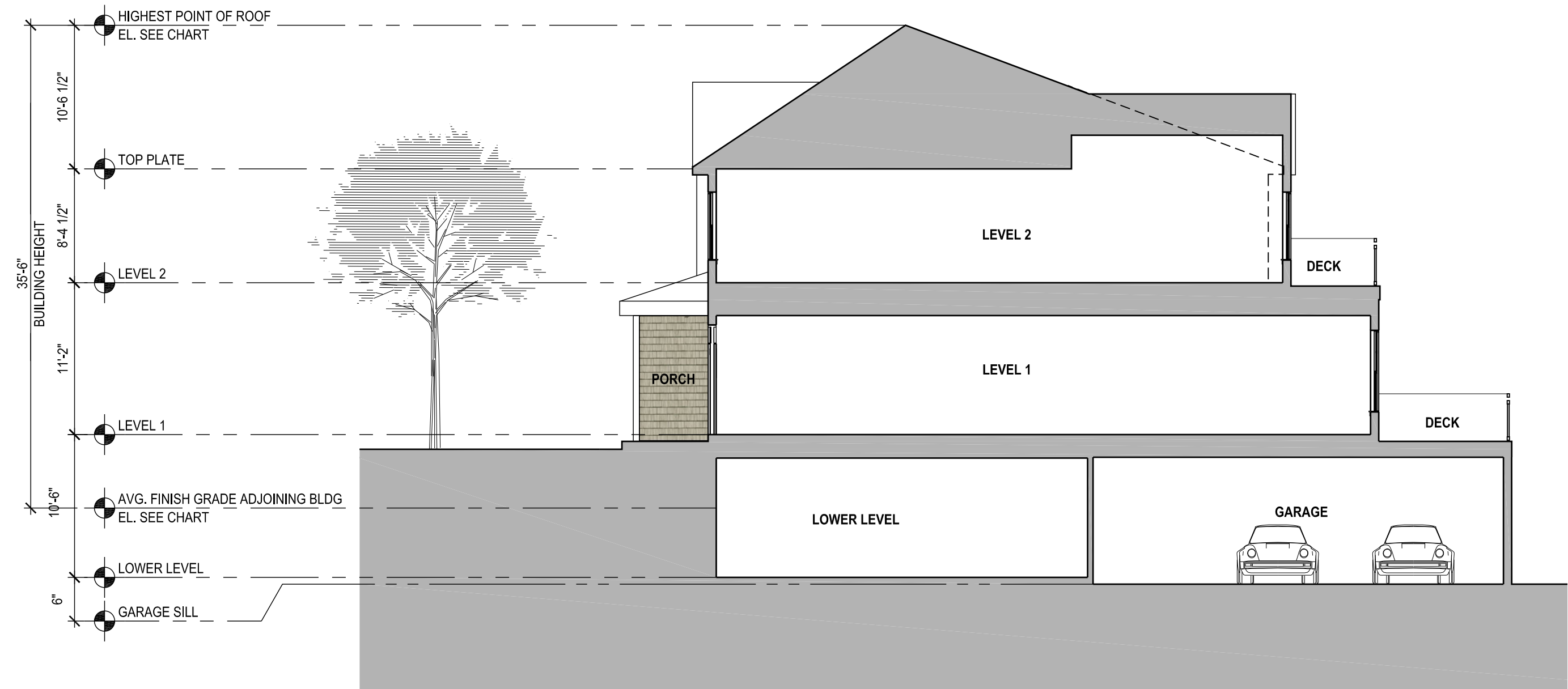
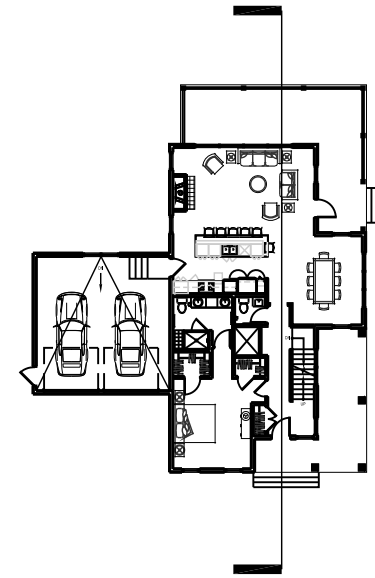


11 3 BR - SINGLE (TYPICAL FOR BLDGS 1, 2)
SCALE: 1/8" = 1'-0"



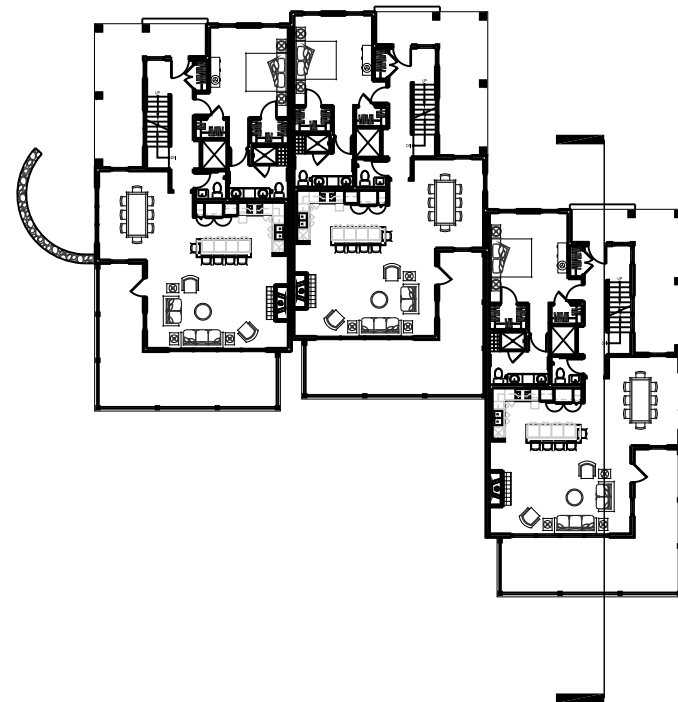
10 3BR END C - GARAGE UNDER (UNIT 6.3)
SCALE: 1/8" = 1'-0"

BUILDING 1 KEY PLAN



Unit No.	3BR Single		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 1			
1.1	180.43	214.1	33.67
BLDG 2			
2.1	184.05	217.1	33.05

BUILDING 6 KEY PLAN



Unit No.	3BR End C - Garage Under		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 6			
6.3	203.1	238.6	35.5

NOTES:
1. BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

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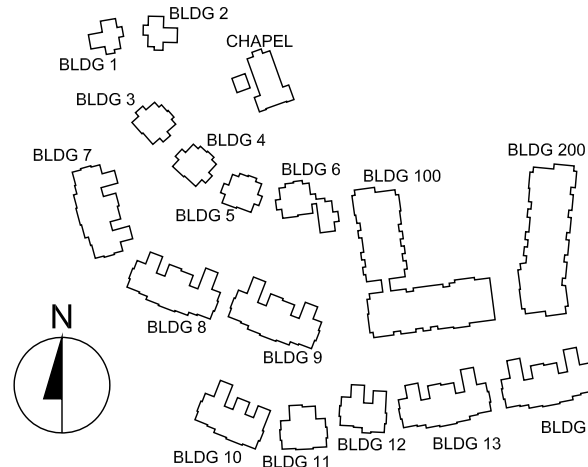
Architect of Record:

Drawn: N.B.

Checked: E.B.

Scale: 1/8" = 1'-0"

Key Plan:



Project Name:

The Residences
at Bel Mont
Zone III
McLean District
Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS
3BR SINGLE &
GARAGE UNDER
UNITS

Project Number:

20073

Issue Date:

April 16, 2021

Sheet Number:

A5.01A

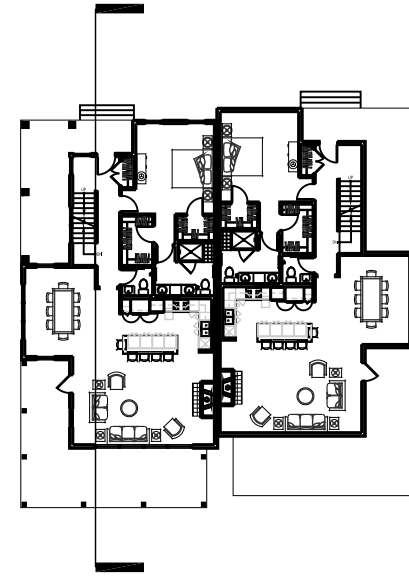


11 3BR END C - GARAGE UNDER (TYPICAL FOR UNITS 3.1, 4.1, 5.1, 6.1)
SCALE: 1/8" = 1'-0"



