



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: 1/13/22

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 236 Payson Rd Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

We would like to build an addition consisting
of a handicap accessible first floor bedroom
& bath & a basement bedroom & bath for when
our children stay or visit us.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner Naomi Ellenberg-Dukas

Print Name N. Ellenberg-Dukas

Address 236 Payson Rd.

Belmont MA 02478

Daytime Telephone Number 617-851-6409



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

December 23, 2021

Ted & Naomi Dukas
236 Payson Road
Belmont, MA 02478

RE: Denial to Construct a Rear Addition.

Dear Mr. and Mrs. Dukas

The Office of Community Development is in receipt of your building permit application for the construction of an addition at 236 Payson Road located in the Single Residence C (SR-C) Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, §1.5.4C(2) allow expansions of more than thirty percent (30%) in the Single Residence C district by a Special Permit granted by the Planning Board.

1. The proposed increase in the percentage (33.6%) of the expansion exceeds 30% and is allowed by a Special Permit granted by the Planning Board.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request one (1) Special Permit from the Planning Board. If you choose this option, please contact the Office of Community Development to schedule an appointment with Robert Hummel, Senior Planner at (617) 993-2650 in order to begin the process.

Sincerely,
On behalf of
Glenn R. Clancy, P.E.
Inspector of Buildings

Ara Yogurtian
Assistant Director
Community Development

236 PAYSON ROAD HOME ADDITION NARRATIVE EXPLANATION FOR OUR PLANNING BOARD REQUEST

We married late in our lives and bought our house in 1985, anticipating that Belmont would be a wonderful town in which to start a family. The house had plaster falling from the kitchen ceiling, a low basement and attic, and needed some immediate repairs, but we loved the large yard, and envisioned children playing there and the possibility of home expansion someday. Our prayers were answered when we had two children 18 months apart.

Right from the start we became very invested in the community and are thankful every day for our life here. We joined the Belmont Co-operative Babysitting Group (35 families), sent our children to the Belmont Co-operative Nursery School (served on the Board), and even started a Belmont Co-Operative food group (that one, alas, did not last), all while working full time jobs.

When Ted decided to work from home in order to co-parent, he moved his office to our half-finished attic, and we added sheet rock to the studded portion. However, we did not have enough money to put in a dormer, so it remains a narrow center space of 6' with sloping walls – okay for storage or a small office, but not much more.

In 1997 when our niece was diagnosed with cancer at age 26 (our children were 8 and 10), she came here for a consult at Dana Farber and never left. Although the basement ceiling height was 6' in most places, and less where there are overhead pipes, we finished the walls and ceiling so that Lisa could stay with us that last year of her life.

Over the years we have tried to contribute to our town in a variety of ways. Ted has been a Town Meeting member for 24 years, was Treasurer for the Build Chenery fund, Treasurer of the Belmont Democratic Town Committee for 10 years, and has been a member of the Council on Aging for 6 years. Naomi has been involved on school PTO and Enrichment Committees at all four levels of education (pre-school through high school), received a service award from the Belmont School Board, continues to work at polling stations for Town, State, and National elections, founded and is the Board Chair of Belmont World Film, served on the Board and Co-Chaired Beth El Temple Center's Social Action Committee, served on the Belmont Local Cultural Council, and is the current Co-Chair of the Belmont Art Association.

In 2017 Ted was diagnosed with Parkinson's Disease. In February of 2021 he slipped on a small patch of ice in our driveway and a neighbor came over to stay with Naomi until an ambulance took him to Mount Auburn Hospital. Over the course of numerous x-rays and cat scans, nodes were detected on Ted's thyroid. He was diagnosed with medullary cancer followed by surgery last May to remove his thyroid and related lymph nodes. He was hospitalized twice more post-surgery. In June his endocrinologist referred him to a medical oncologist who diagnosed Chronic Lymphocytic Leukemia (CLC). In August he had day surgery to remove a squamous cell cancer lesion. At present all of Ted's medical care, which has greatly multiplied over the past year, is at Mount Auburn Hospital and MGH. It is very important for us to maintain proximity to his care providers particularly due to Ted's critical medical monitoring. Although we began talking about how to add to our house ten years ago, this issue has now become an urgent one.

Our daughter works in the State Department Diplomatic Corps and will be assigned to the US Embassy in Algeria in June. Our son lives in NY and is engaged to be married in August. Both children have asked us to find a way to add a basement level unit to our house, with adequate ceiling height, so that they can come for longer visits to help as needed, and hopefully, with grandchildren at some point. They want us to face the reality that this old house, which we love – has some serious limitations, including

- A first-floor closet converted to toilet and sink, that is not wheelchair accessible
- A staircase to the second floor that is too narrow to accommodate a chair lift
- A bathroom, added in 1985, that is also not wheelchair accessible, has an extra high tub, and no shower.

Over the past three years we have consulted with two architects, both coming to the same conclusion: - that we can accommodate anticipated needs only by adding a handicap accessible first floor bedroom and bath, and a minimal basement bedroom and bath for when we need more help from our children. Our hope is to retain everything else we love here.

After 37 years we finally paid off our mortgage last November. In December we applied for and got a new 30-year mortgage to pay for our home addition. We feel that the size of our addition will be consistent with some of the larger homes near us and have livable space similar to the many 4-bedroom homes here. Also, our addition will be entirely in the back of the house, with no infringement on side guidelines and entirely not visible from the street.

We love Belmont and all the friends we have made over the years. We are grateful for the support we find here, as well as the access to first rate medical care. We know that time is not on our side as the cost of building materials continues to escalate and our contractor, who was ready to start last month (pending building permit approval), may replace our job with another if we do not finalize a start date and contract with him as soon as possible. Our hope is to have a space that will allow us to age in place. All we want to do is ensure that our house will be our home in this last chapter of our lives.

Sincerely,

Ted Dukas and Naomi Ellenberg-Dukas

Gross area of existing house:

Basement: 1,031 s.f. - However, due to below ceiling piping and ducts, this space is acceptable for storage, but not permittable for use as living space.

1st Floor: 1,152 s.f.

2nd Floor: 804 s.f.

Attic: 234 s.f. (portion that is 6") - Due to sloped ceilings, this space is appropriate for a small office, but narrow staircase and sloped ceiling make it unusable as a living space.

TOTAL 3,221 s.f.; actual livable area 1,956 s.f., which is smaller than many other houses in this neighborhood. We would like to add 1,237 s.f., which would bring our total livable space to 3,193 s.f.

Enclosures:

1. Relative sizes of houses surrounding ours
2. Excel spreadsheet of comparable home sizes in the area
3. Support petition
4. Letters of support

Enclosure 1

Relative sizes of houses surrounding ours:

Actual livable area of our existing house:

Basement 1,031 s.f. however, due to below ceiling piping and ducts, this space is acceptable for storage purposes, but not permissible for use as living space.

Neighbors on both sides of our house had higher basement ceilings and lowered basement floors, which our architect and contractor both felt was not feasible here.

1st Floor 1,152 s.f.

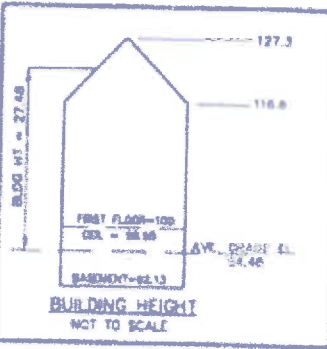
2nd Floor 804 s.f.

Attic (portion that is 6") 234 s.f. Due to sloped ceilings, this space is appropriate for storage and a small office, but narrow staircase and sloped ceiling make this space unusable for anything more.

TOTAL 3,221 s.f.

Actual livable area 1,956 s.f., which is smaller than many other houses in this neighborhood.

We would like to add 1,237 s.f., which would bring our total livable space to 3,193 s.f. Our house is the middle one of three identical Dutch Colonials. Both sides expanded from 3 bedrooms, 1 bath to 4 bedrooms, 2-3 baths.

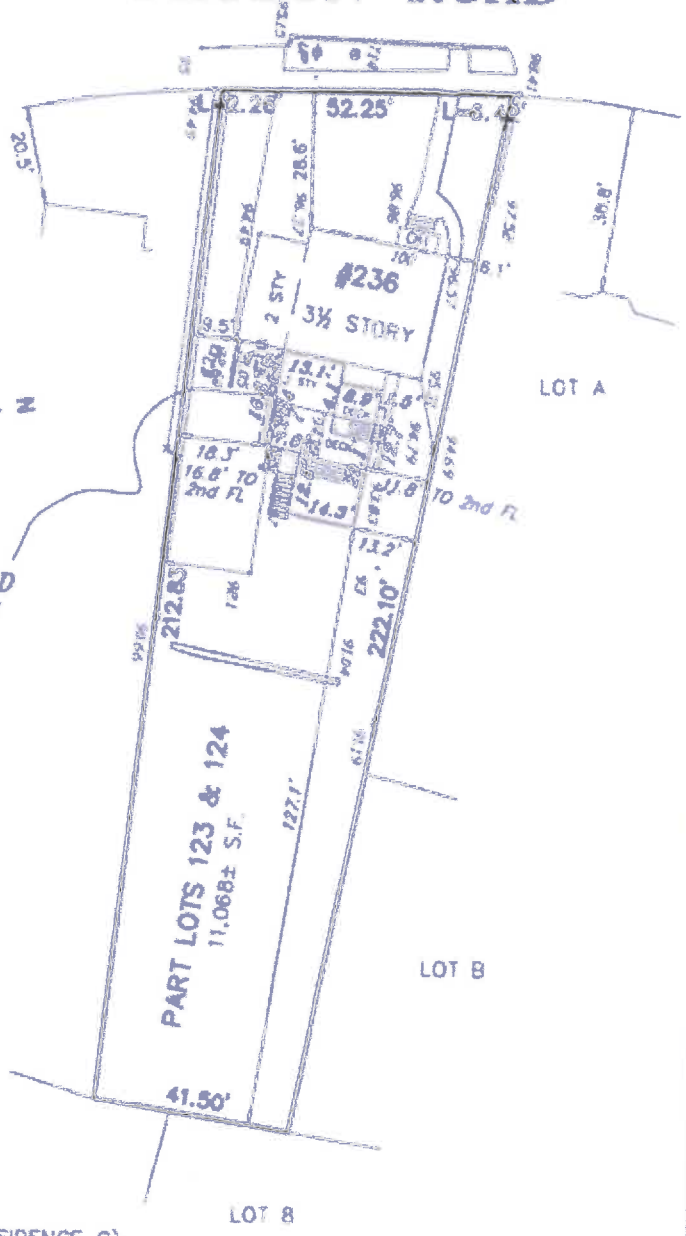


38.92% OF BASEMENT UNDERGROUND
THEREFOR BASEMENT IS A STORY



**PROPOSED
ADDITION**

PAYSON ROAD



THE PROPERTY IS NOT LOCATED
WITHIN WETLANDS AS SHOWN
ON THE TOWN OF BELMONT
WETLANDS ATLAS.

ZONING DISTRICT:	SC (SINGLE RESIDENCE C)
	REQ. EXISTING PROP.
FRONT SETBACK:	22.75' 28.6' -
SIDE SETBACK:	10' 6.1' 11.8'
REAR SETBACK:	30' 149.6' 127.1'
MAXIMUM LOT COVERAGE:	25% 11.9% 15.5%
MINIMUM OPEN SPACE:	50% 76.3% 72.8%
LOT FRONTAGE:	60.93'

TOTAL LOT AREA: 11,068± S.F.

PREPARED FOR: TED & NAOMI DUKAS
18285/504
ASSESSORS MAP 8 - PARCEL 49

PROPOSED PLOT PLAN #236 PAYSON ROAD IN BELMONT, MA (MIDDLESEX COUNTY)

SCALE: 1" = 30' DATE: 11/18/2021



ROBER SURVEY
1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
DWG. NO. 6321PP2.DWG

CLIFFORD E. ROBER, PLS DATE

NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

236 PAYSON ROAD, BELMONT, MA 02478

DATE: 02.16.2021

OWNER:

Ted Dukas & Naomi Ellenberg-Dukas
236 Payson Road, Belmont, Ma 02478
617-851-0279
617-851-6409
dukassoc@aol.com
nellenberg09@gmail.com

ARCHITECT:

Douglas Okun & Associates
Douglas Okun, AIA
156 Mount Auburn Street
Cambridge MA 02138
617-491-4600
617-312-8206
doug@doassoc.com

SURVEYOR:

Rober Survey
1072 A Massachusetts Ave,
Arlington, MA 02476
781-648-5533
cliff@robersurvey.com

DRAWING LIST:

- COVER SHEET
- SURVEY
- S-01 - EXISTING SITE PLAN
- E-00 - PHOTOS FROM EXISTING CONDITIONS
- E-01 - EXISTING BASEMENT AND 1ST FLOOR PLAN
- E-02 - EXISTING BACK ELEVATION
- E-03 - EXISTING RIGHT SIDE & LEFT SIDE ELEVATIONS
- D-01 - DEMOLITION PLANS/ BASEMENT & 1ST FLOOR
- S-02 - PROPOSED SITE PLAN
- A-00 - ZONING CALCULATIONS
- A-01 - PROPOSED FOUNDATION PLAN
- A-02 - PROPOSED BASEMENT PLAN
- A-03 - PROPOSED 1ST FLOOR PLAN
- A-04 - PROPOSED ROOF PLAN
- A-05 - PROPOSED BACK ELEVATION
- A-06 - PROPOSED RIGHT SIDE & LEFT SIDE ELEVATIONS
- A-07 - PROPOSED FRAMING PLANS/ BASEMENT AND 1ST FLOOR
- A-08 - PROPOSED LIGHTING/POWER PLANS/ BASEMENT & 1ST FLOOR
- A-09 - SECTION A-A
- A-10 - SECTION 1-1 & SECTION B-B
- A-11 - SECTION 2-2
- A-12 - WALL TYPES
- A-13 - DOOR AND WINDOW SCHEDULES

SCOPE OF WORK:

CONTRACTOR SHALL SUBMIT BIDS TO COMPLETE WORK ON PLANS FOR 236 PAYSON ROAD, BELMONT, MA 02478 AS FOLLOWS:

PHASE 1

- 1. REMOVE ALL EXTERIOR CONSTRUCTION NECESSARY TO CONSTRUCT THE WORK DESCRIBED (NEW ADDITION), WITHOUT ENTERING THE EXISTING HOUSE.
- 2. CONSTRUCT NEW ADDITION BASED ON CONSTRUCTION NOTES.

PHASE 2

- 1. CONSTRUCT DUST BARRIER TO ENABLE WORKMEN TO REMOVE WALLS AND MATERIALS SPECIFIED ON THE DRAWINGS TO CONSTRUCT PHASE 2.
- 2. WORK ON PHASE 2 TO BE EXPLAINED IN CONSTRUCTION NOTES.

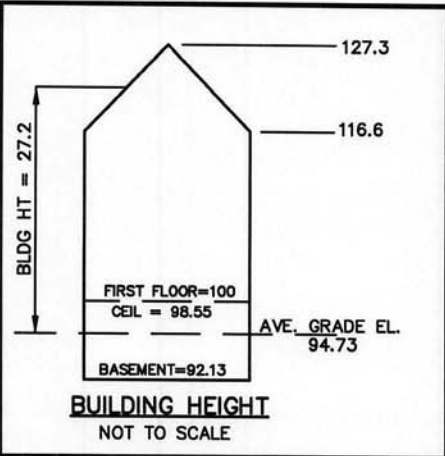
PHASE 3

- 1. CONTRACTOR SHALL CONTINUE WORKING WITH PHASE 3 AFTER FINAL APPROVAL FROM THE CLIENT.

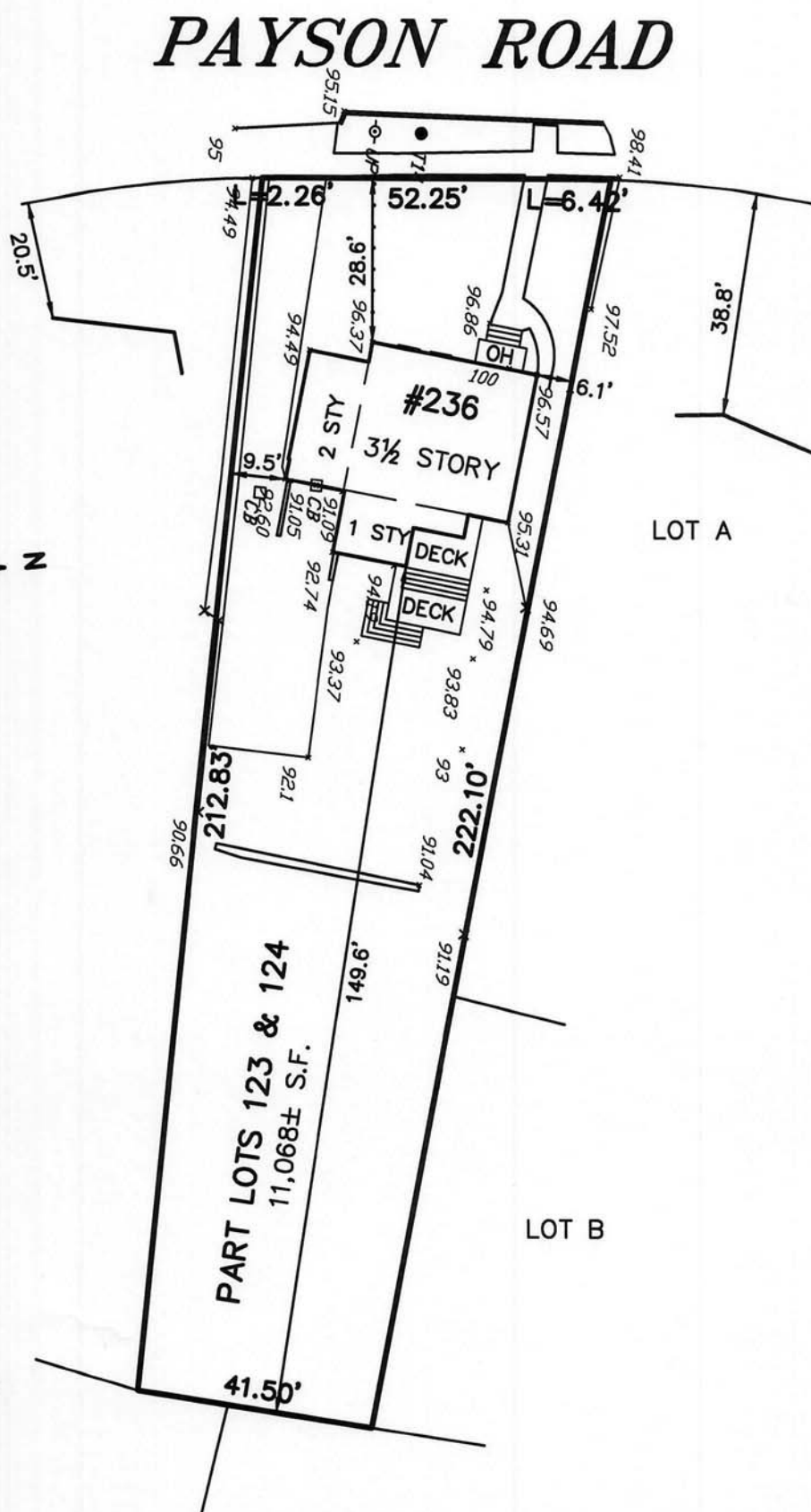


DOUGLAS OKUN & ASSOCIATES

156 Mount Auburn Street, Cambridge, MA 02138 / (617) 491-4600 / doug@doassoc.com / www.dougokun.com



41.55% OF BASEMENT UNDERGROUND
THEREFOR BASEMENT IS A STORY



THE PROPERTY IS NOT LOCATED
WITHIN WETLANDS AS SHOWN
ON THE TOWN OF BELMONT
WETLANDS ATLAS.

ZONING DISTRICT:	SC (SINGLE RESIDENCE C)		
	REQ.	EXISTING	PROP.
FRONT SETBACK:	22.75'	28.6'	—
SIDE SETBACK:	10'	6.1'	—
REAR SETBACK:	30'	149.6'	—
MAXIMUM LOT COVERAGE:	25%	11.9%	—
MINIMUM OPEN SPACE:	50%	76.3%	—
LOT FRONTAGE:		60.93'	—

TOTAL LOT AREA: 11,068± S.F.

