Town of Belmont
Planning Board

APPLICATION FOR A SPECIAL PERMIT

Date: 9-23-20

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 24 GRANT AVE Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for

Construct a TWO Family

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner Robert F Calnan
Print Name Robert F Calnan
Address 166 CIRCLE DRIVE
WALTHAM MA.
Daytime Telephone Number 781 844 8702

August 20, 2014

24 GRANT AVENUE, LLC

166 Circle Drive
Waltham, MA 02152

8-24-20

IMPACT STATEMENT

Dear Planning Board Members

24 Grant Avenue is currently a single-family residence, colonial style home, built in 1866. This older outdated home sits on a 5262 square foot lot in the GR district.

At this time we would like to present to the board a proposal to construct a new 2 family consisting of 3 bedroom, 2 full and 2 half-bath of approx. 1280 square feet each in the 2-story residence. The new home will also be professionally landscaped.

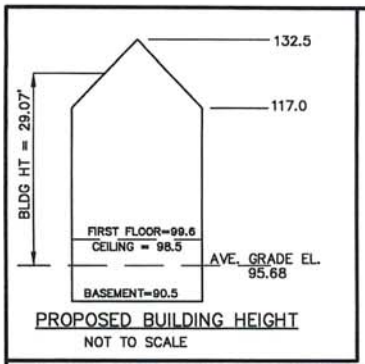
Upon our research, the homes to be built will blend in nicely with the existing neighboring homes.

Currently the neighborhood consists of a mix of single-family homes, 2 unit buildings and townhouses. We have kept the homes to a modest size as not to overwhelm the neighborhood and to be consistent with the neighboring abutters.

We have provided photos of the surrounding residences for your review. As you can see, this new 2 family home will blend in with the character of the neighborhood and will not adversely impact the areas look.

We are looking forward to working with the board again on a successful project with the board's approval.

Thank you,
Donald Cusano
Donbuiltit@yahoo.com
and
Robert Calnan
BobCalnan@hotmail.com



PROPOSED BUILDING HEIGHT
NOT TO SCALE

64.47% OF BASEMENT UNDERGROUND THEREFOR BASEMENT IS NOT A STORY

LOT G1

14.8'

101.85

95.46 39.00' 95.29

22.00'

36.00'

16' PATIO 14'

95.65 95.97 96.32 95.4 AC 96.03 AC

36.0' 10.0' 10.9' PROPOSED DRIVEWAY

95.24 95.23 95.7

16.6' EGRESS WINDOW

41.0'

81.00'

2 STORY

LOT 34

LOT H1
5,262± S.F.

PROPOSED BUILDING
#24

10.0' 32.0' 36.0' 32.0'

PATIO 14' 16'

95.76 95.47 49.00'

CB 94.77

95.4 EGRESS WINDOW

#18

96.11 96.03 PROPOSED DRIVEWAY

41.0'

4.0' 13.0' PROPOSED PORCH

95.5 17.4' 16.05'

95.74 94.9 95.37 95.14

12.1'

95.82 95.72 95.81 95.6 95.57 95.54

95.31 95.37 65.00' 95.5 95.34 94.94

95.44 95.39 95.33 95.07

PROP. WATER PROP. SEWER PROP. WATER

Q GG HYD UP WG

WATER SEWER SMH 95.25 GL

95.77 95.51

A STREET

GRANT AVENUE

95.57 95.31 95.03

THERE ARE NO STREET TREES.

AVERAGE SETBACK
GRANT – (12.1+20)/2 = 16.05'
A ST – (14.8+20)/2 = 17.4'

ZONING DISTRICT: GR (GENERAL RESIDENCE)

	REQ.	PROP.
FRONT SETBACK: GRANT	16.05'	16.05'
FRONT SETBACK: A ST	17.4'	17.4'
SIDE SETBACK:	10'	10.9'
REAR SETBACK:	16.0'	16.6'
MAXIMUM LOT COVERAGE:	30%	25.9%
MINIMUM OPEN SPACE:	40%	60.4%
LOT FRONTAGE:		75.00'

TOTAL LOT AREA: 5,262± S.F.

COMMONWEALTH OF MASSACHUSETTS
CLIFFORD E. ROBER
NO. 33189
REGISTERED PROFESSIONAL LAND SURVEYOR

8/20/2020

CLIFFORD E. ROBER, PLS DATE

PREPARED FOR: 24 GRANT AVENUE LLC
74399/495
ASSESSORS MAP 32 – PARCEL 25

PROPOSED PLOT PLAN
#24 GRANT AVENUE
IN
BELMONT, MA
(MIDDLESEX COUNTY)

REV 8/20/2020

SCALE: 1"= 20' **DATE: 12/27/2019**

0 20 40 60 ft

ROBER SURVEY
1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648–5533

DWG. NO. 6034PP5.DWG

Zoning Compliance Check List

Properties Located within the GR Zoning Districts

(To be Completed by a Registered Land Surveyor)

Property Address: 24 Grant Avenue

Surveyor Signature and Stamp: [signature] Date: 8/20/25

COMMONWEALTH OF MASSACHUSETTS
CLIFFORD E. ROBER
NO. 33189
REGISTERED
PROFESSIONAL LAND SURVEYOR

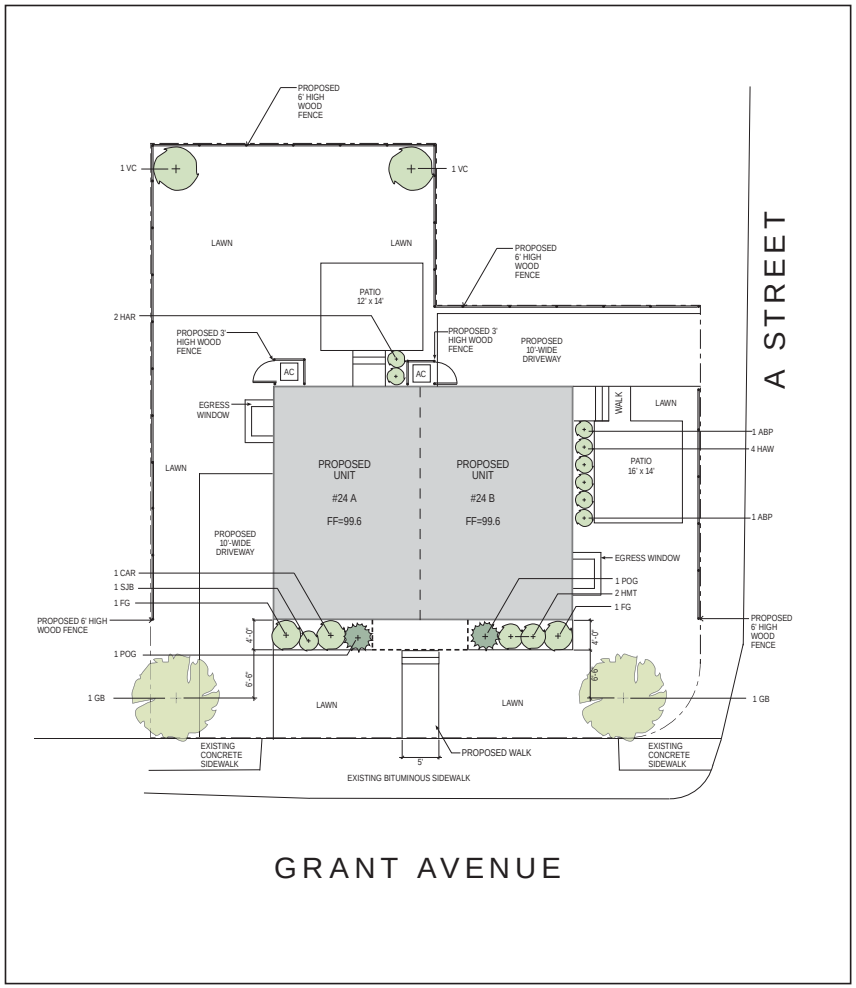
Per §4.2 of the Zoning By-Laws

		REQUIRED	EXISTING	PROPOSED
Lot Area (sq. ft.)		5,000	5,262	—
Lot Frontage (feet)		50'	65' Grant 49' A ST	
Lot Area/Unit (sq. ft./d.u.)				
Lot Coverage (% of lot)		30%	—	25.9%
Open Space (% of lot)		40%	—	60.4%
Setbacks: (feet)	➢ Front	16.05' Grant 17.4' A ST	—	16.05' Grant 17.4' A ST
	➢ Side/Side	10' | 10'	— | —	10.9' | —
	➢ Rear	16.2'	—	16.6'
Building Height:	➢ Feet	33'		29.07'
	➢ Stories	2 1/2		2 1/2
1/2 Story (feet) (Per §1.4)	➢ Perimeter			
	➢ Area			
	➢ Length			

Per §6D of the Zoning By-Laws

		REQUIRED	EXISTING	PROPOSED
Front Doors:	➢ Face Street			
	➢ Setback			
Curb Cut				
HVAC:	➢ Front Yard			
	➢ Side/Rear Setbacks			

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated



GRANT AVENUE

LEGEND

- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- PROPOSED BROADLEAF EVERGREEN SHRUB
- PROPOSED DECIDUOUS SHRUB
- PROPOSED EVERGREEN SHRUB
- PROPOSED PERENNIAL
- PROPERTY LINE
- YARD SETBACK LINE
- EXISTING CHAIN LINK FENCE
- PROPOSED WOOD FENCE