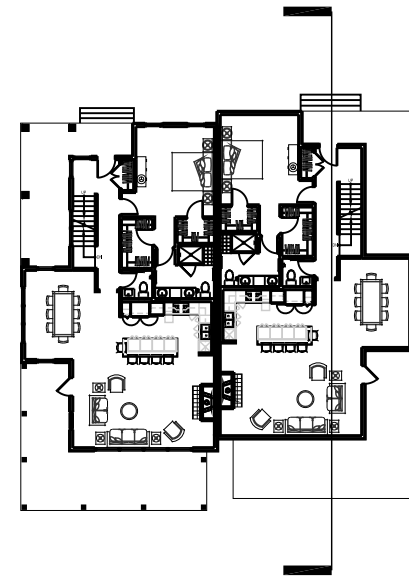
10 3BR END C - GARAGE UNDER (TYPICAL FOR UNITS 3.2, 4.2, 5.2, 6.2)
SCALE: 1/8" = 1'-0"

BUILDING 5 KEY PLAN



Unit No.	3BR End C - Garage Under		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 3			
3.1	186.1	221.6	35.5
BLDG 4			
4.1	191.1	226.6	35.5
BLDG 5			
5.1	196.1	231.6	35.5
BLDG 6			
6.1	201.1	236.6	35.5

BUILDING 5 KEY PLAN



Unit No.	3BR End C - Garage Under		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 3			
3.2	188.1	223.6	35.5
BLDG 4			
4.2	193.1	228.6	35.5
BLDG 5			
5.2	198.1	233.6	35.5
BLDG 6			
6.2	203.1	238.6	35.5

NOTES:
1. BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

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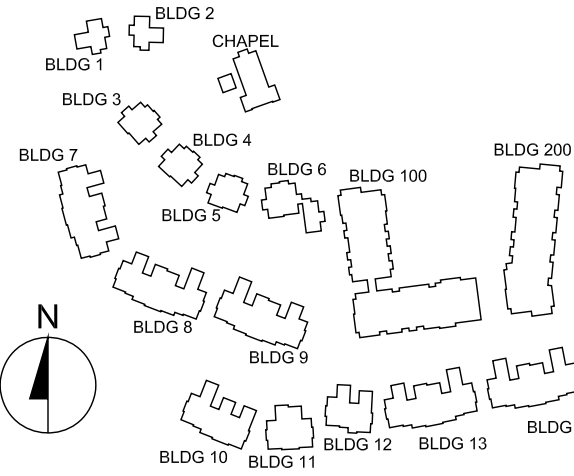
Architect of Record:

Drawn: N.B.

Checked: E.B.

Scale: 1/8" = 1'-0"

Key Plan:



Project Name:

The Residences
at Bel Mont
Zone III
McLean District
Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS
3BR END - C
GARAGE UNDER
UNITS

Project Number:

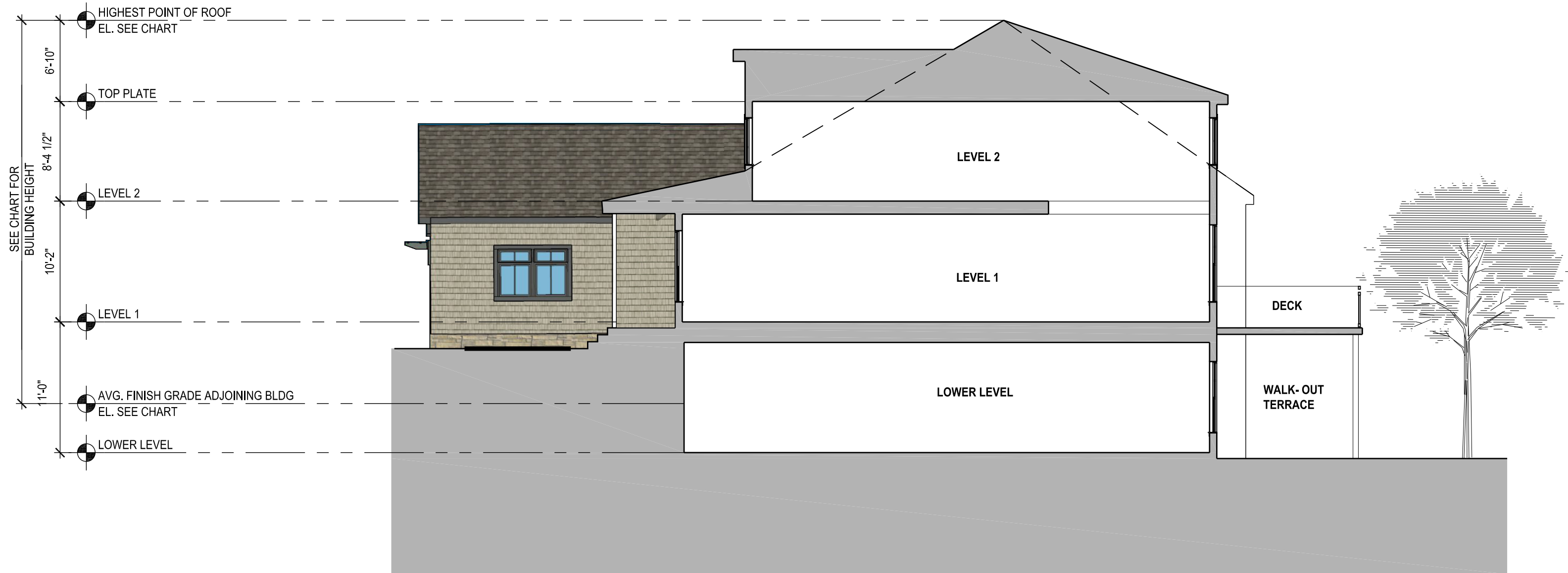
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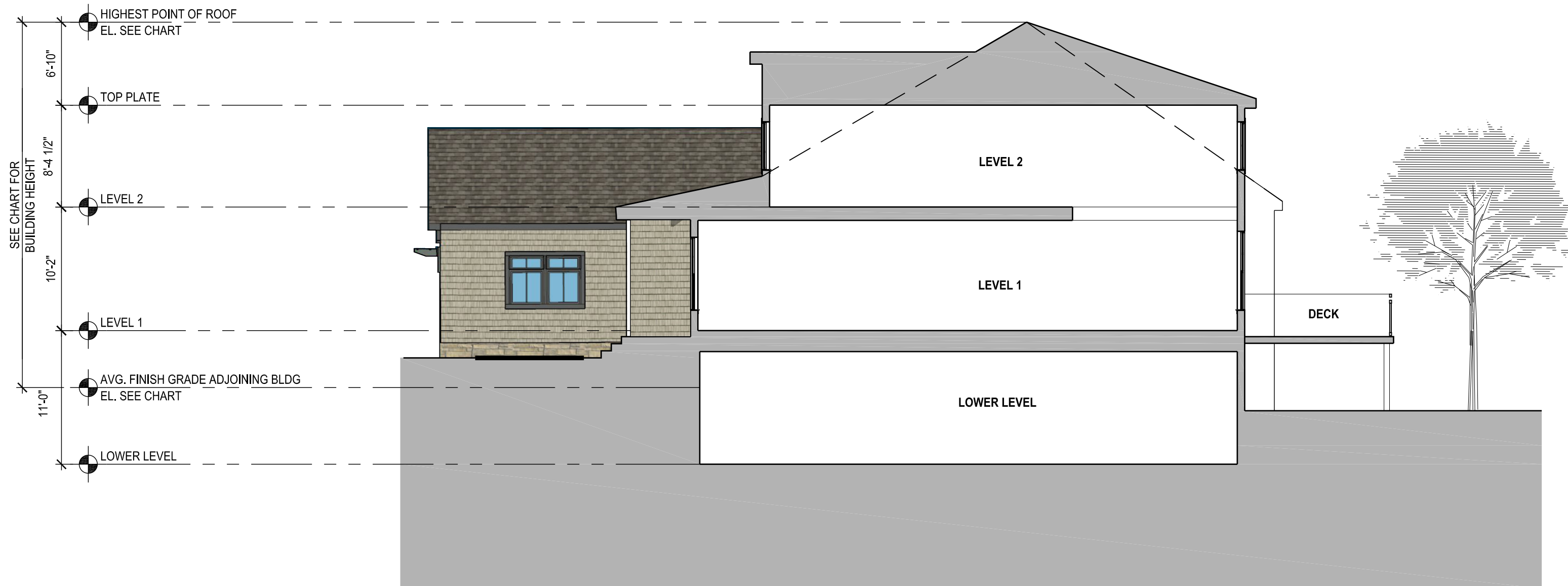
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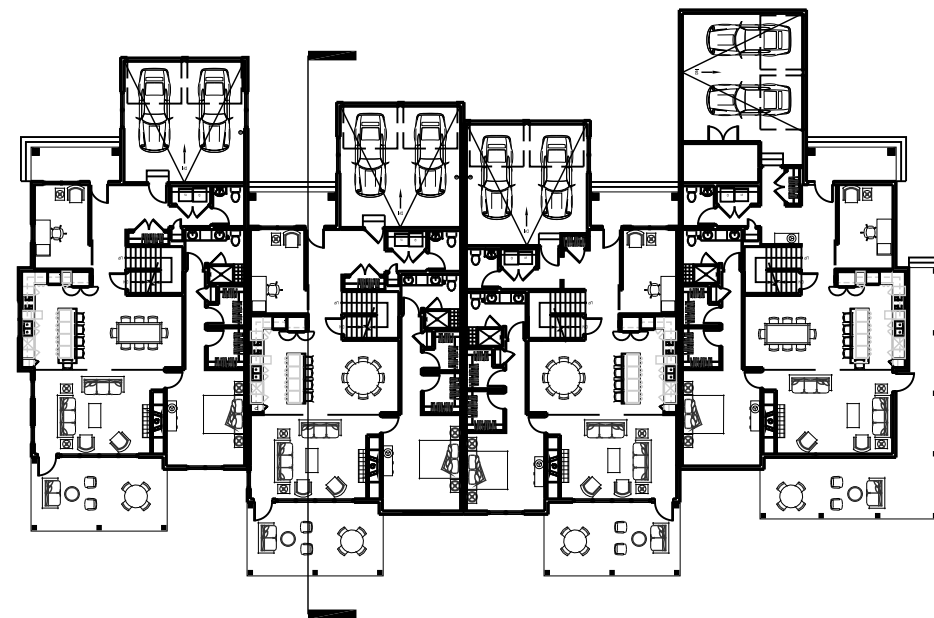


