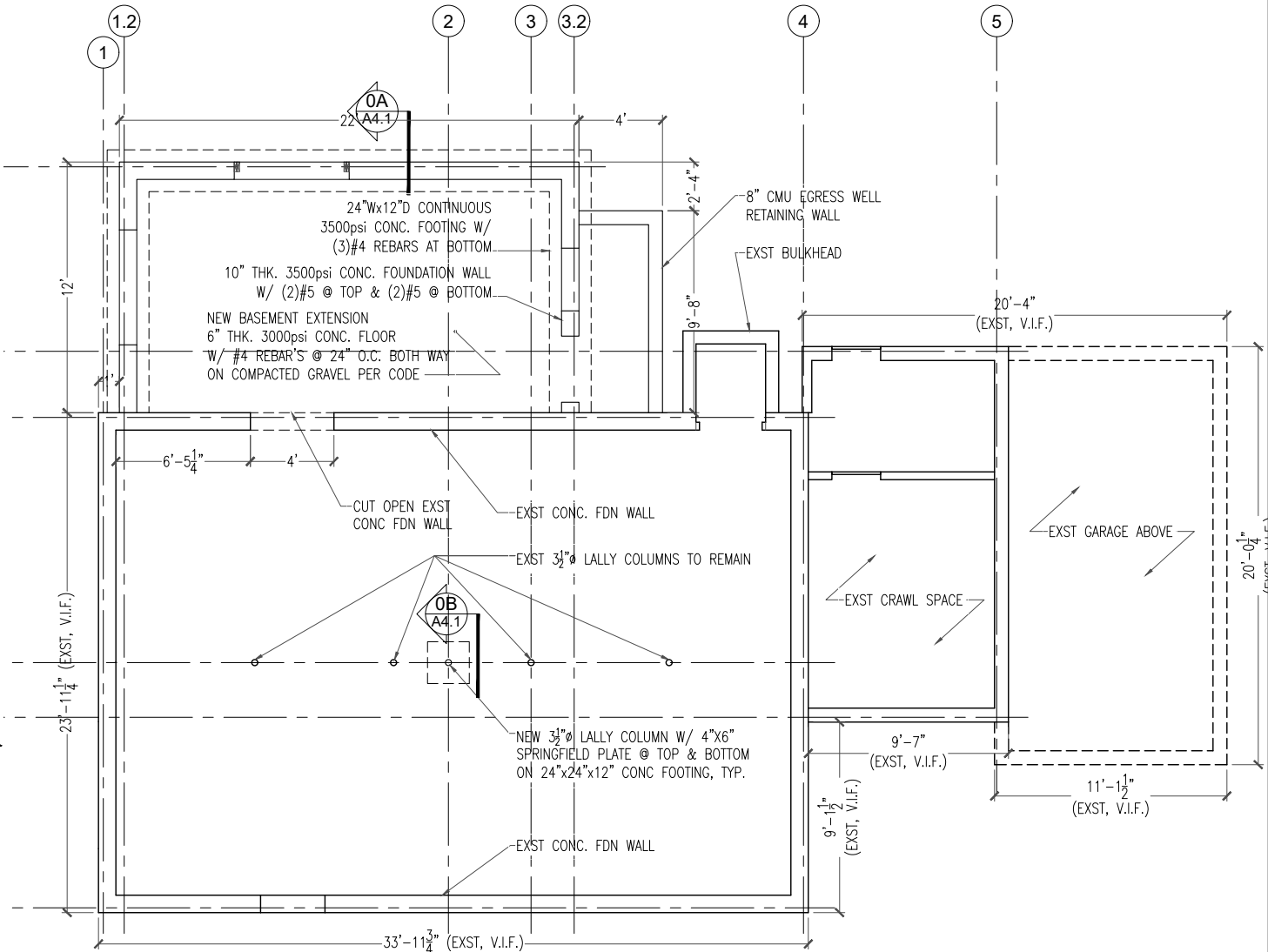
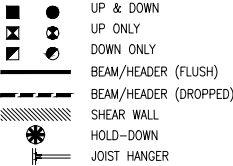


A4.1

FRAMING NOTES:

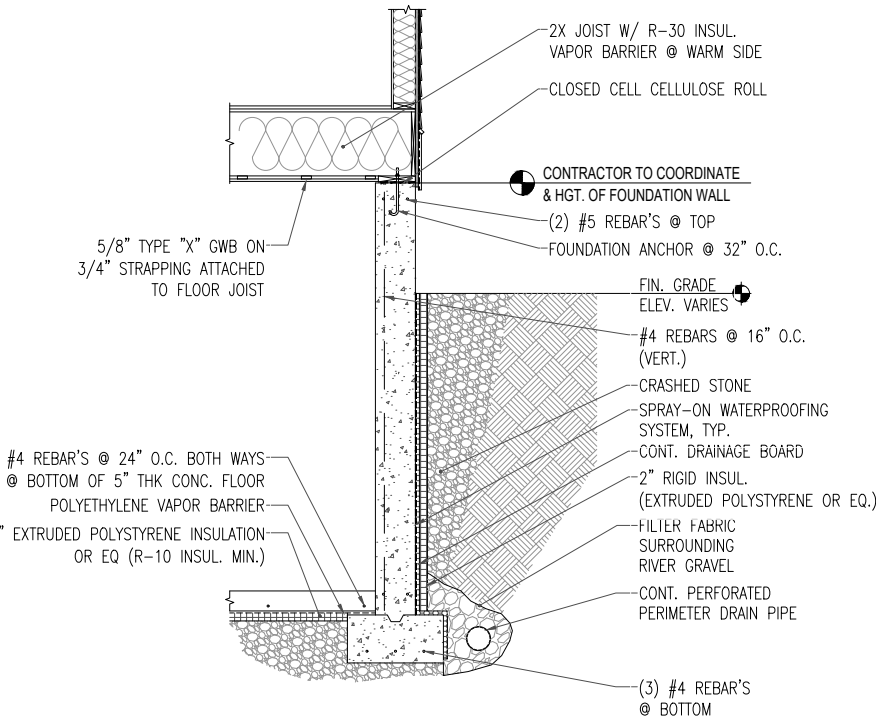
- ALL FRAMING AND CONSTRUCTION SHALL CONFORM TO THE STATE BUILDING CODE 780 CMR 9TH EDITION AND OTHER APPLICABLE CODES AND REGULATIONS.
- ALL WOOD FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR (OR BETTER) W/ THE FOLLOWING MINIMUM GRADES:
(A) JOISTS (U.N.O.), RAFTERS, SOLID AND BUILT-UP BEAMS, WALL STUDS, SOLID WOOD POST, AND LINTELS: NO.2 OR BETTER (U.N.O.).
(B) SILLS, PLATES, BLOCKING & NAILERS: STUD GRADE.
- WOOD SITS BENEATH ALL INTERIOR/EXTERIOR BEARING WALLS AND ALL MEMBERS EXPOSED TO WEATHER & MOISTURE SHALL BE GRADE #2 DOUGLAS-FIR, HEM-FIR OR BETTER, PRESSURE TREATED WITH PRESERVATIVE IN ACCORDANCE WITH AMERICAN WOOD-PRESERVERS' ASSOCIATION STANDARDS:
a.DECKING, RAILINGS, JOISTS, AND BEAMS MUST BE TREATED TO A CATEGORY UC3B.
b.POSTS AND OTHER WOODS LOCATED ON, IN OR IN CONTACT WITH GROUND MUST BE A CATEGORY UC4B.
c.ANY WOOD LESS THAN 6 INCHES ABOVE GROUND OR IN CONTACT WITH CONCRETE MUST BE A CATEGORY UC4A.
- ALL NAILS USED TO FASTEN THE DECK WOODS SHALL BE COMMON GALVANIZED OR BETTER.
- ALL ENGINEERED LUMBER TO BE SPECIFIED AND SIZED BY LUMBER MANUFACTURER. ALL BEARING LENGTH OF LVL'S AND NAILING, FASTENING SCHEDULE SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL HEADERS TO BE 2X10 WITH 1/2" CDX PLYWOOD SPACER UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS TO BE 2X6 @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL SUB-FLOOR TO BE 3/4" T&G PLYWOOD, GLUED AND SCREWED TYP.
- CONTRACTOR TO VERIFY ALL FRAMING ELEVATION PRIOR TO SETTING TOP PLATES, TYP.
- PROVIDE HEAVY DUTY SIMPSON JOIST HANGER AT ALL BEAMS, FLOORS, AND DECK CONNECTIONS.
- PROVIDE HURRICANE CLIPS AT ALL ROOF TO WALL INTERSECTIONS AND FLOOR TO FLOOR INTERSECTIONS.
- PLYWOOD SHEETS MUST BE CONTINUOUS FROM SILL TO PLATE PER FRAMING REQUIREMENTS FOR HIGH WIND ZONES AND LARGE WALL OPENINGS.
- ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD OR CONCRETE MUST BE HOT-DIPPED GALVANIZED STEEL.
- PROVIDE SOLID BLOCKINGS AT MID-SPAN OF ALL FLOOR JOIST SPANS AND AT ALL CORNER WALLS.
- ALL BEARING POSTS MUST ALIGN WITH BEAMS BELOW DOWN TO FOUNDATIONS/ FOOTINGS.
- ALL COLLAR TIES TO BE 2X6 @ 16" O.C. UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO PROVIDE GENERAL WALL BLOCKINGS FOR ALL HANDRAILS, TOILET ACCESSORIES, MILLWORK AND OTHER MISC. ITEMS, TYP.
- CUTTING, NOTCHING, OR DRILLING THROUGH FLOOR & ROOF FRAMING MEMBERS TO CONFORM TO BUILDING CODE FOR ALLOWABLE PARAMETERS.