PREPARED FOR: TED & NAOMI DUKAS
16285/504
ASSESSORS MAP 8 - PARCEL 49

PROPOSED PLOT PLAN
#236 PAYSON ROAD
IN
BELMONT, MA
(MIDDLESEX COUNTY)

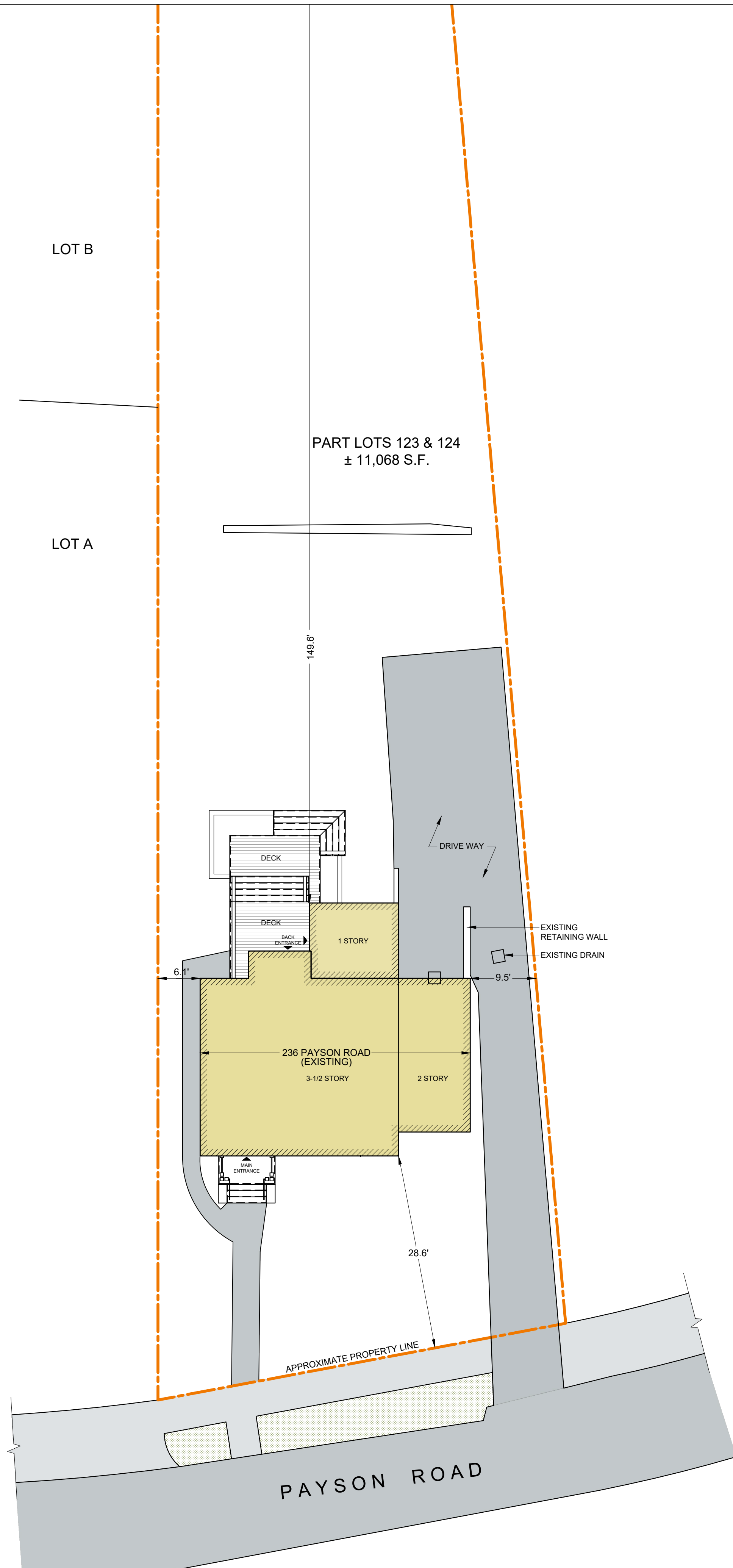
SCALE: 1" = 30' DATE: 11/17/2020



ROBER SURVEY
1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
DWG. NO. 6321PP1.DWG

CLIFFORD E. ROBER, PLS

DATE



1 | EXISTING SITE PLAN
3/32" = 1'-0"



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title

EXISTING SITE PLAN

236 PAYSON ROAD, BELMONT, MA 02478

Scale

3/32"=1'-0"

Date

02.16.2021

Drawn

JN

Checked

DOKUN

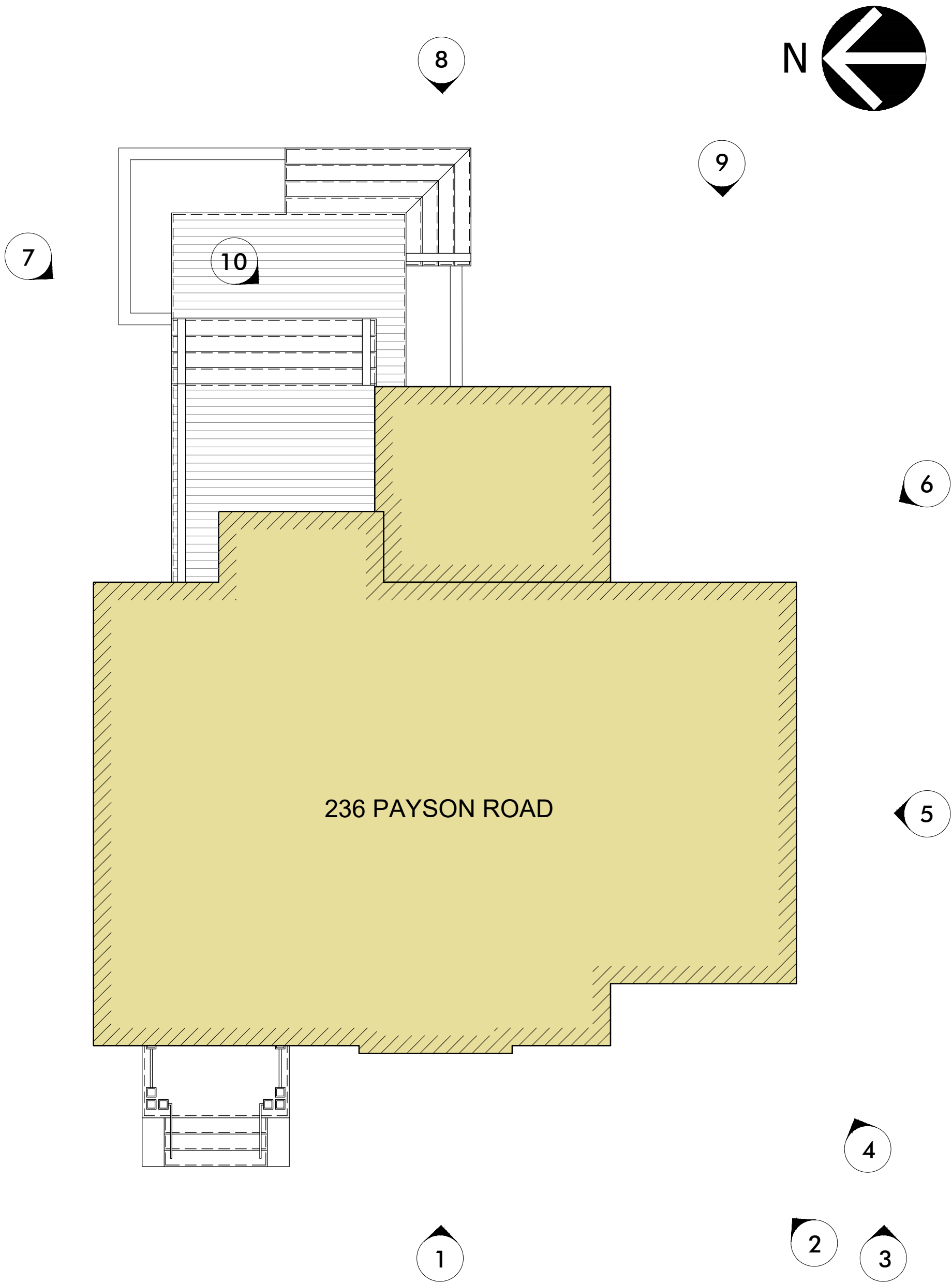
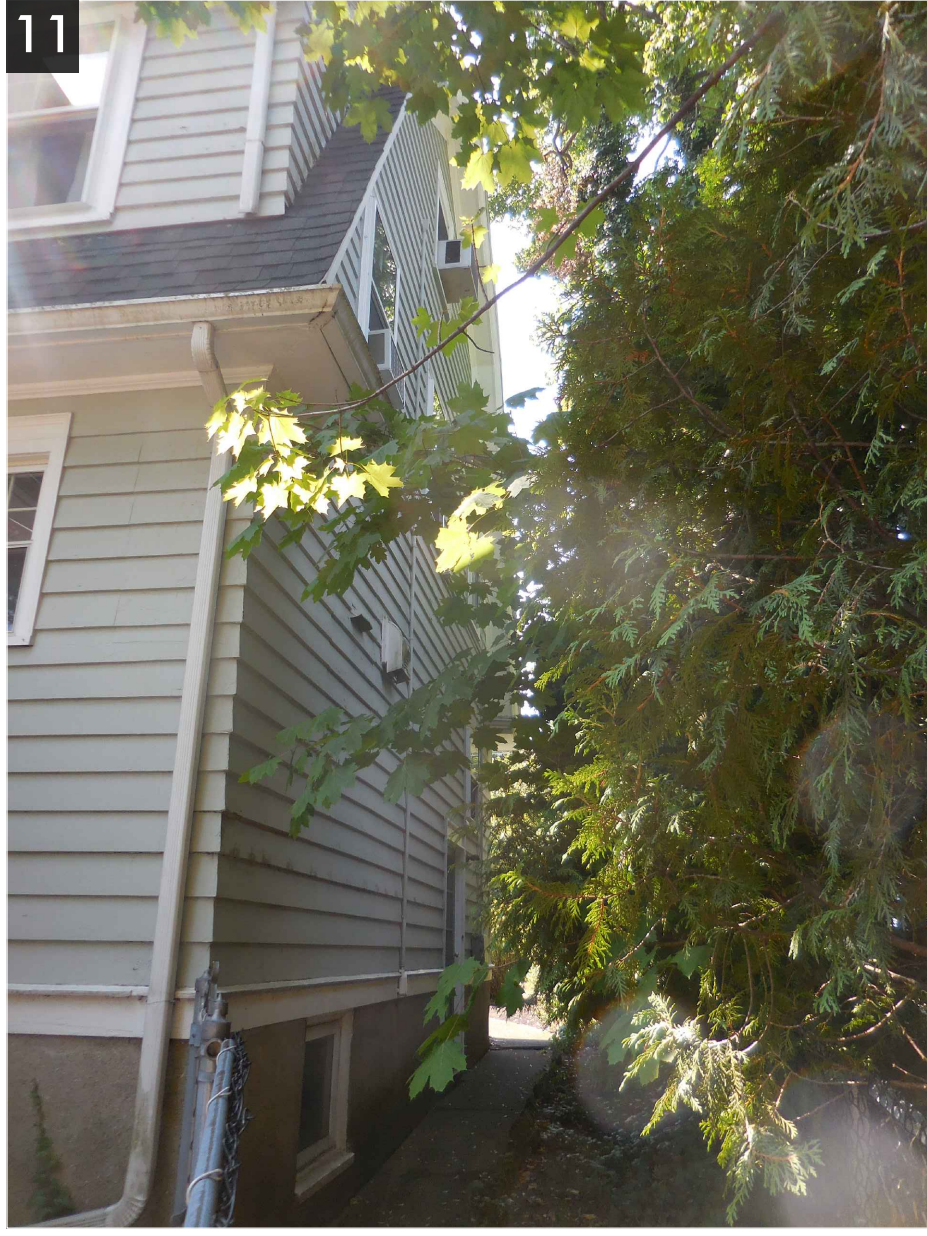
Job no.

20012

Revisions

Sheet no.

S-01



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title **PHOTOS FROM EXISTING CONDITIONS**

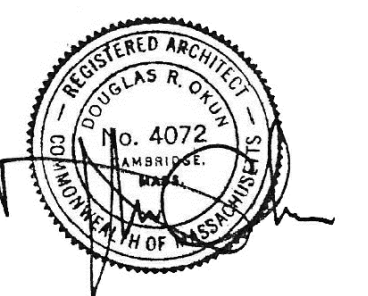
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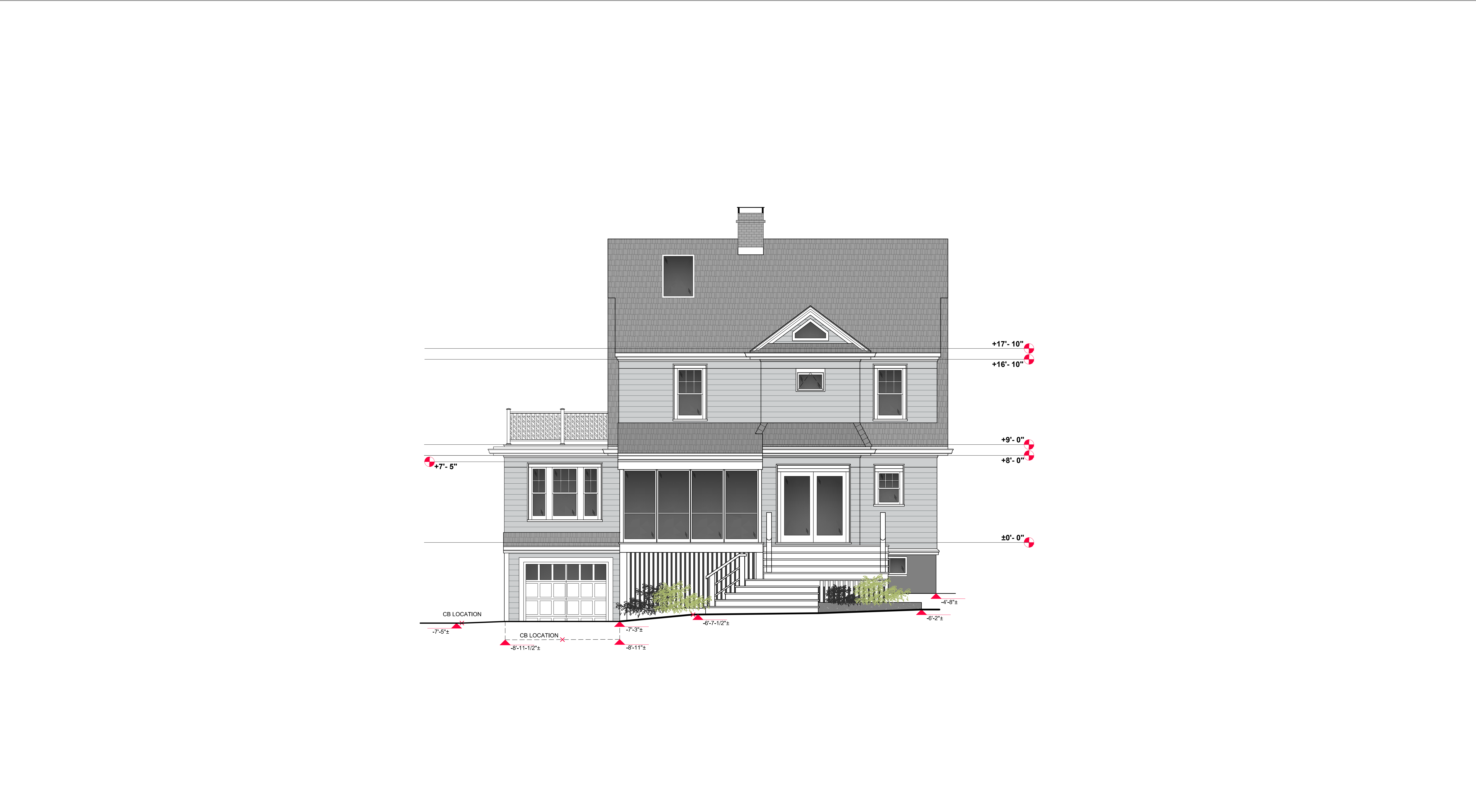
Scale	Date	Drawn	Checked	Job no.
	02.16.2021	JN	DOKUN	20012

Revisions

Sheet no.
E-00







1 | EXISTING BACK ELEVATION
1/4" = 1'-0"



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title
EXISTING BACK ELEVATION

236 PAYSON ROAD, BELMONT, MA 02478

Scale	Date	Drawn	Checked	Job no.
1/4"=1'-0"	02.16.2021	JN	DOKUN	20012

Revisions

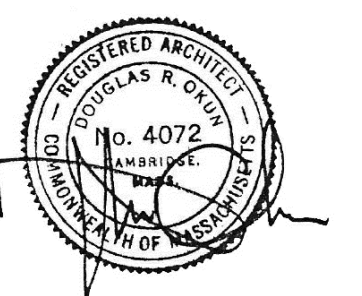
Sheet no.
E-02



1 | EXISTING RIGHT SIDE ELEVATION
1/4" = 1'-0"



2 | EXISTING LEFT SIDE ELEVATION
1/4" = 1'-0"



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title
EXISTING RIGHT SIDE AND LEFT SIDE ELEVATIONS