11 2BR INLINE (TYPICAL FOR UNITS 7.2, 7.3, 8.2, 8.3, 9.2, 9.3, 13.2, 14.2, 14.3)
SCALE: 1/8" = 1'-0"



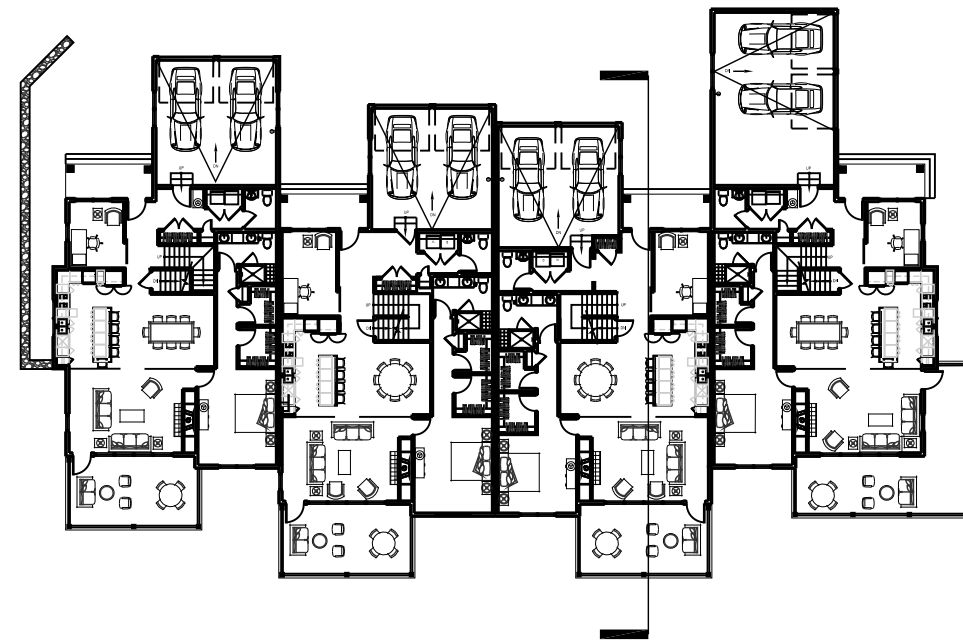
10 2BR INLINE (TYPICAL FOR UNITS 10.2, 13.3)
SCALE: 1/8" = 1'-0"

BUILDING 8 KEY PLAN



Unit No.	Inline		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 7			
7.2	179.81	211.88	32.07
7.3	179.66	211.88	32.22
BLDG 8			
8.2	182.14	214.38	32.24
8.3	181.93	214.38	32.45
BLDG 9			
9.2	180.68	212.88	32.20
9.3	180.37	212.88	32.51
BLDG 13			
13.2	180.57	212.38	31.81
BLDG 14			
14.2	180.85	212.38	31.53
14.3	179.63	212.38	32.75

BUILDING 13 KEY PLAN



Unit No.	Inline		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 10			
10.2	169.85	197.38	27.53
BLDG 13			
13.3	182.32	212.38	30.06

NOTES:
1. BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

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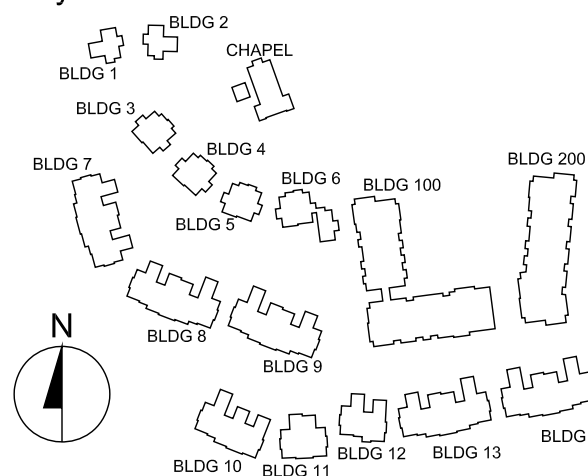
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Scale: 1/8" = 1'-0"

Key Plan:



Project Name:

The Residences
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Zone III
McLean District
Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS
2BR INLINE
UNITS

Project Number:

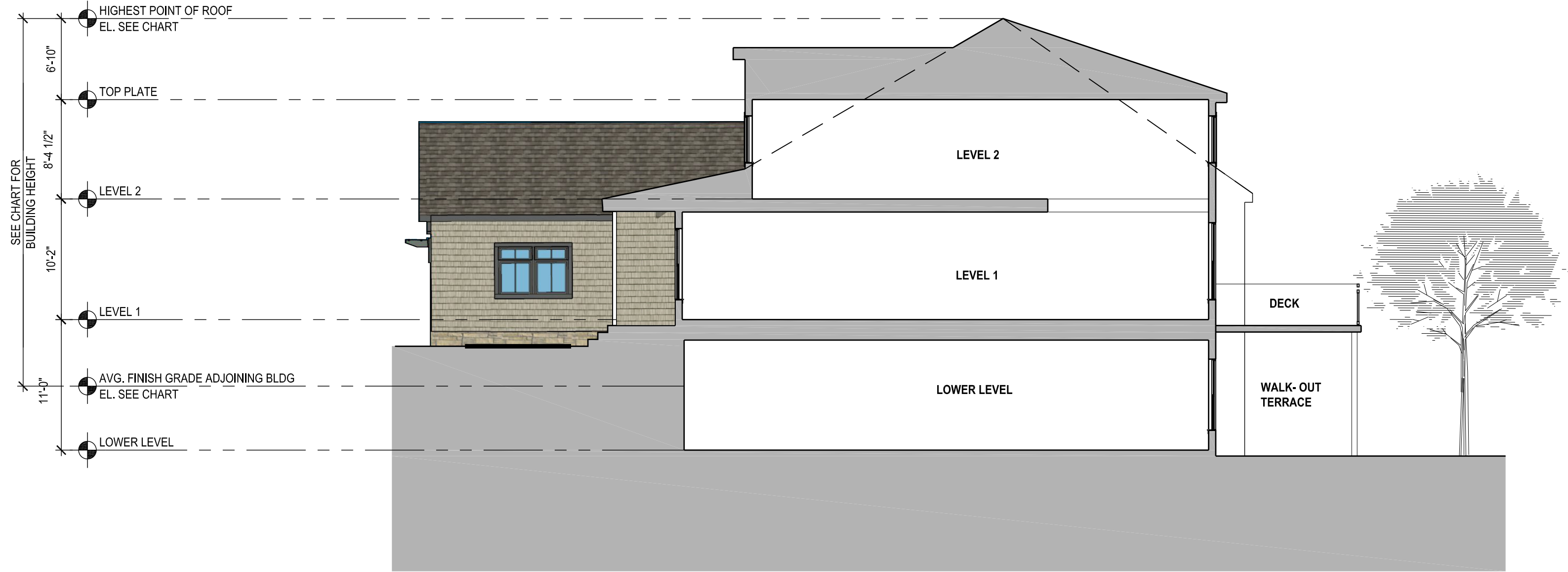
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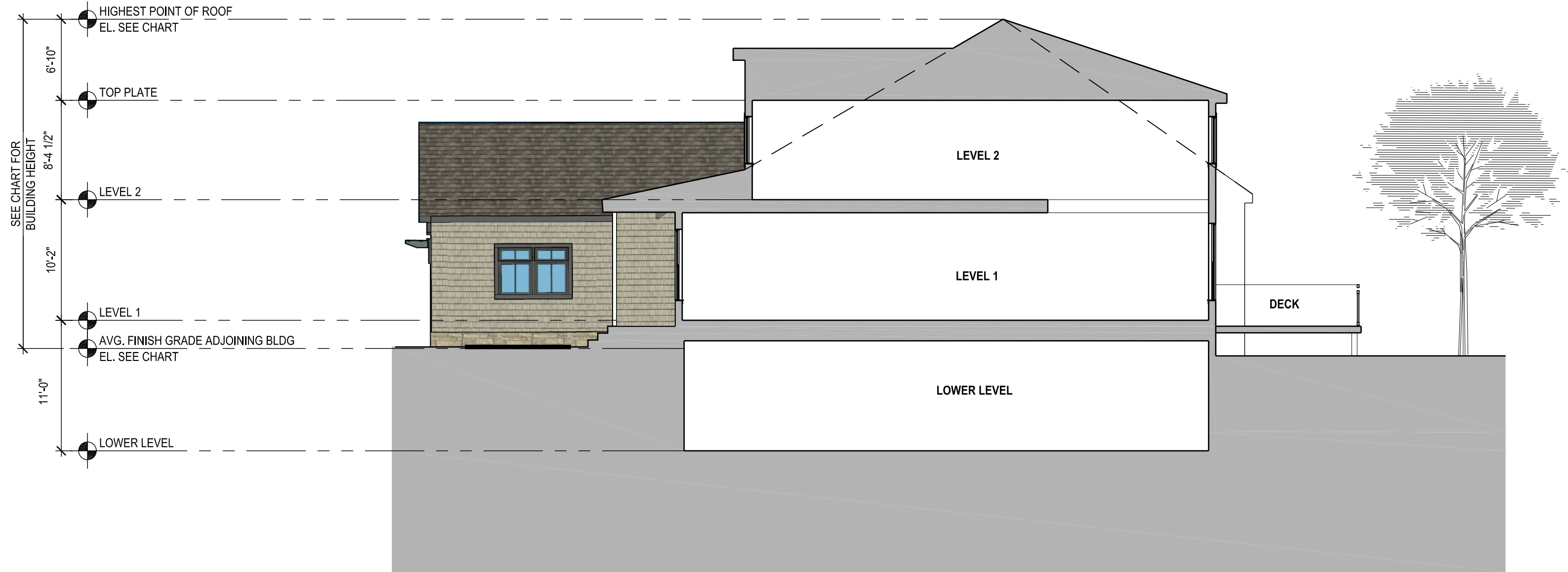
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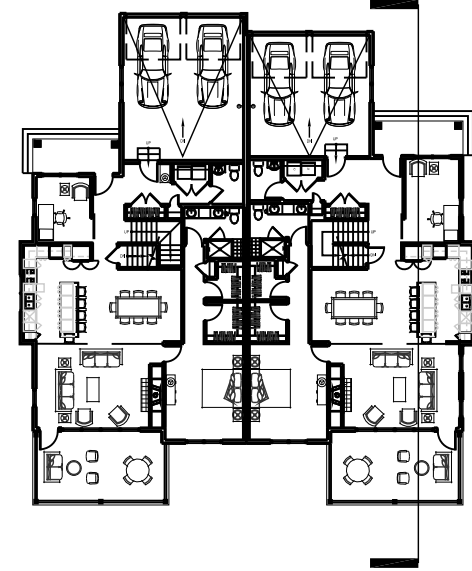


11 2BR END - FRONT GARAGE (TYPICAL FOR UNITS 11.2, 12.2)
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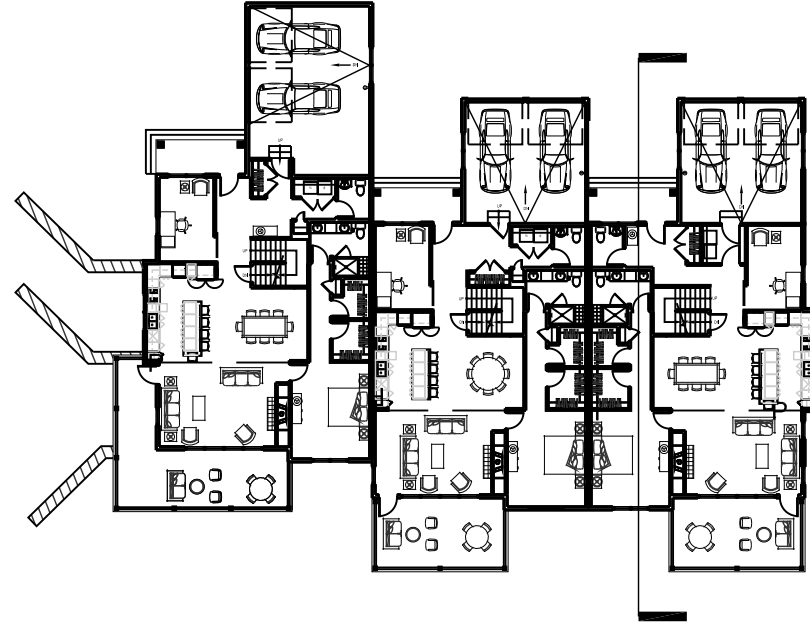
10 2BR END - FRONT GARAGE (UNIT 10.3)
SCALE: 1/8" = 1'-0"

BUILDING 11 KEY PLAN



Unit No.	2BR End - Front Garage		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 11			
11.2	170.90	201.88	30.98
BLDG 12			
12.2	175.42	207.88	32.46

BUILDING 10 KEY PLAN



Unit No.	2BR End - Front Garage		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 10			
10.3	171.63	199.38	27.75

NOTES:
1. BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

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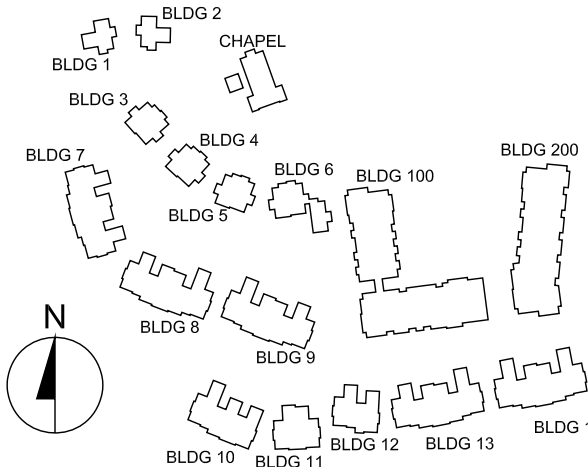
Architect of Record:

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Checked: E.B.

Scale: 1/8" = 1'-0"

Key Plan:



Project Name:

The Residences
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Zone III
McLean District
Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS
2BR END
FRONT GARAGE
UNITS

Project Number:

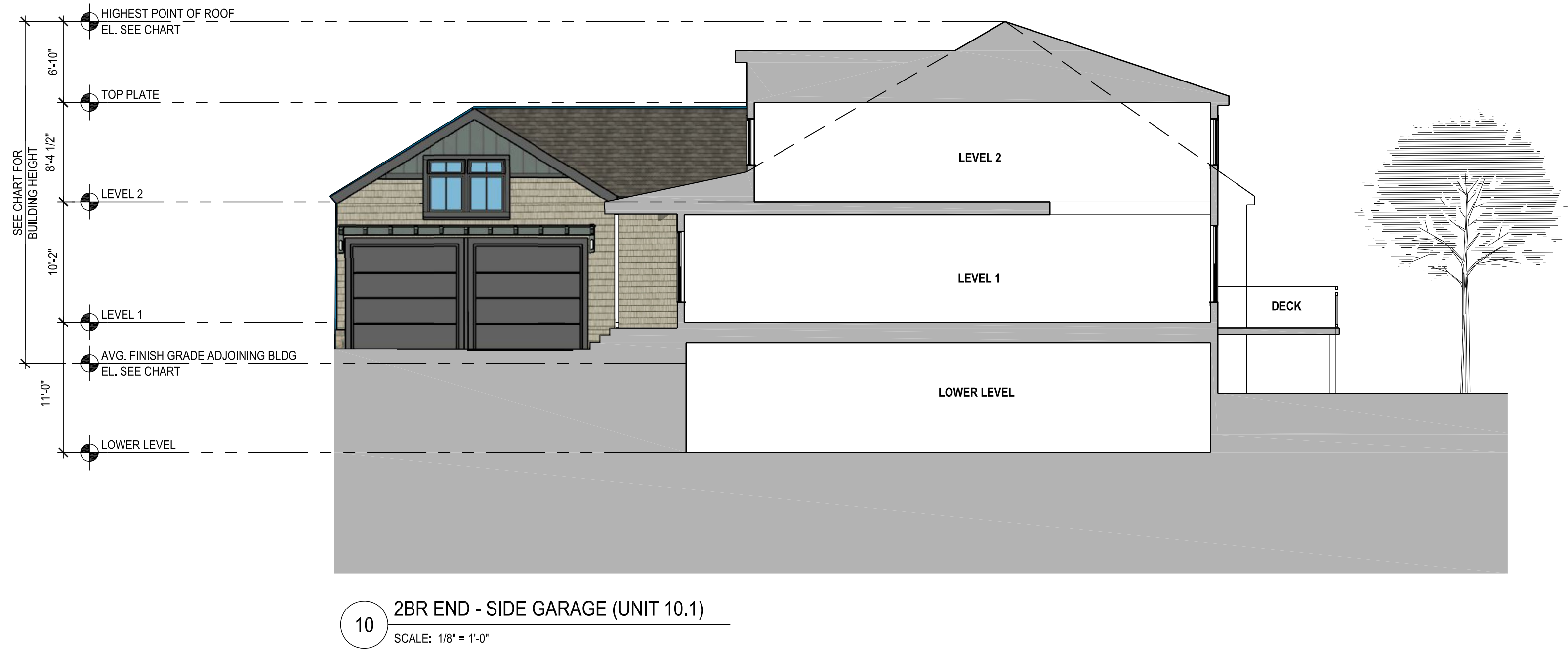
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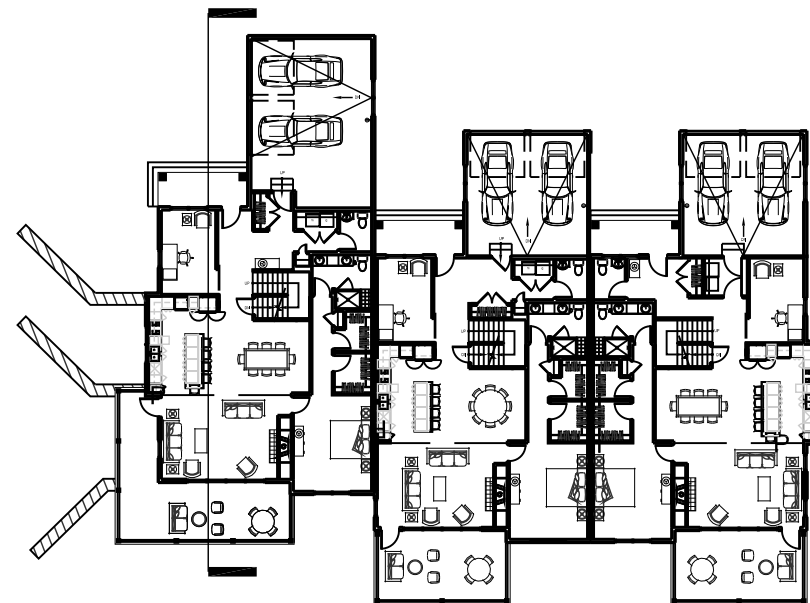
April 16, 2021

Sheet Number:

A5.01D



BUILDING 10 KEY PLAN



Unit No.	2BR End - Side Garage		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 10			
10.1	166.54	195.38	28.84

NOTES:
1. BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

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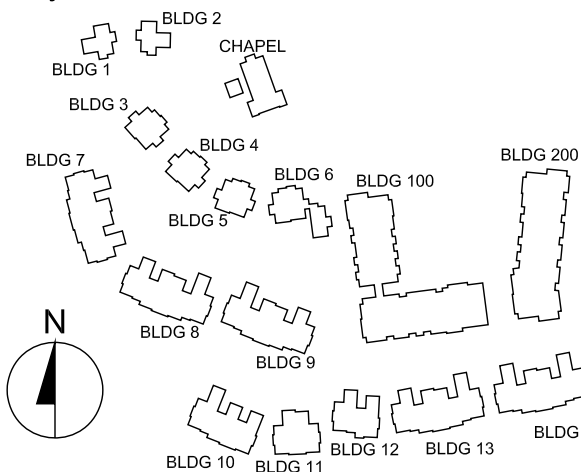
Architect of Record:

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Checked: E.B.

Scale: 1/8" = 1'-0"

Key Plan:



Project Name:

The Residences
at Bel Mont
Zone III
McLean District
Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTION
2BR END
SIDE GARAGE
UNIT

Project Number:

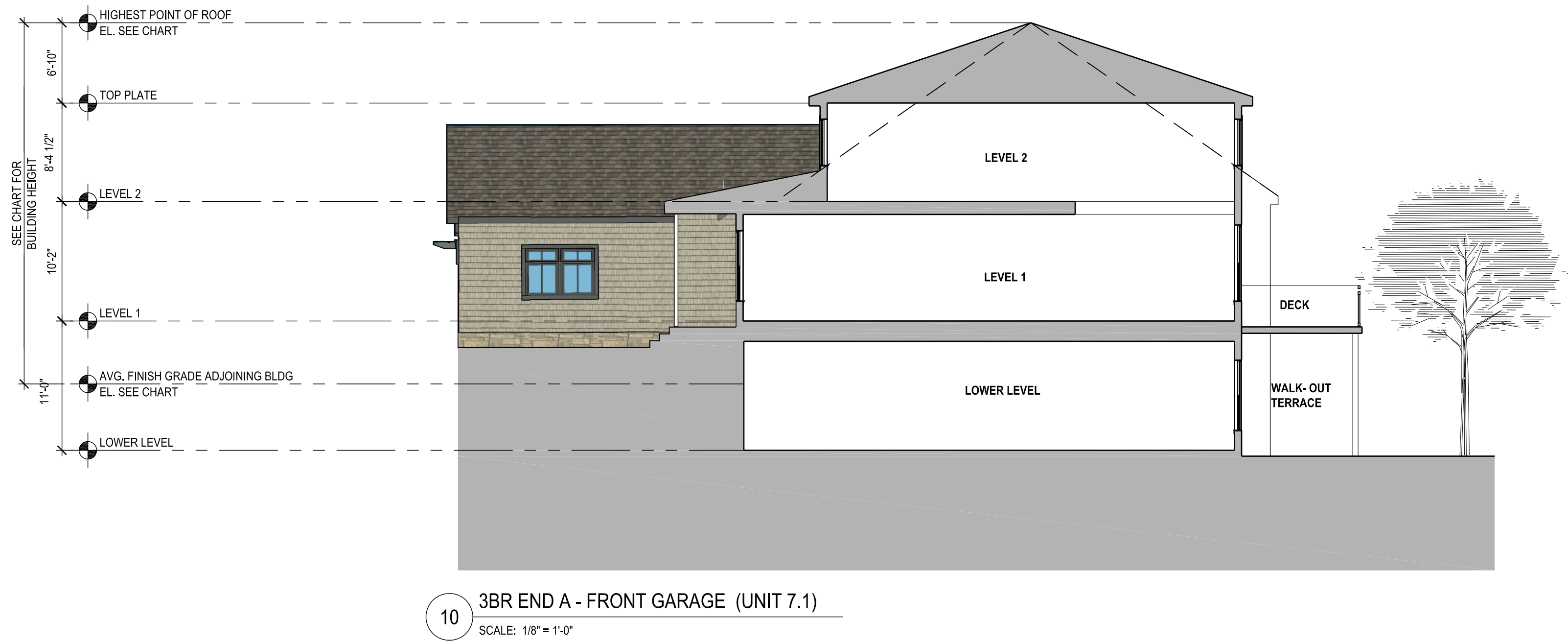
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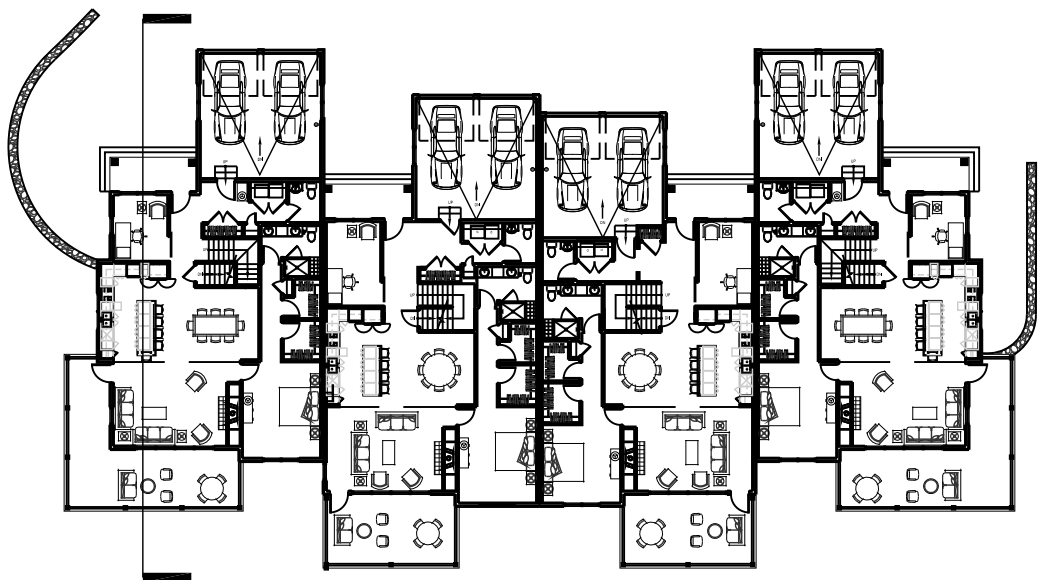
April 16, 2021