PLANT LIST: 24 A GRANT STREET

Key	Qty	Botanical Name	Common Name	Mature Size	Description, including flower color	Installed Size	Remarks
Deciduous Trees							
GB	1	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair	40-60'Hx 15-20'W	Fan shaped leaves turn yellow in fall. More upright cone shape than usual for species	3" cal.	Subs: Acer freemanii 'Armstrong' or Syringa reticulata 'Ivory Silk'
Shrubs							
CAR	1	Clethra alnifolia 'Ruby Spice'	Ruby Spice Clethra	4-5'H x 4-5'W	Deciduous oval shape shrub with light pink flowers in summer	#7	Sub: Cornus alba 'Ivory Halo'
FG	1	Fothergilla gardenii	Dwarf Fothergilla	4-5' H x 4-5'W	Deciduous; 1-2" white bottlebrush flowers appear in Spring ; Yelow-orange fall color;	2.5-3'	Subs: Syringa 'Tinkerbelle' or Viburnum carlesii 'Compacta'
HAR	2	Hydrangea arborescens 'Invincibelle Ruby'	Invincibelle Ruby Smooth Hydrar	3-4'H x 3-4'W	Ruby red buds open to pink flowers with deep pink margins. Flowers continually from mid	#3	Subs: Hyd arb. Invicibelle 'Limetta'
POG	1	Picea orientalis 'Gowdy'	Gowdy Oriental Spruce	8-10'H x 4-6'W	Conifer. Narrow, compact selection with tightly branched habit. Lime green new growth	4-5'	Subs: Chamaecyparis obtusa Nana Gracilis or Ilex crenata 'Steeds'
SJB	1	Spiraea japonica 'Double Play Blue Kazoo'	Double Play Blue Kazoo Spirea	2-3'H x 2-3'W	Deciduous; Orange/pink/purple new growth matures to blue green. White flowers	#3	Sub: Spirea japonica Double Play Painted Lady
VC	1	Viburnum carlesii	Mayflower Viburnum	6-8'H x 6-8'W	Deciduous: rounded shape: 2-3" diameter white fragrant flowers late April-early May	#10	Sub:Svringa 'Krasavitsa Moskvy' or 'Ivacinthiflora Declaration'

PLANT LIST: 24 B GRANT STREET

Key	Qty	Botanical Name	Common Name	Mature Size	Description, including flower color	Installed Size	Remarks
Deciduous Trees							
GB	1	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair	40-60'Hx 15-20'W	Fan shaped leaves turn yellow in fall. More upright cone shape than usual for species	3" cal.	Subs: Acer freemanii 'Armstrong' or Syringa reticulata 'Ivory Silk'
Shrubs							
ABP	2	Azalea 'Blauuw's Pink'	Blauuw's Pink Azalea	2-3'H x 2-4'W	Glossy dense evergreen foliage with double salmon pink 1.5" flowers in May. Acidic soil	#5	Subs: Azalea 'Hino-Crimson' or 'Girard's Hot Shot'
FG	1	Fothergilla gardenii	Dwarf Fothergilla	4-5' H x 4-5'W	Deciduous; 1-2" white bottlebrush flowers appear in Spring ; Yelow-orange fall color;	2.5-3'	Subs: Syringa 'Tinkerbelle' or Viburnum carlesii 'Compacta'
HAW	4	Hydrangea arbor. 'Invincibelle Wee White'	Wee White Smooth Hydrangea	2-3'H x2-3'W	Deciduous. Flowers emerge with green tint, brighten to creamy white, then age pink.	#3	Sub: Hydrangea arborescens 'Limetta'
HMT	2	Hydrangea m. Endless Sum.'Twist & Shout'	Twist and Shout Hydrangea	3-4'H x 3-4' W	Deciduous Lacecap. Blooms on new & old wood from late Junelea July-frost. Pink-blu-pur	#7	Sub: Hydrangea m. 'Blushing Bride'
POG	1	Picea orientalis 'Gowdy'	Gowdy Oriental Spruce	8-10'H x 4-6'W	Conifer. Narrow, compact selection with tightly branched habit. Lime green new growth	4-5'	Subs: Chamaecyparis obtusa Nana Gracilis or Ilex crenata 'Steeds'
VC	1	Viburnum carlesii	Mayflower Viburnum	6-8'H x 6-8'W	Deciduous; rounded shape; 2-3" diameter white fragrant flowers late April-early May	#10	Sub:Syringa 'Krasavitsa Moskvy' or 'Ivacinthiflora Declaration'

PLANT NOTES

1. This Planting Plan is based on the following: 1. a drawing titled 'PROPOSED PLOT PLAN, #24 GRANT AVENUE, BELMONT,MA', prepared by Rober Survey, 1072 Massachusetts Avenue, Arlington, MA 02476, dated Dec 27, 2019, revised on 8/20/20, and received by Shoplick Associates on August 21, 2020. Shoplick Associates assumes no responsibility for errors, inconsistencies, updates, or omissions in the survey.
2. **PROTECTION OF EXISTING VEGETATION:** Trees and other vegetation designated to remain shall be protected throughout the duration of the construction period with bright orange plastic fence placed in a circle 10' away from trunk. Any damages resulting from the Contractor's operations or neglect shall be repaired or replaced by the Contractor. No equipment or materials shall be stored or stockpiled within the drip line of the trees. If, in order to perform excavation work, it becomes necessary to cut a tree's roots, such roots must be cleanly cut by a Certified Arborist. Tree protection must remain in place throughout construction until final acceptance by Owner.
3. **CLEARING AND GRUBBING:** Verify all items to be removed and to remain before commencing any demolition work. Do no clearing without full knowledge of existing conditions to be preserved. Tree and shrub removal includes the cutting and grubbing of all stumps, roots and root clusters that have a diameter of 1 inch or larger to a depth of at least 2 feet below finish grade elevations. The Contractor is responsible for complying with local and state rules and regulations pertaining to the off-site disposal of all soil, trees, shrubs, stumps, vegetative, and extraneous debris produced by removal and construction operations.
4. Maintain existing grade at trees to remain.
5. **CUT AND FILL:** During grading operations, stockpile existing loam to be used for proposed lawn and plant bed areas. Any existing or introduced fill shall be well-graded, natural, inorganic soil, free of debris, stones larger than 4", & all materials subject to decomposition including roots & limbs. It shall also be free of highly plastic clays. Fill shall be placed in 6" horizontal layers, and compacted before adding the next layer. Never place wet or frozen fill. Compact the top 18" of fill/soil in lawn and plant bed areas to 65% density.
6. **PLANT BED PLANTING MIX:** Planting soil mix shall consist of onsite loam supplemented with loam from off-site sources, if required. Contractor shall have on and off site samples tested at either a state or recognized commercial laboratory. The soil test shall determine the soil texture, pH, magnesium, phosphorus, potassium, soluble salts, total calcium, nitrogen, and percent organic matter. Soil test results shall include laboratory recommendations for soil amendments to correct deficiencies and accomplish planting objectives. The pH for soil for lawn areas shall be between 6.0-7.0, and contain more than 3% organic matter. The soil for plant bed areas shall be based on the specific plant requirements but shall be within the pH range of 5.5-6.5, and contain between 5% and 15% organic matter. Planting soil shall be fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, reasonably free of lumps, stones, plants, roots, & other foreign matter. Planting mix and subsoil in all plant beds shall freely drain.
7. **PLANT MATERIALS: NO PLANT SUBSTITUTIONS MAY BE MADE WITHOUT CONSENT OF LANDSCAPE ARCHITECT**. The Contractor shall adjust quantities of plant materials & their layout to fit actual site conditions. All plant material shall conform to the sizing & grading standards of the latest edition of The American Standard For Nursery Stock, published by the American Nursery & Landscape Association. The Contractor shall provide stock true to botanical name, and legibly labeled. Plants shall be delivered free of defects, diseases, & all forms of insect infestation.
8. **WARRANTY: The Contractor shall provide a 1 year warranty on all plant materials.**
9. **PLANTING:** The subgrade for all plant beds and lawn areas shall be loosened by discing or rototilling to a depth of three inches (3") to permit bonding of loam to the subsoil. Place all trees, shrubs, & individual herbs and perennials for approval by the Owner prior to planting. The Owner reserves the right to adjust the spacing and placement of the plants according to actual site conditions. The Contractor shall remove all artificial burlap and twine, if used, at time of installation. The Contractor shall cut all wire baskets, if used, down to a maximum of 6" from the bottom of each root ball. **The width of the holes dug for shrubs & trees shall be 2 ½ times the diameter of the root ball.** It is more important that the hole for plants be wide rather than deep. **All shrubs & trees shall bear the same relationship to the final grade as to the original grade before planting.** Remove all nursery mulch to determine correct root flare. After removing the plant from its container, rough up the sides of the root ball to loosen soil and encourage roots to spread into hole. Place plant in hole and back fill 6" deep with loam. Water thoroughly. After water has soaked into backfilled loam, resume filling the remainder of the hole in 6" lifts. Form a saucer around the outside edge of the plant, and fill with water again.
10. **MULCHING:** The Contractor shall spread a 2-3" deep bed of dark aged mulch in all plant beds & throughout the planting area. **Keep mulch away from the base of all trunks to prevent rotting of the bark.**
11. **WATERING:** The Contractor is responsible for watering all plant materials while on site until acceptance of project by Owner. The following watering schedule depends on rain frequency: Water plants every day for the first week, every other day for the second week, & two-three times a week for the third and fourth weeks. After the fourth week water once a week if less than 1" of rain falls during the week. The Contractor shall apply 10-20 gallons of water per application on trees greater than 2" caliper.

