

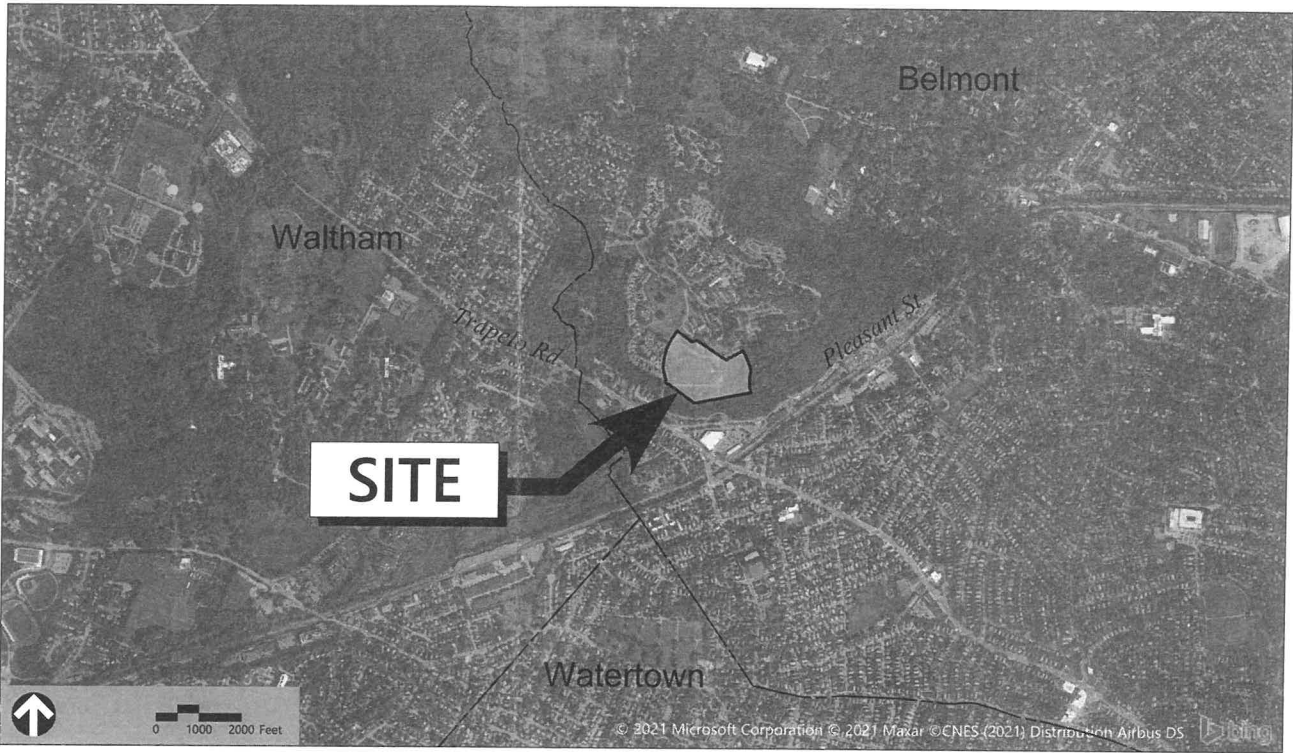
# Site Plans

Issued for	Local Approvals
Date Issued	April 16, 2021
Latest Issue	April 16, 2021

## The Residences at Bel Mont

McLean District Zone III

Olmsted Drive  
Belmont, Massachusetts





vhb.com

101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

**Owner**

McLean Hospital Corp  
115 Mill Street  
Belmont MA, 02478

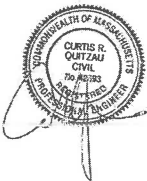
**Applicant**

Northland Residential Corporation  
80 Beharrell Street, Suite e  
Concord, MA 01742

**Assessor's ID: Map: 59 Lot: 11-6**

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Sv-1	Existing Conditions Plan of Land	May 27, 2016



Legend

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK			CONSTRUCTION EXIT
		PARKING SETBACK			TOP OF CURB ELEVATION
		BASELINE			BOTTOM OF CURB ELEVATION
		CONSTRUCTION LAYOUT			SPOT ELEVATION
		ZONING LINE			TOP & BOTTOM OF WALL ELEVATION
		TOWN LINE			BORING LOCATION
		LIMIT OF DISTURBANCE			TEST PIT LOCATION
		WETLAND LINE WITH FLAG			MONITORING WELL
		FLOODPLAIN			UNDERDRAIN
		BORDERING LAND SUBJECT TO FLOODING			DRAIN
		WETLAND BUFFER ZONE			ROOF DRAIN
		NO DISTURB ZONE			SEWER
		200' RIVERFRONT AREA			FORCE MAIN
		GRAVEL ROAD			OVERHEAD WIRE
		EDGE OF PAVEMENT			WATER
		BITUMINOUS BERM			FIRE PROTECTION
		BITUMINOUS CURB			DOMESTIC WATER
		CONCRETE CURB			GAS
		CURB AND GUTTER			ELECTRIC
		EXTRUDED CONCRETE CURB			STEAM
		MONOLITHIC CONCRETE CURB			TELEPHONE
		PRECAST CONC. CURB			FIRE ALARM
		SLOPED GRAN. EDGING			CABLE TV
		VERT. GRAN. CURB			CATCH BASIN CONCENTRIC
		LIMIT OF CURB TYPE			CATCH BASIN ECCENTRIC
		SAWCUT			DOUBLE CATCH BASIN CONCENTRIC
		BUILDING			DOUBLE CATCH BASIN ECCENTRIC
		BUILDING ENTRANCE			GUTTER INLET
		LOADING DOCK			DRAIN MANHOLE CONCENTRIC
		BOLLARD			DRAIN MANHOLE ECCENTRIC
		DUMPSTER PAD			TRENCH DRAIN
		SIGN			PLUG OR CAP
		DOUBLE SIGN			CLEANOUT
		STEEL GUARDRAIL			FLARED END SECTION
		WOOD GUARDRAIL			HEADWALL
		PATH			SEWER MANHOLE CONCENTRIC
		TREE LINE			SEWER MANHOLE ECCENTRIC
		WIRE FENCE			CURB STOP & BOX
		FENCE			WATER VALVE & BOX
		STOCKADE FENCE			TAPPING SLEEVE, VALVE & BOX
		STONE WALL			SIAMESE CONNECTION
		RETAINING WALL			FIRE HYDRANT
		STREAM / POND / WATER COURSE			WATER METER
		DETENTION BASIN			POST INDICATOR VALVE
		HAY BALES			WATER WELL
		SILT FENCE			GAS GATE
		SILT SOCK / STRAW WATTLE			GAS METER
		MINOR CONTOUR			ELECTRIC MANHOLE
		MAJOR CONTOUR			ELECTRIC METER
		PARKING COUNT			LIGHT POLE
		COMPACT PARKING STALLS			TELEPHONE MANHOLE
		DOUBLE YELLOW LINE			TRANSFORMER PAD
		STOP LINE			UTILITY POLE
		CROSSWALK			GUY POLE
		ACCESSIBLE CURB RAMP			GUY WIRE & ANCHOR
		ACCESSIBLE PARKING			HAND HOLE
		VAN-ACCESSIBLE PARKING			PULL BOX
		MATCHLINE			

Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EK	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
RIM=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes

- General**
- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
  - ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
  - AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.
  - WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
  - WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
  - UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
  - TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  - AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
  - IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
  - CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
  - DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
  - CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
  - THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.
- Utilities**
- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVES HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
  - WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNERS REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
  - SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
    - PAVEMENTS AND CONCRETE SURFACES: FLUSH
    - ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
    - LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
  - RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
    - PAVEMENTS AND CONCRETE SURFACES: FLUSH
    - ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
    - LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
  - THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.), FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
  - CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
  - UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
    - WATER PIPES SHALL BE DUCTILE IRON (DI) THICKNESS CLASS 52
    - SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
    - STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE)
    - PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
  - CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
  - CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
  - ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- CURBING SHALL BE [TYPE] WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

Demolition

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- EXISTING UTILITIES SHALL BE TERMINATED. UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- BASE PLAN: "EXISTING CONDITIONS PLAN OF LAND" DATED MAY 27, 2016, PREPARED BY VHB.
- TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988.
- GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM WEIDLINGER ASSOCIATES INC.

