

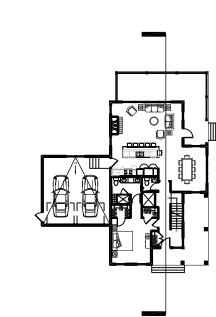
3 BR - SINGLE (TYPICAL FOR BLDGS 1, 2)

SCALE: 1/8" = 1'-0"



3BR END C - GARAGE UNDER (UNIT 6.3)

BUILDING 1 KEY PLAN



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Consultant:

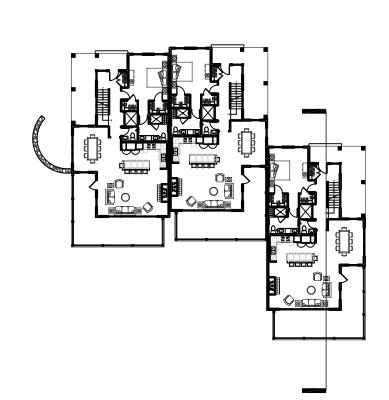
Revision:

/1 07-20-2021

		3BR Single		
Unit No.	Av. Grade EL.	T.O. Roof EL.	Height (ft)	Architect of Record:
	BI	LDG 1		
1.1	180.43	214.1	33.67	
	Bl	LDG 2		

3BR Single				
Av. Grade EL.	T.O. Roof EL.	Height (ft)		
BLDG 1				
180.43	214.1	33.67		
BLDG 2				
184.05	217.1	33.05		

BUILDING 6 KEY PLAN



	3BR End C - Garage Under			
Unit No.	Av. Grade EL. T.O. Roof EL. Height (ft)			
BLDG 6				
6.3	203.1	238.6	35.5	

NOTES:

1. BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

Drawn:	N.B.
Checked:	E.B.
Scale:	1/8" = 1'-0"
Key Plan:	
BLDG 3	BLDG 2 CHAPEL BLDG 4 BLDC 200
BLDG 7	BLDG 200 BLDG 5
N B	BLDG9 ATT TIME TO THE TIME TO
	BLDG 10 BLDG 11 BLDG 13

Project Name:

The Residences at Bel Mont Zone III McLean District Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS 3BR SINGLE & **GARAGE UNDER** UNITS

Project Number:

20073

Issue Date:

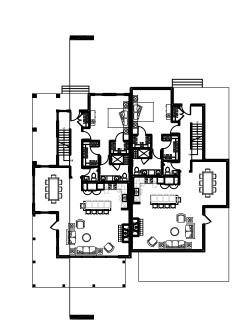
April 16, 2021

Sheet Number:

A5.01A

LEVEL 2 DECK LEVEL 1 AVG. FINISH GRADE ADJOINING BLDG EL. SEE CHART LOWER LEVEL

BUILDING 5 KEY PLAN

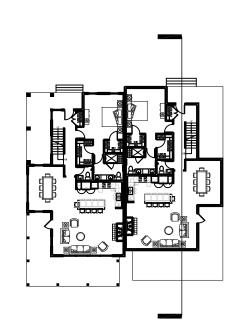


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	3BR End C - Garage Under				
Unit No.	Av. Grade EL.	T.O. Roof EL.	Height (ft)		
BLDG 3					
3.1	186.1	221.6	35.5		
BLDG 4					
4.1	191.1	226.6	35.5		
BLDG 5					
5.1	196.1	231.6	35.5		
BLDG 6					
6.1	201.1	236.6	35.5		

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Ā	rchitect of Record:

BUILDING 5 KEY PLAN



	3BR End C - Garage Under				
Unit No.	Av. Grade EL.	T.O. Roof EL.	Height (ft)		
	BLDG 3				
3.2	188.1	223.6	35.5		
	BLDG 4				
4.2	193.1	228.6	35.5		
	BLDG 5				
5.2	198.1	233.6	35.5		
	BLDG 6				
6.2	203.1	238.6	35.5		