Sheet Number:

A5.01E



BUILDING 7 KEY PLAN



Unit No.	3BR End A - Front Garage		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 7			
7.1	179.15	209.88	30.73

NOTES:
1. BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

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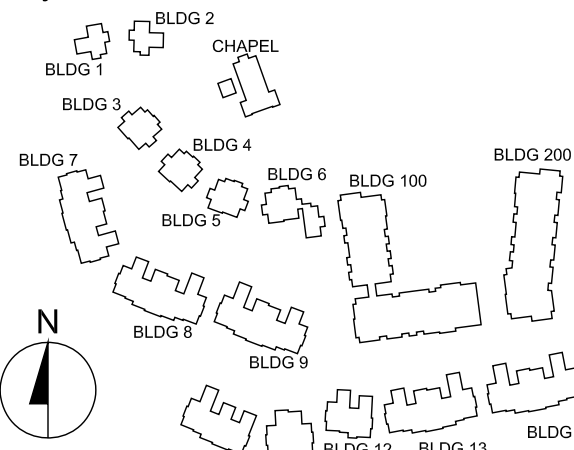
Architect of Record:

Drawn: N.B.

Checked: E.B.

Scale: 1/8" = 1'-0"

Key Plan:



Project Name:

The Residences
at Bel Mont
Zone III
McLean District
Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTION
3BR END A
FRONT GARAGE UNIT

Project Number:

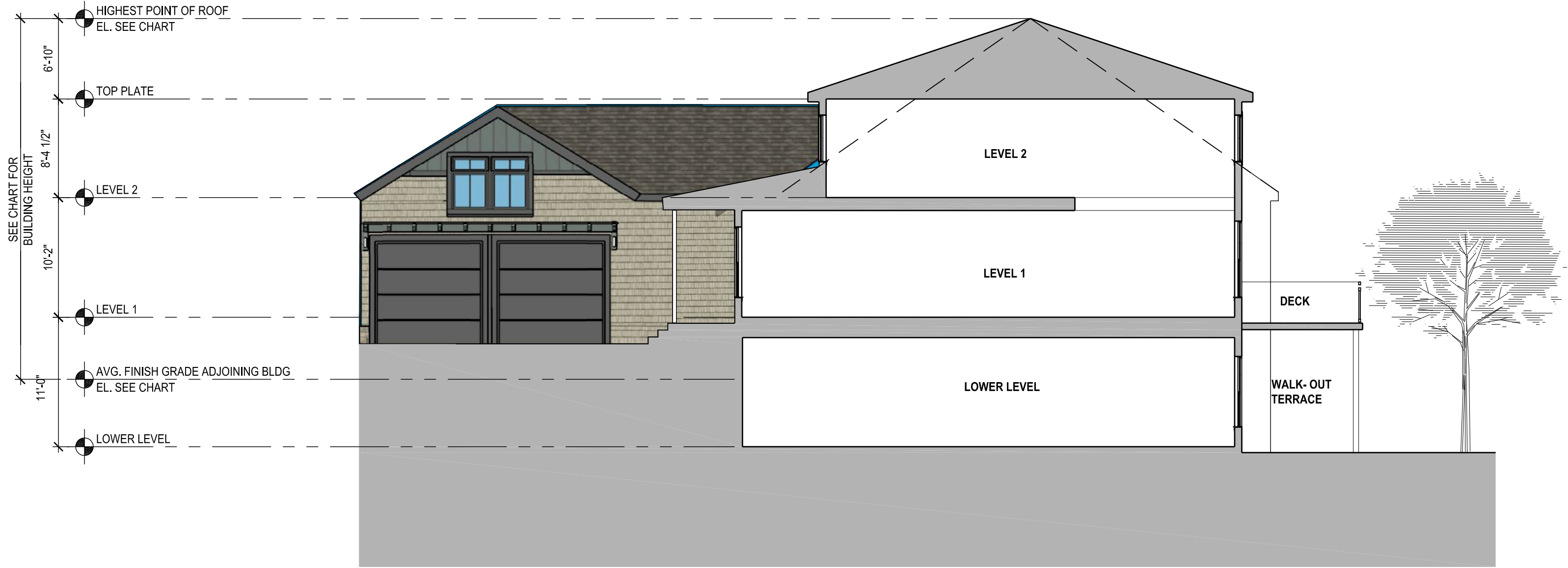
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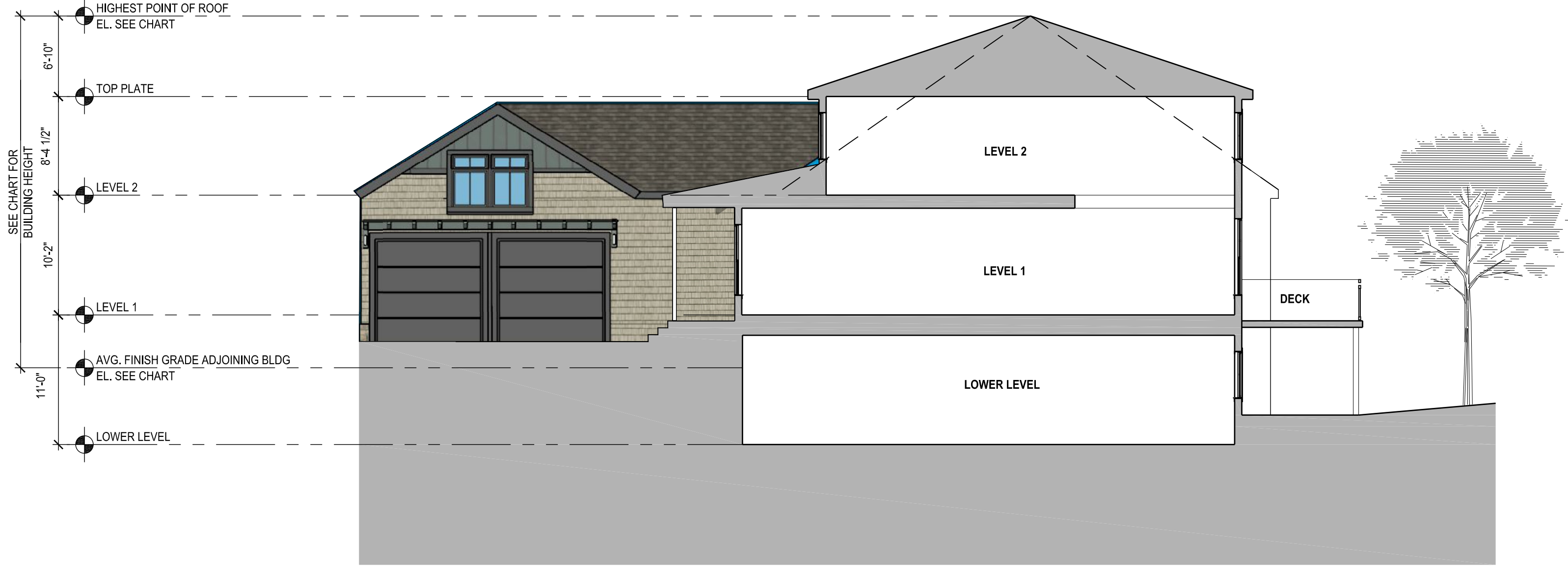
April 16, 2021

Sheet Number:

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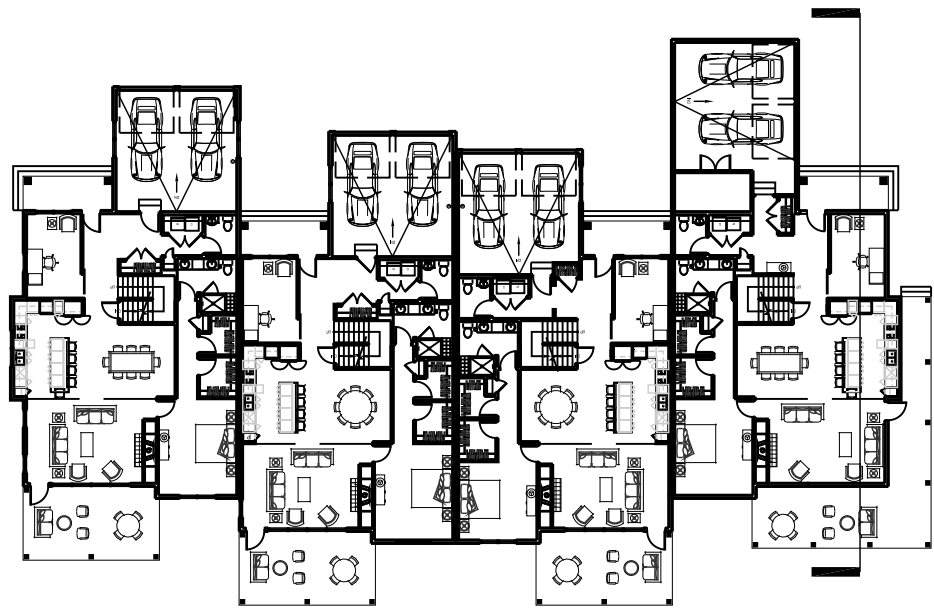


11 3BR END A - SIDE GARAGE (TYPICAL FOR UNITS 8.4, 9.1)
SCALE: 1/8" = 1'-0"



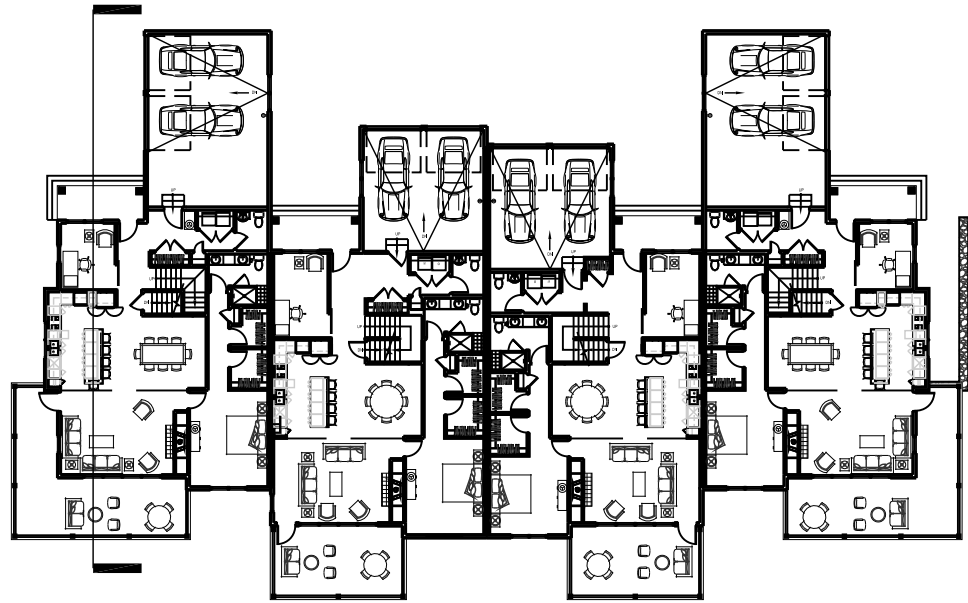
10 3BR END A - SIDE GARAGE (TYPICAL FOR UNITS 13.4, 14.1)
SCALE: 1/8" = 1'-0"

BUILDING 8 KEY PLAN



Unit No.	3BR End A - Side Garage		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 8			
8.4	182.23	212.88	30.65
BLDG 9			
9.1	182.30	212.88	30.58

BUILDING 14 KEY PLAN



Unit No.	3BR End A - Side Garage		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 13			
13.4	184.32	213.88	29.56
BLDG 14			
14.1	184.02	213.88	29.86

NOTES:
1. BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

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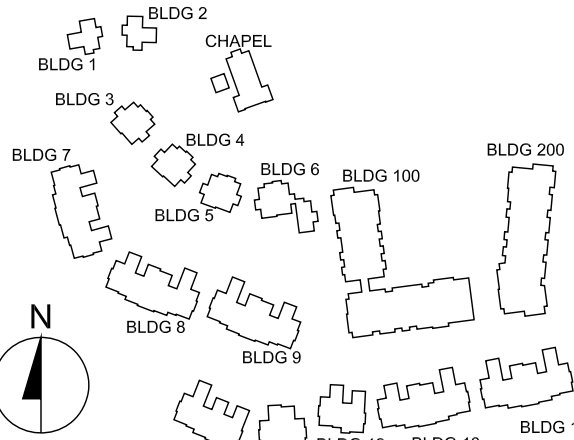
Architect of Record:

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Key Plan:



Project Name:

The Residences
at Bel Mont
Zone III
McLean District
Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS
3BR END A
SIDE GARAGE UNITS

Project Number:

20073

Issue Date:

April 16, 2021

Sheet Number:

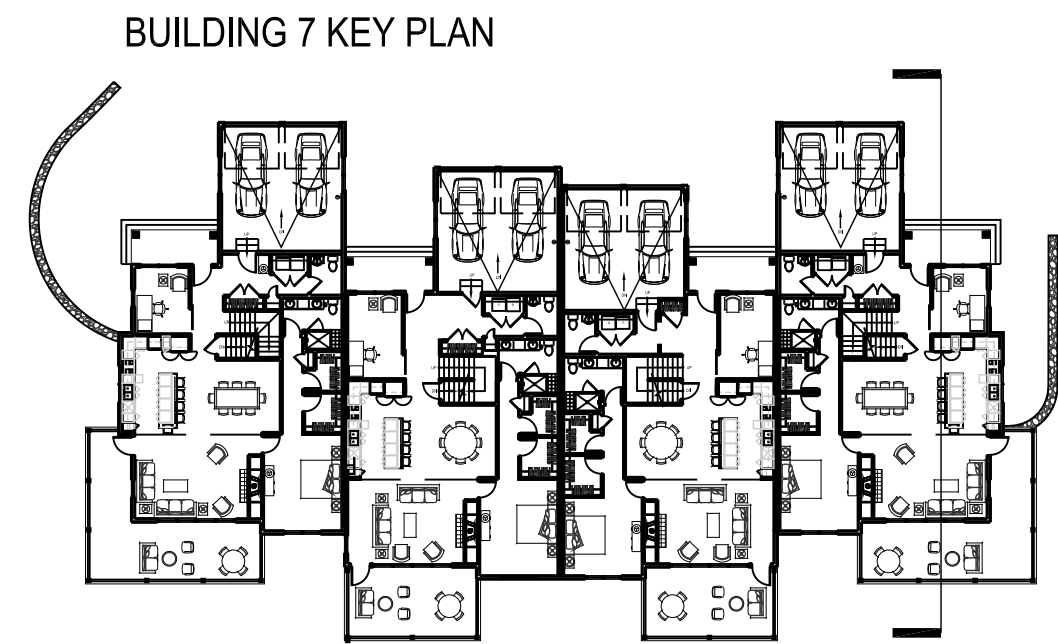
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11 3BR END B - FRONT GARAGE (TYPICAL FOR UNITS 7.4, 8.1, 9.4, 12.1, 13.1)
SCALE: 1/8" = 1'-0"

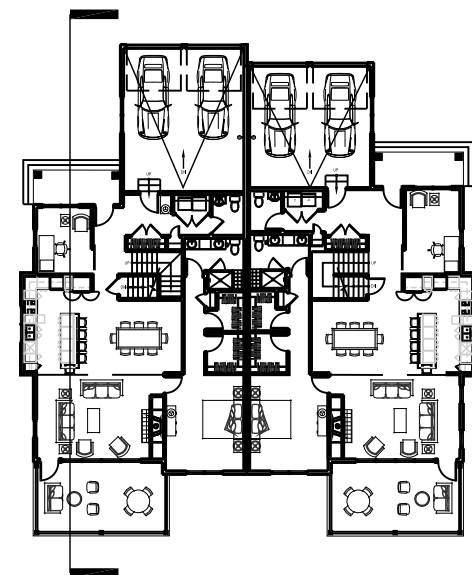


10 3BR END B - FRONT GARAGE (UNIT 11.1)
SCALE: 1/8" = 1'-0"