POST SYMBOLS ON PLANS



DEAN COLUMN ALTERNATE:
ADJUSTABLE BASE SET
LALLY LOCK SADDLE PLATE
LALLY LOCK BEAM PLATE

SIMPSON-STRONG-TIE
LCC5.25-4
GALV. LALLY COLUMN CAP
3 1/2"Ø OR 4"Ø LALLY COLUMN
EMBED COLUMN IN
CONCRETE FLOOR SLAB
LALLY "SPRINGFIELD" PLATE
W/ (4) 1/2" DRILLED-IN
CONCRETE ANCHORS
CONCRETE FLOOR
CONCRETE FOOTING

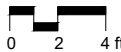


0A FOUNDATION WALL DETAIL
1/2"=1'-0"



0B COLUMN FOOTING DETAIL
1/2"=1'-0"

1 FOUNDATION PLAN
1/4"=1'-0"



PERMIT SET

ARCHITECT:

OoDD Architects Limited Liability Company

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JIANG RESIDENCE

SINGLE FAMILY ADDITION

274 Brighton Street

Belmont, Massachusetts 02478

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Date Notes

1/11/2022 PERMIT SET

*Chi-Ming Lee*

CHIH-MING LEE, AIA

ARCHITECT

FRAMING PLANS

SCALE: 1/4"=1'-0"