Drawn:	N.B.
Checked:	E.B.
Scale:	1/8" = 1'-0"
Key Plan:	
BLDG 3	BLDG 2 CHAPEL
BLDG7	BLDG 4 BLDG 6 BLDG 100 BLDG 5
N B	BLDG 10 BLDG 11 BLDG 13 BLDG 14

Project Name:

The Residences at Bel Mont Zone III McLean District Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS 3BR END - C GARAGE UNDER UNITS

Project Number:

20073

Issue Date:

Sheet Number:

April 16, 2021

A5.01B

3BR END C - GARAGE UNDER (TYPICAL FOR UNITS 3.1, 4.1, 5.1, 6.1)

SCALE: 1/8" = 1'-0"

HIGHEST POINT OF ROOF		
TOP PLATE		
BUILDING HEIGHT 8-4 1/2" 8-4 1/2"	LEVEL 2	DECK
LEVEL 1	PORCH LEVEL 1	DECK
AVG. FINISH GRADE ADJOINING BLDG EL. SEE CHART LOWER LEVEL	LOWER LEVEL	GARAGE
GARAGE SILL		

3BR END C - GARAGE UNDER (TYPICAL FOR UNITS 3.2, 4.2, 5.2, 6.2) 3BR END C -SCALE: 1/8" = 1'-0"

NOTES: 1.BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.



2BR INLINE (TYPICAL FOR UNITS 7.2, 7.3, 8.2, 8.3, 9.2, 9.3, 13.2, 14.2, 14.3)

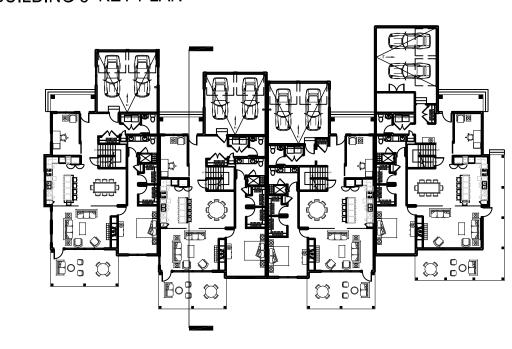
SCALE: 1/8" = 1'-0"



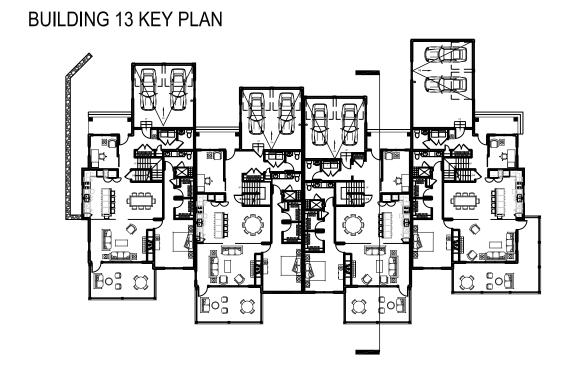
2BR INLINE (TYPICAL FOR UNITS 10.2, 13.3) 2BR INLINE (

SCALE: 1/8" = 1'-0"

BUILDING 8 KEY PLAN



	Inline				
Unit No.	Av. Grade EL.	1	Height (ft)		
	Bl	LDG 7			
7.2	179.81	211.88	32.07		
7.3	179.66	211.88	32.22		
	Bl	LDG 8			
8.2	182.14	214.38	32.24		
8.3	181.93	214.38	32.45		
BLDG 9					
9.2	180.68	212.88	32.20		
9.3	180.37	212.88	32.51		
	BLDG 13				
13.2	180.57	212.38	31.81		
BLDG 14					
14.2	180.85	212.38	31.53		
14.3	179.63	212.38	32.75		



	Inline			
Unit No.	Av. Grade EL.	T.O. Roof EL.	Height (ft)	
BLDG 10				
10.2	169.85	197.38	27.53	
BLDG 13				
13.3	182.32	212.38	30.06	

NOTES:

1.BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.