Unit No.	3BR End B - Front Garage		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 7			
7.4	181.60	215.71	34.11
BLDG 8			
8.1	183.03	216.21	33.18
BLDG 9			
9.4	180.00	212.71	32.71
BLDG 12			
12.1	175.58	207.71	32.13
BLDG 13			
13.1	179.65	212.21	32.56

BUILDING 11 KEY PLAN



Unit No.	3BR End B - Front Garage		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 11			
11.1	172.19	203.71	31.52

NOTES:
1. BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

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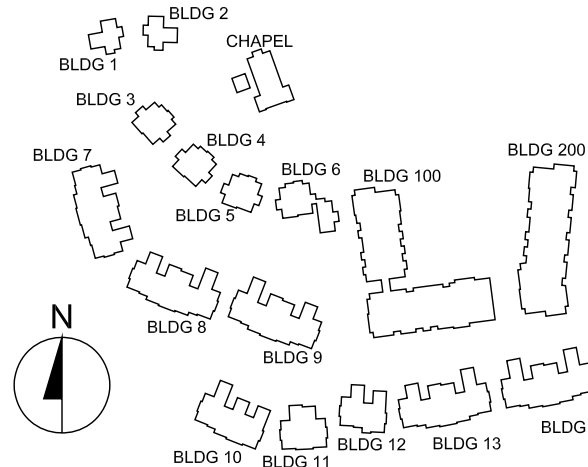
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Key Plan:



Project Name:

The Residences
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Zone III
McLean District
Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS
3BR END B
FRONT GARAGE UNITS

Project Number:

20073

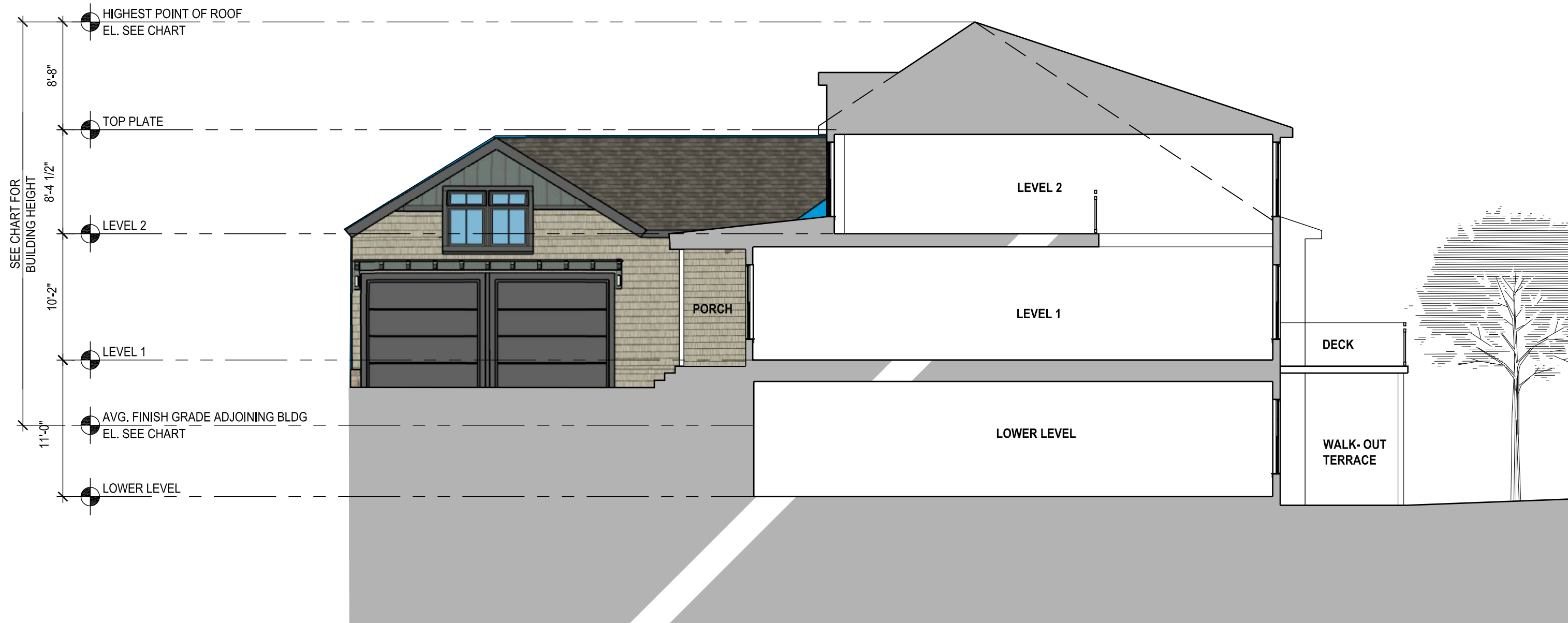
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April 16, 2021

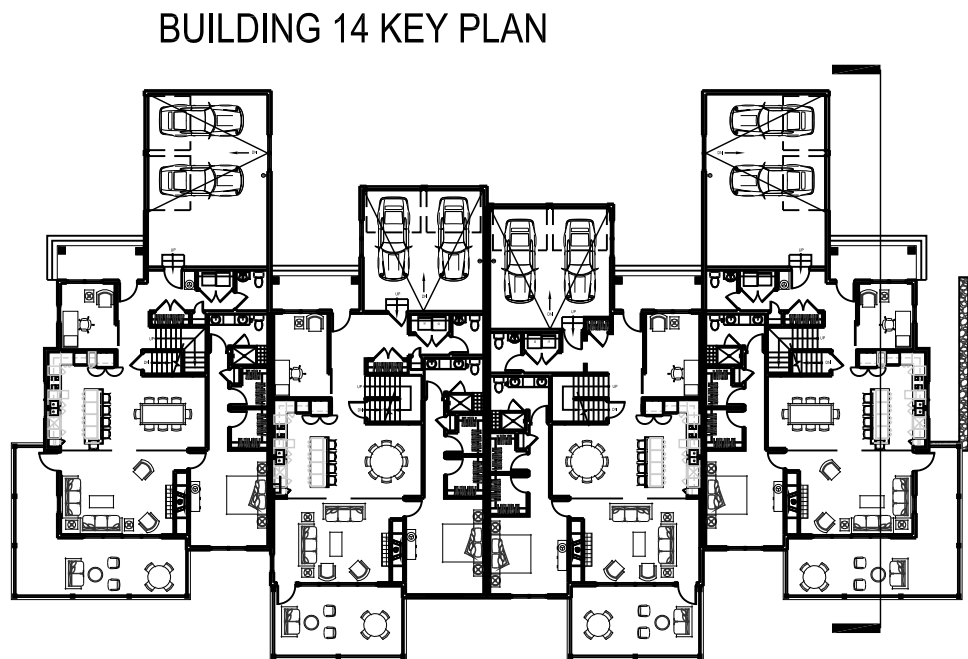
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10 3BR END B - SIDE GARAGE (UNIT 14.4)
SCALE: 1/8" = 1'-0"



Unit No.	3BR End B - Side Garage		
	Av. Grade EL.	T.O. Roof EL.	Height (ft)
BLDG 14			
14.4	179.74	212.21	32.47

NOTES:
1. BUILDING HEIGHT IS MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING AT ALL EXTERIOR WALLS TO THE HIGHEST POINT OF THE ROOF. EACH TOWNHOUSE DWELLING UNIT IS CONSIDERED A SEPARATE BUILDING FOR THE PURPOSE OF DETERMINING HEIGHT. PER THE PER THE MCLEAN DISTRICT ZONE 3 OVERLAY DISTRICT ZONING, SUBSECTION 6B.3.1.C, THE MAXIMUM PERMITTED HEIGHT IS 36 FEET.

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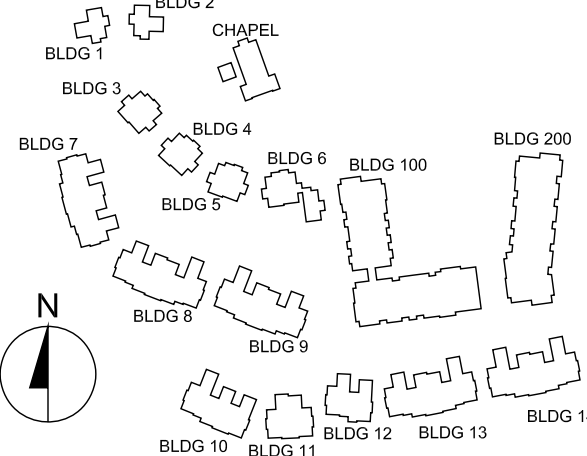
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Key Plan:



Project Name:

The Residences
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Zone III
McLean District
Olmsted Drive, Belmont, MA

Sheet Name:

BUILDING SECTIONS
3BR END B
SIDE GARAGE UNIT

Project Number:

20073

Issue Date:

April 16, 2021

Sheet Number:

A5.011