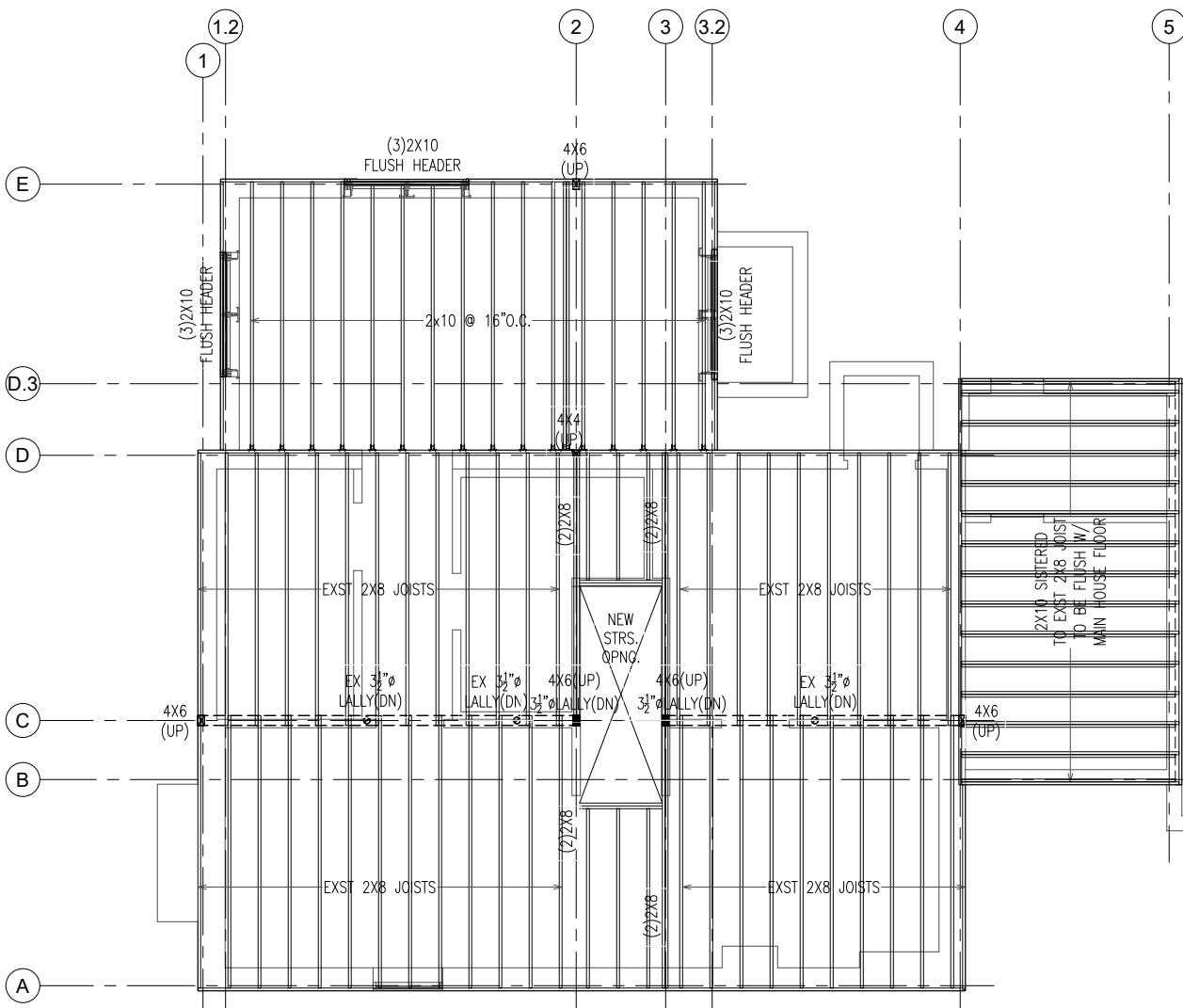
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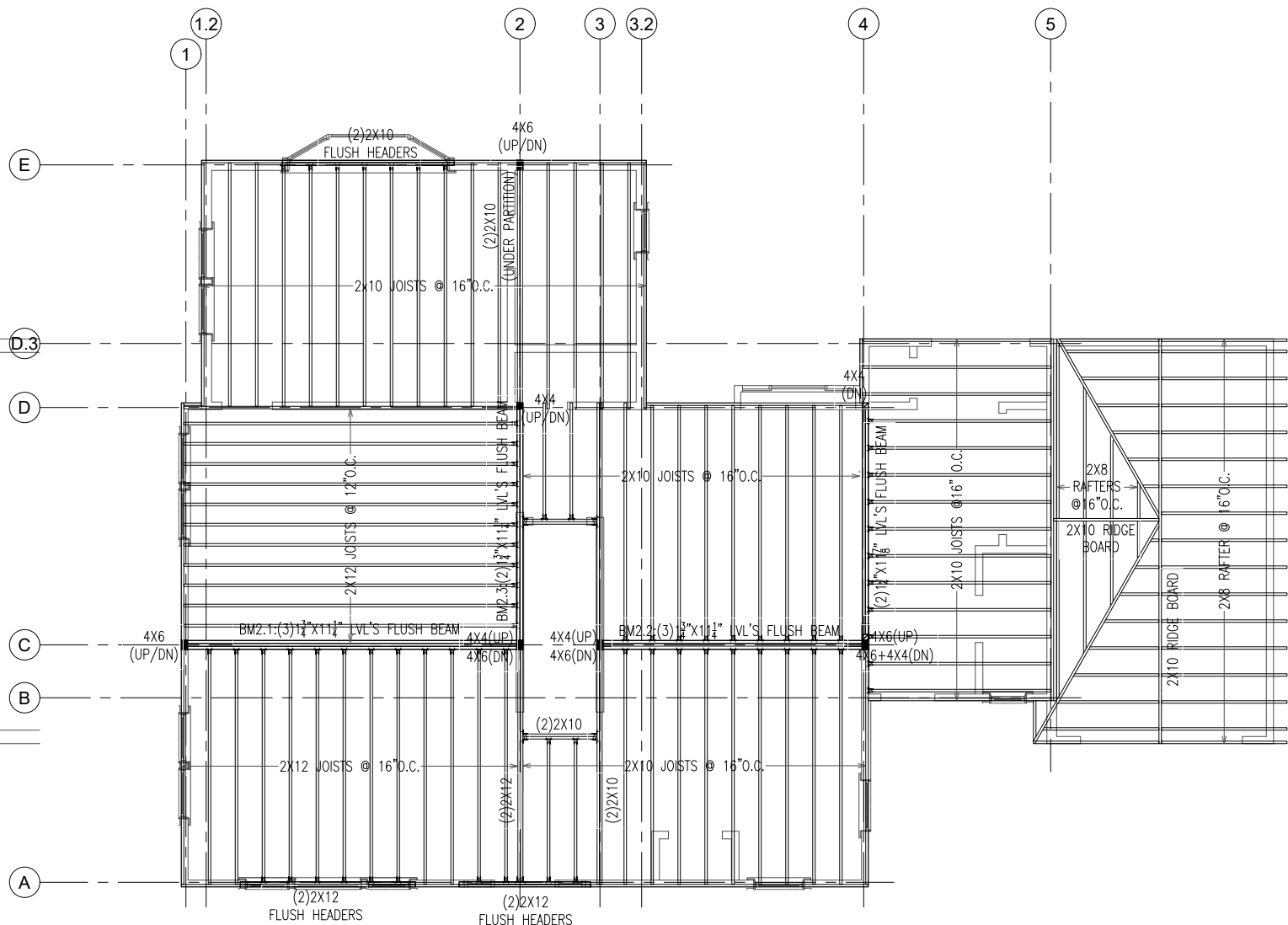