Document Use

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.



101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

The Residences at Bel Mont  
McLean District Zone 3  
Olmsted Drive  
Belmont, Massachusetts

No.	Revision	Date	Appr.

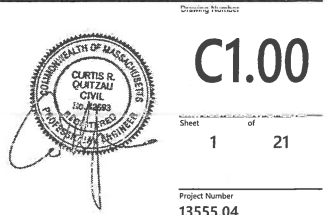
Designed by JRB	Checked by
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Date  
April 16, 2021

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Drawing Title  
**Legend and  
General Notes**



**C1.00**

Sheet 1 of 21

Project Number  
13555.04



101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
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C-X.04

C-X.01

C-X.03

C-X.02



0 20 40 80 Feet

**The Residences at Bel Mont**  
**McLean District Zone 3**  
Olmsted Drive  
Belmont, Massachusetts

No.	Revision	Date	Appr.

Designed by: JRB      Checked by: \_\_\_\_\_

Issued for: \_\_\_\_\_      Date: \_\_\_\_\_

Local Approvals      April 16, 2021

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Index Plan



Drawing Number



**C2.00**

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Project Number  
13555.04





101 Walnut Street  
PO Box 9151  
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Zoning Summary Chart

Zoning District:	McLean Senior Living			
	Subdistrict A		Subdistrict B	
Zoning Regulation Requirements	Required*	Provided	Required*	Provided
MINIMUM FRONT SETBACK	10 Feet	17.5 Feet	10 Feet	27.3 Feet
MINIMUM SIDE SETBACK	10 Feet	15.2 Feet	10 Feet	72.2 Feet
MINIMUM REAR SETBACK	10 Feet	19.3 Feet	10 Feet	175.2 Feet
MAXIMUM STORIES	2.5	2.5	5	4
MAXIMUM BUILDING HEIGHT	36 Feet	<36 Feet	N/A	N/A
MAXIMUM BUILDING HEIGHT ABOVE OVERALL AVERAGE GRADE**	N/A	N/A	68 Feet	64.3 Feet
MAXIMUM BUILDING HEIGHT ABOVE HIGH SIDE AVERAGE GRADE**	N/A	N/A	58 Feet	58 Feet
MAXIMUM LOT COVERAGE	30 %	23.4 %	40 %	31.0 %
MAXIMUM IMPERVIOUS SURFACE COVERAGE	60 %	53.1 %	70 %	65.5 %
MINIMUM OPEN SPACE	40 %	46.9 %	30 %	34.5 %

\* Zoning regulation requirements as specified in the Belmont Zoning Ordinance, amendment to the McLean zoning district August 26, 2020.  
\*\* Per section 68.3.2.3, for the purposes of determining the height of the building in Subdistrict B, if and only if the lowest floor of the building is used for parking, then an alternative height limit shall be applied.

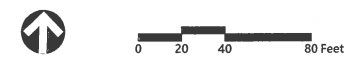
Parking Summary Chart

Description	Size		Spaces		Subdistrict A		Subdistrict B		Total
	Required	Provided	Required	Provided	Provided	Provided	Provided	Provided	
STANDARD SPACES	9 x 18	9 x 18	238		80		94	56	230
STANDARD ACCESSIBLE SPACES	8 x 18	8 x 18	6		-		4	3	7
VAN ACCESSIBLE SPACES	8 x 18	8 x 18	1		-		1	1	2
TOTAL SPACES			245		80		99	60	239

NOTES:  
\* 12 GUEST SPACES AND 1 MAIL KIOSK SPACE PROVIDED FOR SUBDISTRICT A USE

Parking Requirements:

FLATS	110 UNIT	x	1.5 SPACES	/	1 UNIT	=	165 SPACES
DUPLEX/TOWNHOME	38 UNIT	x	2 SPACES	/	1 UNIT	=	76 SPACES
CHAPEL	2 UNIT	x	2 SPACES	/	1 UNIT	=	4 SPACES
TOTAL PARKING REQUIRED							= 245 SPACES



The Residences at Bel Mont  
McLean District Zone 3  
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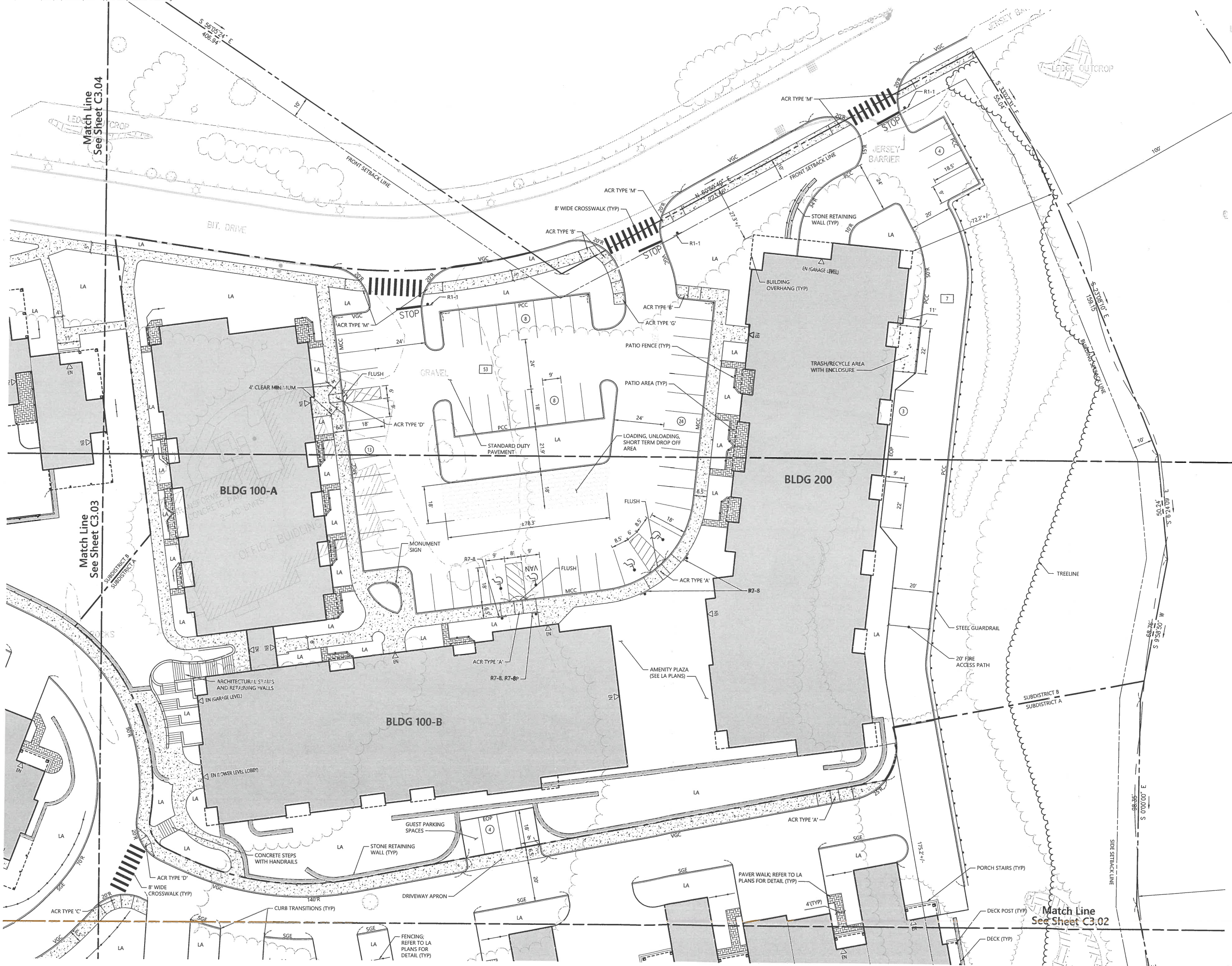
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Layout and Materials Plan