NORTH

Scale: 1"=8

0' 8' 16' 32'

PROJECT NAME
24 Grant Avenue
Belmont, MA 02478

STAMP

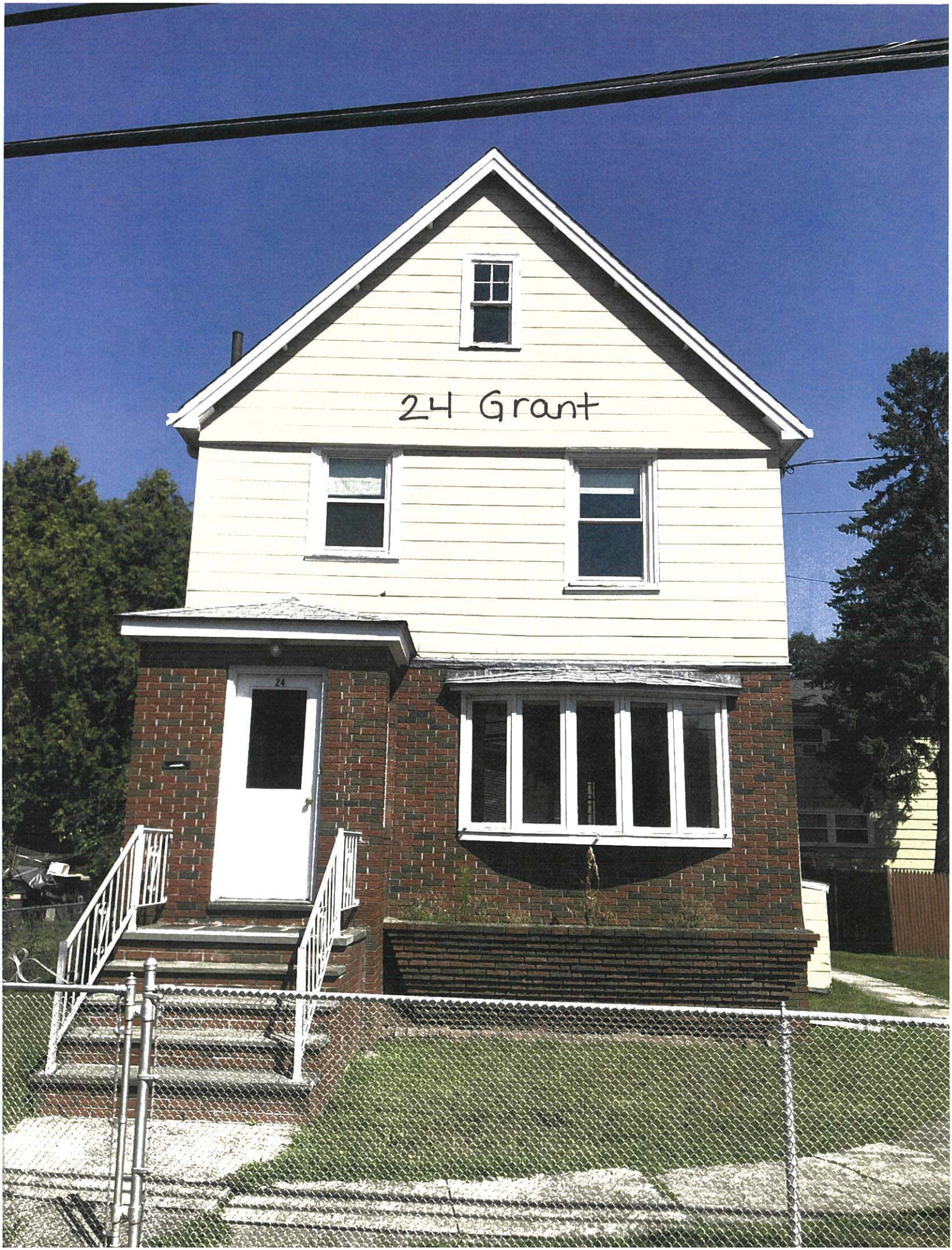
Shoplick Associates
Landscape Architecture
602 Centre Street
Newton, MA 02458
T: 617-244-7309
E: janeshoplick@rcn.com

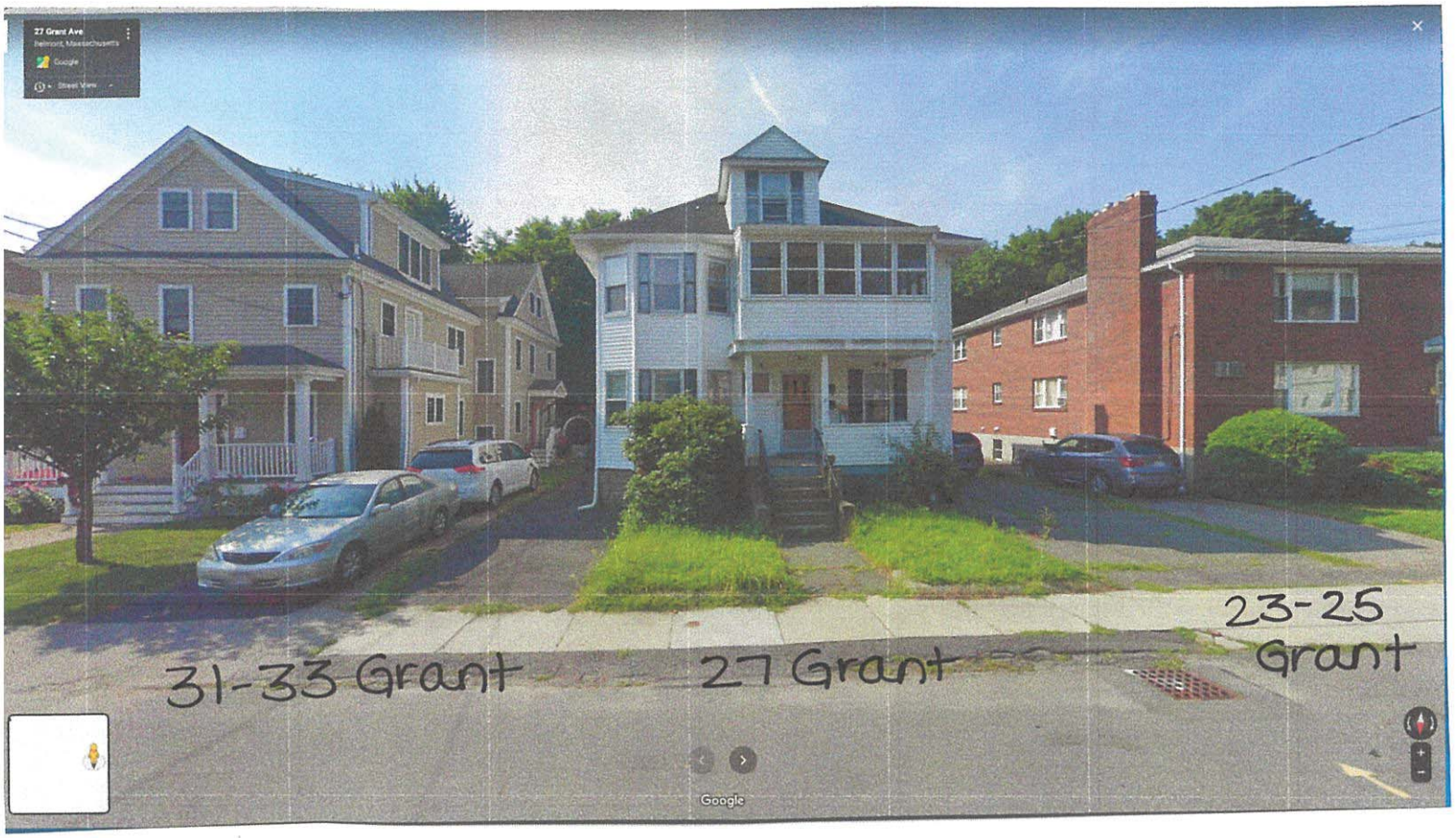
REV. NO.	DATE	DESCRIPTION
1	Aug 25, 2020	Revise planting design based on revised site plan
2	Sept 23, 2020	Revise tree caliper and AC fence
3		
4		
5		