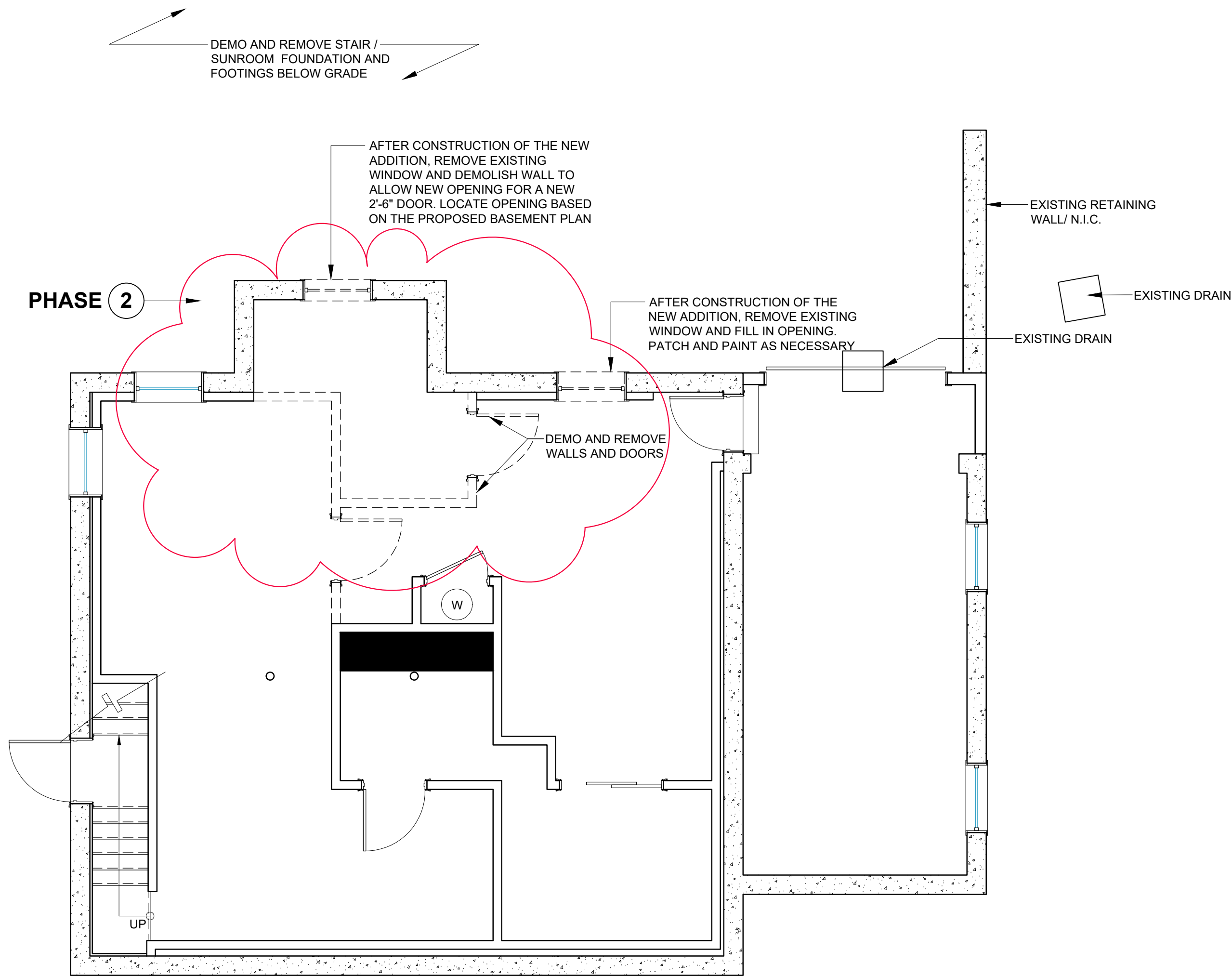
236 PAYSON ROAD, BELMONT, MA 02478

Scale 1/4"=1'-0"	Date 02.16.2021	Drawn JN	Checked DOKUN	Job no. 20012
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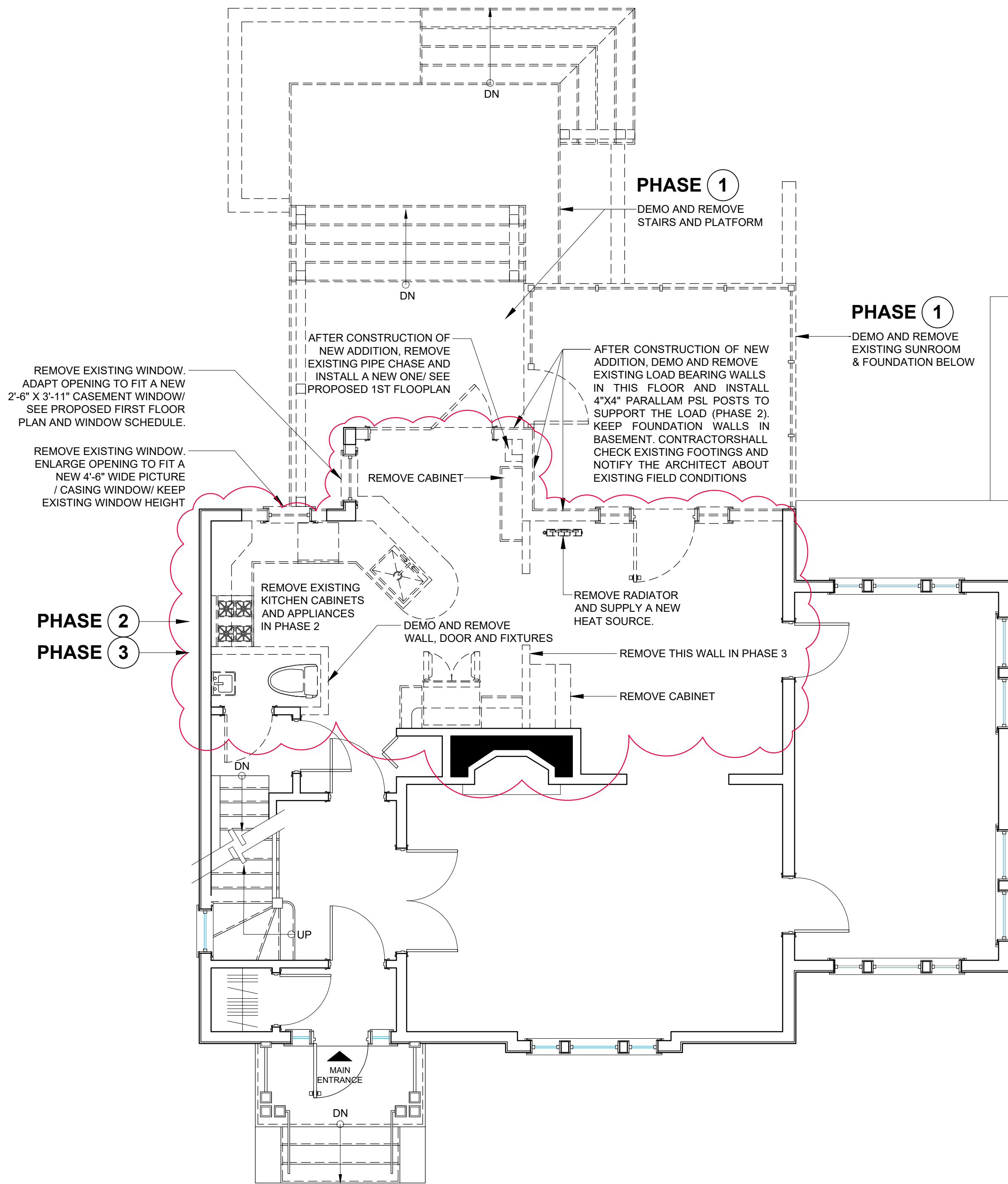
Revisions

Sheet no.

E-03



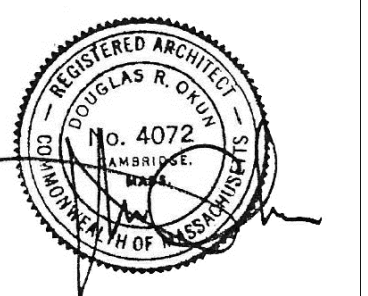
1 BASEMENT PLAN- DEMOLITION
1/4" = 1'-0"



KEY

DEMO AND REMOVE	
WALLS TO REMAIN	

2 1ST FLOOR PLAN- DEMOLITION
1/4" = 1'-0"



SCOPE OF WORK

CONTRACTOR SHALL SUBMIT BIDS TO COMPLETE WORK ON PLANS FOR 236 PAYSON ROAD, BELMONT, MA 02478 AS FOLLOWS:

PHASE 1

1. REMOVE ALL EXTERIOR CONSTRUCTION NECESSARY TO CONSTRUCT THE WORK DESCRIBED (NEW ADDITION), WITHOUT ENTERING THE EXISTING HOUSE.

PHASE 2

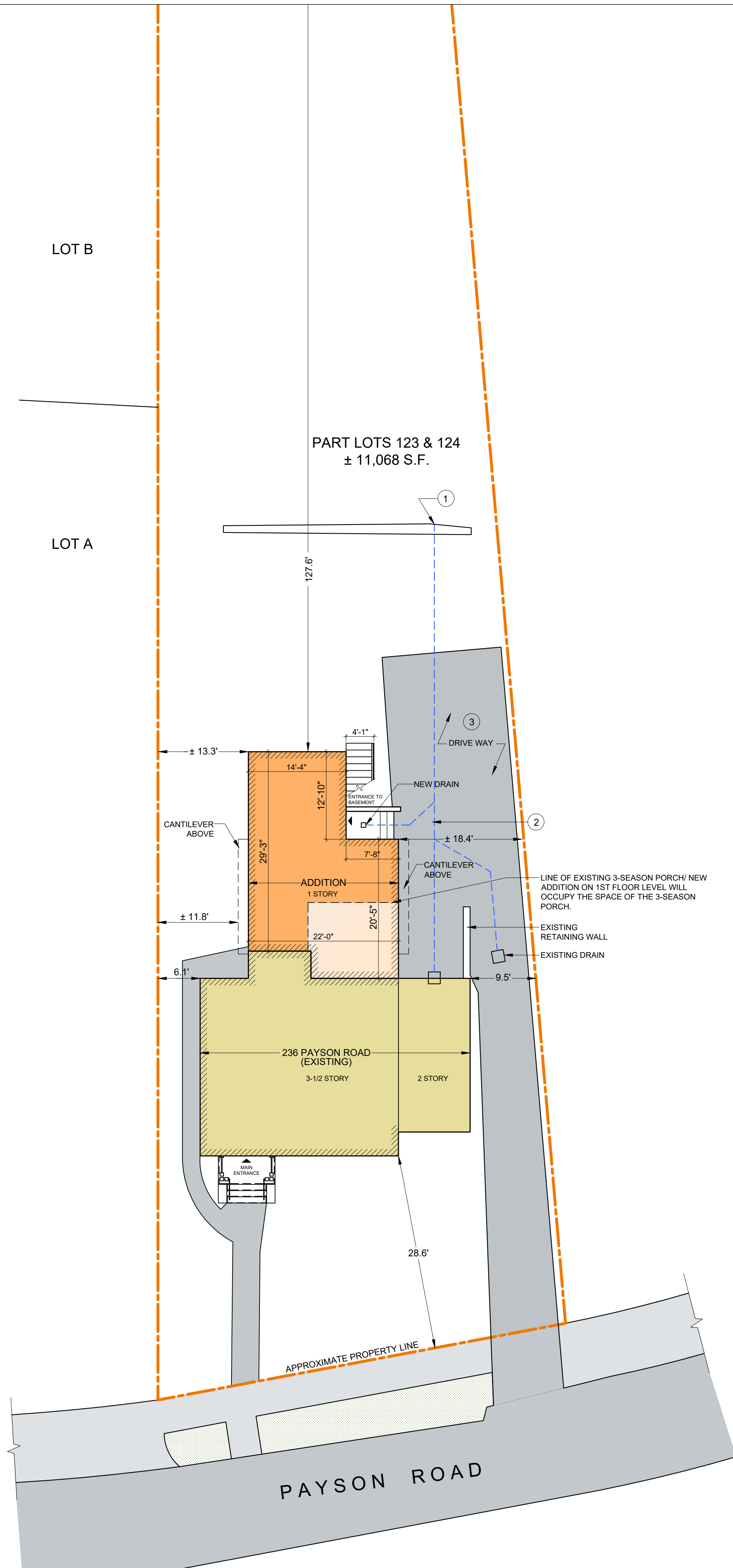
1. CONSTRUCT DUST BARRIER TO ENABLE WORKMEN TO REMOVE WALLS AND MATERIALS SPECIFIED ON THE DRAWINGS TO CONSTRUCT PHASE 2.
2. WORK ON PHASE 2 TO BE EXPLAINED IN CONSTRUCTION NOTES.

PHASE 3

1. CONSTRUCTOR SHALL CONTINUE WORKING WITH PHASE 3 AFTER FINAL APPROVAL FROM THE CLIENT.

CONSTRUCTION NOTES

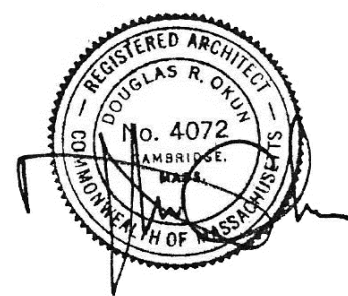
1. IN PHASE 1 CONTRACTOR SHALL DEMO AND REMOVE EXISTING SUNROOM AND FOUNDATION BELOW, AND EXISTING STAIRS AND PLATFORMS TO THE BACK YARD.
 2. ALL NOTES INSIDE THE BUBBLE INDICATE WORK THAT SHALL BE DONE IN PHASE 2 AND PHASE 3. PHASE 2 SHALL START AFTER CONSTRUCTION OF NEW ADDITION. FIRST CONTRACTOR SHALL DEMO AND REMOVE EXISTING LOAD BEARING WALLS AND PROVIDE SUPPORT FOR THE LOAD FROM ABOVE. EXISTING PIPE CHASE FROM THE SECOND FLOOR OF THE EXISTING HOUSE SHALL BE REMOVED AND A NEW ONE SHALL BE INSTALLED.
- ALL OTHER WALLS INSIDE THE KITCHEN AREA AND THE EXISTING 1/2 BATHROOM SHALL BE DEMOLISHED AS SHOWN ON THE PLAN, ONLY IN PHASE 3. CONTRACTOR SHALL PROVIDE LOAD SUPPORT WHERE NECESSARY. ALL CABINETS AND KITCHEN/ BATHROOM APPLIANCES AND FIXTURES TO BE REMOVED IN PHASE 3.



CONSTRUCTION NOTES

1. CONSTRUCTOR SHALL INSTALL OR USE EXISTING PIPE FROM TWO EXISTING DRAINS AND ONE NEW DRAIN (CATCH BASINS) SO THAT WATER FLOWS BY GRAVITY TO AREA SHOWN. SHOULD THE EXISTING PITCH BE INSUFFICIENT, INSTALL NEW DRAIN LINE OF 4" PVC.
2. TIE ALL DRAIN LINES TOGETHER AS NECESSARY.
3. REPLACE DRIVEWAY PAVING AS NECESSARY.

1 | PROPOSED SITE PLAN
3/32" = 1'-0"



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title

EXISTING SITE PLAN

236 PAYSON ROAD, BELMONT, MA 02478

Scale	Date	Drawn	Checked	Job no.
3/32"=1'-0"	02.16.2021	JN	DOKUN	20012

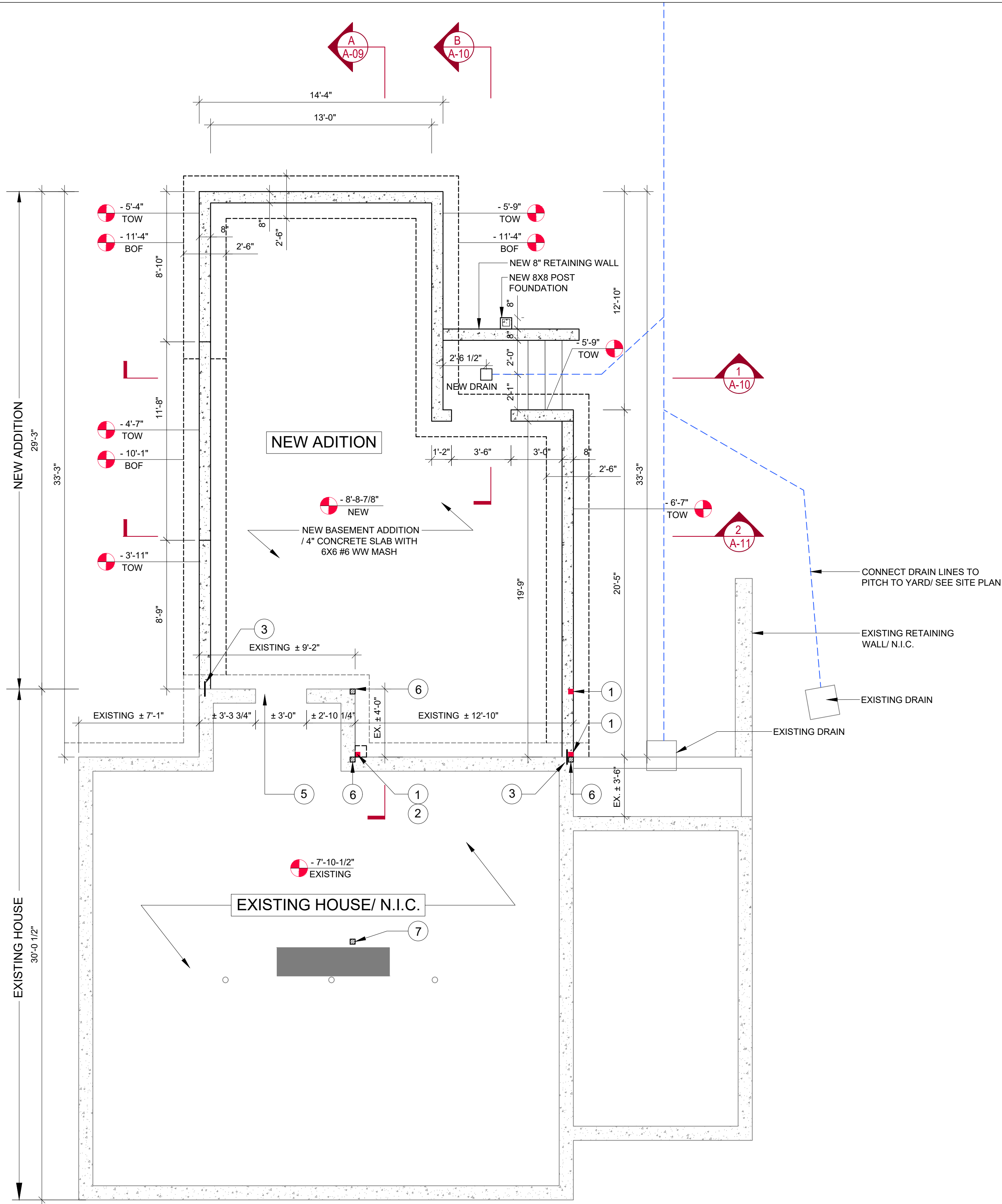
Revisions

Sheet no.

S-02

Zoning calculations/ 236 Payson Road, Zone SR-C, Part Lots 123 &124		Allowed or required (max./min.) for Zone SR-C	Existing Conditions	Proposed Conditions
Area Requirements				
Min. Lot Area	(Sq. Ft.)	9,000	11,068	11,068
Min. Lot Frontage	(Feet)	75	60.93	60.93
Min. Lot Area/DU	(Sq. Ft./DU)	N/A	N/A	N/A
Max. F.A.R.		N/A	N/A	N/A
Max. Lot Coverage	(%)	25%	11.9%	15.7%
Min. Open Space	(%)	50%	76.3%	70%
Linear Requirements				
Minimum Setback/ Front	(Feet)	25	28.6	28.6
Minimum Setback/ Left Side	(Feet)	10	6.1	6.1
Minimum Setback/ Right Side	(Feet)	10	9.5	9.5
Minimum Setback/ Rear	(Feet)	30	149.6	127.6
Max. Building Height	(Feet)	30	27.2	27.2
Stories (max.)	(Feet)	2-1/2	2-1/2	2-1/2





SCOPE OF WORK

CONTRACTOR SHALL SUBMIT BIDS TO COMPLETE WORK ON PLANS FOR 236 PAYSON ROAD, BELMONT, MA 02478 AS FOLLOWS:

PHASE 1

1. REMOVE ALL EXTERIOR CONSTRUCTION NECESSARY TO CONSTRUCT THE WORK DESCRIBED (NEW ADDITION), WITHOUT ENTERING THE EXISTING HOUSE.
2. CONSTRUCT NEW ADDITION BASED ON CONSTRUCTION NOTES.

PHASE 2

1. CONSTRUCT DUST BARRIER TO ENABLE WORKMEN TO REMOVE WALLS AND MATERIALS SPECIFIED ON THE DRAWINGS TO CONSTRUCT PHASE 2.
2. WORK ON PHASE 2 TO BE EXPLAINED IN CONSTRUCTION NOTES.

PHASE 3

1. CONTRACTOR SHALL CONTINUE WORKING WITH PHASE 3 AFTER FINAL APPROVAL FROM THE CLIENT.

CONSTRUCTION NOTES

PHASE 1

1. INSTALL NEW 4X4 POSTS TO SUPPORT FRAMING OF NEW ADDITION. CONTRACTOR TO DETERMINE WHETHER NEW SUPPORT IS NECESSARY TO SUPPORT POSTS.
2. POSSIBLE NEW 8X8 CONCRETE PIER TO SUPPORT POSTS.
3. TIE NEW CONCRETE WALLS TO EXISTING USING EPOXY RODS AT 2' O.C. HILTI OR EQUAL.
4. CONSTRUCT NEW ADDITION AS SHOWN ON THE DRAWINGS/ SEE CONSTRUCTION NOTES ON THE PLAN.

PHASE 2

5. AFTER CONSTRUCTION OF NEW ADDITION, CUT NEW OPENING TO THE FLOOR TO ACCOMMODATE A NEW 2'-6" DOOR/ SEE DRAWING.
6. AFTER CONSTRUCTION OF NEW ADDITION, INSTALL NEW 4X4 PARALLAM PSL POSTS WHERE SHOWN ON THE DRAWINGS TO SUPPORT THE LOAD FROM THE SECOND FLOOR PLAN AFTER REMOVING LOAD BEARING WALLS.