Project Number: 13555.04

Sheet 3 of 21

C3.00





**vhb**  
101 Walnut Street  
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Watertown, MA 02471  
617.924.1770

**Key**  
Not To Scale

**Sign Summary**

M.U.T.C.D. Number	Specification Width	Height	Desc.
R1-1	30"	30"	STOP
R7-8	12"	18"	RESERVED PARKING
R7-8P	12"	6"	WVA ACCESSIBLE

0 10 20 40 Feet

**The Residences at Bel Mont**  
**McLean District Zone 3**  
Olmsted Drive  
Belmont, Massachusetts

No.	Revision	Date	Apprv.

Designed by: JRB      Checked by:      Date:      Issued for:      Date:      April 16, 2021

**Local Approvals**

Not Approved for Construction

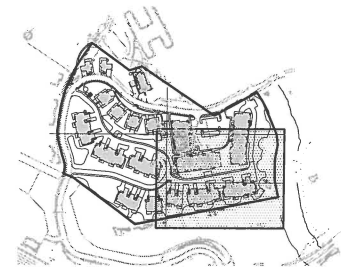
**Layout and Materials Plan**

Drawing Number: **C3.01**

Sheet 4 of 21



Project Number: 13555.04





**Key**  
Not To Scale

### Sign Summary

M.U.T.C.D. Number	Specification		Desc.
	Width	Height	
R7-8	12"	18"	RESERVED PARKING 
R7-8P	12"	6"	VAN ACCESSIBLE 



**The Residences at Bel Mont**  
**McLean District Zone 3**  
 Olmsted Drive  
 Belmont, Massachusetts

No.	Revision	Date

Issued by	JRB	Checked by	
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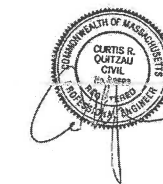
Issued for      Date

# Local Approvals

**April 16, 2019**

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## Layout and Materials Plan



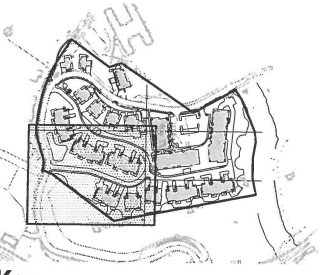
## C3.02

Sheet 5 of 2

Project Number  
13555.04



**vhb**  
101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770



**Key**  
Not To Scale

**Sign Summary**

M.U.T.C.D. Number	Specification Width	Specification Height	Desc.
R1-1	30"	30"	STOP
R7-8	12"	18"	RESERVED PARKING

**The Residences at Bel Mont**  
**McLean District Zone 3**  
Olmsted Drive  
Belmont, Massachusetts

No.	Revision	Date	Appr.

Designed by: JRB      Checked by:      Date:      Issued for:      Date: April 16, 2021

Not Approved for Construction  
Layout and Materials Plan





**C3.03**

Sheet 6 of 21

Project Number: 13555.04



### Sign Summary

M.U.T.C.D. Number	Specification		Desc.
	Width	Height	
R1-1	30"	30"	
R7-8	12"	18"	



**The Residences at Bel Mont**  
**McLean District Zone 3**  
 Olmsted Drive  
 Belmont, Massachusetts

No.	Revision	Date	Approved

Designed by <b>JRB</b>	Checked by
Issued for	Date
<b>Local Approvals</b>	<b>April 16, 2021</b>

Not Approved for Construction

## Layout and Materials Plan



## C3.04

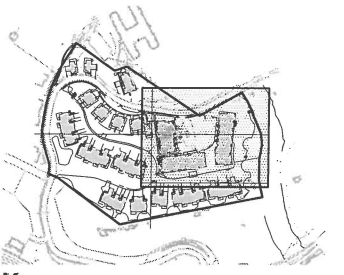
Sheet 7 of 2

Project Number  
13555.04





101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770



Key

Not To Scale



0 10 20 40 Feet

**The Residences at Bel Mont**  
**McLean District Zone 3**  
Olmsted Drive  
Belmont, Massachusetts

No.	Revision	Date	Appr.

Designed by: JRB  
Checked by: \_\_\_\_\_  
Date: \_\_\_\_\_

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April 16, 2021

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Grading and  
Drainage Plan



**C4.01**

Sheet 8 of 21

Project Number  
13555.04







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617.924.1770

**Key**  
Not To Scale

INfiltration SYSTEM #3  
2-36" PERF HDPE RECHARGE TRENCH  
TOP OF STONE=123.5  
TOP OF PIPE=123.0  
36" PIPE INVERT=170.0  
BOTTOM OF STONE=169.0

**The Residences at Bel Mont**  
**McLean District Zone 3**  
Olmsted Drive  
Belmont, Massachusetts

No.	Revision	Date	Apprv.

