



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

May 29, 2020

Mr. Paul Riegle and Ms. Laura Miyakawa
1 Broad Street
Belmont, MA 02478

RE: Denial to Construct Three-Story Addition at the Rear of the Home at 1 Broad Street

Dear Mr. Riegle and Ms. Miyakawa

The Office of Community Development is in receipt of your building permit application for the construction of a three-story addition at the rear of your home at 1 Broad Street in a Single Residence C (SR-C) Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, your property does not conform to the lot size and number of story requirements. The minimum lot size allowed is 9,000 s.f. and the existing and proposed lot size is 7,615 s.f.. Additionally, the maximum allowed number of stories is 2.5 stories; however, the existing is 3.5 stories and the proposed is 3 stories.

You may alter your plans to conform to the Zoning By-Law and resubmit for a building permit or you may request two (2) Special Permits from the Planning Board to maintain the number of stories and to increase the size of your home by more than 30% of the gross floor area. If you choose to pursue the Special Permits, please call the Office of Community Development at (617)-993-2666 to schedule an appointment with the Planning Staff to begin the Special Permit process.

Sincerely,


Glenn R. Clancy, P.E.
Inspector of Buildings



Town of Belmont
Planning Board

APPLICATION FOR A SPECIAL PERMIT

Date: SEPT 21, 2020

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 1 BROAD Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

existing building renovation and addition of
family room and a master suite

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Paul Rieggle Laura S. Miyakawa

Print Name

PAUL RIEGLE LAURA S. MIYAKAWA

Address

1 BROAD ST

BELMONT, MA

Daytime Telephone Number

617-293-7575

1 Broad Street Renovation-Addition

Belmont, MA

This project includes an addition to a nonconforming structure built in 1940. Located in Single Residence C Zoning District, the building addition is more than 30% of the existing gross floor area which requires a special permit from the Planning Board.

PROGRAM

The project consists of two main parts:

The first part is a renovation of the existing house. On the first floor, the design improves the arrival experience by redesigning the entrance canopy, and adding a mudroom and a mail/keys storage corner. The existing kitchen is enlarged to become a key connector between the existing house and the addition. A new dining area is added on the west side to create an intimate area by the existing chimney. On the second floor, the design organizes the rooms with minor adjustments to partition walls creating two equally-sized rooms for the children and a smaller room to be used as an office.

The second part of project is the addition of family room, a master suite and a laundry room. On the first floor, the addition provides the family with a gathering space on the south east side that offers large windows and views to a private garden. The proposed design also provides direct access to a new patio in the backyard, which is currently inaccessible. On the second floor, a master suite provides the couple with a walk-in closet and a master bathroom. Currently, the existing house has only one full bathroom for the entire family of four. The second floor addition also includes a laundry room with abundant natural lighting. This significantly improves the current condition as there is no laundry room and washer and dryer are located in the unfinished storage and mechanical area of the basement. The basement addition will be left unfinished at this stage but it is designed to have an 8' high ceiling and a potential bathroom that will enable the space to become a guest suite in the future. The client wants to design for flexibility and changing needs, anticipating a range of uses from additional office spaces to housing extended family, nannies and in-laws.

BUILDING MASSING

The neighborhood FAR restrictions range from 0.12 to 0.49. The proposed building mass with FAR of 0.29 fits well within the neighborhood average. Detailed calculations below:

Neighborhood Average Lot size: 8,009 sqft

Neighborhood Average TLA: 1,923 sqft

Neighborhood Average FAR: 0.25

1 Broad street Lot size: 7,615 sqft

Existing Building TLA: 1,372

Existing Building FAR: 0.18

Proposed Building TLA: 2,215

Proposed Building FAR: 0.29

EXTERIOR MATERIALITY

The design respects the traditional character of the existing building and weaves a more contemporary aesthetics in general harmony with the neighborhood.