PHASE 3

7. INSTALL NEW 4X4 PARALLAM POST WHERE SHOWN ON THE DRAWING ONLY IN PHASE 3.

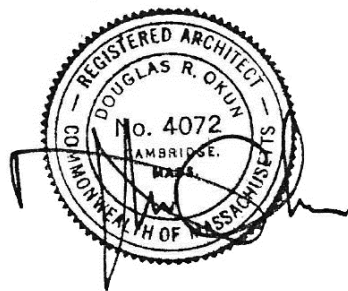
- 4X4 PARALLAM PSL POST TO BE INSTALLED IN PHASE 1
- ▣ 4X4 PARALLAM PSL POST TO BE INSTALLED IN PHASE 2 AND 3

KEY

FOOTINGS	
EXISTING FOUNDATION WALLS	
NEW FOUNDATION WALLS/ CONCRETE	

TOP OF FOUNDATION WALL	TOW
BOTTOM OF FOOTING	BOF

1 | PROPOSED FOUNDATION PLAN
1/4" = 1'-0"



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title
PROPOSED FOUNDATION PLAN

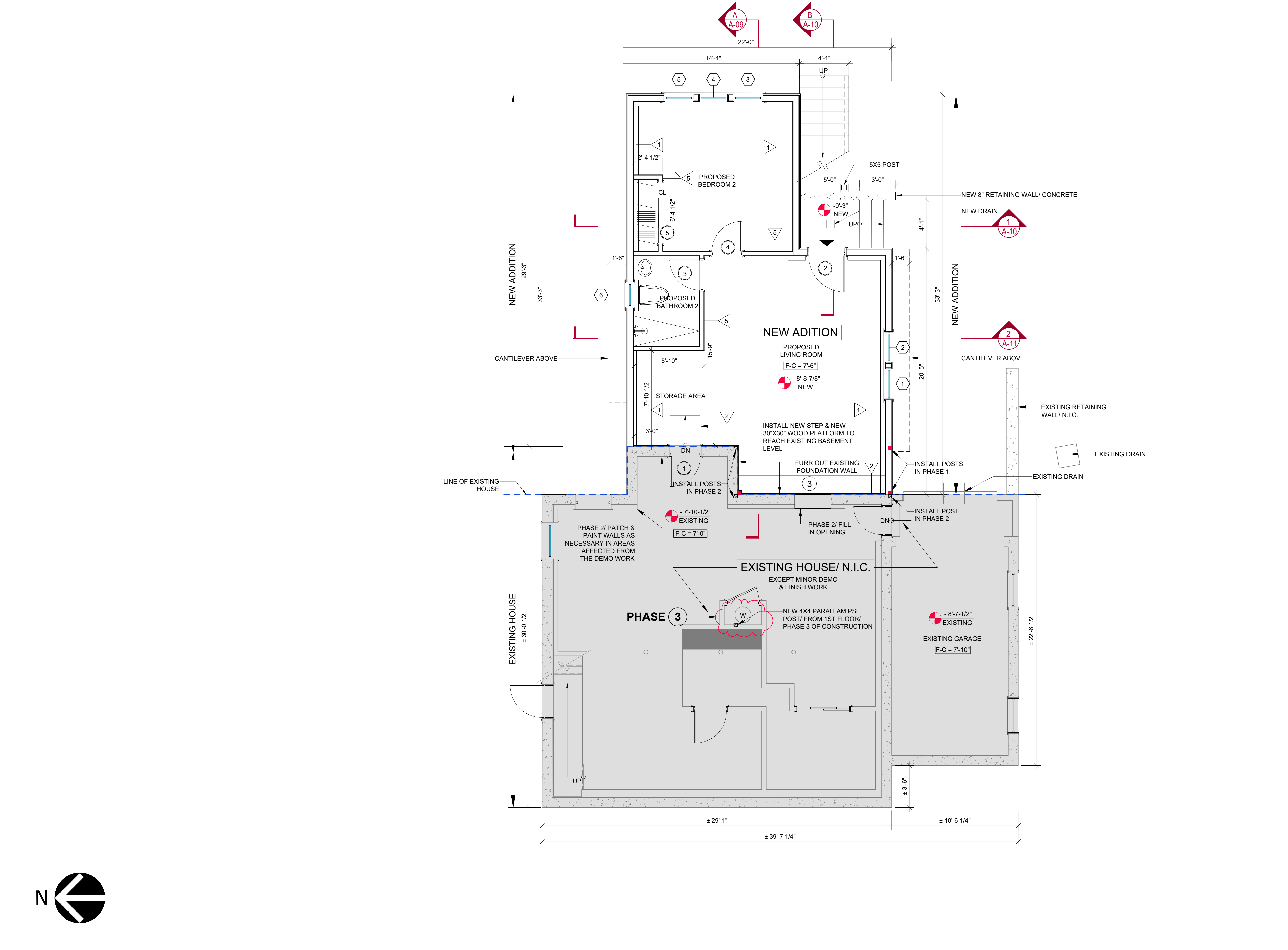
236 PAYSON ROAD, BELMONT, MA 02478

Scale	Date	Drawn	Checked	Job no.
1/4"=1'-0"	02.16.2021	JN	DOKUN	20012

Revisions

Sheet no.

A-01



- CONSTRUCTION NOTES**
1. INSTALL ALL NEW POSTS AS PER CONSTRUCTION NOTES SHOWN ON THE FOUNDATION PLAN/ A-01.
 2. AFTER PROVIDING LOAD SUPPORT, CONSTRUCT NEW ADDITION IN **PHASE 1**. FOLLOW CONSTRUCTION NOTES SHOWN ON THE DRAWING.
 3. AFTER NEW ADDITION CONSTRUCTION, INSTALL AN 18" WIDE PLATFORM OVER EXISTING FOUNDATION WHERE SHOWN ON THE DRAWINGS/ SEE BASEMENT PLAN/ A-02 AND SECTION A/ A-09.
 4. DEMO AND FINISH WORK OF THE EXISTING BASEMENT TO BE COMPLETED ONLY IN **PHASE 2**.
 5. INSTALL 3 NEW 4X4 PARALLAM PSL POSTS ON EXISTING FOUNDATION WALLS AS SHOWN AND EXPLAINED ON THE FOUNDATION PLAN/ A-01. POSTS WILL PROVIDE SUPPORT FOR THE LOAD FROM THE SECOND FLOOR PLAN. COMPLETE THIS WORK ON **PHASE 2**.
 6. IF PROCEEDING WITH **PHASE 3**, CONTRACTOR SHALL INSTALL A NEW 4X4 PARALLAM PSL POST WHERE SHOWN ON THE DRAWINGS, TO SUPPORT THE LOAD FROM SECOND FLOOR PLAN.

GROSS FLOOR AREA OF EXISTING HOUSE	
BASEMENT	1031 S.F.
1ST FLOOR	1152 S.F.
2ND FLOOR	804 S.F.
ATTIC (6' HIGH AND ABOVE).....	254 S.F.
TOTAL.....	3241 S.F.

GROSS FLOOR AREA OF NEW ADDITION	
BASEMENT	596 S.F.
1ST FLOOR	494 S.F.
TOTAL.....	1091 S.F.

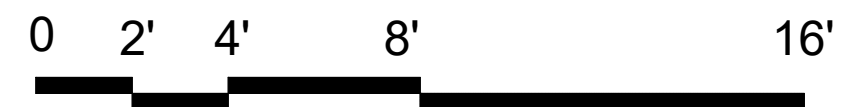
% OF ADDITION = 1090/ 3241 = 33.6%

- 4X4 PARALLAM PSL POST TO BE INSTALLED IN PHASE 1
- ☐ 4X4 PARALLAM PSL POST TO BE INSTALLED IN PHASE 2 AND 3

SYMBOLS	
WALL TYPES	—
NEW WINDOWS	—
NEW DOORS	—
NOTES	—
DETAILS	—

WALL TYPES KEY	
DEMO AND REMOVE	—
EXISTING CONCRETE WALLS	—
NEW CONCRETE WALLS	—
STUD WALLS TO REMAIN	—
NEW STUD WALLS	—
FILLED IN OPENINGS	—

1 | **PROPOSED BASEMENT PLAN**
1/4" = 1'-0"



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title
PROPOSED BASEMENT PLAN

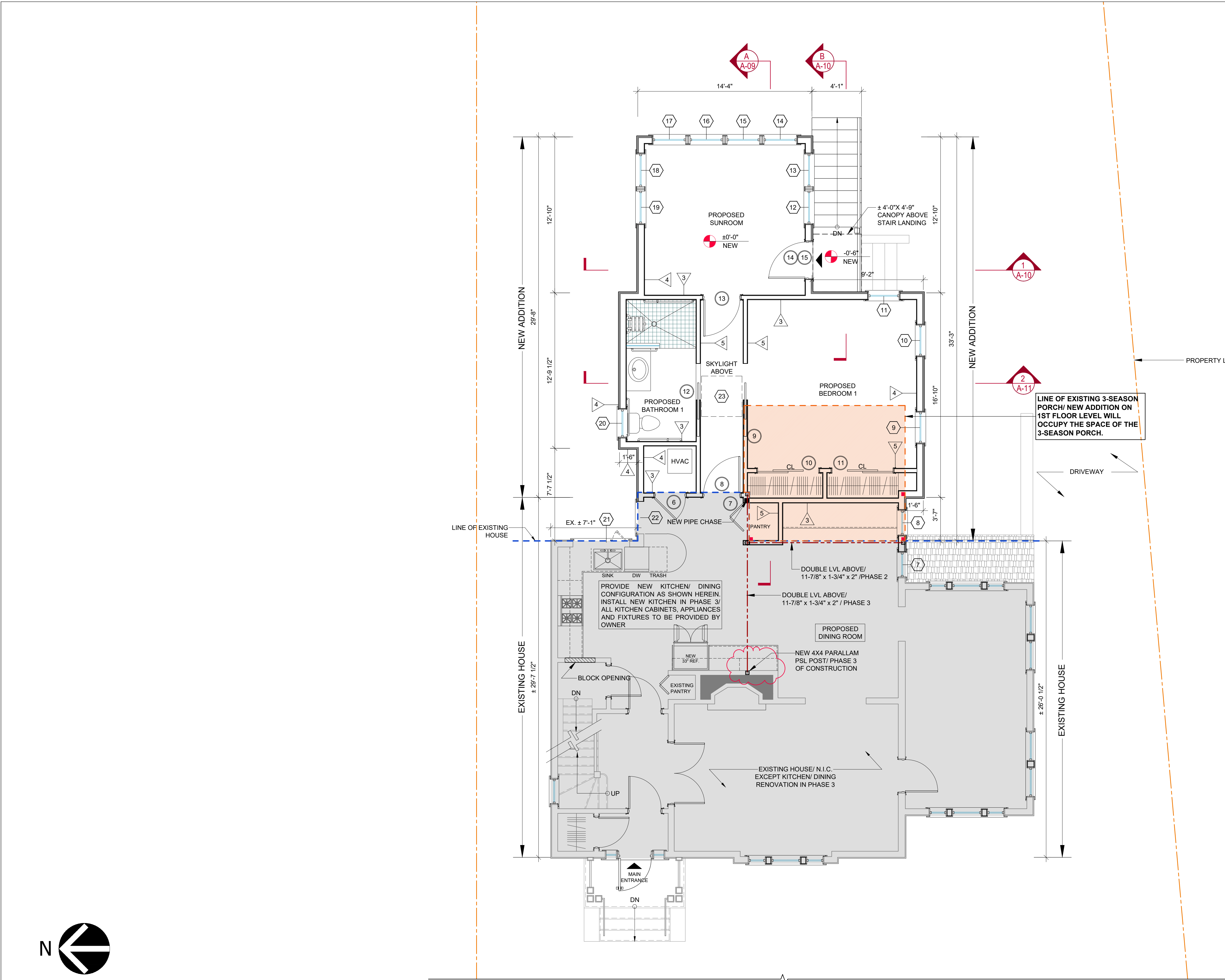
236 PAYSON ROAD, BELMONT, MA 02478

Scale	Date	Drawn	Checked	Job no.
1/4"=1'-0"	02.16.2021	JN	DOKUN	20012

Revisions

Sheet no.

A-02



GROSS FLOOR AREA OF EXISTING HOUSE	
BASEMENT	1031 S.F.
1ST FLOOR	1152 S.F.
2ND FLOOR	804 S.F.
ATTIC (6' HIGH AND ABOVE).....	254 S.F.
TOTAL.....	3241 S.F.
GROSS FLOOR AREA OF NEW ADDITION	
BASEMENT	596 S.F.
1ST FLOOR	494 S.F.
TOTAL.....	1091 S.F.
% OF ADDITION = 1090/ 3241 = 33.6%	

- 4X4 PARALLAM PSL POST TO BE INSTALLED IN PHASE 1
- ▣ 4X4 PARALLAM PSL POST TO BE INSTALLED IN PHASE 2 AND 3

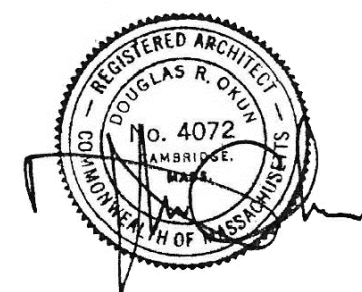
SYMBOLS

WALL TYPES	▶
NEW WINDOWS	◡
NEW DOORS	○
NOTES	○
DETAILS	⊖

WALL TYPES KEY

DEMO AND REMOVE	□ □ □ □
EXISTING CONCRETE WALLS	▤ ▤ ▤ ▤
NEW CONCRETE WALLS	▥ ▥ ▥ ▥
STUD WALLS TO REMAIN	▨ ▨ ▨ ▨
NEW STUD WALLS	▩ ▩ ▩ ▩
FILLED IN OPENINGS	▨ ▨ ▨ ▨

1 | PROPOSED 1ST FLOOR PLAN
1/4" = 1'-0"



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title
PROPOSED 1ST FLOOR PLAN

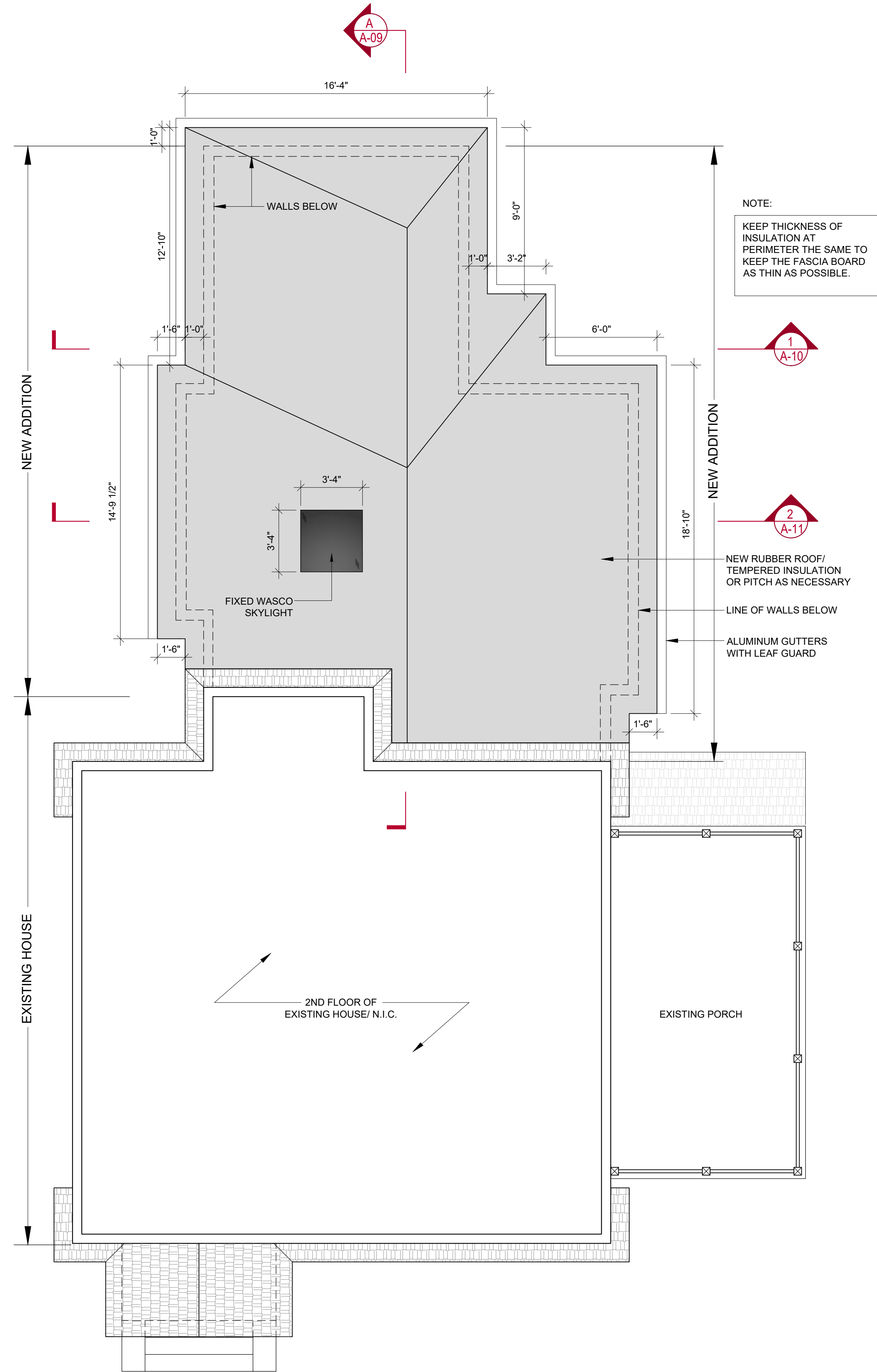
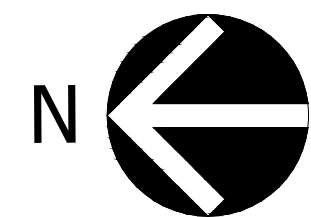
236 PAYSON ROAD, BELMONT, MA 02478

Scale 1/4"=1'-0"	Date 02.16.2021	Drawn JN	Checked DOKUN	Job no. 20012
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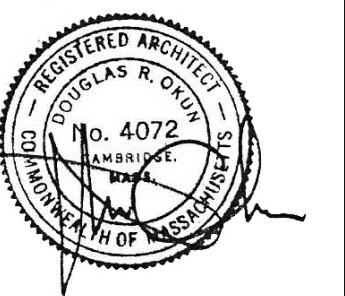
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A-03



1 | PROPOSED ROOF PLAN
1/4" = 1'-0"



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title

PROPOSED ROOF PLAN

236 PAYSON ROAD, BELMONT, MA 02478

Scale

1/4" = 1'-0"

Date

02.16.2021

Drawn

JN

Checked

DOKUN

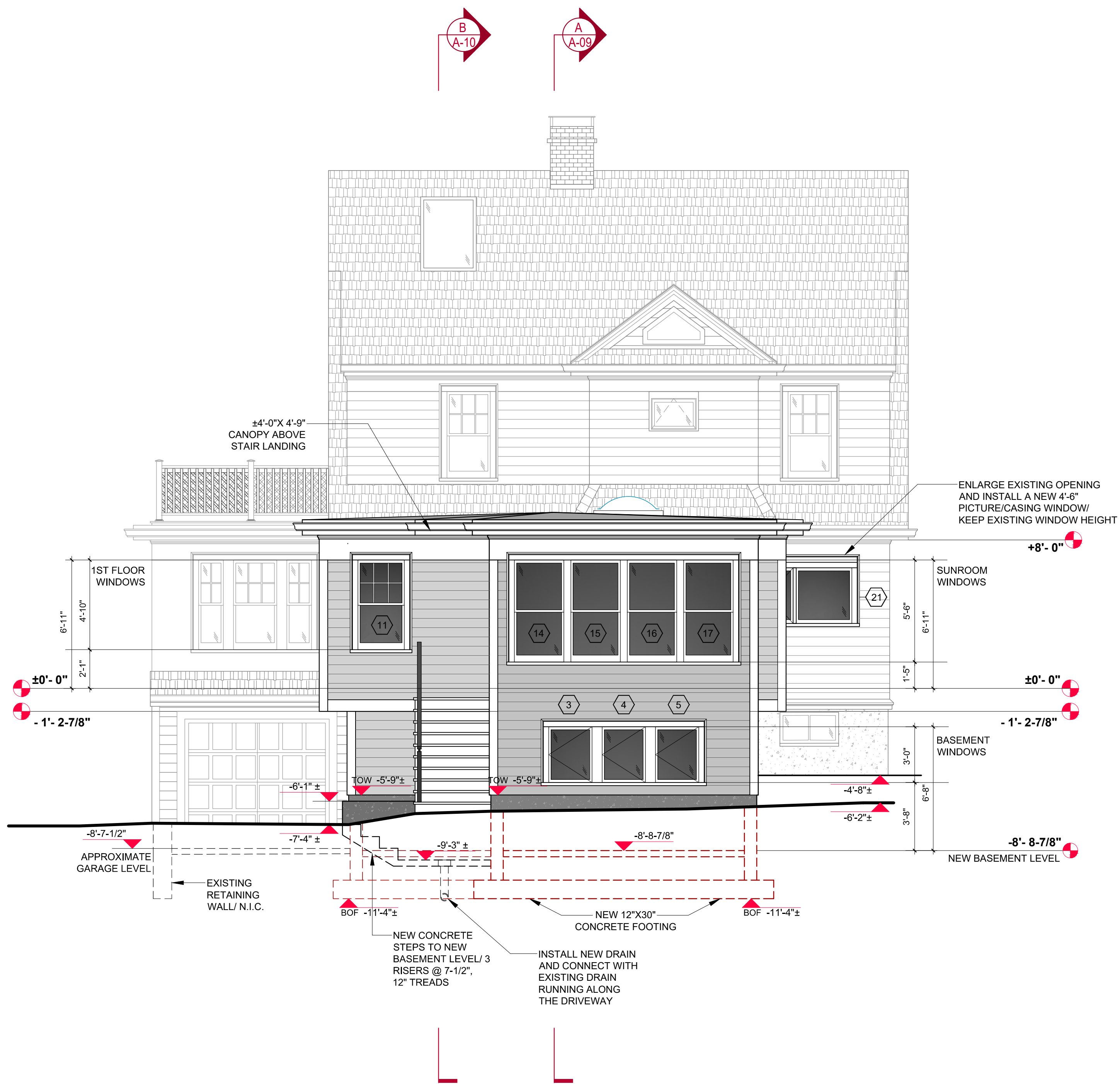
Job no.

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Revisions

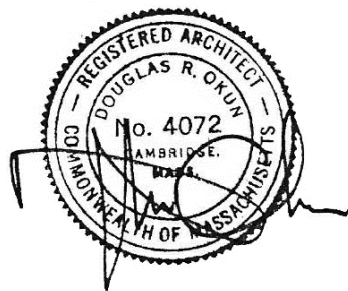
Sheet no.