Designed by: JRB  
Issued for: Local Approvals  
Checked by: [Signature]  
Date: April 16, 2021

Not Approved for Construction

**Grading and Drainage Plan**

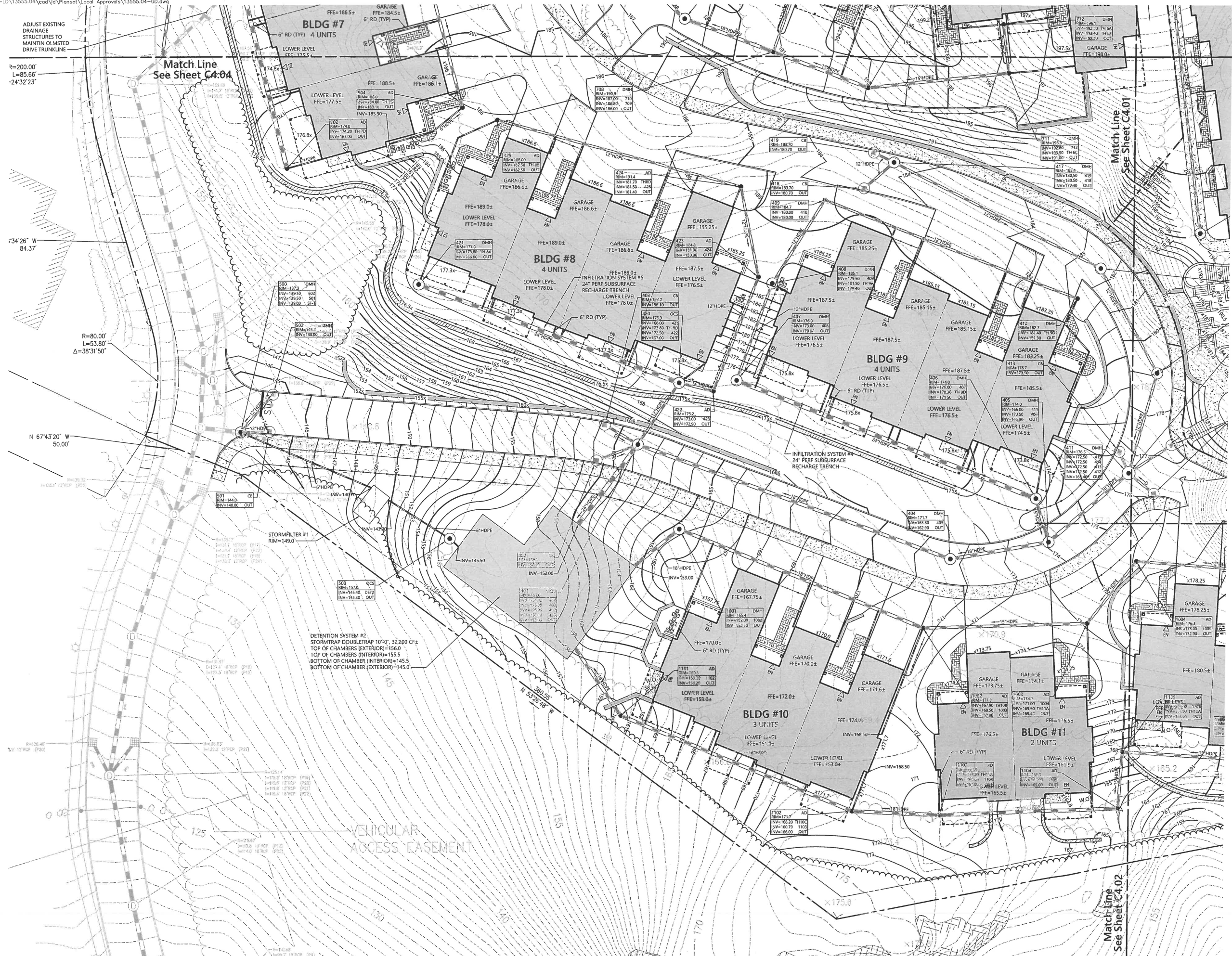
Drawing Number: **C4.02**

Sheet 9 of 21

Project Number: 13555.04

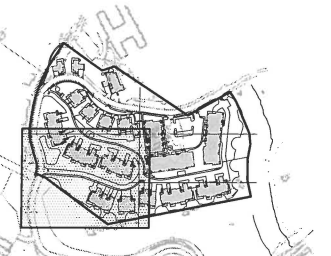
Seal: CURTIS R. CURTIS CIVIL ENGINEER No. 8688 State of Massachusetts





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**The Residences at Bel Mont**  
**McLean District Zone 3**  
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No.	Revision	Date	Appr.

Designed by: JRB  
Checked by: [Signature]  
Date: April 16, 2021

**Local Approvals**  
Not Approved for Construction  
**Grading and Drainage Plan**

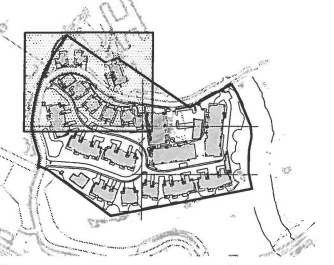
**C4.03**

Sheet 10 of 21  
Project Number: 13555.04





101 Walnut Street  
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Watertown, MA 02471  
617.924.1770



Key  
Not To Scale



0 10 20 40 Feet

The Residences at Bel Mont  
McLean District Zone 3  
Olmsted Drive  
Belmont, Massachusetts

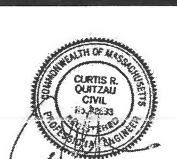
No.	Revision	Date	Appr.