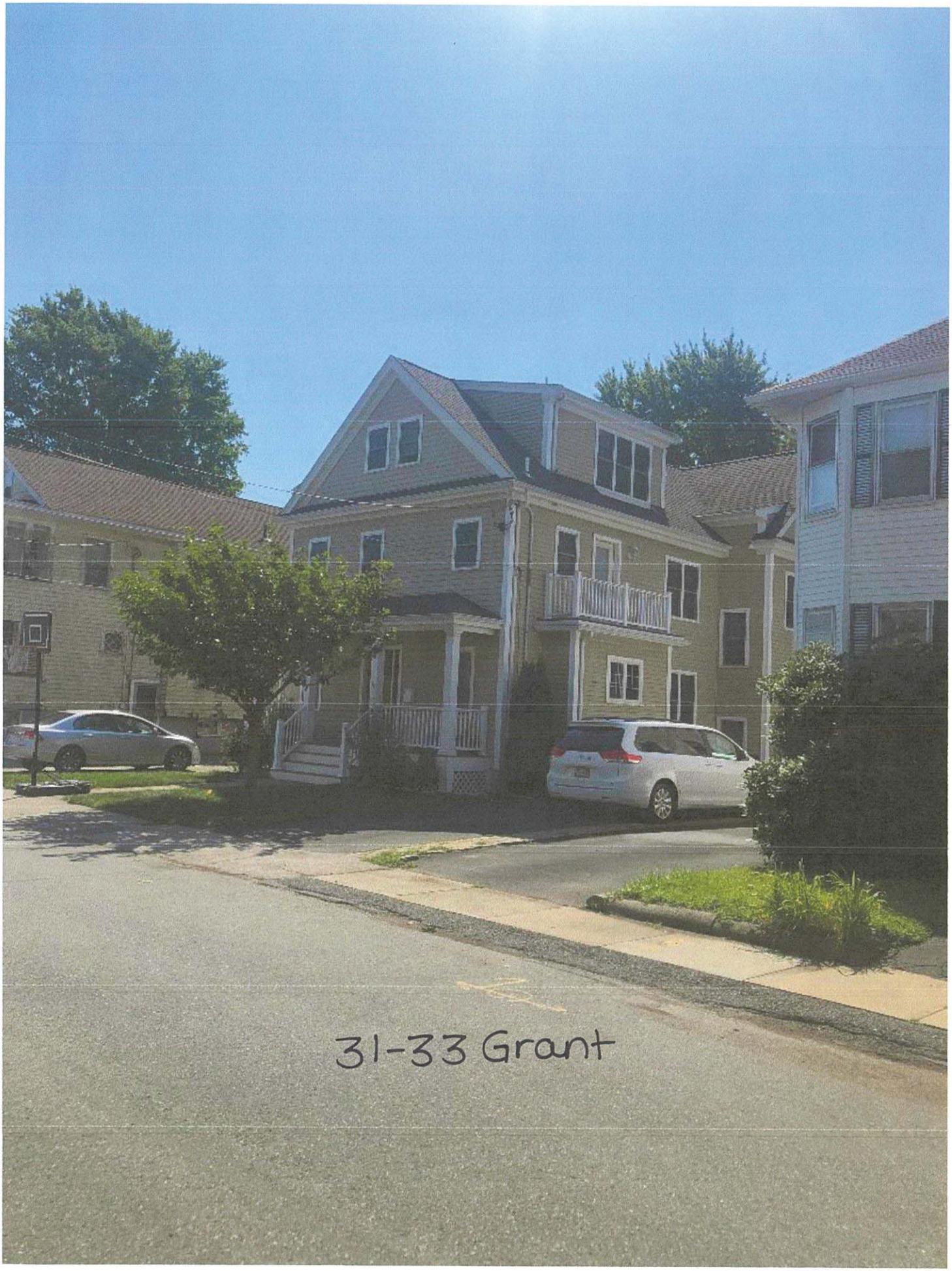
DRAWING TITLE: PLANTING PLAN
DRAWN BY: J.S.
CHECKED
SCALE: AS NOTED
DATE: Apr 20, 2020

DRAWING NUMBER
L-1

SHEET 1 OF 1


24 Grant
24

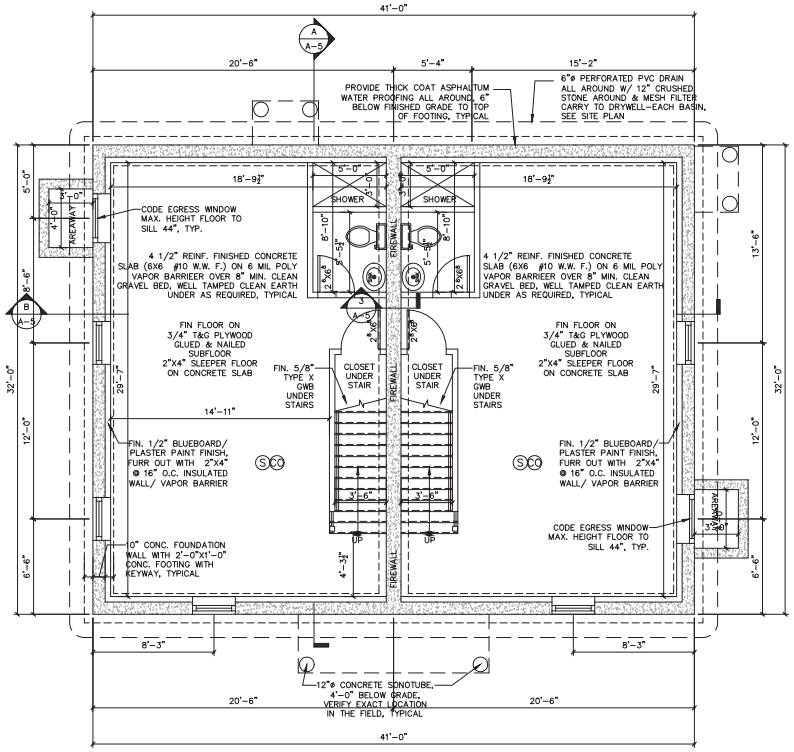

27 Grant Ave
Belmont, Massachusetts
Google
Street View
31-33 Grant
27 Grant
23-25 Grant
Google


31-33 Grant

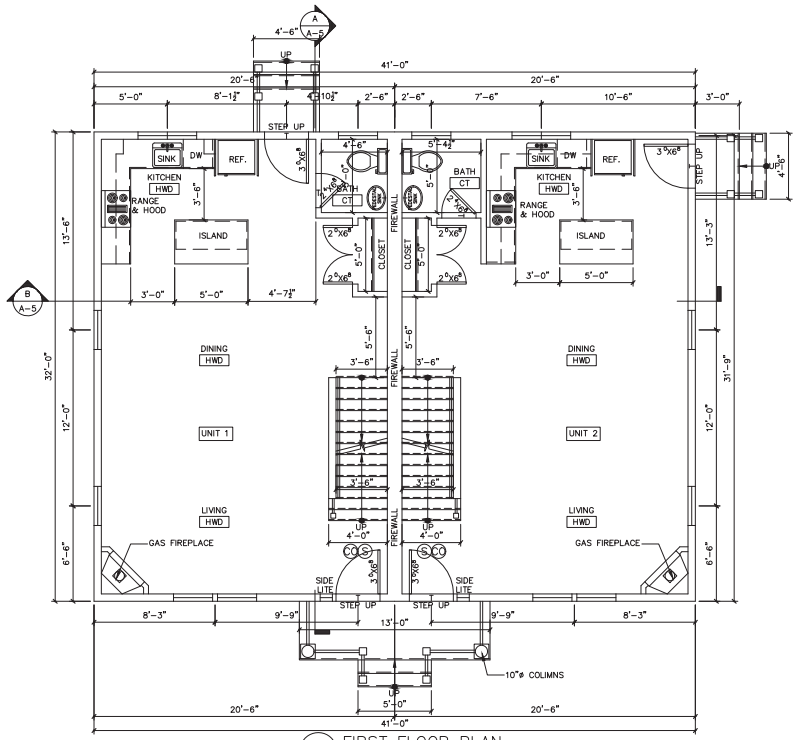

23-25 Grant


* 32-34 Grant


19 Grant
17 Grant



BASEMENT/FOUNDATION FLOOR PLAN
SCALE 1/4"=1'-0" 1312 SQFT



FIRST FLOOR PLAN
SCALE 1/4"=1'-0" 1312 SQFT

DON CUSANO

PROPOSED NEW TOWNHOUSES
24 GRANT AVE
BELMONT, MASS

General Notes :

Symbol

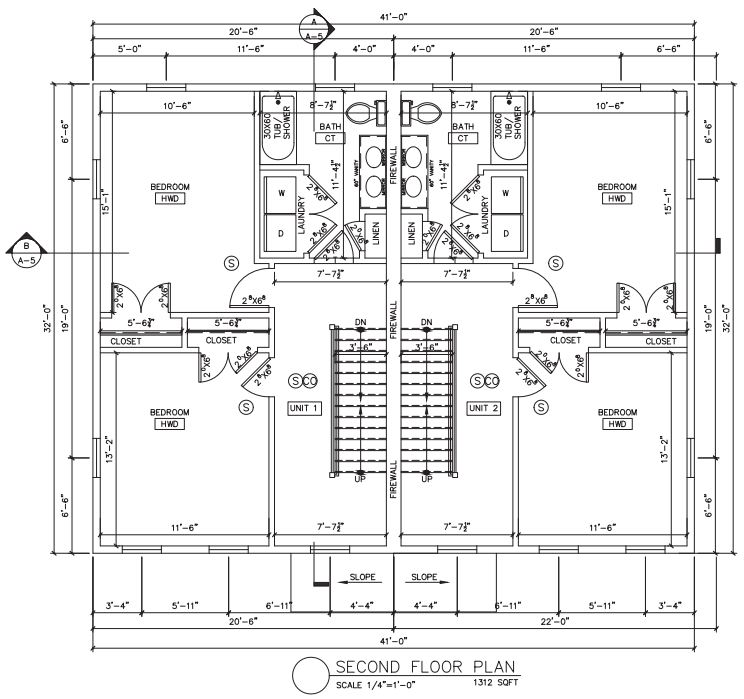
COSTA ARCHITECTS
681 MAIN STREET
WALTHAM, MA 02451
TEL./FAX: 781-647-5831

Job Number:	21178.00
Scale:	1/4" = 1'-0"
Date:	03-18-2020
Revisions:	04-13-2020 07-24-2020 09-23-2020