A-04



TOP OF FOUNDATION WALL	TOW
BOTTOM OF FOOTING	BOF

1 | PROPOSED BACK ELEVATION
1/4" = 1'-0"



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title

PROPOSED BACK ELEVATION

236 PAYSON ROAD, BELMONT, MA 02478

Scale

1/4"=1'-0"

Date

02.16.2021

Drawn

JN

Checked

DOKUN

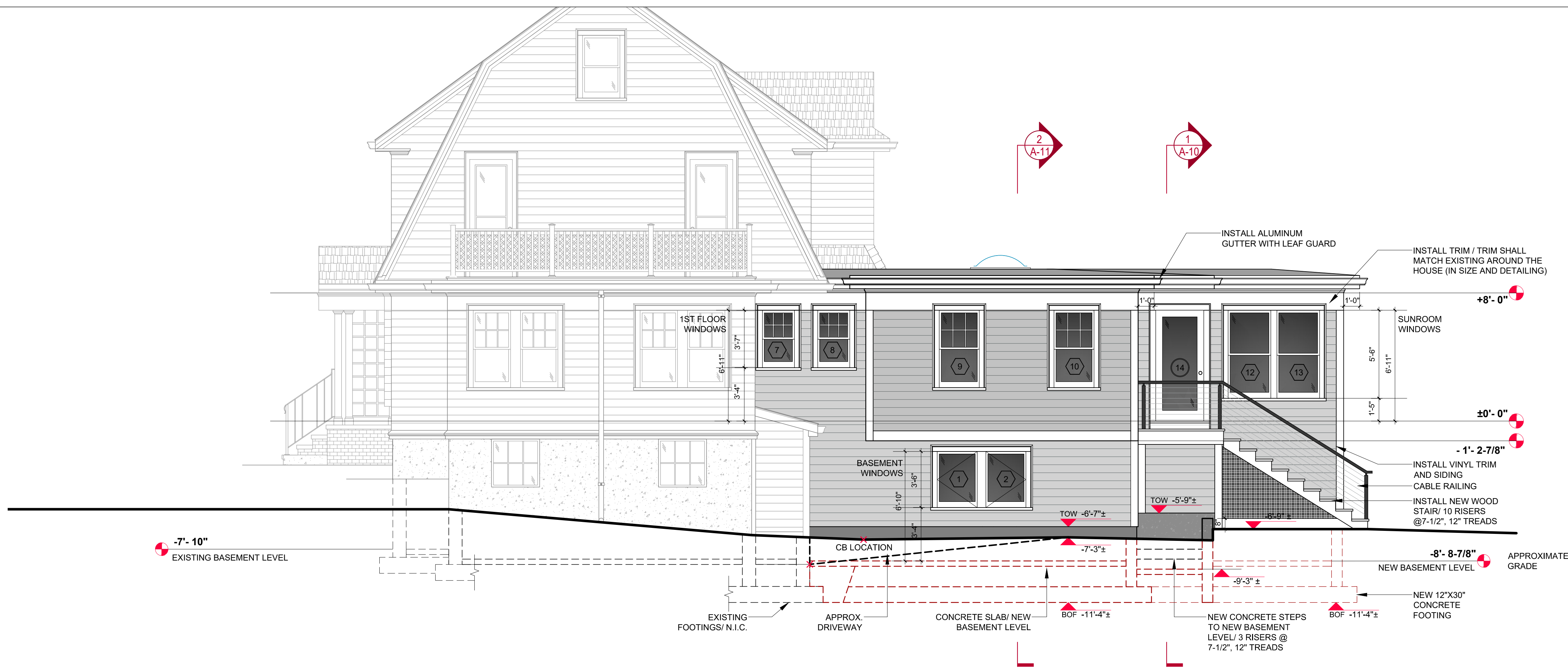
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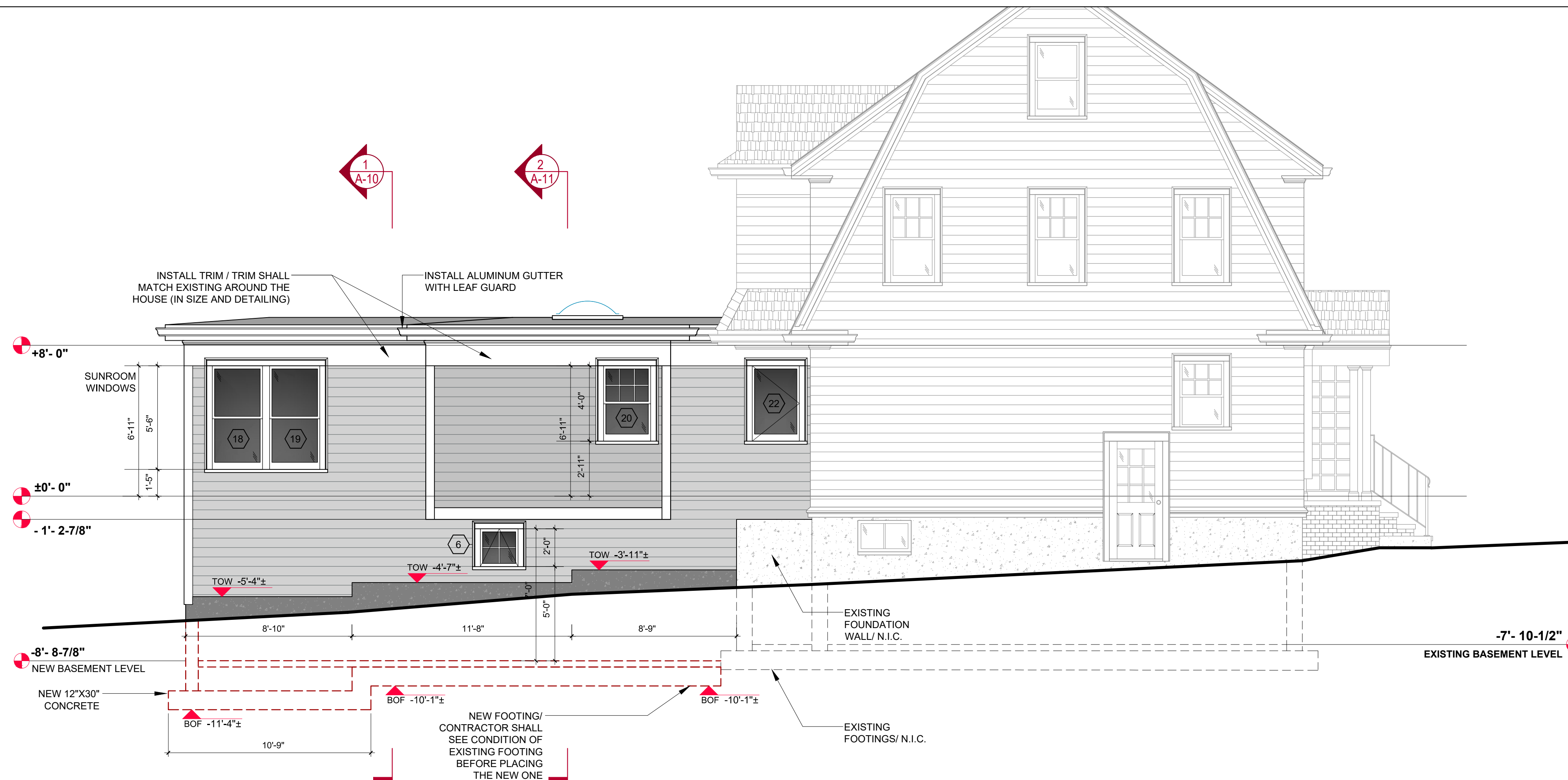
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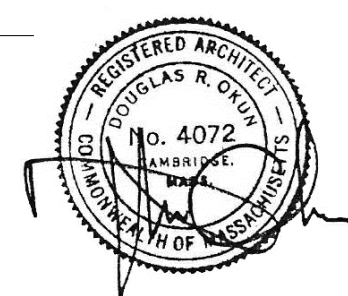


1 | PROPOSED RIGHT SIDE ELEVATION
1/4" = 1'-0"



TOP OF FOUNDATION WALL	TOW
BOTTOM OF FOOTING	BOF

2 | PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"



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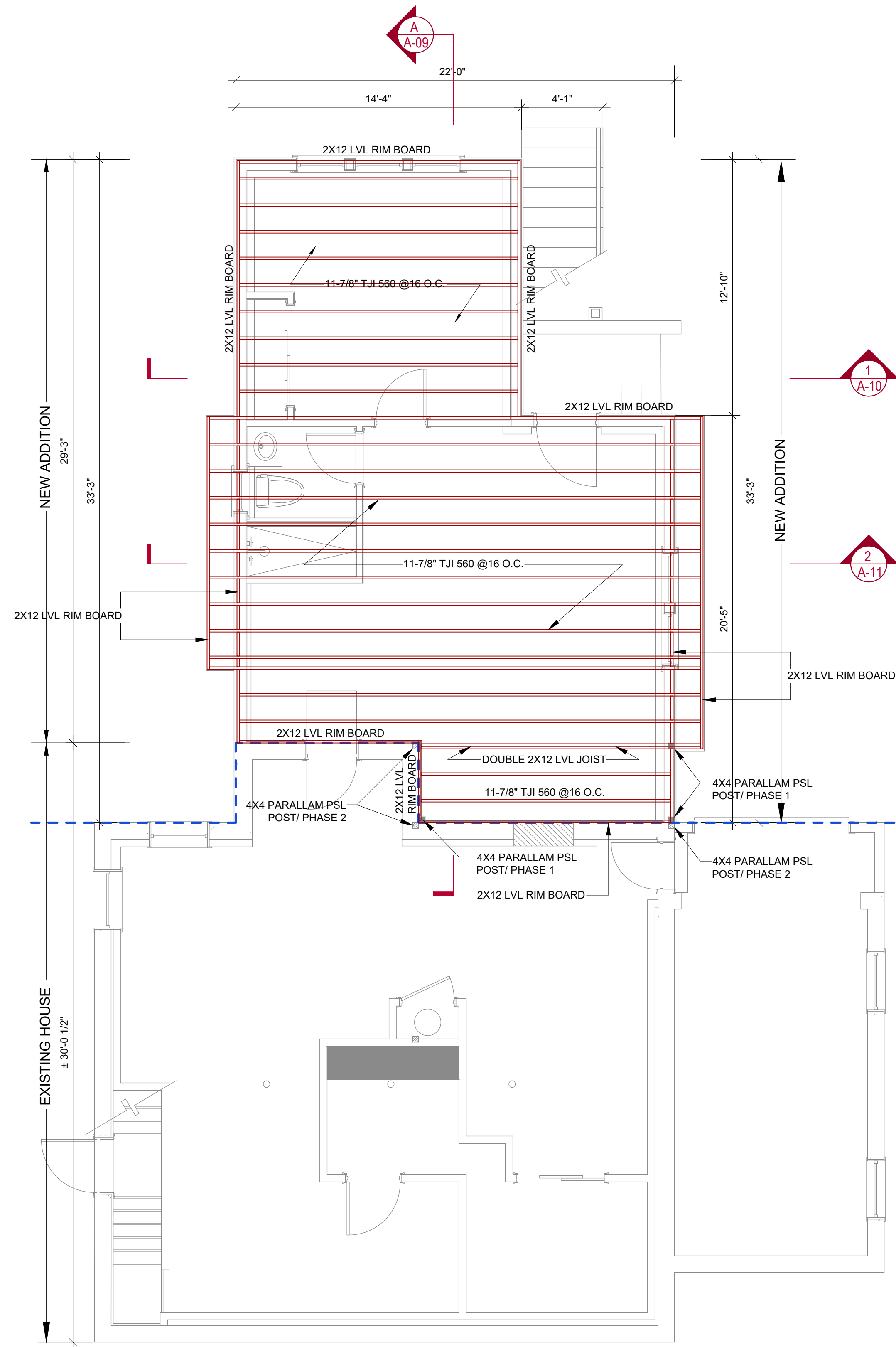
NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title
PROPOSED RIGHT SIDE AND LEFT SIDE ELEVATIONS

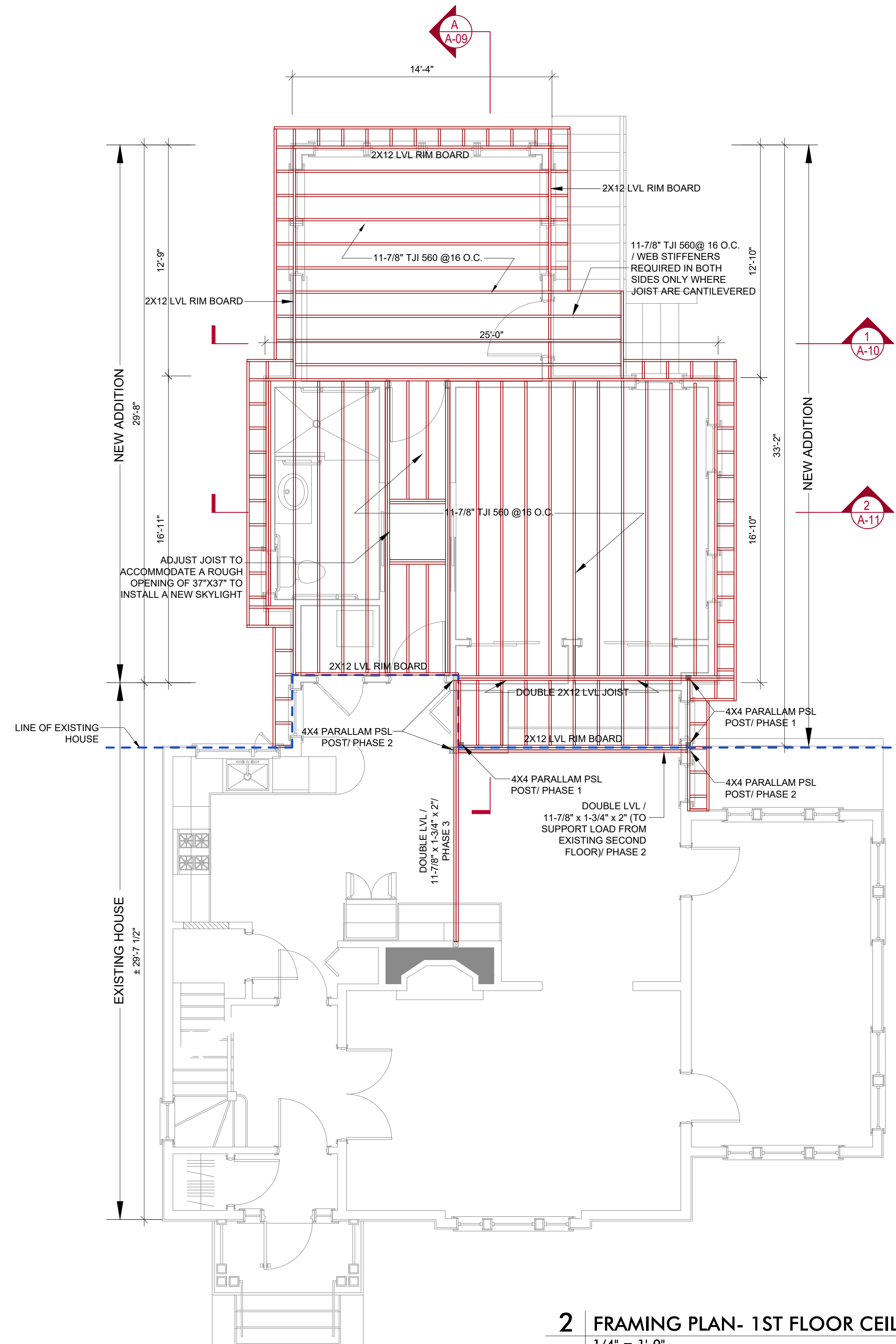
236 PAYSON ROAD, BELMONT, MA 02478

Scale 1/4" = 1'-0"	Date 02.16.2021	Drawn JN	Checked DOKUN	Job no. 20012
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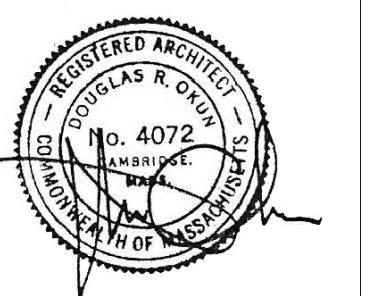
Revisions	Sheet no.
	A-06



1 | FRAMING PLAN- BASEMENT CEILING
1/4" = 1'-0"



2 | FRAMING PLAN- 1ST FLOOR CEILING
1/4" = 1'-0"



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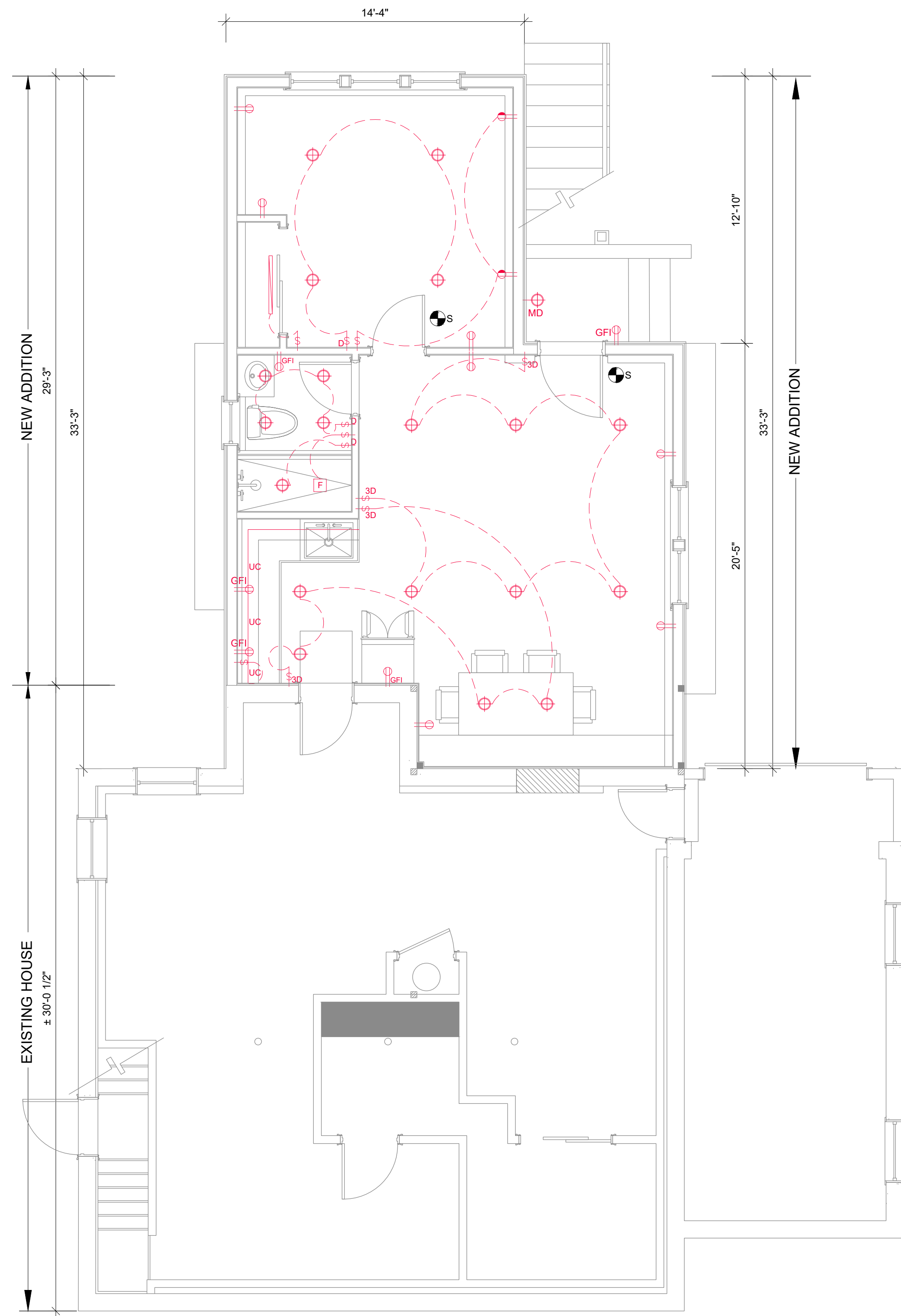
NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title
PROPOSED FRAMING PLANS