Designed by JRB Checked by

Local Approvals April 16, 2021

Not Approved for Construction

Grading and  
Drainage Plan



C4.04

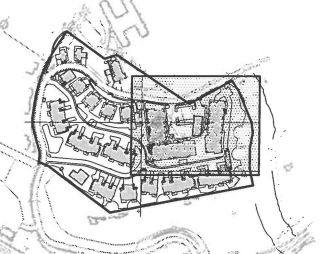
Sheet 11 of 21

Project Number  
13555.04





101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770



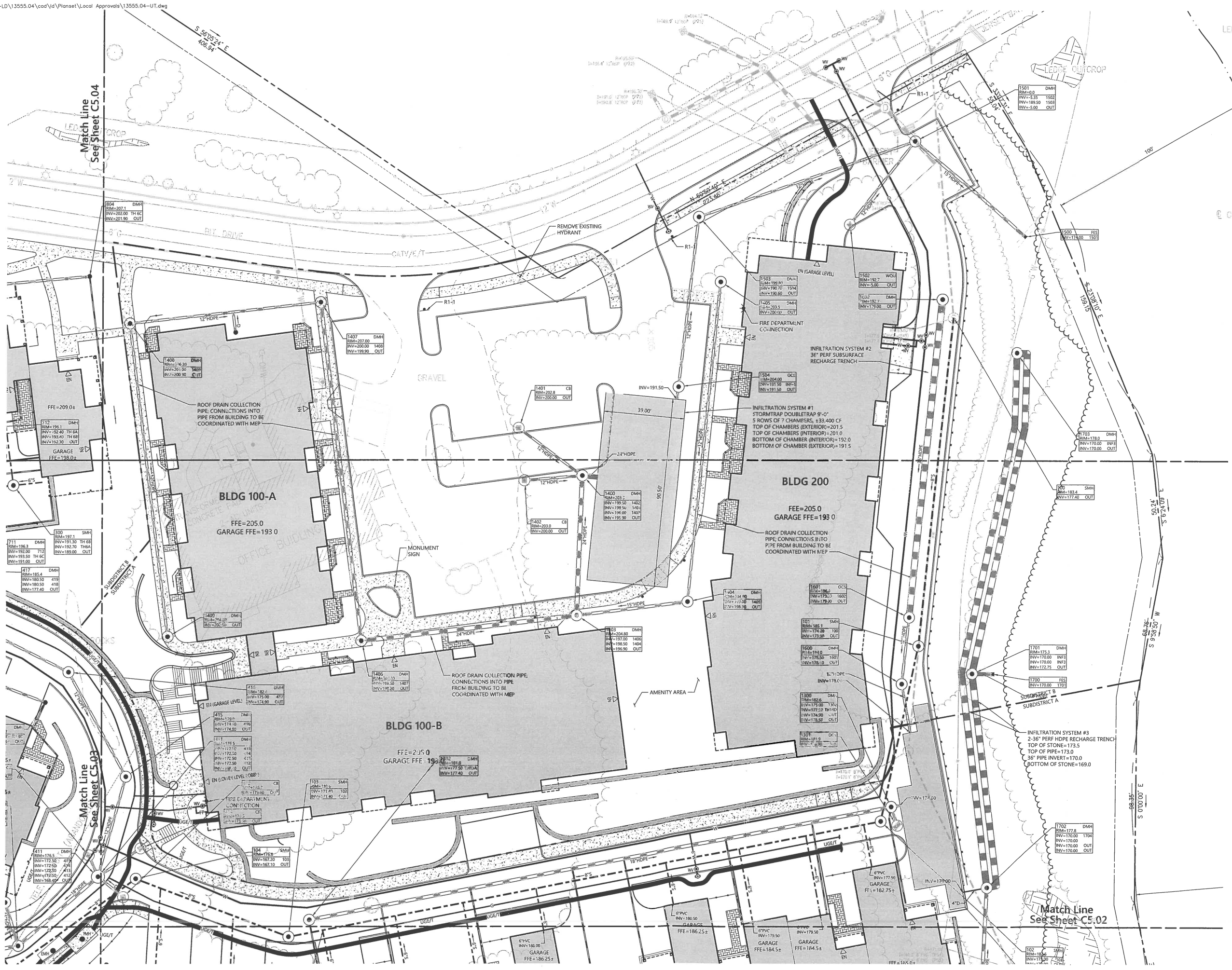
Key  
Not To Scale

0 32.81 65.62 131.24feet  
**The Residences at Bel Mont**  
**McLean District Zone 3**  
Olmsted Drive  
Belmont, Massachusetts

No.	Revision	Date	Appr.

Not Approved for Construction  
**Utility Plan**

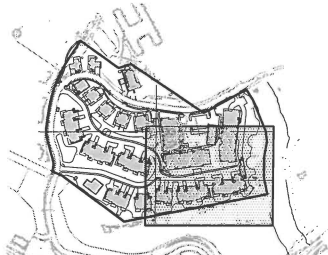
**C5.01**  
Sheet 12 of 21  
Project Number 13555.04







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101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770



**Key**  
Not To Scale

NOTE:  
1. ALL TOWNHOUSE UNITS TO RECEIVE WATER, GAS AND ELECTRICAL SERVICE CONNECTIONS FROM MAIN UTILITIES IN ROADWAY. LOCATIONS OF SERVICES AND METERS TO BE COORDINATED WITH UTILITY PROVIDER.

**The Residences at Bel Mont**  
McLean District Zone 3  
Olmsted Drive  
Belmont, Massachusetts

No.	Revision	Date	Appr.

Designed by: JRB  
Issued for: Local Approvals  
Date: April 16, 2021

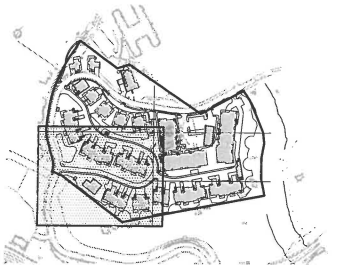
Not Approved for Construction  
Utility Plan

**C5.02**  
Sheet 13 of 21  
Project Number: 13555.04

**CLARK & CURTIS**  
CIVIL ENGINEERS  
101 WALNUT STREET  
WATERTOWN, MA 02471



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101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770



**Key**  
Not To Scale

**NOTE:**  
1. ALL TOWNHOUSE UNITS TO RECEIVE WATER, GAS AND ELECTRICAL SERVICE CONNECTIONS FROM MAIN UTILITIES IN ROADWAY. LOCATIONS OF SERVICES AND METERS TO BE COORDINATED WITH UTILITY PROVIDER.

**The Residences at Bel Mont**  
**McLean District Zone 3**  
Olmsted Drive  
Belmont, Massachusetts

No.	Revision	Date	App'd.

Designed by: JRB  
Checked by: JRB  
Local Approvals  
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Utility Plan

**C5.03**  
14 21  
Project Number  
13555.04



**NOTE:**  
1. ALL TOWNHOUSE UNITS TO RECEIVE WATER, GAS AND ELECTRICAL SERVICE CONNECTIONS FROM MAIN UTILITIES IN ROADWAY. LOCATIONS OF SERVICES AND METERS TO BE COORDINATED WITH UTILITY PROVIDER.

No.	Revision	Date	App
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## Utility Plan

Drawing Number

## C5.04

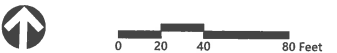
Sheet 15 of 21

Project Number  
13555.04





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**The Residences at Bel Mont**  
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 Belmont, Massachusetts

[illegible]

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**Local Approvals** April 16, 2021

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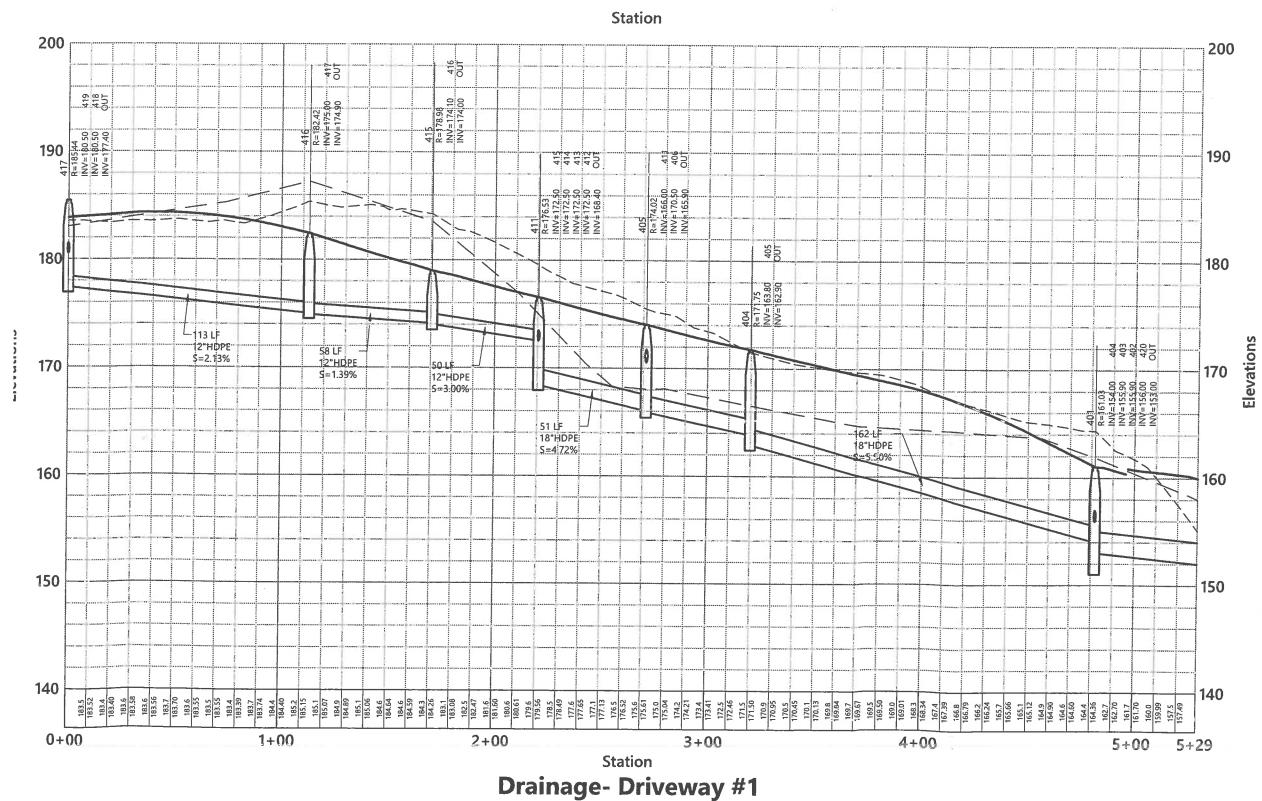
## Sewer and Drain Profiles