A4.2



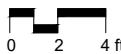
2 FIRST FLOOR FRAMING PLAN

1/4"=1'-0"



3 SECOND FLOOR FRAMING PLAN

1/4"=1'-0"



JIANG RESIDENCE
SINGLE FAMILY ADDITION

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| Date | Notes |
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| 1/11/2022 | PERMIT SET |



FRAMING PLANS

A4.3



Narrative Statement
(274 Brighton Street addition and remodeling project)

As much as we love the town of Belmont and enjoy the community, our current house is in need of immediate repair and remodeling in order to improve our living condition and to contribute to the quality of the neighborhood.

Project description: extension, remodeling, and 2nd-floor addition to relocate bedrooms away from the outside road, increase living spaces, add bedrooms and home office areas, and to repair the deteriorating parts of the house. This project is a 2nd-floor addition on top of the existing 1-story structure and a new 2-story addition attached to the rear of the existing structure.

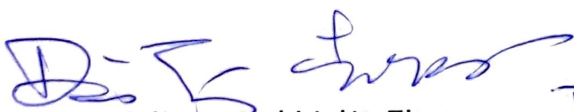
Remodeling and addition needs:

1. Bedroom and living room very close to a busy road and the old wooden floor vibrates when vehicles passing by. This is significantly affecting our living condition - a major issue we want to resolve by relocating the bedrooms toward the backyard and by refurbishing the whole house framing, flooring and insulation.
2. We routinely work-from-home and need separate home office areas.
3. My mother is retired and planning to live with us thus additional bedrooms and living spaces are needed.

Repairs:

4. Roof and foundation need major repair.
5. Ceiling with water damage in multiple areas.
6. Garage and drive way require immediate repair.

Potential impacts on the neighborhood: the project plan has been carefully designed by a professional architect in consideration of the prevailing size and layout of the neighborhood houses. The construction work will be managed by a licensed contractor and is expected to neither generate excessive traffic, parking, noise or density impacts on the abutters, nor create other detrimental effects on the neighborhood. The external design and color of the new house will be in keeping with the character of the neighborhood. Overall, the proposed project would make positive contribution to the community and help to improve the neighborhood value.