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Consultant:		
Revision:		
1 07-20-20)21	
Architect of R	lecord:	

N.B.
E.B.
1/8" = 1'-0"
BLDG 2 CHAPEL BLDG 4 BLDG 100 BLDG 5 BLDG 9 BLDG 10 BLDG 12 BLDG 13 BLDG 14

The Residences at Bel Mont Zone III McLean District Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS 2BR INLINE UNITS

Project Number:

20073

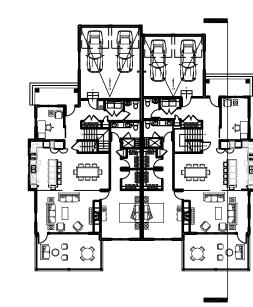
Issue Date:

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Sheet Number:

A5.01C

BUILDING 11 KEY PLAN



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Consultant:		
Revision:		
1 07-20-2	021	
-		
Architect of F	Record:	

Drawn:	N.B.
Checked:	E.B.
Scale:	1/8" = 1'-0"
Key Plan:	
BLDG 7 N BLIDG 7	BLDG 4 BLDG 6 BLDG 100 BLDG 5 BLDG 100 BLDG 100 BLDG 100 BLDG 100 BLDG 100 BLDG 100 BLDG 100

The Residences at Bel Mont Zone III McLean District Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS 2BR END FRONT GARAGE UNITS

Project Number:

20073 Issue Date:

April 16, 2021

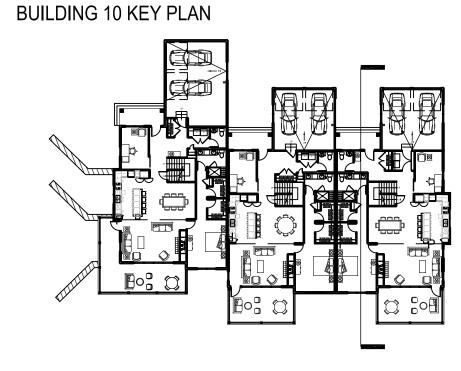
Sheet Number:

A5.01D



∑ 2BR END - FRONT GARAGE (TYPICAL FOR UNITS 11.2, 12.2)

	2BR End - Front Garage			
Unit No.	Av. Grade EL.	T.O. Roof EL.	Height (ft)	
BLDG 11				
11.2	170.90	201.88	30.98	
BLDG 12				
12.2	175.42	207.88	32.46	



	2BR End - Front Garage			
Unit No.	Av. Grade EL.	T.O. Roof EL.	Height (ft)	
	BL	DG 10		
10.3	171.63	199.38	27.75	

NOTES: 1.BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING

UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

10	2BR END - FRONT GARAGE (UNIT 10.3)
	SCALE: 1/8" = 1'-0"

HIGHEST POINT OF ROOF			
TOP PLATE			
SEE CHART FOR BUILDING HEIGHT 8'-4 1/2" 7 TANATA	LEVEL 2		
LEVEL 1	LEVEL 1	DECK	
AVG. FINISH GRADE ADJOINING BLDG EL. SEE CHART	LOWER LEVEL		
LOWER LEVEL			

2BR END - F
SCALE: 1/8" = 1'-0"

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> Checked: E.B. Scale: 1/8" = 1'-0" Key Plan:

Project Name:

The Residences at Bel Mont Zone III McLean District Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTION 2BR END SIDE GARAGE UNIT

Project Number:

20073

Issue Date:

April 16, 2021

Sheet Number:

A5.01E



2BR END - SIDE GARAGE (UNIT 10.1)

BUILDING 10 KEY PLAN

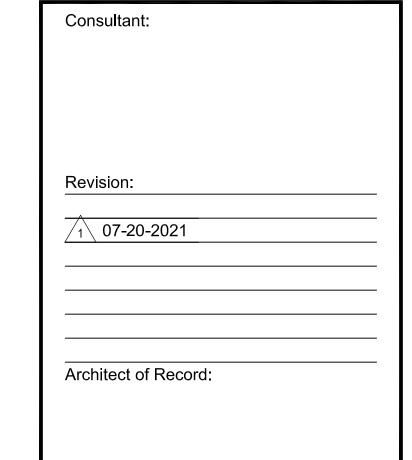
2BR End - Side Garage Unit No. Av. Grade EL. T.O. Roof EL. Height (ft) BLDG 10 10.1 166.54 195.38 28.84