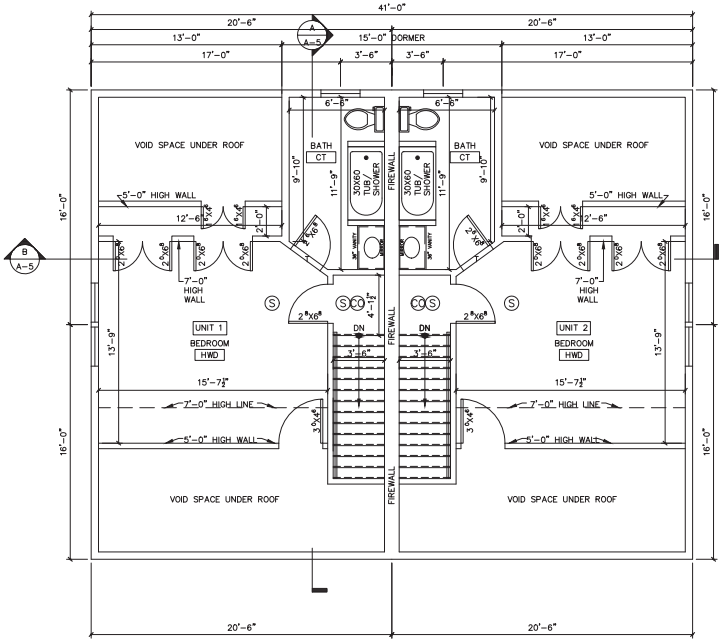
BASEMENT/FOUNDATION FLOOR PLAN & FIRST FLOOR PLAN

Drawing

A-1



SECOND FLOOR PLAN
SCALE 1/4"=1'-0" 1312 SQFT



ATTIC FLOOR PLAN
SCALE 1/4"=1'-0" 390 SQFT

HALF STORY CALCULATIONS	HALF STORY CALCULATIONS
UNIT 1 SECOND FLOOR = 656 SQFT ATTIC FLOOR = 390 SQFT	UNIT 2 SECOND FLOOR = 656 SQFT ATTIC FLOOR = 390 SQFT
656/.60 = 393.6 SQFT	656/.60 = 393.6 SQFT
390<393.6	390<393.6

DON CUSANO

PROPOSED NEW TOWNHOUSES
24 GRANT AVE
BELMONT, MASS

General Notes :

Symbol

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WALTHAM, MA 02451
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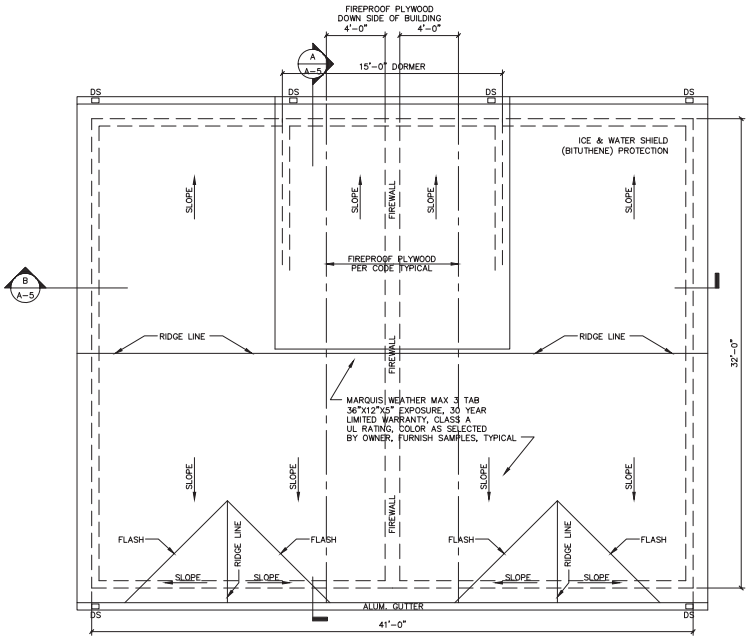
Date: 03-18-2020

Revisions: 04-13-2020
07-24-2020
09-23-2020

SECOND FLOOR PLAN
ATTIC FLOOR PLAN

Drawing
A-2



ROOF PLAN
SCALE 1/4"=1'-0"

DON CUSANO

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24 GRANT AVE
BELMONT, MASS

General Notes :

Symbol

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WALTHAM, MA 02451
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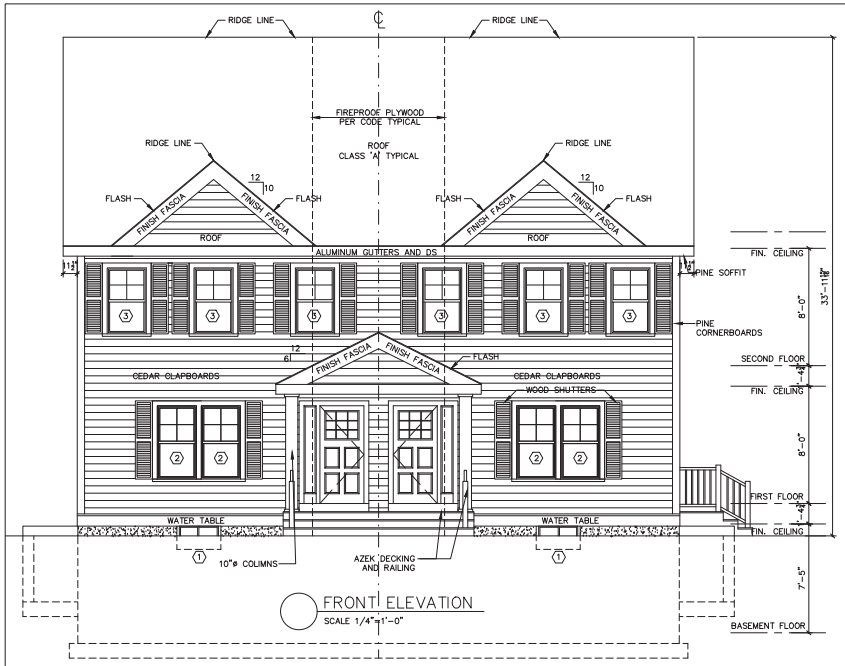
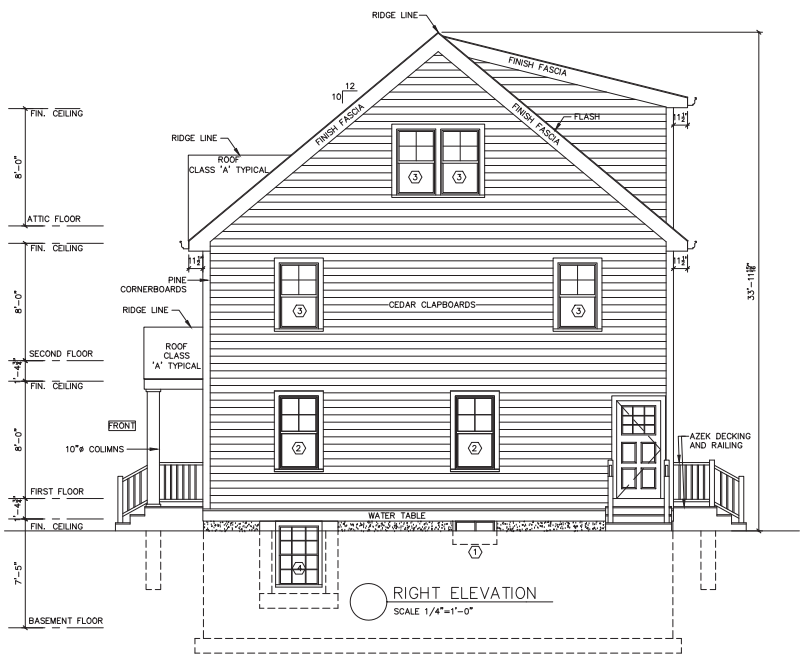
ROOF PLAN

Drawing

A-3



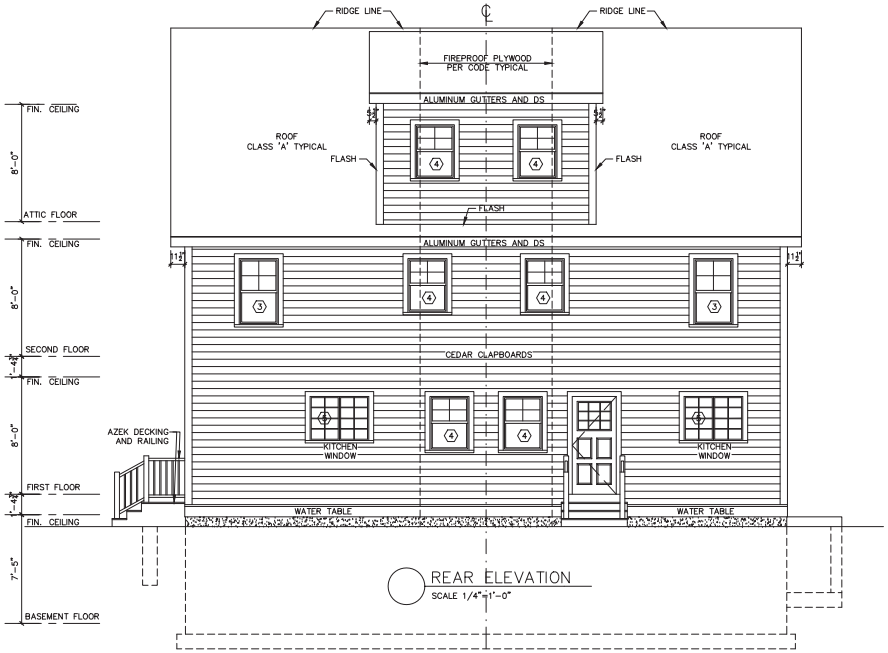
FRONT ELEVATION
SCALE 1/4"=1'-0"