wing number

## C6.01

et	of
16	21

555.04







THIS BASE PLAN ILLUSTRATES THE MINIMUM PERIMETER EROSION & SEDIMENTATION CONTROLS. THE SWPPP OPERATOR SHALL UPDATE THIS PLAN THROUGHOUT THE DURATION OF CONSTRUCTION TO SHOW THE LOCATIONS OF PROPOSED/CONSTRUCTED E&S CONTROLS DEEMED NECESSARY TO MEET THE REQUIREMENTS OF THE NPDES CGP.

**EROSION AND SEDIMENTATION CONTROL TECHNIQUES**

THE EROSION AND SEDIMENTATION CONTROLS SHOWN HEREON ARE PERIMETER MEASURES ONLY AND ARE PROVIDED AS A STARTING POINT FOR CONTRACTOR'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR IS REQUIRED TO PROVIDE ADDITIONAL INTERIM EROSION AND SEDIMENTATION CONTROLS, INCLUDING BUT NOT LIMITED TO THOSE LISTED BELOW. THE CONTRACTOR SHALL MANAGE EROSION AND SEDIMENTATION DURING CONSTRUCTION TO PREVENT IMPACTS TO RESOURCE AREAS, ROADWAYS, AND ADJUTING PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE EROSION AND SEDIMENTATION CONTROLS THROUGHOUT THE DURATION OF CONSTRUCTION.

**CATCH BASIN PROTECTION**

NEWLY CONSTRUCTED AND EXISTING CATCH BASINS WILL BE PROTECTED WITH SILT SACKS THROUGHOUT CONSTRUCTION.

**GRAVEL AND CONSTRUCTION ENTRANCE/EXIT**

A TEMPORARY CRUSHED-STONE CONSTRUCTION ENTRANCE/EXIT WILL BE CONSTRUCTED. A CROSS SLOPE WILL BE PLACED IN THE ENTRANCE TO DIRECT RUNOFF TO THE SEDIMENT TRAP.

**VEGETATIVE SLOPE STABILIZATION**

STABILIZATION OF EXPOSED SOIL SURFACES WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, UNLESS THERE IS SUFFICIENT SNOW COVER TO PROHIBIT IMPLEMENTATION. VEGETATIVE SLOPE STABILIZATION WILL BE USED TO MINIMIZE EROSION ON SLOPES OF 3:1 OR FLATTER. ANNUAL GRASSES, SUCH AS ANNULAR RYE, WILL BE USED TO ENSURE RAPID GERMINATION AND PRODUCTION OF ROOTMASS. PERMANENT STABILIZATION WILL BE COMPLETED WITH THE PLANTING OF PERENNIAL GRASSES OR LEGUMES. ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED BY HYDRO-SEEDING OR SOONING. A SUITABLE TOPSOIL, GOOD SEEDING PREPARATION, AND ADEQUATE LIQUID FERTILIZER AND WATER WILL BE PROVIDED FOR EFFECTIVE ESTABLISHMENT OF THESE VEGETATIVE STABILIZATION METHODS. MULCH WILL ALSO BE USED AFTER PERMANENT SEEDING TO PROTECT SOIL FROM THE IMPACT OF FALLING RAIN AND TO INCREASE THE CAPACITY OF THE SOIL TO ABSORB WATER.

**TEMPORARY SEDIMENT BASINS**

TEMPORARY SEDIMENT BASINS WILL BE DESIGNED EITHER AS EXCAVATIONS OR BERMED STORMWATER DETENTION STRUCTURES (DEPENDENT ON GRADING) THAT WILL RETAIN RUNOFF FOR A SUFFICIENT PERIOD OF TIME TO ALLOW SUSPENDED SOIL PARTICLES TO SETTLE OUT PRIOR TO DISCHARGE. THESE TEMPORARY BASINS WILL BE LOCATED BASED ON CONSTRUCTION NEEDS AS DETERMINED BY THE CONTRACTOR AND OUTLET DEVICES WILL BE DESIGNED TO CONTROL VELOCITY AND POINTS OF DISCHARGE FROM SEDIMENT BASINS WILL BE STABILIZED TO MINIMIZE EROSION. AT A MINIMUM, SEDIMENTATION BASINS SHALL BE DESIGNED AND CONSTRUCTED TO PROVIDE STORAGE FOR THE VOLUME OF RUNOFF GENERATED FROM A 2-YR, 24-HR DESIGN STORM, OR AT LEAST 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINING TO THE BASIN.

**STOCKPILE MANAGEMENT**

SHOULDER OF STOCKPILED MATERIAL SHALL BE NO STEEPER THAN 2:1. STOCKPILES NOT USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE. STRAW BALES AND SILT FENCE ARE TO BE PLACED AROUND THE STOCKPILE AREA APPROXIMATELY 10 FEET FROM THE TOE OF SLOPE.

**DUST CONTROL**

WETTED SURFACES TO REDUCE AND CONTROL DUST AS NECESSARY TO COMPLY WITH THE NPDES CGP REQUIREMENTS.

**TEMPORARY EROSION AND SEDIMENTATION CONTROL MAINTENANCE (THROUGHOUT CONSTRUCTION)**

THE SITE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A BIWEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS. RECORDS OF THE INSPECTIONS WILL BE PREPARED AND MAINTAINED ON-SITE BY THE CONTRACTOR.

SILT SHALL BE REMOVED FROM BEHIND BARRIERS IF GREATER THAN 6-INCHES DEEP OR AS NEEDED.

DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION.

SEDIMENT THAT IS COLLECTED IN STRUCTURES SHALL BE DISPOSED OF PROPERLY AND COVERED IF STORED ON-SITE.

EROSION CONTROL STRUCTURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN SECURELY STABILIZED. AFTER REMOVAL OF STRUCTURES, DISTURBED AREAS SHALL BE REGRADED AND STABILIZED AS SOON AS PRACTICAL.

MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENTS ONTO PAVED SURFACES.