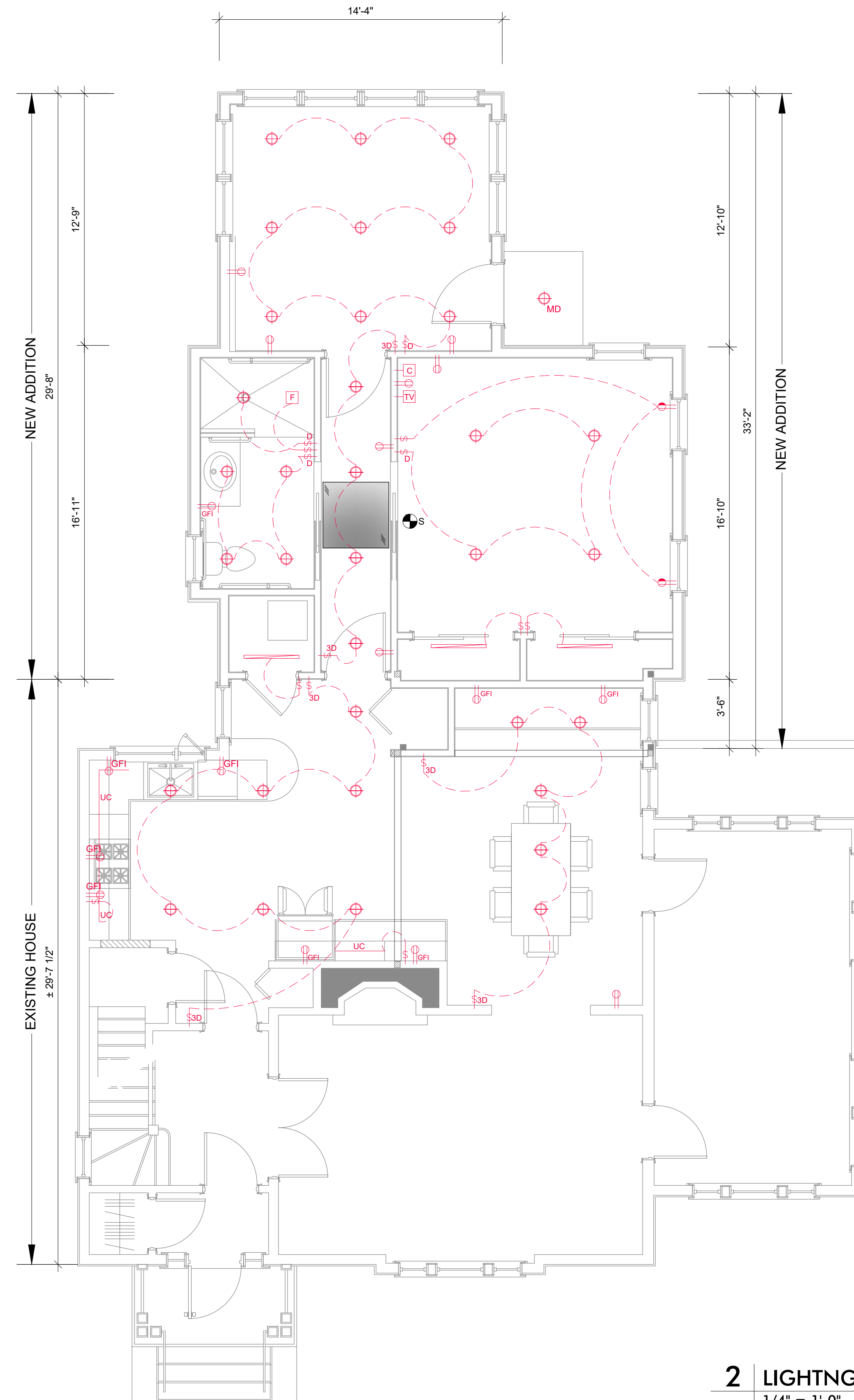
236 PAYSON ROAD, BELMONT, MA 02478

Scale 1/4" = 1'-0"	Date 02.16.2021	Drawn JN	Checked DOKUN	Job no. 20012
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Revisions	Sheet no.
	A-07



1 LIGHTING/POWER PLAN- BASEMENT
1/4" = 1'-0"



2 LIGHTNG/POWER PLAN- 1ST FLOOR
1/4" = 1'-0"



POWER/ LIGHTING LEGEND

	SMOKE / CO ₂ DETECTOR
	RECESSED DOWNLIGHT OR SURFACE MTD
	WALL MOUNTED LIGHT
	MOTION DETECTOR
	TV JACK
	CABLE INTERNET
	RECESSED CEILING FAN
	SINGLE POLE
	DIMMER SWITCH
	3-WAY DIMMER SWITCH
	DUPLEX WALL OUTLET
	DUPLEX OUTLET TOP PLUG SWITCHED
	DUPLEX GFI OUTLET
	CEILING MOUNTED LED
	LED LIGHT UNDER CABINET



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title
PROPOSED LIGHTING/ POWER PLANS

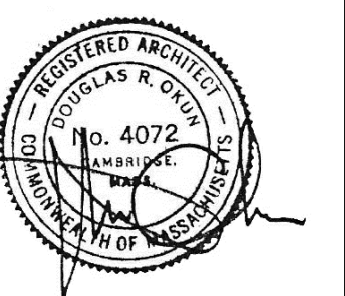
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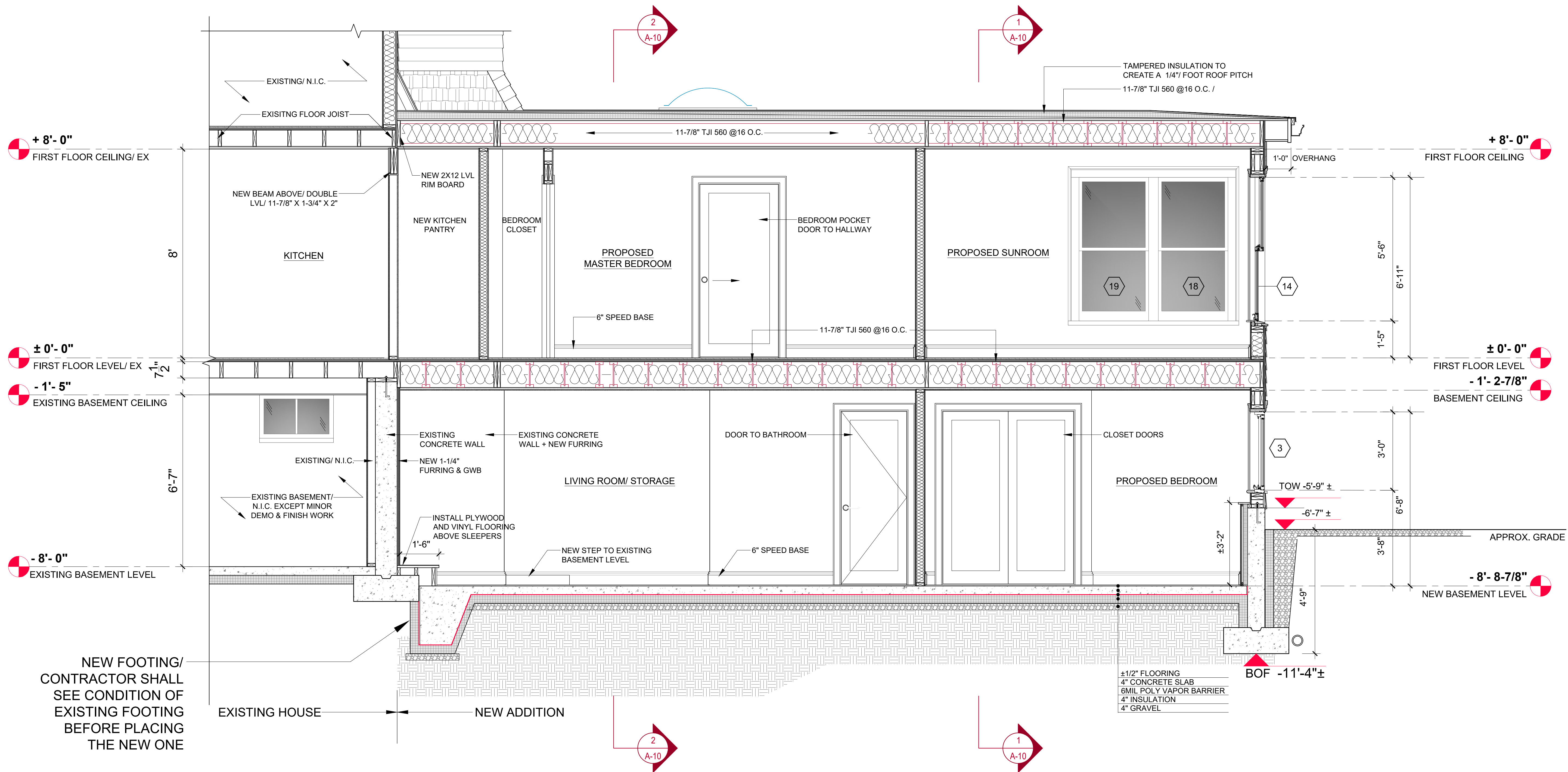
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Revisions

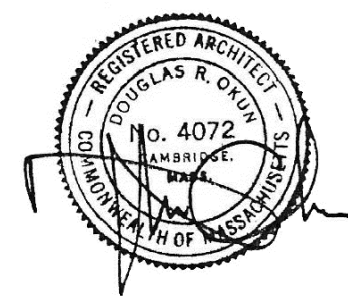
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A-08





1 | SECTION A-A
1/2" = 1'-0"



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title

SECTION A-A

236 PAYSON ROAD, BELMONT, MA 02478

Scale

1/2" = 1'-0"

Date

02.16.2021

Drawn

JN

Checked

DOKUN

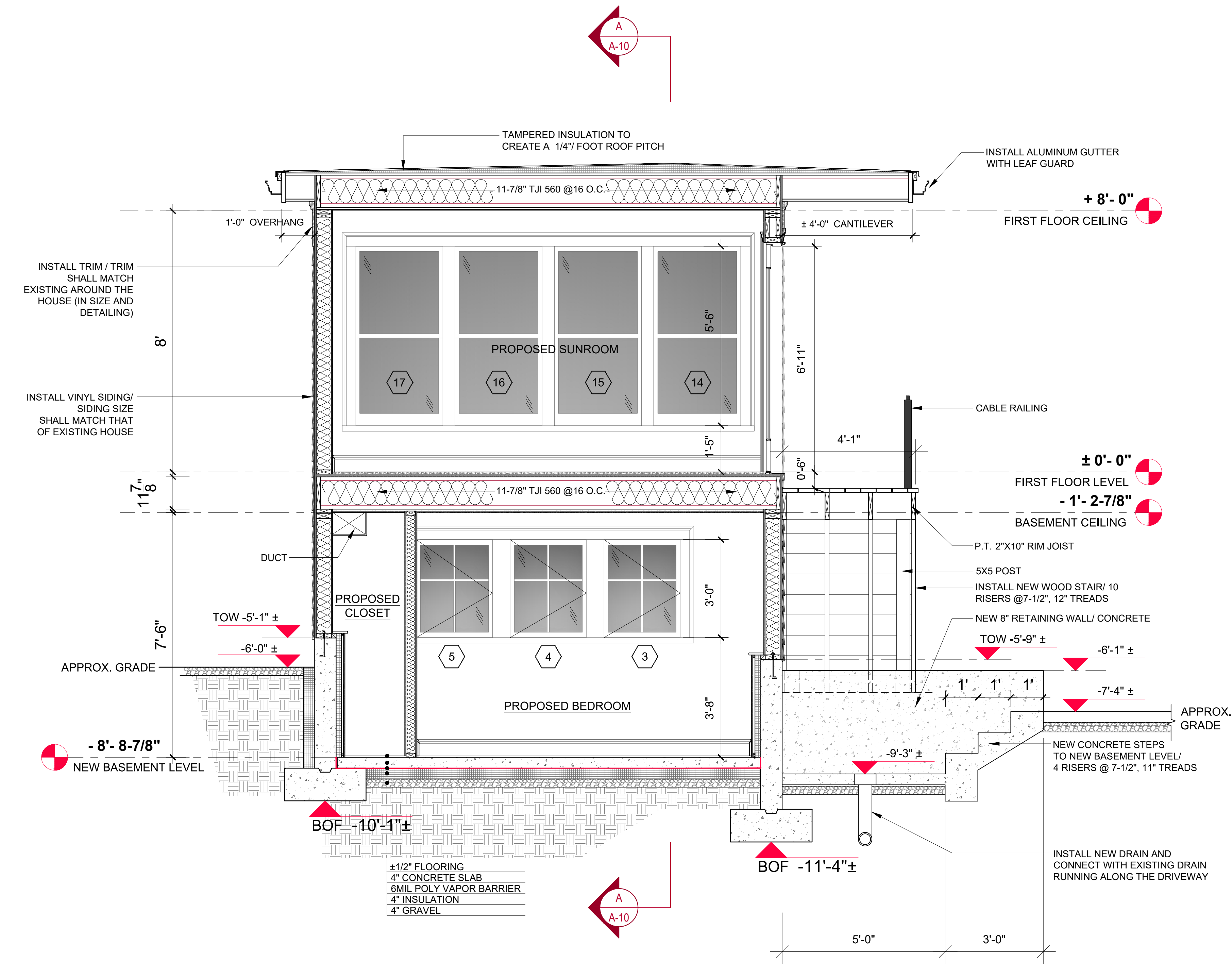
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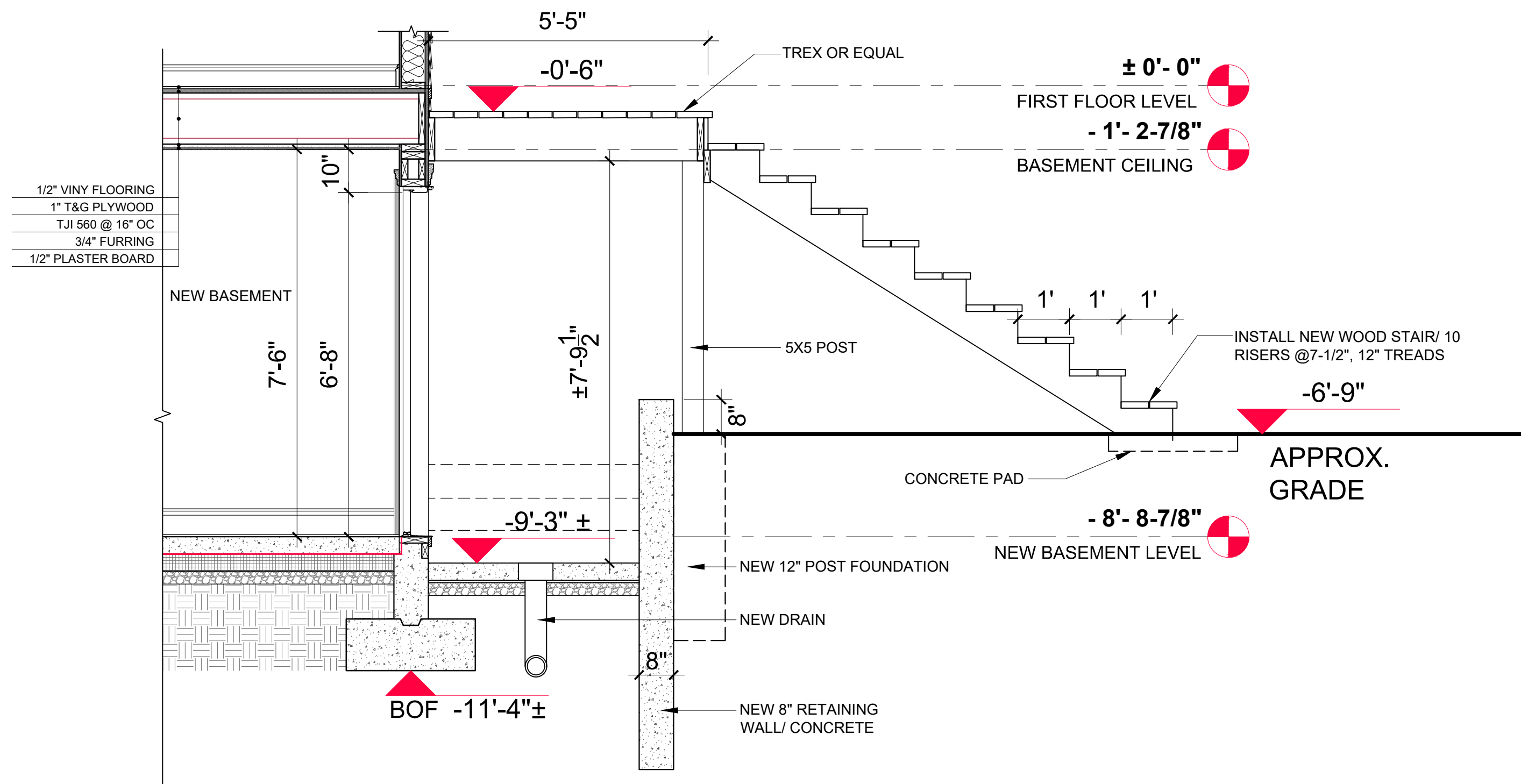
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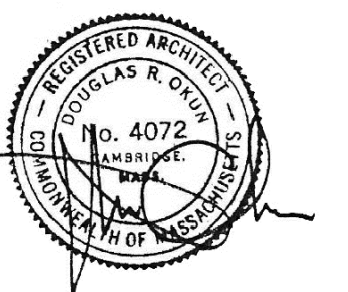
A-09



1 SECTION 1-1
1/2" = 1'-0"



2 SECTION B-B (SECTION THROUGH THE STAIR)
1/2" = 1'-0"



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title

SECTION 1-1 & SECTION B-B

236 PAYSON ROAD, BELMONT, MA 02478

Scale
AS SHOWN

Date
02.16.2021

Drawn
JN

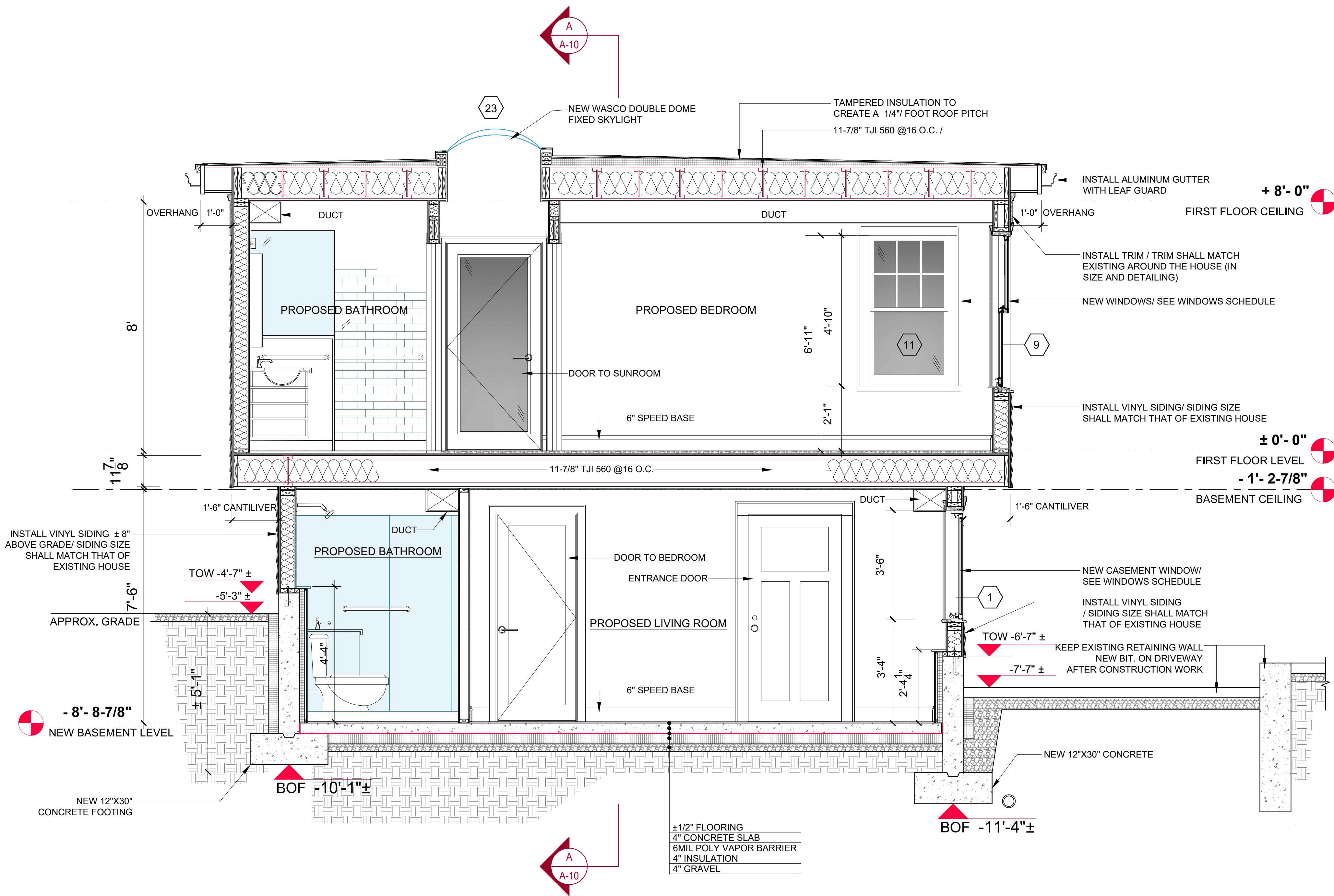
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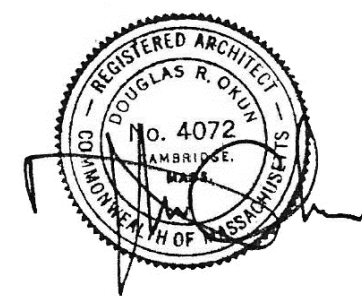
Revisions

Sheet no.