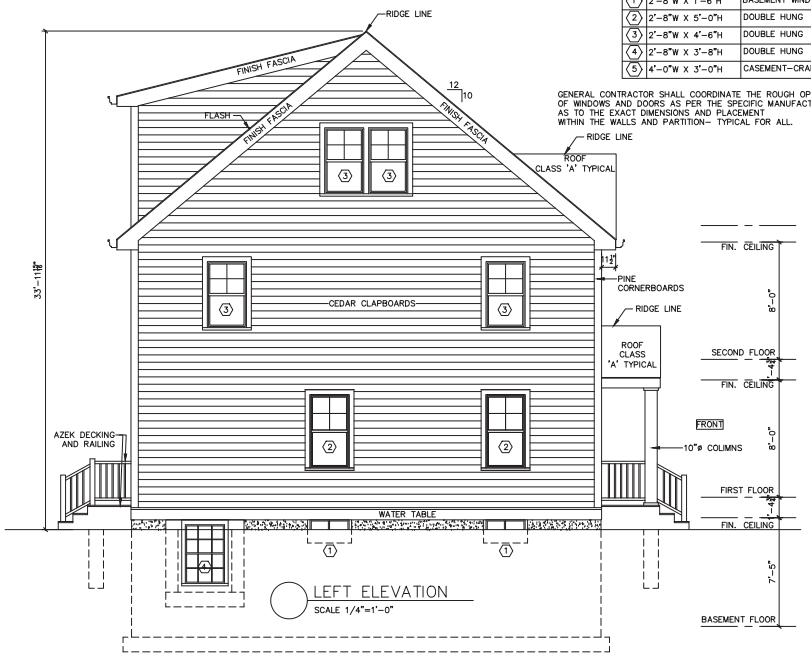
RIGHT ELEVATION
SCALE 1/4"=1'-0"

WINDOW SCHEDULE		
MARK	WINDOW SIZE:	STYLE:
1	2'-8"W X 1'-6"H	BASEMENT WINDOWS
2	2'-8"W X 5'-0"H	DOUBLE HUNG
3	2'-8"W X 4'-6"H	DOUBLE HUNG
4	2'-8"W X 3'-8"H	DOUBLE HUNG
5	4'-0"W X 3'-0"H	CASEMENT-CRANK

GENERAL CONTRACTOR SHALL COORDINATE THE ROUGH OPENINGS OF WINDOWS AND DOORS AS PER THE SPECIFIC MANUFACTURER AS TO THE EXACT DIMENSIONS AND PLACEMENT WITHIN THE WALLS AND PARTITION- TYPICAL FOR ALL.



REAR ELEVATION
SCALE 1/4"=1'-0"



LEFT ELEVATION
SCALE 1/4"=1'-0"

DON CUSANO

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07-24-2020
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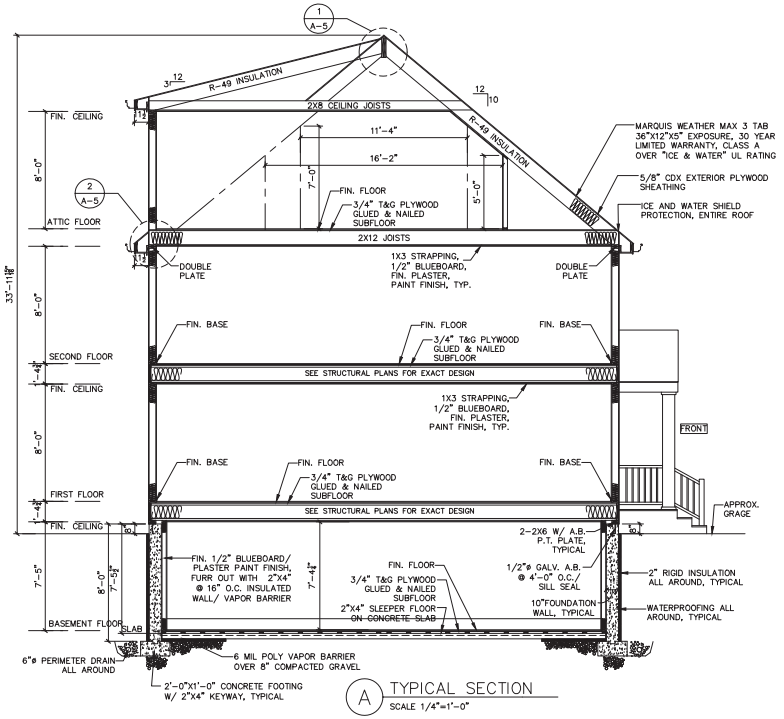
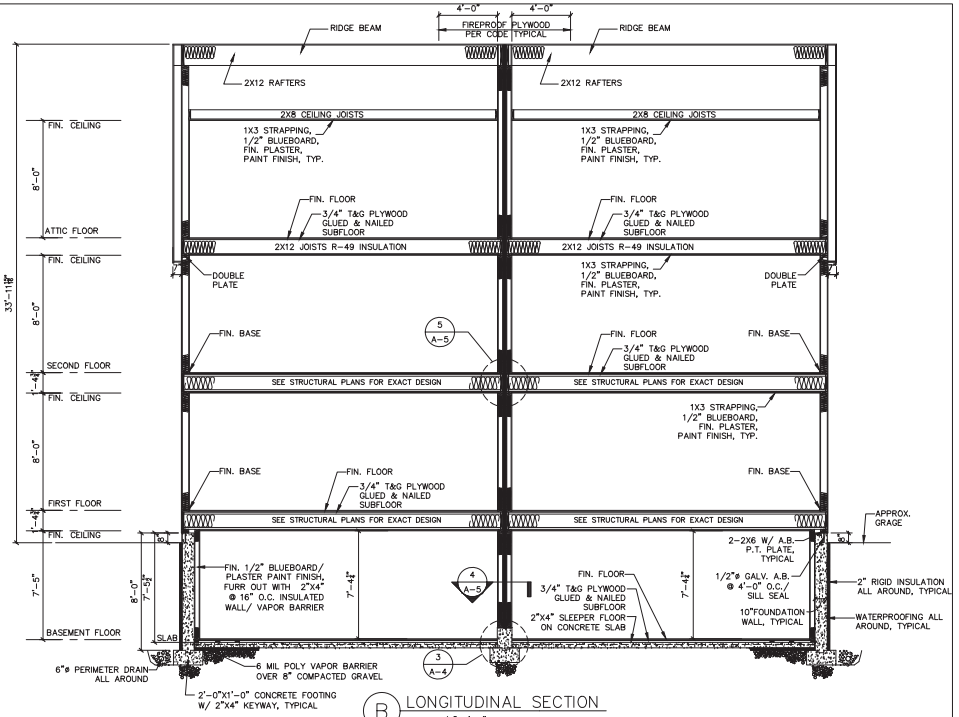
FRONT, RIGHT, REAR AND LEFT ELEVATIONS

Drawing

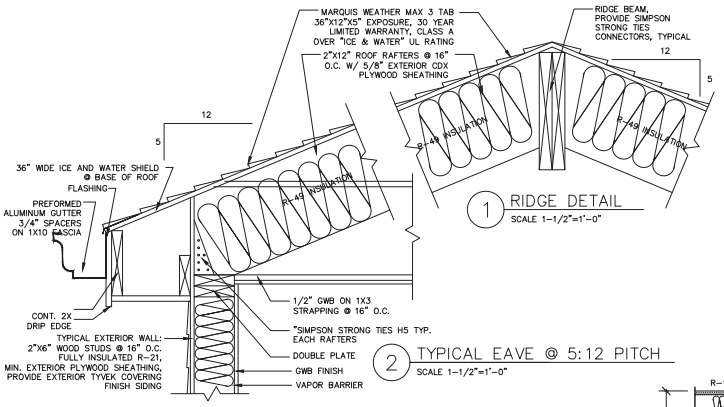
A-4



A TYPICAL SECTION
SCALE 1/4"=1'-0"

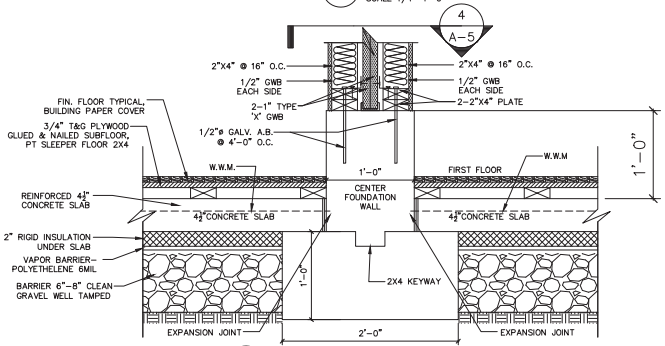


B LONGITUDINAL SECTION
SCALE 1/4"=1'-0"

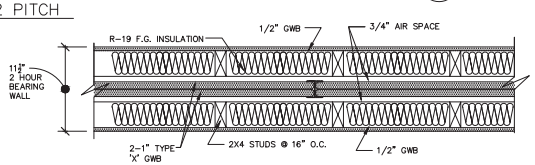


1 RIDGE DETAIL
SCALE 1-1/2"=1'-0"

2 TYPICAL EAVE @ 5:12 PITCH
SCALE 1-1/2"=1'-0"

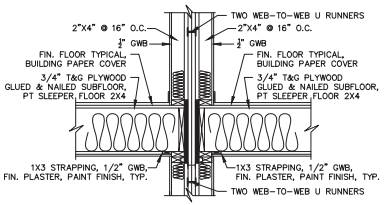


3 SECTION THRU FIREWALL
SCALE 1-1/2"=1'-0"



2 HOUR SEPARATING WALL PLAN

4 2 HOUR SEPARATING WALL – UL Design No.U336
SCALE 1-1/2"=1'-0"
STC RATING: 55-62



5 SECTION THRU FIREWALL @ FLOOR
SCALE 3/4"=1'-0"

DON CUSANO

PROPOSED NEW TOWNHOUSES
24 GRANT AVE
BELMONT, MASS

General Notes :