Dawei Jiang and Linlin Zhao
617-894-5183
dawei7780@gmail.com

Jan 8, 2022

Neighbor's Support Letter
(RE: 274 Brighton Street addition and remodeling project)

I am a neighbor of Dawei Jiang (David) and Linlin Zhao (Linda) at 274 Brighton Street. They have lived here since 2017 and are responsible and considerate residents.

Their current house is a one-story ranch built in 1950 on the side of a very busy road. In addition to the street noise throughout the day, it is noticeable that many parts of their house are in need of repair and renovation. They also need more living spaces and extra rooms for their growing family.

Therefore, I support their house addition and remodeling project as I can understand their need to add more spaces for bedrooms and home offices, and to improve their overall living condition.

Arlene Taylor

268 Brighton Street
Belmont, MA 02478

Jan. 8, 2022

Neighbor's Support Letter
(RE: 274 Brighton Street addition and remodeling project)

I am a neighbor of Dawei Jiang (David) and Linlin Zhao (Linda) at 274 Brighton Street. They have lived here since 2017 and are responsible and considerate residents.

Their current house is a one-story ranch built in 1950 on the side of a very busy road. In addition to the street noise throughout the day, it is noticeable that many parts of their house are in need of repair and renovation. They also need more living spaces and extra rooms for their growing family.

Therefore, I support their house addition and remodeling project as I can understand their need to add more spaces for bedrooms and home offices, and to improve their overall living condition.

Elaine Dalakis 1/8/22

287 Brighton Street
Belmont, MA 02478

Neighbor's Support Letter
(RE: 274 Brighton Street addition and remodeling project)

I am a neighbor of Dawei Jiang (David) and Linlin Zhao (Linda) at 274 Brighton Street. They have lived here since 2017 and are responsible and considerate residents.

Their current house is a one-story ranch built in 1950 on the side of a very busy road. In addition to the street noise throughout the day, it is noticeable that many parts of their house are in need of repair and renovation. They also need more living spaces and extra rooms for their growing family.

Therefore, I support their house addition and remodeling project as I can understand their need to add more spaces for bedrooms and home offices, and to improve their overall living condition.

280 Brighton Street
Belmont, MA 02478

YUMEI ZHANG

3/6/22

1/8/2022

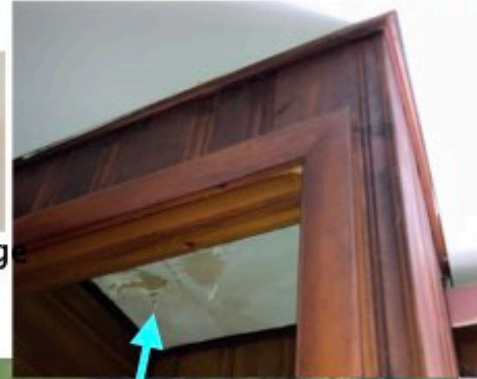
274 Brighton Street addition and remodeling project



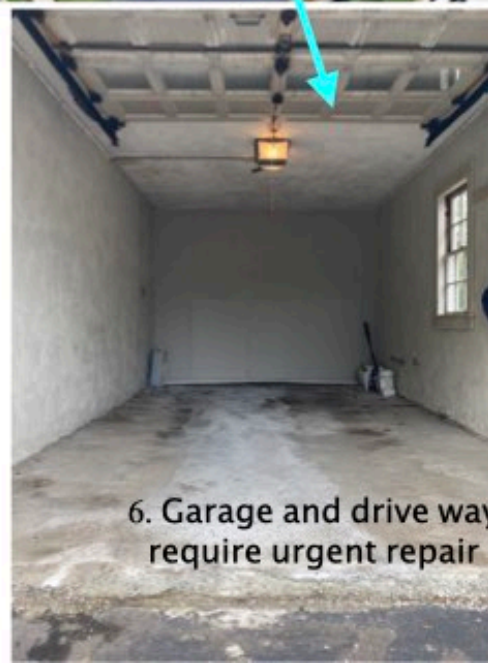
1. Bedroom and living room very close to a busy road



5. Ceiling with water damage in multiple areas



2. 3. Home offices and more living spaces needed



6. Garage and drive way require urgent repair



4. Roof and foundation need major repair



Landscape Plan

274 Brighton Street addition and remodeling project