**INFILTRATION AREA PROTECTION DURING CONSTRUCTION**

FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASIN(S) (STRUCTURE(S)), CARE SHALL BE TAKEN IN THE INFILTRATION AREAS DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

1. INFILTRATION AREAS SHALL NOT BE USED AS TEMPORARY CONSTRUCTION SEDIMENTATION BASINS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. IF INFILTRATION AREAS ARE USED AS TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION, THEN THE SOILS SHALL BE EXCAVATED A MINIMUM OF 2' FROM THE TEMPORARY BASIN BOTTOM TO REMOVE CLOGGED SOILS.
2. STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THE INFILTRATION BASIN(S) (STRUCTURE(S)) DURING CONSTRUCTION.
3. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE OF THE INFILTRATION AREAS.
4. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION BASIN(S) (STRUCTURE(S)) SHALL ENSURE THAT THE SOIL AT THE BOTTOM OF THE EXCAVATION IS NOT COMPACTED OR SMEARED.
5. THE PERIMETER OF THE INFILTRATION AREAS SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF THE AREA FOR ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION ABILITY OF THE SYSTEM.

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0 20 40 80 Feet

**The Residences at Bel Mont**  
**McLean District Zone 3**  
Olmsted Drive  
Belmont, Massachusetts

No.	Revision	Date	App'd.

Designed by: JRB      Checked by:      Date: April 16, 2021

Issued for: Local Approvals

**Not Approved for Construction**

**Erosion and Sediment Control Plan**

Drawing Number: **C7.01**

Sheet 17 of 21



Project Number: 13555.04

CURTIS E. QUITZAU  
CIVIL ENGINEER  
MASS. REG. NO. 10110





Saved Friday, April 16, 2021 6:10:15 AM JBLACK Plotted Friday, April 16, 2021 7:52:55 AM Black, Jeff

**The Residences at Bel Mont**  
**McLean District Zone 3**  
Oimsted Drive  
Belmont, Massachusetts

No.	Revision	Date	Appvd.

Designed by <b>JRB</b>	Checked by
Issued for	Date
<b>Local Approvals</b>	<b>April 16, 2021</b>

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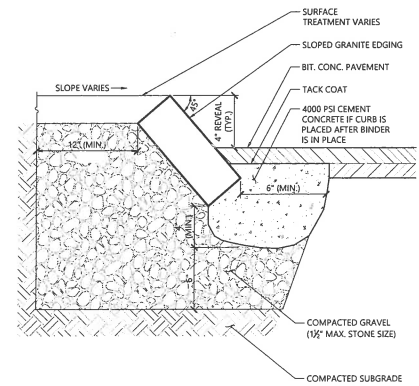
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Fire Truck and  
Traffic Circulation Plan

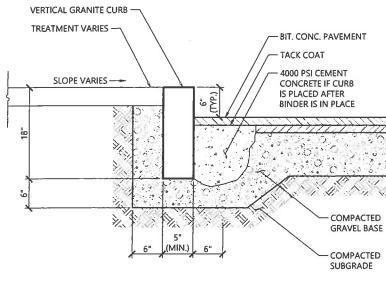
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Sheet 18 of 21

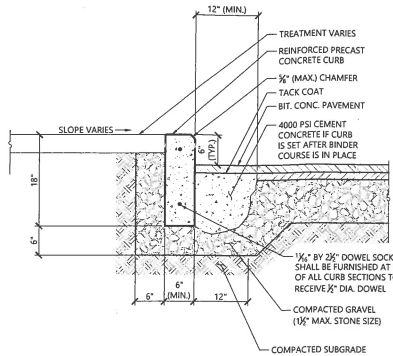
Project Number  
13555.04



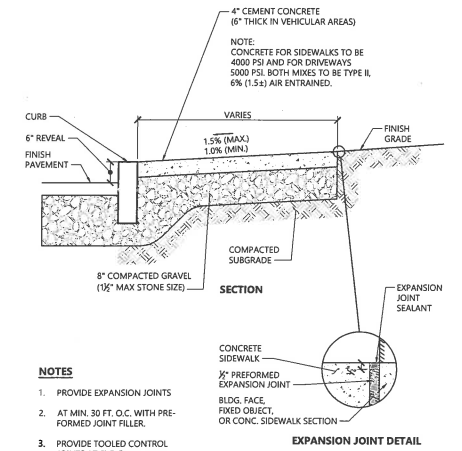
**Sloped Granite Edging (SGE)** 1/16  
N.T.S. Source: VHB LD\_401



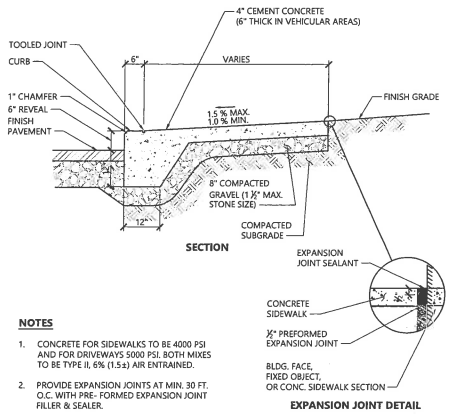
**Vertical Granite Curb - Type VB (VGC-VB)** 3/19  
N.T.S. Source: VHB LD\_402B



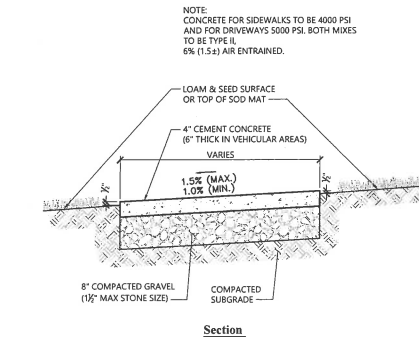
**Precast Concrete Curb (PCC)** 1/16  
N.T.S. Source: VHB LD\_404



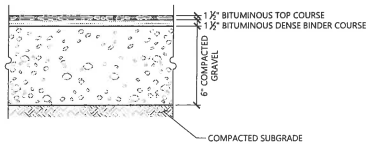
**Concrete Sidewalk** 1/16  
N.T.S. Source: VHB LD\_420



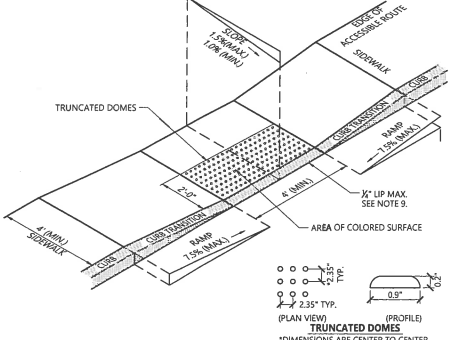
**Monolithic Concrete Curb (MCC) & Sidewalk** 1/16  
N.T.S. Source: VHB LD\_421



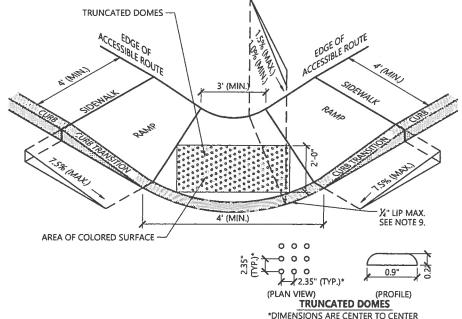
**Concrete Sidewalk in Landscape Area** 1/16  
N.T.S. Source: VHB LD\_426



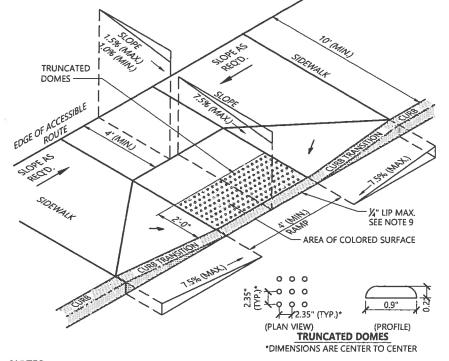
**Bituminous Concrete Pavement Sections** 1/16  
N.T.S. Source: VHB REV LD\_430S