Symbol

COSTA ARCHITECTS
681 MAIN STREET
WALTHAM, MA 02451
TEL./FAX: 781-647-5831

Job Number: 21178.00

Scale: AS NOTED

Date: 03-18-2020

Revisions: 04-13-2020
07-24-2020
09-23-2020

SECTIONS A & B
DETAILS 1,2,3,4 & 5

Drawing
A-5

PROPOSED NEW TOWNHOUSES

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24 GRANT AVE.
BELMONT, MASS

681 MAIN STREET
WALTHAM, MASS 02451
TEL: 781-647-5831

09-23-2020

GENERAL NOTES

1. IBC = INTERNATIONAL BUILDING CODE, 2015 EDITION:
SHALL BE ADHERED TO AND FOLLOWED BY ALL CONTRACTORS AND BUILDERS WORKING ON THE JOB INCLUDING AND REFERENCED AS TO SCOPE, ADMINISTRATION, APPLICATIONS, CHAPTER 1 THRU CHAPTER 35, WITH ALL APPENDIXES A THRU K. IT IS IMPORTANT THAT ALL CONTRACTORS BE COGNIZANT OF THE INTERNATIONAL BUILDING CODE ADDRESSING THE DESIGN AND INSTALLATION OF BUILDING SYSTEMS THROUGH REQUIREMENTS EMPHASIZING PERFORMANCE AND REGULATIONS THAT SAFEGUARD THE PUBLIC HEALTH SAFETY, AND WELFARE IN THE CONSTRUCTION PROCESS OF BUILDING.

IEBC = INTERNATIONAL EXISTING BUILDING CODE, 2015 EDITION:
TO BE USED FOR REMODELING, REPAIR OR ALTERATION OF EXISTING BUILDINGS, ADDITIONS, RENOVATIONS, EXTENSIONS AND REPAIRS, OR CHANGE OF OCCUPANCY AND REHABILITATION OF EXISTING BUILDINGS.

IRC = INTERNATIONAL RESIDENTIAL CODE 2015:
ALL SINGLE FAMILY HOUSES, TWO FAMILY HOUSES(DUPLEXES) AND BUILDINGS CONSISTING OF THREE OR MORE TOWNHOUSE UNITS SHALL FOLLOW AND ADHERE TO THIS COMPREHENSIVE CODE. ALL BUILDINGS WITHIN THE SCOPE OF THE IRC ARE LIMITED TO THREE STORIES ABOVE GRADE PLANE. THE IRC IS DIVIDED INTO EIGHT MAIN PARTS AND THE GENERAL CONTRACTOR AND ALL OTHER CONTRACTORS SHALL PROVIDE FOR AND PERFORM ALL WORKS IN STRICT ACCORDANCE WITH THE IRC 2015 CODE.

2. SUPERVISION AND CONSTRUCTION PROCEDURES: THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS THE CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS. IF THE CONTRACT DOCUMENTS GIVE SPECIFIC INSTRUCTIONS CONCERNING CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, THE CONTRACTOR SHALL EVALUATE THE JOB SITE SAFETY THEREOF AND, EXCEPT AS STATED BELOW, SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE JOB SITE SAFETY OF SUCH MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. IF THE CONTRACTOR DETERMINES THAT SUCH MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES MAY NOT BE SAFE, THE CONTRACTOR SHALL GIVE TIMELY WRITTEN NOTICE TO THE OWNER AND ARCHITECT AND SHALL NOT PROCEED WITH THAT PORTION OF THE WORK WITHOUT FURTHER WRITTEN INSTRUCTIONS FROM THE ARCHITECT. IF THE CONTRACTOR IS THEN INSTRUCTED TO PROCEED WITH THE REQUIRED MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES WITHOUT ACCEPTANCE OF CHANGES PROPOSED BY THE CONTRACTOR, THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY RESULTING LOSS OR DAMAGE.

3. ALL CONCRETE SHALL BE A MINIMUM OF 3000 PSI AT 28 DAYS, 3500 PSI FOR ALL EXTERIOR CONCRETE WALLS, WALKS, SLABS, ETC.

4. ALL FOOTINGS TO REST ON SOLID UNDISTURBED SOIL WITH A MINIMUM CAPACITY OF 1.5 TONS PER SQ. FT. TYPICAL.

5. NO FOOTING SHALL BE PLACED IN WATER.

6. ALL EXTERIOR CONCRETE FOOTINGS CONSTRUCTION SHALL BE CARRIED DOWN A MINIMUM OF (4'-0") FEET BELOW FINISHED EXTERIOR GRADE.

7. ALL FOOTING EXCAVATIONS SHALL BE FINISHED BY HAND.

8. MATERIAL ADJACENT TO AND BELOW FOOTING SHALL BE KEPT FROM FREEZING AT ALL TIMES.

9. DOUBLE UP RAFTERS AND JOISTS AROUND ALL OPENINGS.

10. DOUBLE UP JOISTS UNDER ALL PARTITIONS.

11. MICRO-LAM BEAMS MAY BE USED IN LIEU OF BUILT UP BEAMS, VERIFY ALL BEAMS AND SIZES- TYPICAL.

12. G.C. SHALL VERIFY ALL DIMENSIONS IN FIELD AND VERIFY ALL EXISTING CONDITIONS IN FIELD.

13. EXACT GRADES AND ELEVATIONS SHALL BE VERIFIED IN FIELD WITH EXISTING CONDITIONS AND WITH SURVEY-TOPOGRAPHICAL SITE PLAN-TYPICAL.

14. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING, FURNISHING AND PROPERLY INSTALLING ALL TEMPORARY SUPPORTS AND BRACING AS NECESSARY TO PREVENT ANY INSTABILITIES DURING CONSTRUCTION. PROPER SUPPORTS, BRACING TEMPORARY SHORING SHALL BE IN PLACE AT ALL TIMES AND ACCORDING TO THE COMMONWEALTH OF MASSACHUSETTS BUILDING CODE, TEMPORARY SHORING MUST NOT REMAIN IN PLACE FOR MORE THAN 180 DAYS AND WILL NEED A PERMIT FROM THE LOCAL BUILDING INSPECTOR AND/ OR BUILDING OFFICIAL. IT IS IMPORTANT TO PROPERLY BRACE, SUPPORT AND SHORE ALL WALLS, PARTITIONS, ROOFS AND OTHER STRUCTURES TO PREVENT ANY INSTABILITY AND/ OR COLLAPSE.

15. THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE SUBSURFACE CONDITIONS DESCRIBED ON THE DRAWINGS, TEST BORINGS, SOIL REPORT OR TEST PIT.

16. THE ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR THE CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES, SCHEDULING OF CONSTRUCTION ACTIVITIES-OR FOR JOB SITE SAFETY THESE DUTIES BELONG WITH THE GENERAL CONTRACTOR WHO HAS CONTROL OF THE JOB SITE AND HAS THE OBLIGATION TO PERFORM AND COORDINATE WITH HIS SUPERINTENDING THE WORK ACCORDING TO THE CODE, CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY REGULATORY AGENCIES. THE ARCHITECT AND HIS OR HER PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PRECAUTIONS. THE CLIENT AGREES THAT THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND WARRANTS THAT THIS INTENT SHALL BE CARRIED OUT IN THE CLIENT'S AGREEMENT WITH THE GENERAL CONTRACTOR AND THAT THE ARCHITECT WITH HIS/HER CONSULTANTS BE INDEMNIFIED FOR JOB SITE SAFETY

17. TYPICAL SMOKE DETECTORS= Ⓢ, HEAT DETECTORS= Ⓗ, AND CARBON MONOXIDE DETECTORS= (CO) ALL UL APPROVED, SMOKE/HEAT DETECTORS SHALL BE IN STRICT ACCORDANCE WITH THE IBC 2015 AND THE IEBC 2015 CODE, ALL AS RELATED TO THE LIFE SAFETY STANDARDS FOR BUILDINGS AND AS PER THE INTERNATIONAL FIRE CODE.

18. ALL NOTES TYPICAL ALL DRAWINGS

19. EGRESS/MEANS OF EGRESS SHALL STRICTLY ADHERE AND MEET THE IBC 2015 CODE ITEMS, ALL AS PER EMERGENCY ESCAPE AND RESCUE MEANS OF EGRESS FOR EXISTING BUILDINGS

20. ALL WINDOW GLASS IS HIGH PERFORMANCE LOW E , MIN. U=.30 INSULATED GLASS.

21. HANDRAILS AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

"THE HANDRAIL/ GUARD RAILING SYSTEM SHALL MEET THE IBC CODE 2015, SECTION 1015 AND SECTION 1607.8.1. HANDRAILS AND GUARDS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 POUNDS PER LINEAR FOOT IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7, GLASS HANDRAIL ASSEMBLIES AND GUARDS SHALL ALSO COMPLY WITH SECTION 2407. SECTION 1607.8.1.1, CONCENTRATED LOAD, HANDRAILS AND GUARDS SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7."

EXTERIOR FINISH NOTES

CEDAR CLAPBOARD SIDING
PINE CORNERBOARDS

FRONT AND READ STAIRS/DECKS:

AZEK POSTS AND RAILINGS
ALL DECKING TO BE COMPOSITE.