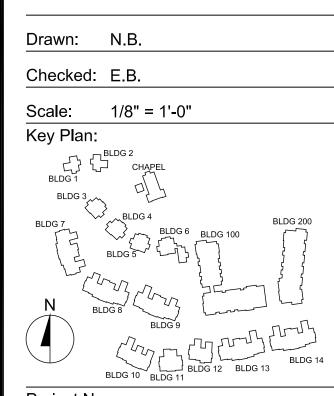
NOTES:

1.BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING

UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

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Project Name:

The Residences
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Zone III
McLean District
Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTION 3BR END A FRONT GARAGE UNIT

Project Number:

20073

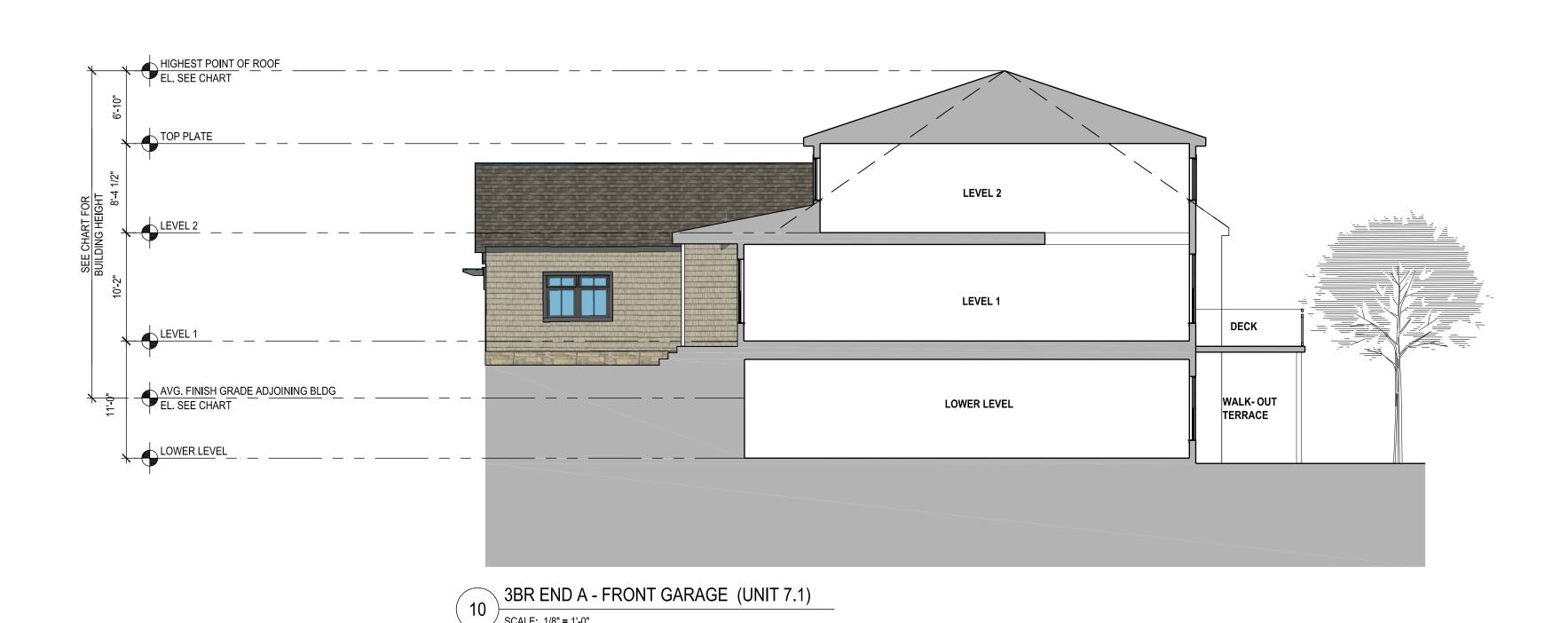
Issue Date:

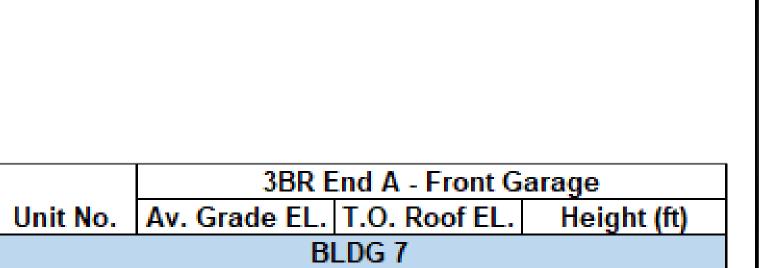
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April 16, 2021

Sheet Number:

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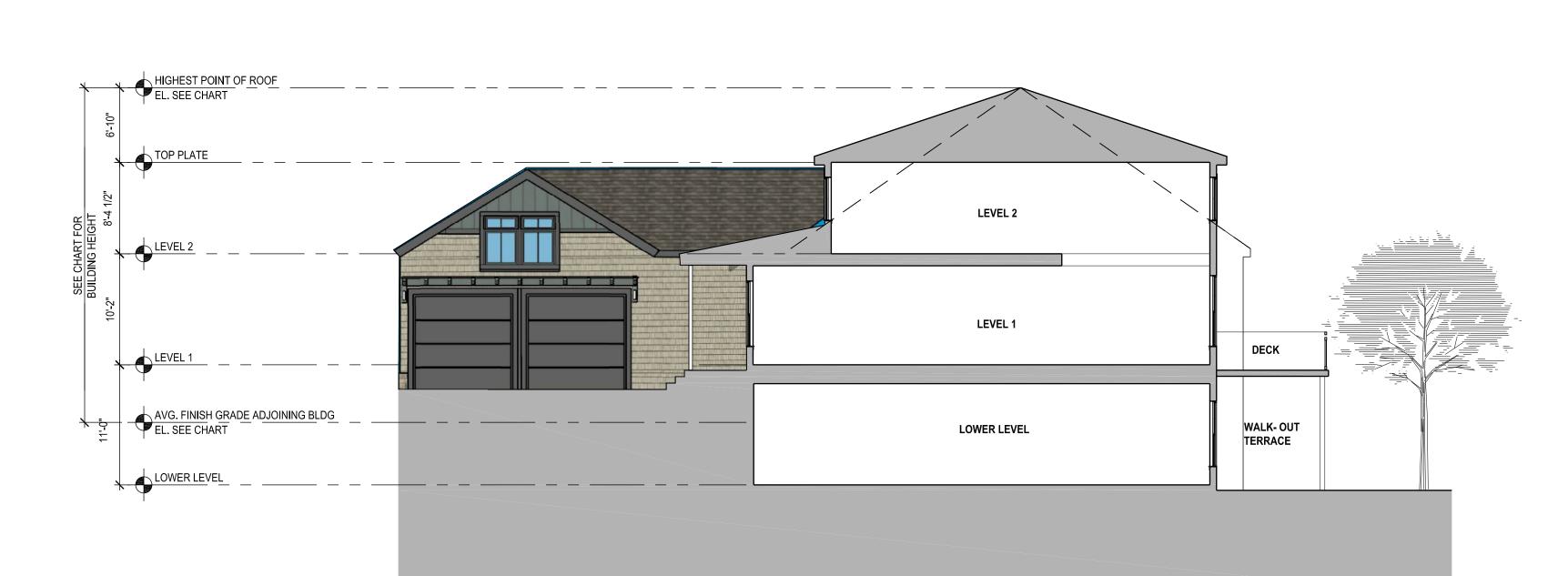
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BUILDING 7 KEY PLAN

NOTES:

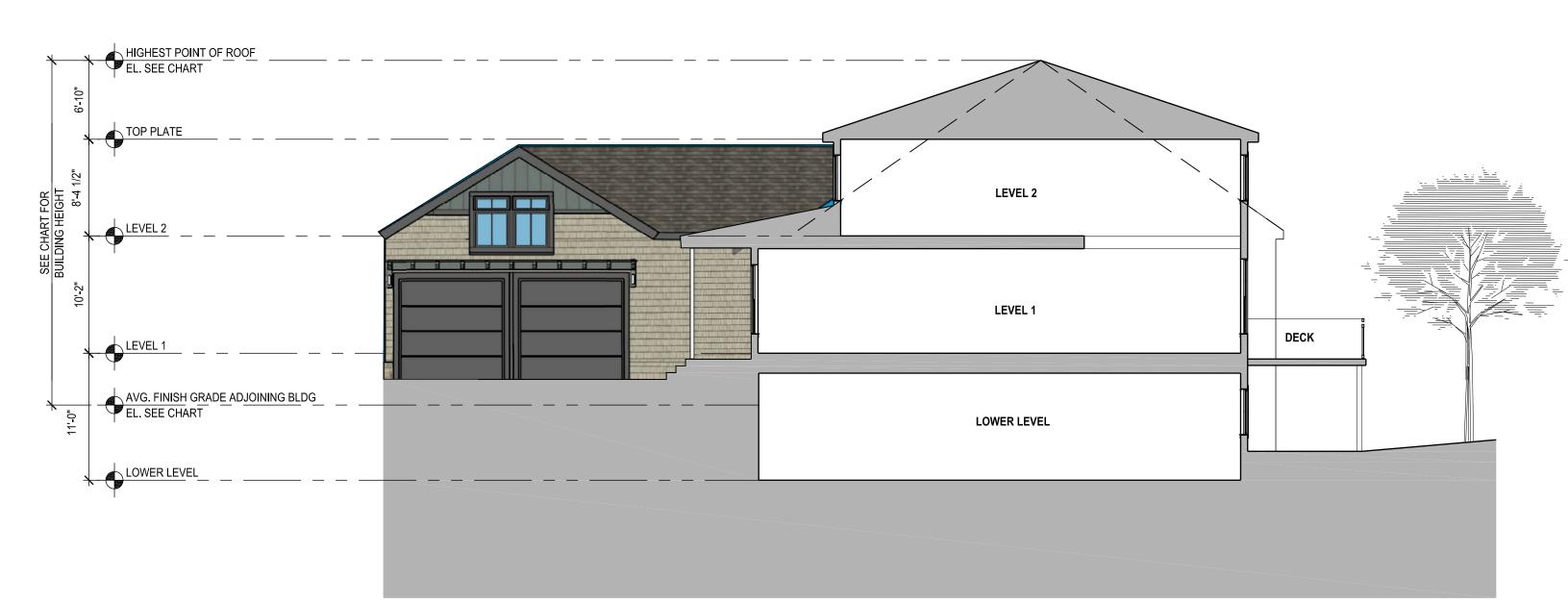
1.BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

179.15



3BR END A - SIDE GARAGE (TYPICAL FOR UNITS 8.4, 9.1)

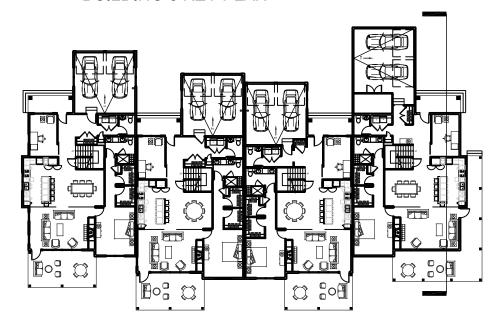
SCALE: 1/8" = 1'-0"



3BR END A - SIDE GARAGE (TYPICAL FOR UNITS 13.4, 14.1)

SCALE: 1/8" = 1'-0"

BUILDING 8 KEY PLAN



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Revision:

1 07-20-2021

Architect of Record:

	3BR End A - Side Garage			
Unit No.	Av. Grade EL.	T.O. Roof EL.	Height (ft)	
BLDG 8				
8.4	182.23	212.88	30.65	
BLDG 9				
9.1	182.30	212.88	30.58	

BUILDING 14 KEY PL	LAN

	3BR End A - Side Garage		
Unit No.	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 13			
13.4	184.32	213.88	29.56
BLDG 14			
14.1	184.02	213.88	29.86