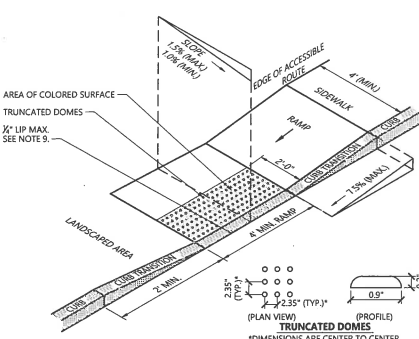
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N.T.S. Source: VHB LD\_500



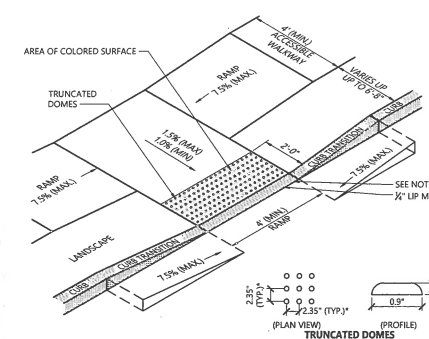
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N.T.S. Source: VHB LD\_502



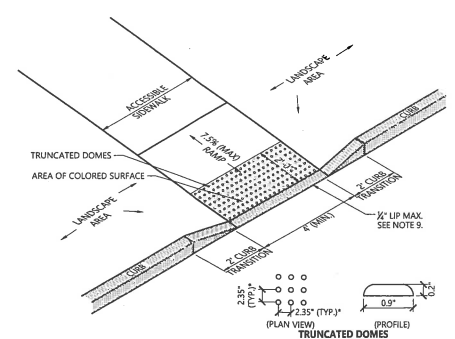
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N.T.S. Source: VHB LD\_503



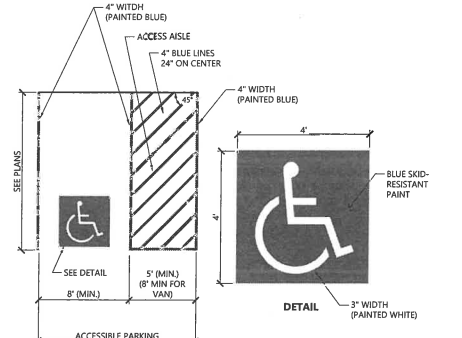
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N.T.S. Source: VHB LD\_506



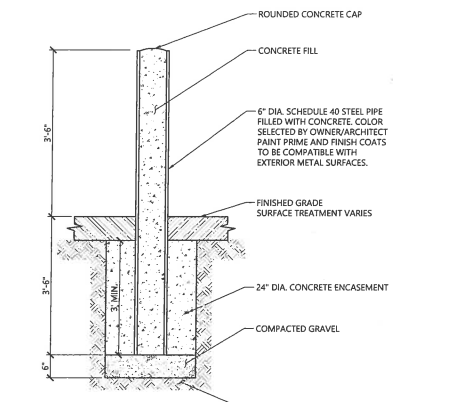
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N.T.S. Source: VHB LD\_508



**Accessible Curb Ramp (ACR) Type 'M-D'** 1/16  
N.T.S. Source: VHB LD\_512

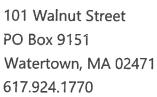


**Accessible Parking Space** 1/16  
N.T.S. Source: VHB LD\_552B



**Bollard** 9/17  
N.T.S. Source: VHB LD\_700









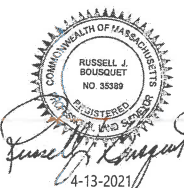
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- @ DRAIN MANHOLE  
 @ CATCH BASIN  
 @ SEWER MANHOLE  
 @ ELECTRIC MANHOLE  
 @ TELEPHONE MANHOLE  
 @ MUNICIPAL LIGHT MANHOLE  
 @ MANHOLE  
 HH@ HANDHOLE  
 @ WATER GATE  
 @ FIRE HYDRANT  
 @ GAS GATE  
 \* BOLLARD w/LIGHT  
 @ TRAFFIC SIGNAL LIGHT  
 @ PEDESTRIAN SIGNAL LIGHT  
 \* STREET SIGN  
 ☆ LIGHT POLE  
 ☆ UTILITY POLE  
 ☆ GUY POLE  
 ( ) GUY WIRE  
 @ MONITORING WELL  
 @ FLOOD LIGHT  
 @ WELL  
 @ MARSH  
 ▲ DOOR/ENTRANCE  
 FFE FINISHED FLOOR ELEVATION  
 CNO CLOSED NOT OPEN  
 NO NO PIPES VISIBLE  
 DY DOUBLE YELLOW LINE  
 DWL DASHED WHITE LINE  
 SY SINGLE WHITE LINE  
 LSA LANDSCAPED AREA  
 --- EDGE OF PAVEMENT  
 --- CONCRETE CURB  
 --- VERTICAL GRANITE CURB  
 --- SLOPED GRANITE CURB  
 BIT BITUMINOUS BERM  
 BIT BITUMINOUS CURB  
 MET METAL GUARDRAIL  
 WOOD GUARDRAIL  
 WOOD FENCE  
 --- CHAIN LINK FENCE  
 --- DRAINAGE LINE  
 --- SEWER LINE  
 --- OVERHEAD WIRE  
 --- UNDERGROUND ELECTRIC  
 --- TELEPHONE LINE  
 --- GAS LINE  
 --- WATER LINE  
 --- STONE WALL  
 --- TREE LINE  
 --- 100-FT BUFFER ZONE  
 --- 100-FT RIVER FRONT AREA  
 --- 100-FT FLOOD FRONT AREA  
 --- ANNUAL HIGH WATER  
 --- LIMIT OF BANK  
 --- VEGETATED WETLAND BOUNDARY

115 Mill Street  
Belmont, Massachusetts

[illegible]

## Existing Conditions Plan of Land



# Sv-1

Sheet 1 of 1

Project Number  
13555.00

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MAY, 2016 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE DEVELOPED FROM A COMBINED EFFORT OF AERIAL PHOTOGRAMMETRIC MAPPING BY EASTMAN TOPOGRAPHICS, INC., BASED ON AERIAL PHOTOGRAPHS TAKEN ON APRIL 15, 2016 AND AUGMENTED BY AN ON-THE-GROUND SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN MAY, 2016.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C00414E, EFFECTIVE DATE JUNE 4, 2010.
- 6) THE LOT LIES WITHIN THE MCLEAN SENIOR LIVING SUBDISTRICT AS SHOWN ON THE "ZONING DISTRICT MAP OF BELMONT, MASSACHUSETTS", BASED ON THE ON-LINE GIS INFORMATION.
- 7) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.

McLEAN HOSPITAL CORPORATION  
115 MILL STREET  
BELMONT, MASS.  
  
BOOK 14084, PAGE 272  
MAP 59, BLOCK 11, LOT 6



PARCEL  
AREA = 558,885 SQ. FT.  
(12.830 ACRES)

PUBLIC OPEN SPACE