SHUTTERS:
WOOD(PAINTED)

ABBREVIATIONS

AB	ANCHOR BOLT
AD	AREA DRAIN
ABV	ABOVE
ATC	ACOUSTICAL TILE CEILING
AW	ACOUSTICAL WALLCOVERING
ACOUS	ACOUSTICAL
ADJ	ADJACENT, ADJUSTABLE
ALUM	ALUMINUM
ALT	ALTERNATE
AP	ACCESS PANEL
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
AF	AWNING FABRIC
B	BASE
BD	BOARD
BG	BUMPER GUARD
BIT.	BITUMINOUS CONCRETE
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
BRDG	BRIDGING
BSMT	BASEMENT
CAB	CABINET
CB	CONCRETE BLOCK
CEM	CEMENT
CER	CERAMIC
CF	CONCRETE FINISH
CG	CORNER GUARD
CJ	CONTROL JOINT
CKT	CIRCUIT
CL	CLOSET
CLKG	CAULKING
CLG, CEIL	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
COND	CONDITION
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRIDOR
CPT, C	CARPET
CT	CERAMIC TILE
CTR	CENTER
DN	DOWN
DET	DETAIL
DIA	DIAMETER
DIFF	DIFFUSER
DIM	DIMENSION
DISP	DISPENSER
DO	DOOR OPENING
DR	DOOR
D.S.	DOWNSPOUT
DW	DISHWASHER
DWG(S)	DRAWING, DRAWINGS
DWR	DRAWER
E	EAST
EA	EACH
EIFS	EXTERIOR INSUL FIN. SYSTEM
EJ	EXPANSION JOINT
EL, ELEV	ELEVATION
ELEC	ELECTRIC, ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
EQUIP	EQUIPMENT
EWC	ELECTRIC WATER COOLER
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPANSION, EXPOSED
EXT	EXTERIOR
FA	FIRE ALARM
FB	FLAT BAR
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIN	FINISH
FIX, FIXT	FIXTURE
FL, FLR	FLOOR
FLASH	FLASHING
FLUOR	FLUORESCENT
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOS	FACE OF STUDS
FOW	FACE OF WALL
FR	FIRE RATED/RETARDANT
FRP	FIBERGLASS REINFORCED POLYESTER PANEL
FRTW	FIRE RETARDANT TRTD. WD.
FT	FOOT, FEET
FURR	FURRING
G	GROUT
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GEN	GENERATOR
GL	GLASS
GND,GRND	GROUND
GWB	GYPSUM WALLBOARD
GYP	GYPSUM
HB	HOSE BIBB
HC	HANDICAPPED
HD	HEAD
HDWE	HARDWOOD
HDWR	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATING, AIR CONDITIONING
ID	INSIDE DIAMETER
IN	INCH
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR
JST	JOIST
JT	JOINT
KIT	KITCHEN
KP	KICK PLATE
LAM	LAMINATE, LAMINATED
LAV	LAVATORY
LT	LIGHT
M	MOLDING
MACH	MACHINE
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MET, MTL	METAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MO	MASONRY OPENING
M/R	MOISTURE RESISTANT
MTD	MOUNTED
MTG	MEETING, MOUNTING
MUL	MULLION
N	NORTH
NEO	NEOPRENE
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OA	OVERALL
OBS	OBSCURE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
O.H.	OVERHEAD DOOR
OPNG	OPENING
OPP	OPPOSITE
P	PAINT
PL	PLATE
P. LAM	PLASTIC LAMINATE
PLAS	PLASTER
PLYWD	PLYWOOD
PNL	PANEL, PANELBOARD
PP	PREFINISHED PANELS
PR	PAIR
PROJ	PROJECT
PROP	PROPERTY
P.T.	PRESSURE TREATED
PT	POINT
PTD	PAPER TOWEL DISPENSER
PTN	PARTITION
PWR	POWER
QT	QUARRY TILE
QTY	QUANTITY
R	RISER
RAD, R	RADIUS
RD	ROOF DRAIN
REF	REFRIGERATOR
REFL	REFLECTED
REINF	REINFORCED
REQD	REQUIRED
RESIL	RESILIENT
RF	RESILIENT FLOORING
RM	ROOM
RO	ROUGH OPENING
RWL	RAIN WATER LEADER
S	SOUTH
SC	SOLID CORE
SCHED	SCHEDULE
SD	SOAP DISPENSER
SECT	SECTION
SF	SQUARE FEET
SH	SHELF
SHT	SHEET
SIM	SIMILAR
SL	SLIDING
SPEC	SPECIFICATION
SQ	SQUARE
SST	STAINLESS STEEL
ST	STAIN
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
T	THRESHOLD
T&G	TONGUE AND GROOVE
TEL	TELEPHONE
TEMP	TEMPERED
THK	THICK, THICKNESS
TOS	TOP OF STEEL
TOW	TOP OF WALL
TT	TOILET TISSUE DISPENSER
TYP	TYPICAL
UNF	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UON	UNLESS OTHERWISE NOTED
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VWC	VINYL WALLCOVERING
W	WEST
W/	WITH
WC	WALL COVERING
WD	WOOD
WDO	WINDOW
WF	WOOD FLOOR
WIC	WALK IN CLOSET
WM	WALK-OFF MAT
W/O	WITHOUT
WP	WATERPROOF
WR	WATER RESISTANT
WT	WEIGHT

SCHEDULE OF DRAWINGS

ARCHITECTURE

A-1	FOUNDATION/BASEMENT FLOOR PLAN & FIRST FLOOR PLAN
A-2	SECOND FLOOR PLAN & ATTIC FLOOR PLAN
A-3	ROOF PLAN
A-4	ELEVATIONS
A-5	SECTIONS A & B, DETAILS 1, 2, 3, 4 & 5

CEILING INFORMATION

Ⓢ SMOKE DETECTOR

Ⓗ HEAT DETECTOR

(CO) CARBON MONOXIDE DETECTOR

MATERIALS

CONCRETE CAST-IN-PLACE)

PARTICLE BOARD

RIGID INSULATION

GLASS

BATT INSULATION

SOIL

ROUGH DIMENSION WOOD

STONE

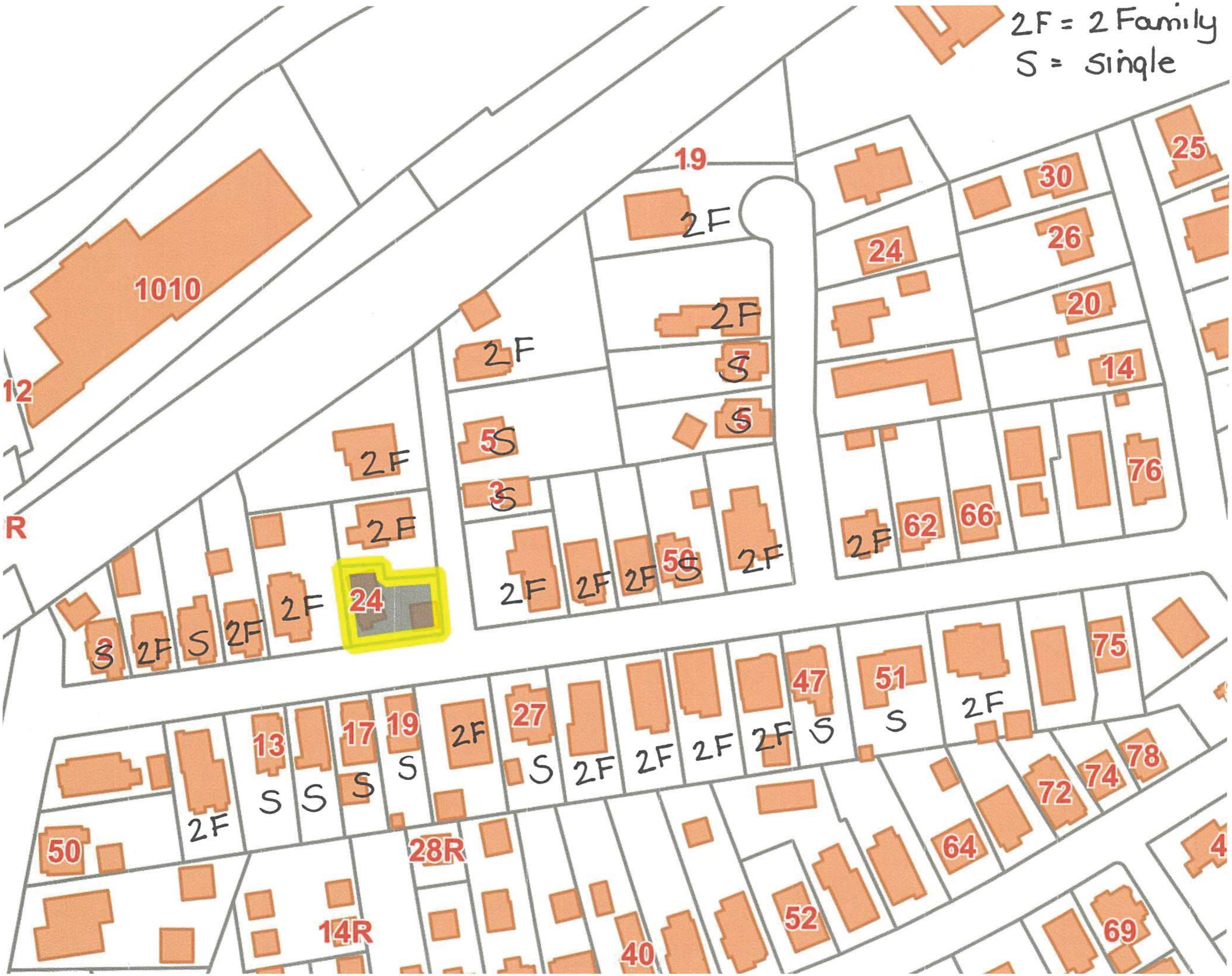
FINISH WOOD

PLYWOOD

GYPSUM BOARD

TITLE SHEET AND GENERAL NOTES

SHEET T-1


2F = 2 Family
S = single
1010
12
R
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7
5
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28R
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14R
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