A-10



1 | SECTION 2-2
1/2" = 1'-0"



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NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title

SECTION 2-2

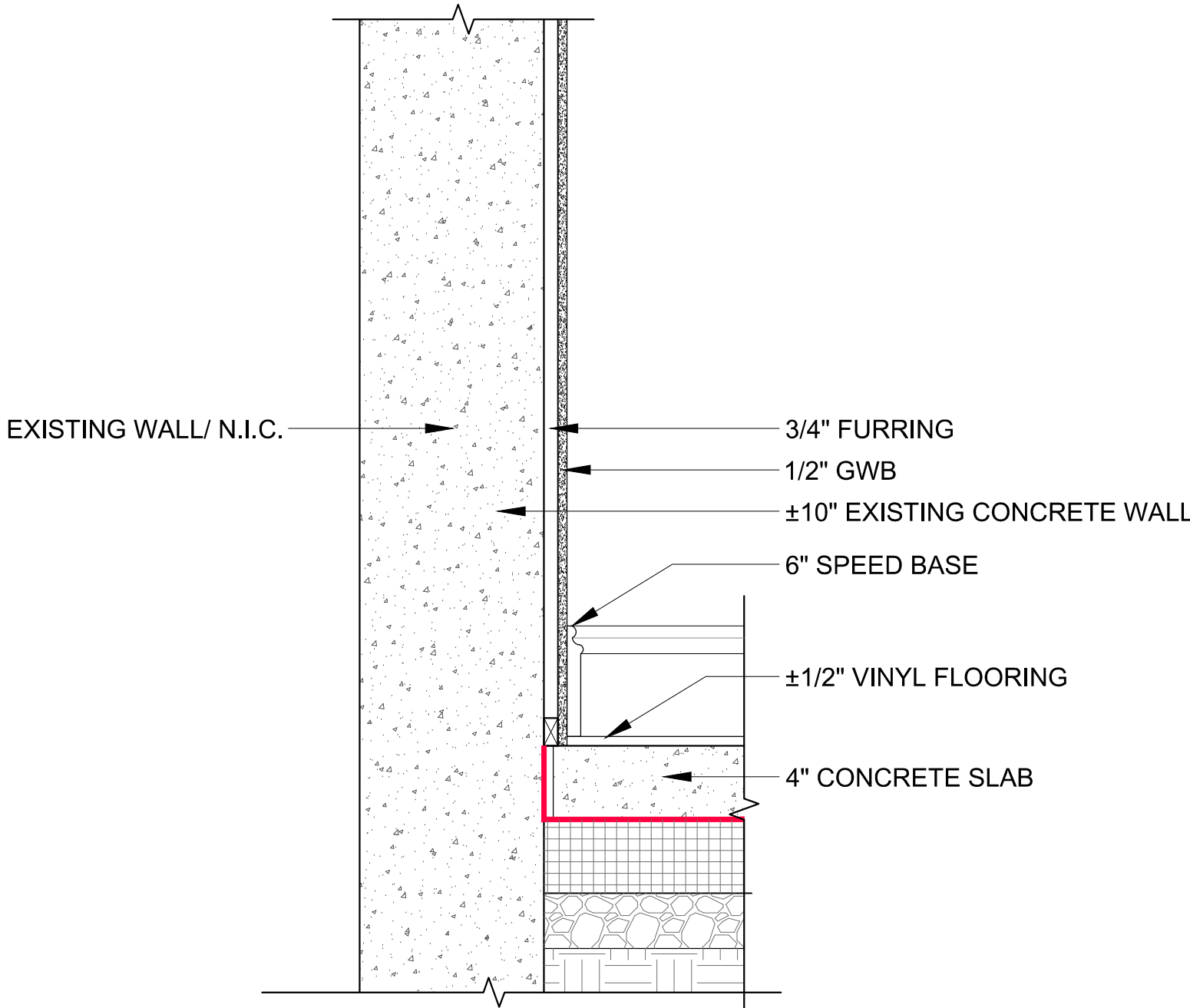
236 PAYSON ROAD, BELMONT, MA 02478

Scale 1/2" = 1'-0"	Date 02.16.2021	Drawn JN	Checked DOKUN	Job no. 20012
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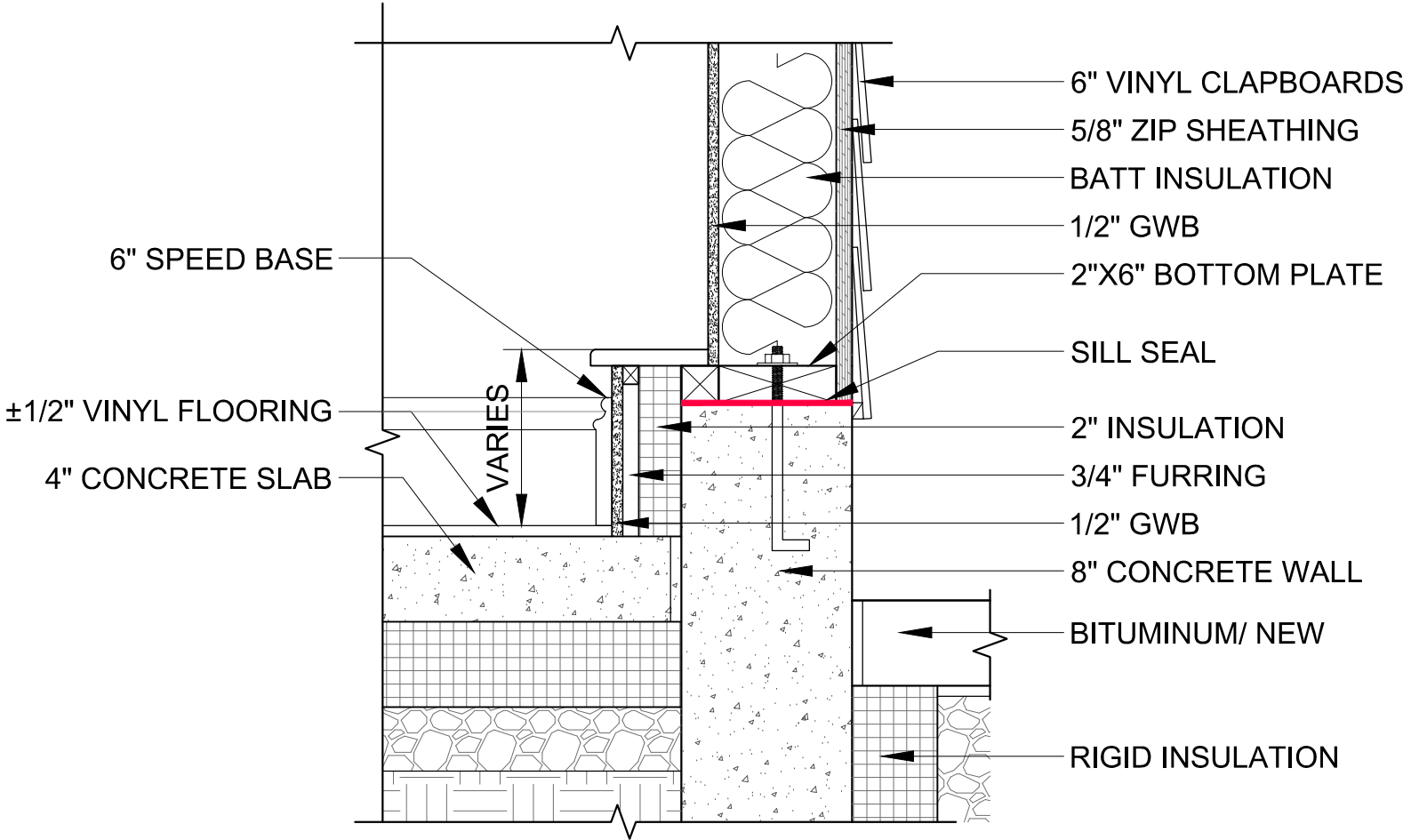
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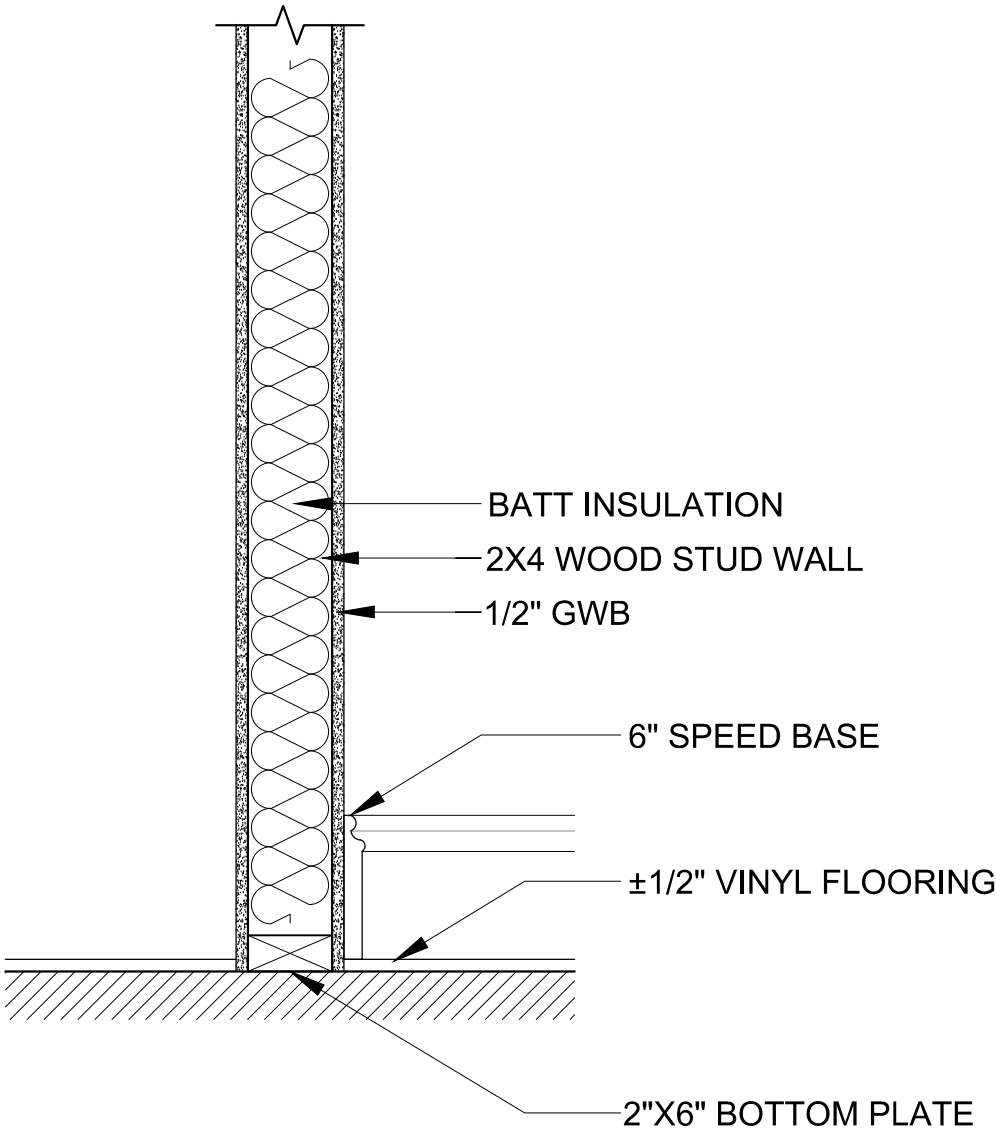
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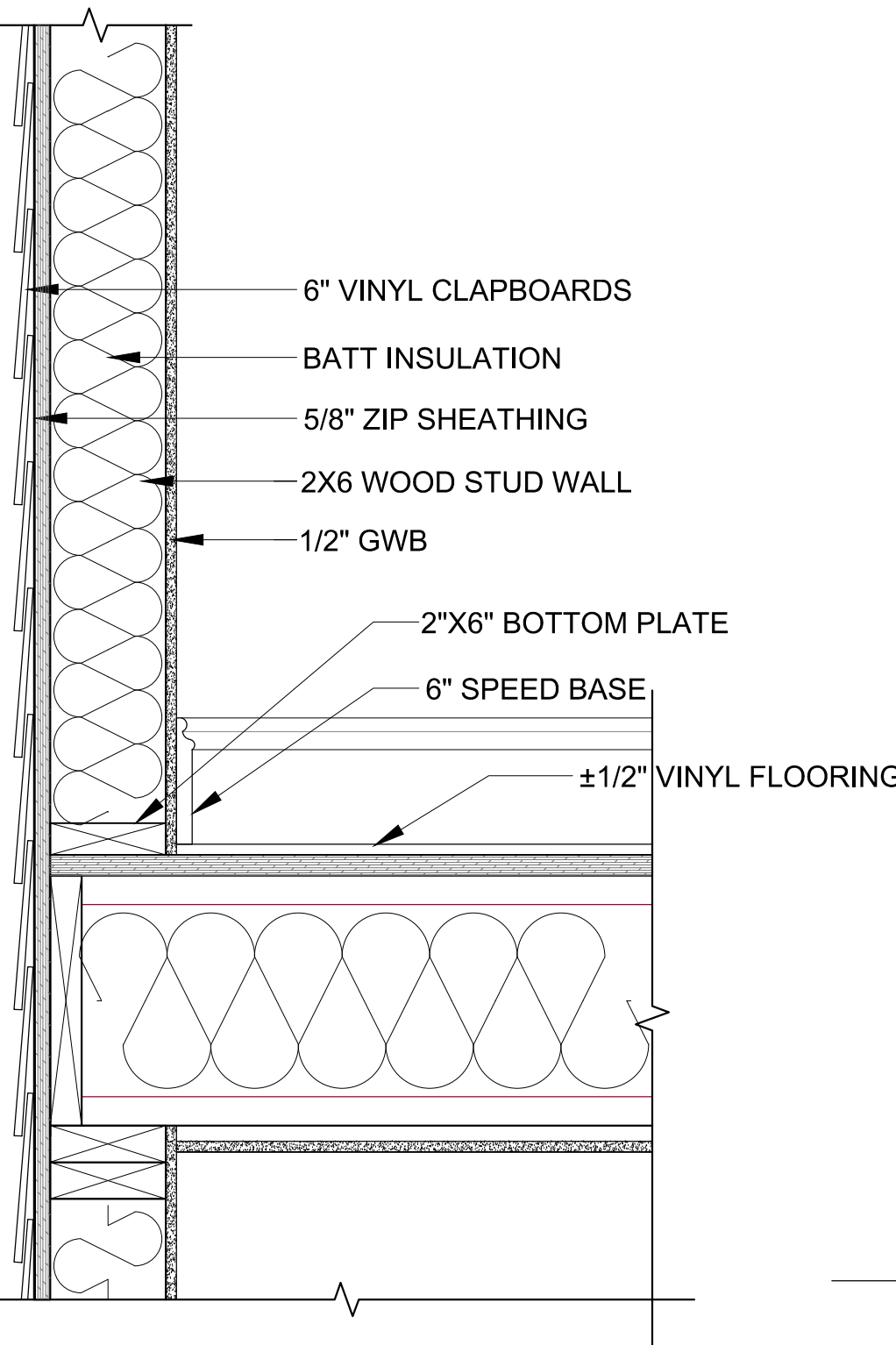
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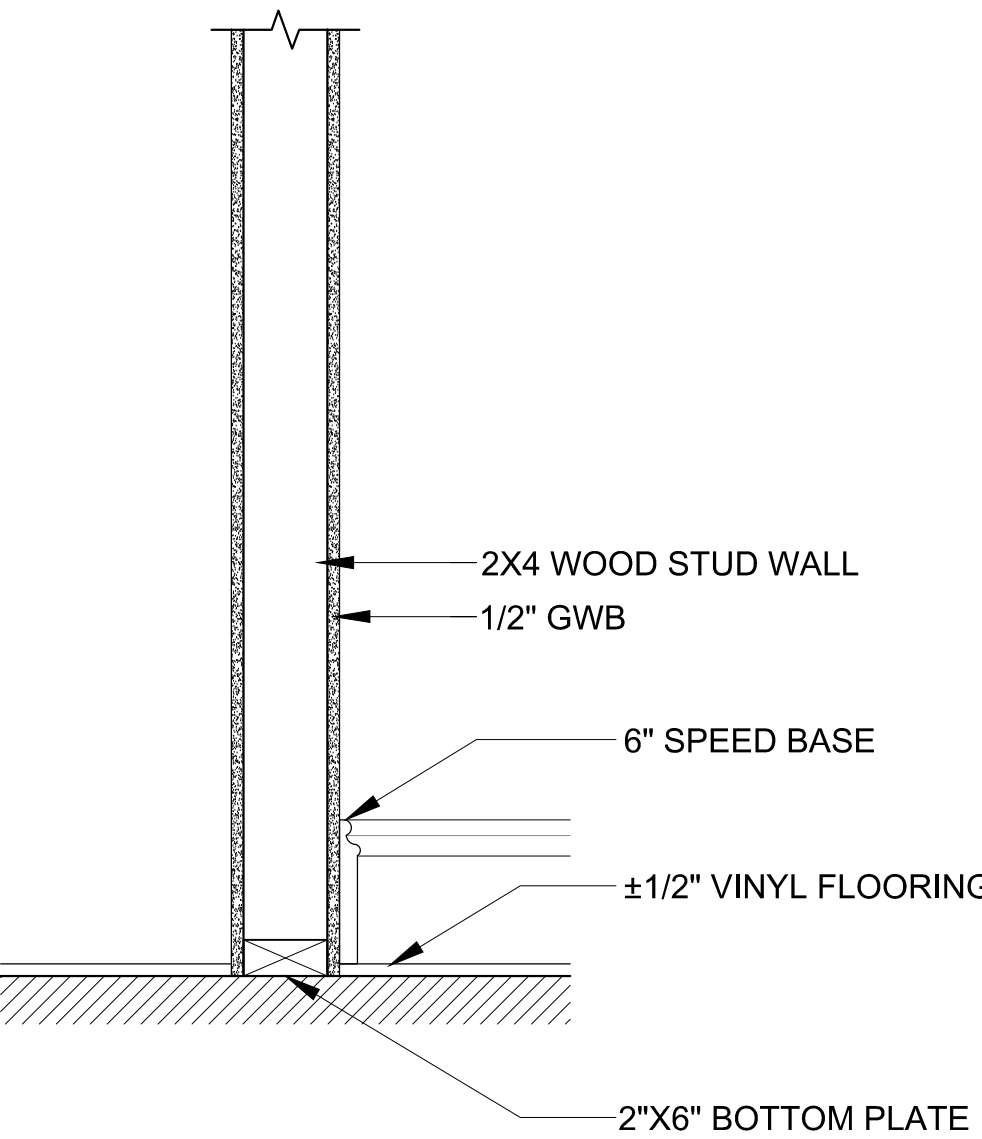
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3



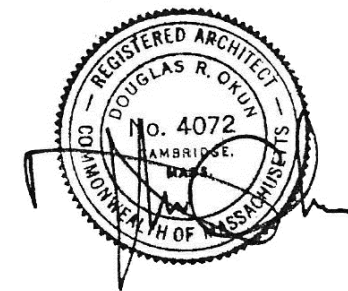
4



5

1 | WALL TYPES
1-1/2" = 1'-0"

0 1/2' 1' 2'



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DOUGLAS OKUN & ASSOCIATES, INC.
156 Mount Auburn St. • Cambridge, MA 02138 • T: 617.491.4600 • E: doug@doassoc.com

NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title
WALL TYPES

236 PAYSON ROAD, BELMONT, MA 02478

Scale 1-1/2"= 1'-0"	Date 02.16.2021	Drawn JN	Checked DOKUN	Job no. 20012
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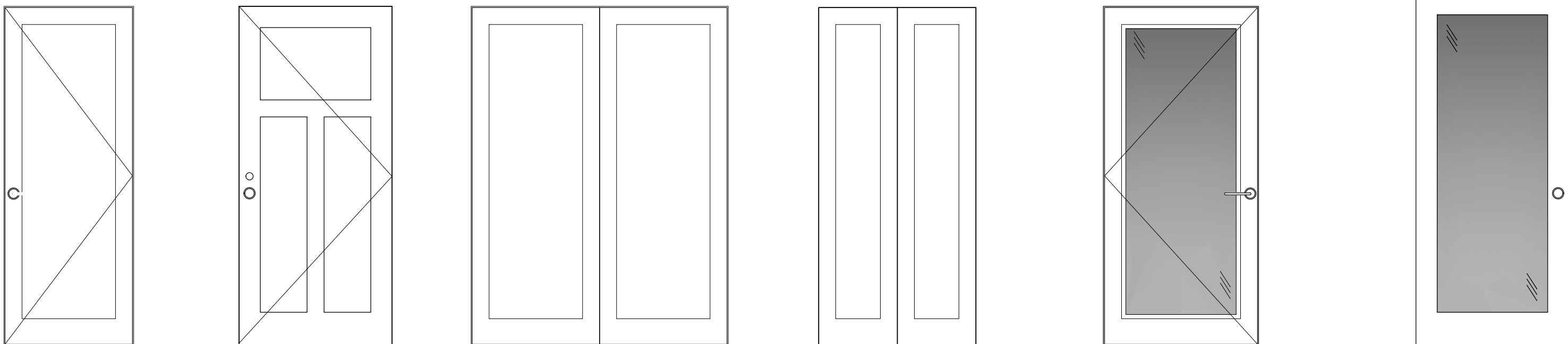
Revisions

Sheet no.