NOTES:

1.BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

Drawn:	N.B.
Checked:	E.B.
Scale:	1/8" = 1'-0"
Key Plan:	
BLDG 3	BLDG 2 CHAPEL CHAPEL
BLDG 7	BLDG 4 BLDG 6 BLDG 100 BLDG 5
N BL	BLDG 9 BLDG 10 BLDG 11 BLDG 12 BLDG 13 BLDG 14

Project Name:

The Residences
at Bel Mont
Zone III
McLean District
Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS 3BR END A SIDE GARAGE UNITS

Project Number:

20073

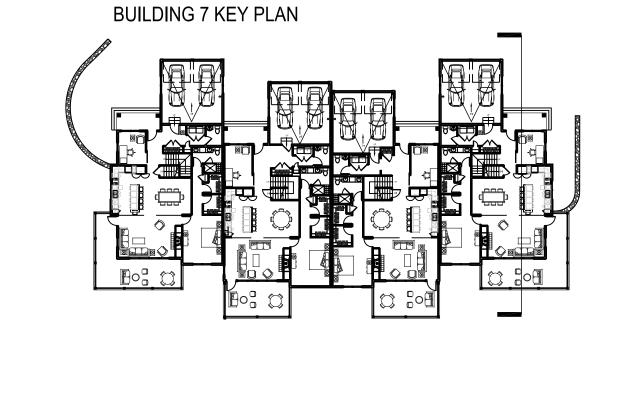
Issue Date:

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	3BR End B - Front Garage					
Unit No.	Av. Grade EL.	T.O. Roof EL.	Height (ft)			
	BLDG 7					
7.4	181.60	215.71	34.11			
	BLDG 8					
8.1	183.03	216.21	33.18			
	BLDG 9					
9.4	180.00	212.71	32.71			
BLDG 12						
12.1	175.58	207.71	32.13			
	BLDG 13					
13.1	179.65	212.21	32.56			

BUILDING 11 KEY PLAN

	Consultant:	
	Davisians	
	Revision:	
1	<u>/1</u> \ 07-20-2021	
3		
1	Architect of Record:	
3		

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Scale:	1/8" = 1'-0"
Key Plan:	
BLDG 7 N BL	BLDG 2 CHAPEL BLDG 4 BLDG 5 BLDG 100 BLDG 5 BLDG 9

Project Name:

The Residences at Bel Mont Zone III McLean District Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS 3BR END B FRONT GARAGE UNITS

Project Number:

20073

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April 16, 2021

A5.01H



3BR END B - FRONT GARAGE (TYPICAL FOR UNITS 7.4, 8.1, 9.4, 12.1, 13.1) SCALE: 1/8" = 1'-0"



3BR END B - FRONT GARAGE (UNIT 11.1)

3BR End B - Front Garage Unit No. Av. Grade EL. T.O. Roof EL. Height (ft) BLDG 11 172.19 203.71 31.52 11.1

NOTES:

1.BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

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The Residences at Bel Mont Zone III McLean District Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS 3BR END B SIDE GARAGE UNIT

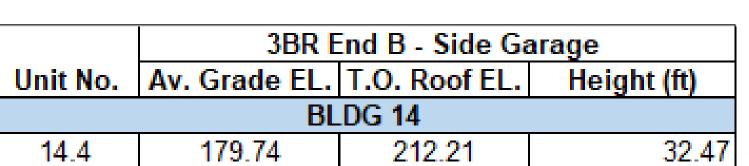
Project Number:

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Issue Date:

April 16, 2021

Sheet Number: A5.01I



NOTES:

1.BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING

UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

BUILDING 14 KEY PLAN

3BR END B - SIDE GARAGE (UNIT 14.4)

PORCH

HIGHEST POINT OF ROOF EL. SEE CHART

AVG. FINISH GRADE ADJOINING BLDG EL. SEE CHART

TOP PLATE

LEVEL 2

LEVEL 2

LEVEL 1

LOWER LEVEL

WALK- OUT TERRACE