A-12

DOOR NO.	SIZE	MATERIAL	TYPE	JAMB	HAND	NOTES
1	2'-6" x 6'-8" x 1-3/8"	MDF	A	MDF/ SINGLE RABBETED	R	BROSCO PR-11S 1 PANEL
2	3'-0" x 6'-8" x 1-3/4"	FIBERGLASS	B		L	JELD-WEN 20DFC-30/ 3 PANEL CRAFTSMAN
3	2'-6" x 6'-8" x 1-3/8"	MDF	A	MDF/ SINGLE RABBETED	R	BROSCO PR-11S 1 PANEL
4	2'-6" x 6'-8" x 1-3/8"	MDF	A	MDF/ SINGLE RABBETED	R	BROSCO PR-11S 1 PANEL
5	5'-0" x 6'-8" x 1-3/8"	MDF	C	MDF		BROSCO PR-11S 1 PANEL
6	2'-6" x 6'-8" x 1-3/8"	MDF	A	MDF/ SINGLE RABBETED	R	BROSCO PR-11S 1 PANEL
7	3'-1"± x 6'-8"± x 1-3/8"	MDF	D	MDF	R	BROSCO PR-11S 1 PANEL
8	3'-0" x 6'-8" x 1-3/8"	WOOD/ GLASS	E	WOOD/ SINGLE RABBETED	R	BROSCO PR- 1501
9	3'-0" x 6'-8" x 1-3/8"	MDF	A	MDF		BROSCO PR-11S 1 PANEL
10	5'-0" x 6'-8" x 1-3/8"	MDF	C	MDF		BROSCO PR-11S 1 PANEL
11	5'-0" x 6'-8" x 1-3/8"	MDF	C	MDF		BROSCO PR-11S 1 PANEL
12	3'-0" x 6'-8" x 1-3/8"	MDF	A	MDF		BROSCO PR-11S 1 PANEL
13	3'-0" x 6'-8" x 1-3/8"	WOOD/ GLASS	E	WOOD/ SINGLE RABBETED	R	BROSCO PR- 1501
14	3'-0" x 7'-0" x 1-3/4"	FIBERGLASS	E		L	JELD-WEN 686LE/ WHITE
15	3'-0" x 7'-0" x 1-3/4"	ALUM./ GLASS	F	ALUMINUM	L	

WINDOW NO.	SIZE	MATERIAL	HEIGHT A.F.F.	NOTES
1	2'-6" x 3'-6"	VINYL	3'-4"	HARVEY WINDOWS/ CASEMENT
2	2'-6" x 3'-6"	VINYL	3'-4"	HARVEY WINDOWS/ CASEMENT
3	2'-4" x 3'-0"	VINYL	3'-8"	HARVEY WINDOWS/ CASEMENT
4	2'-4" x 3'-0"	VINYL	3'-8"	HARVEY WINDOWS/ CASEMENT
5	2'-4" x 3'-0"	VINYL	3'-8"	HARVEY WINDOWS/ CASEMENT
6	2'-0" x 2'-0"	VINYL	5'-0"	HARVEY WINDOWS/ AWNING
7	2'-0" x 3'-7"	VINYL	3'-4"	HARVEY WINDOWS/ DOUBLE HUNG/ GRID BETWEEN GLASS
8	2'-0" x 3'-7"	VINYL	3'-4"	HARVEY WINDOWS/ DOUBLE HUNG/ GRID BETWEEN GLASS
9	2'-6" x 4'-10"	VINYL	2'-1"	HARVEY WINDOWS/ DOUBLE HUNG/ GRID BETWEEN GLASS
10	2'-6" x 4'-10"	VINYL	2'-1"	HARVEY WINDOWS/ DOUBLE HUNG/ GRID BETWEEN GLASS
11	2'-6" x 4'-10"	VINYL	2'-1"	HARVEY WINDOWS/ DOUBLE HUNG/ GRID BETWEEN GLASS
12	2'-8" x 5'-6"	VINYL	1'-5"	HARVEY WINDOWS/ DOUBLE HUNG/ NO GRID
13	2'-8" x 5'-6"	VINYL	1'-5"	HARVEY WINDOWS/ DOUBLE HUNG/ NO GRID
14	2'-8" x 5'-6"	VINYL	1'-5"	HARVEY WINDOWS/ DOUBLE HUNG/ NO GRID
15	2'-8" x 5'-6"	VINYL	1'-5"	HARVEY WINDOWS/ DOUBLE HUNG/ NO GRID
16	2'-8" x 5'-6"	VINYL	1'-5"	HARVEY WINDOWS/ DOUBLE HUNG/ NO GRID
17	2'-8" x 5'-6"	VINYL	1'-5"	HARVEY WINDOWS/ DOUBLE HUNG/ NO GRID
18	2'-8" x 5'-6"	VINYL	1'-5"	HARVEY WINDOWS/ DOUBLE HUNG/ NO GRID
19	2'-8" x 5'-6"	VINYL	1'-5"	HARVEY WINDOWS/ DOUBLE HUNG/ NO GRID
20	2'-6" x 4'-0"	VINYL	2'-11"	HARVEY WINDOWS/ DOUBLE HUNG/ GRID BETWEEN GLASS
21	4'-0" x 3'-0"	VINYL	± 3'-6" (FV)	HARVEY WINDOWS/ PICTURE (3'-0")AND CASEMENT WINDOW (1'-4")
22	2'-6" x 4'-0"	VINYL	2'-11"	HARVEY WINDOWS/ CASEMENT
23	3'-4" x 3'-4"	VINYL/ PLASTIC		WASCO DOUBLE DOME FIXED SKYLIGHT/ MODEL NO. 4242/ ROUGH OPENING 37"X37"



A - SINGLE PANEL DOOR B C - SLIDING DOORS D - BIFOLD DOOR E - WOOD & GLASS DOOR F - STORM DOOR

1 | DOOR SCHEDULE

NOTE:

SHOP DRAWING'S AND/OR ORDER TO BE SUBMITTED TO THE ARCHITECT PRIOR TO ORDERING.

2 | WINDOW SCHEDULE



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156 Mount Auburn St. • Cambridge, MA 02138 • T: 617.491.4600 • E: doug@doassoc.com

NEW HOUSE ADDITION AT 236 PAYSON ROAD RESIDENCE

Title

DOOR AND WINDOW SCHEDULES

236 PAYSON ROAD, BELMONT, MA 02478

Scale

Date

Drawn

Checked

Job no.

-

02.16.2021

JN

DOKUN

20012

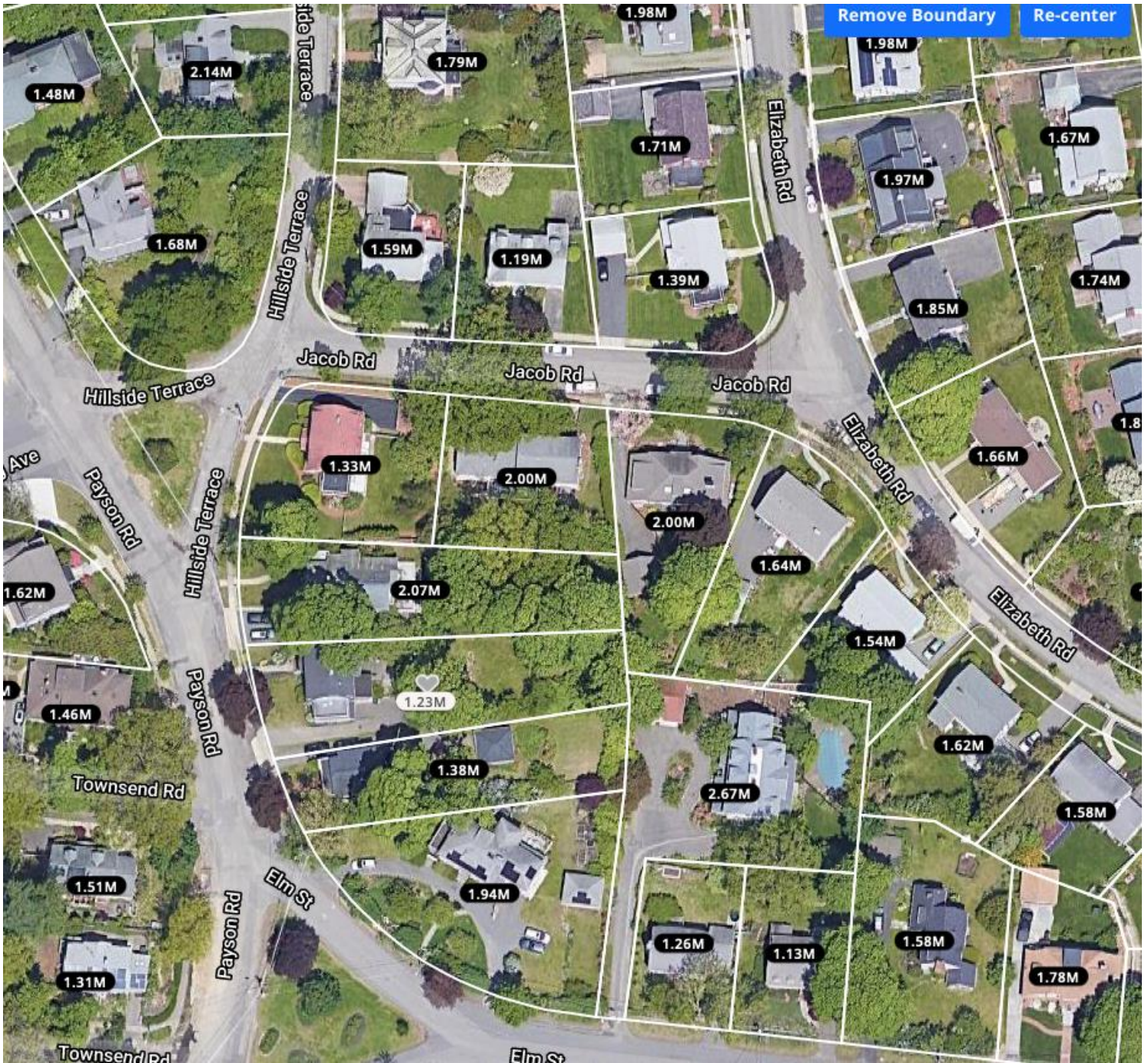
Revisions

Sheet no.

A-13

From the Zillow aerial view below you can see that our house is one of the smallest and lowest priced in the immediate vicinity.

1



These are the three houses that surround our yard:

1. House on Jacob Rd – view from our yard












2. This house on Elm abuts our yard. We agreed to a variance for previous owners to allow them to build a two-car garage



3. This house is one down from ours, but this is the view from our yard.



	A	B	C	D	E	F	G
1	Photo	#	Street	Sq ft living area	Lot size	NBI	
2	 	9	AUDREY RD	4,400	7,247	6 (but near us)	5bed/4ba
3		35	BENTON RD.	3,551	5,370	8	6bed/4ba
4		47	BENTON RD.	3,015	5,174	8	more than 50% of the lot, 4bed/3.5ba
5		46	BETTS RD	3,423	7,072	8	4bd/3.5ba
6		100	DALTON RD	3,617	8,962	6	5bed/3ba

	A	B	C	D	E	F	G
7		48	ELIZABETH RD.	3,524	8,022	8	5 bed/4ba
8		21	ELM ST	4,373	17,314	8	6 bed/3.5 ba, view from our yard
9		6	HILLSIDE TERR.	3,492	7,031	8	5bed/4ba
10		20	HILLSIDE TERR.	2,858		8	6bed/2.5ba

	A	B	C	D	E	F	G
11		21	HILLSIDE TERR.	2,924		8	5bd/2ba
12		35	HIILSIDE TERR.	3,646	17,525	8	5 bed/5ba
13		41	HIILSIDE TERR.	3,442	8,011	8	7 bed/3.5ba
14		59	HILLSIDE TERR.	3,402	10,330	8	5bed/4.5ba
15		42	HILLSIDE TERR.	3,345		8	4bd/3ba

	A	B	C	D	E	F	G
16		65	HILLSIDE TERR.	3,678 (ZILLOW)	58,726	8	6bed/4ba
17	 	72	HIILSIDE TERR.	3,034	8,026	8	5bed/4ba
18		74	HIILSIDE TERR.	3,067	19,010	8	
19	 	79	HIILSIDE TERR.	3,983	8,288	8	5bed/3.5ba
20	 	11	JACOB RD.			8	5 bed/4ba, view from our yard, one yard over & street view

	A	B	C	D	E	F	G
21		10	LAWNDALE RD	3,024	6,125	8	TLA is 50% of lot
22		14	LAWNDALE RD	3,497	10,000	8	6bed/4ba
23		15	OAKLEY RD	3,180	8,410	8	4bd/2.5ba
24		20	OAKLEY RD	3,226	11,226	8	7bd/3ba
25		23	OAKLEY RD	3,155	7,044	8	TLA is 40% of lot, 4bed/5ba
26		24	OAKLEY RD	3,111	11,318	8	6bed/5ba
27		30	OAKLEY RD	3,456	12,316	8	5bed/3ba

	A	B	C	D	E	F	G
28		48	OAKLEY RD	3,137	13,764	8	5bed/2ba
29		19	OLD MIDDLESE	3,094	6,742	8	TLA is 50% of lot
30		30	PAYSON RD.	3,124	15,887	9 (but our street)	5bed/2.5ba
31		72	PAYSON RD.	5,477	25,699	8	6bed/6ba
32		186	PAYSON RD.	3,078	20,690	8	6bed/6ba
33		232	Payson				

	A	B	C	D	E	F	G
34		236	PAYSON RD.		11,328	8	3bed/1.5ba
35		242	PAYSON RD	3,332	16,667	8	4 bed/3ba
36		11	PHILLIP RD.	3,426	12,864	8	current bed/ba not available
37		17	PHILLIP RD.	4,236	27,415	8	5 bed/3.5 ba
38		475	SCHOOL ST.	3,300 (ZILLOW)	8,745	8	

Irene Bocella
75 Pine Street
Belmont, MA 02478
January 10, 2022

Town of Belmont
Planning Board
Office of Community Development
Town Hall, 18 Moore Street
Belmont, MA 02478

Dear Sirs:

I am writing on behalf of my good neighbors and friends, Ted and Naomi Ellenberg-Dukas of 236 Payson Road, Belmont. Ted and Naomi have resided in their Belmont home for more than 30 years. Currently they are planning a renovation of their home in order to remain in the community as they “age in place.” Both are in their 70s and Ted has been diagnosed with Parkinson’s disease and two forms of cancer in 2021. The renovation is required to meet their current and future needs to remain in their home and in their community

Along with raising their family in Belmont, Ted and Naomi have contributed significantly to the fabric, social and political structure, and culture of the Belmont community. Their children attended Belmont Public Schools and the family worshipped at Beth El Temple. Both Ted and Naomi have a long history of volunteer service to the community. Their volunteerism began early in their Belmont residency with the co-founding of a local babysitting co-op. Today, Ted serves on Town Meeting and the Board of the Council on Aging. Naomi is a founder and current Board Chair of Belmont World Film and Belmont World Film’s Family Film Festival. She also co-chairs the Belmont Art Association. Their record of volunteerism is unbridled. Both serve regularly in Belmont as poll workers (Ted retiring after he was diagnosed with a compromised immune system) for local and national elections. Ted is an ESL tutor and involved in a local literacy program. Naomi is a volunteer librarian at the E.C. Benton Library and she developed and leads a local support group for caregivers of loved ones with Parkinson’s disease. As an artist and craftsperson, Naomi displays and sells her artwork in local Belmont shops to support “shop local” initiatives as well as at the Beech Street Center’s Holiday Craft Fair. She also teaches jewelry making classes and generously shares her skills with young and old.

During this pandemic, Naomi and Ted have joined a number of groups including the Chelsea Collaborative (led by Belmont residents) and Belmont Helps to assist others in need of financial and other resources. Further, both Naomi and Ted have welcomed refugees from Afghanistan, Albania, Colombia, Egypt, Pakistan and more, on their own and through local community refugee support groups. They have offered their time and friendship to these families, assisting with training, jobs,

education, and access to resources. Their home has become a site for celebrations of holidays, birthdays, and other special events for these parents and their children.

Ted and Naomi are good neighbors to all. They can be seen daily walking their dog, Pooch, and meeting many friends and neighbors along the way. They serve as “aunt and uncle” to many neighborhood children Naomi loves to instruct in crafting; they bring homemade soups and casseroles to ill neighbors; and host backyard barbecues to introduce diverse groups of friends and neighbors. As someone fairly new to Belmont, I have benefited much from Ted and Naomi’s friendship and hospitality. I am caregiver for a friend with Alzheimer’s disease. The love and caring that Ted and Naomi have shown to us has eased my burden and made my friend feel welcome despite her challenges.

I hope that the Belmont community can retain this wonderful couple in their beloved home for many years to come. I strongly support the variance needed to make their home accessible and appropriate to their needs as they continue to meet so many needs of our community.

Respectfully Submitted,

A handwritten signature in cursive script, reading "Irene Bocella". The signature is fluid and elegant, with a long, sweeping underline that extends to the right.

Irene Bocella

25 Dunbarton Road
Belmont, MA 02478-2458
January 14, 2022

Planning Board
Office of Community Development
19 Moore Street, 2ndFloor
Belmont, MA 02478

To Whom It May Concern:

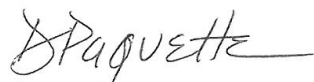
I am writing in support of the application for construction of an addition to 236 Payson Road, submitted by longtime residents Naomi Ellenberg-Dukas and Ted Dukas. The modifications to the existing structure and the addition are necessary to help Naomi and Ted comfortably and safely age in place.

I have known Naomi for approximately nine years, beginning with my involvement in the Belmont Art Association in 2013. Naomi and I have co-chaired this group for the past five years. The BAA is a local nonprofit organization which supports art and artists in the Belmont area and is run by volunteers. The BAA has worked to enrich the everyday lives of Belmont residents. Naomi has been instrumental in keeping the BAA functional throughout the pandemic as well as helping to promote our public art mission.

Naomi is an outstanding citizen who has contributed a great deal to our community since moving to Belmont in 1985. In addition to her work with the BAA, she is the founder of Belmont World Film, formerly served on the Belmont Cultural Council, volunteers at the Benton Library, and regularly works at election polling sites. She has a strong commitment to social justice and is involved with refugee support groups through Beth El Temple Center and a Watertown refugee support group. Beyond these many volunteer service activities, she runs her own custom jewelry company, DukasDesigns, and sells her work in local businesses such as Karennia Maraj Jewelry in Belmont. She also teaches beading classes, is a past president of Beadesigner International, and is currently the 36-year-old nonprofit's programming chair. Naomi is one of the most involved, concerned, and connected people I know!

Naomi has done immeasurable good for the Town of Belmont. I hope you will approve the application for this construction project.

Sincerely,



Darisse A. Paquette
Co-Chair, Belmont Art Association

1/13/2022

Planning Board
Office of Community Development
19 Moore St., 2nd floor
Belmont, Ma 02478

Dear Planning Board,

This is a letter of support for Ted and Naomi Dukas' request to add an addition to their home. Over the decades I have known Ted and Naomi they have been dedicated members of the Belmont community. This addition is necessitated by illness and aging issues. This home is also smaller than homes in the area and this addition would be in the back of the house, therefore not visible at street view.

Together Ted and Naomi have been very active in Belmont and continue to make great contributions to this community. Naomi is founder and currently Board Chair of Belmont World Film which has for the past 20 years brought international films to the former Studio Cinema and now virtual films that help the community understand and appreciate diverse cultures through film. She is co-chair of the Belmont Art Association. Naomi has worked as an inspector and precinct warden for elections. She also started an international ice cream social and fair at the Burbank School some decades ago.

Ted has also been of good service to our town, in many ways. He has been a Town Meeting member of 24 year standing, member of the Board of the Council on Aging, treasurer for a decade of the Belmont Democratic Town Committee and former poll worker for elections (he had to stop due to illness).

We hope that Belmont is committed to assisting seniors live in place in their homes, comfortably and safely. They are a valuable resource as they age. They continue to make important contributions to our community through their service, talent, and wisdom. The addition to their home will also eventually add to the house stock that is friendly to seniors, people with limited physical capacity, for remote work, etc., something which the builders of many older homes did not plan for, but contemporary living style demands.

Sincerely,



Maria Carvalho and Moez Rawji
195 School St.
Belmont, Ma. 02478