For the existing house, Boral TruExterior siding will be used in a neutral light grey color to resemble the traditional neighborhood wood lap siding and also provide long term durability. For the addition, galvanized metal siding in a neutral dark grey color and flush trim achieve a subtle modern look through a cost effective, fully recyclable and highly durable material.

PROPOSED ROOF

In an effort to minimize the presence of the building addition within the neighborhood, the proposed building height is kept below the existing building, rendering it invisible from Broad street.

Existing Roof Ridge 29' - 2 3/8" (from Ave. Grade)

Proposed Roof Highest point 28' - 11 1/4" (from Ave. Grade)

Maximum allowable height 30' (from Ave. Grade)

The roofline that can be seen from Sherman Street resembles a traditional gable roof, maintaining the existing character of the neighborhood. Because the client aims to be completely reliant on renewable energy sources, the roof geometry is also optimized for highly efficient solar heat gain and invites natural light in via clerestory windows.

LANDSCAPING

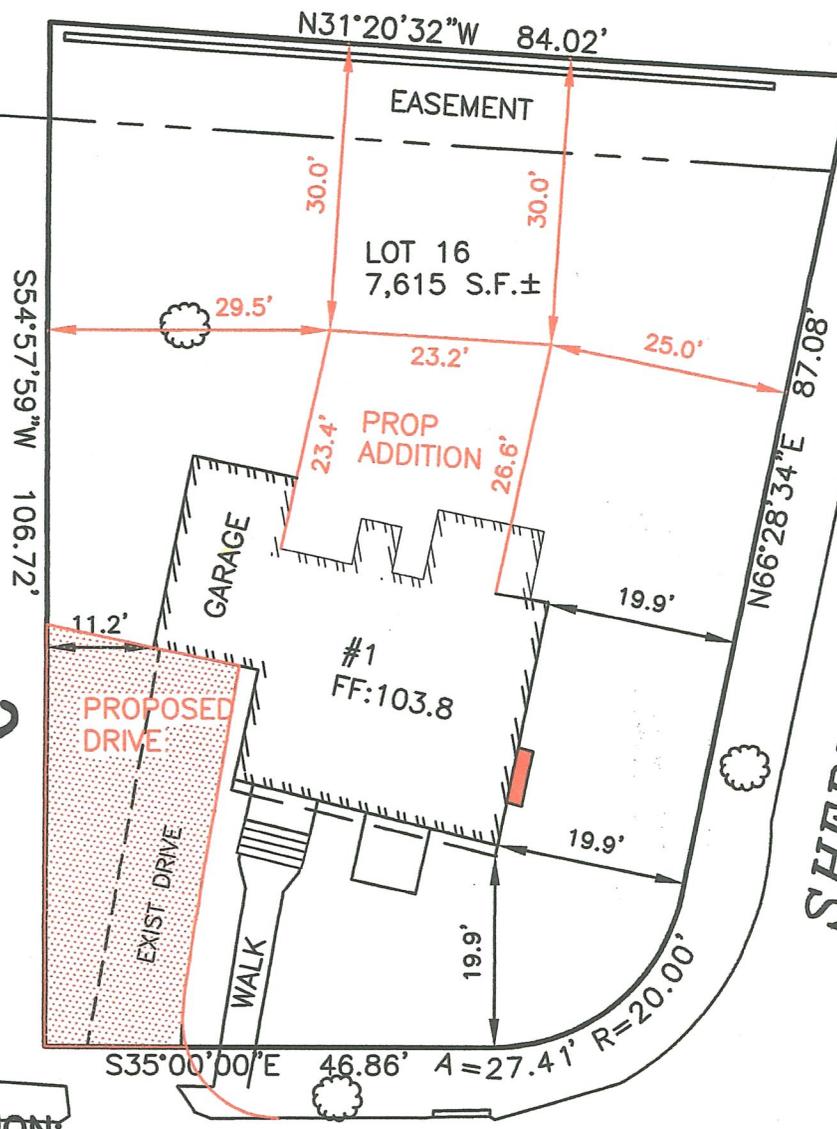
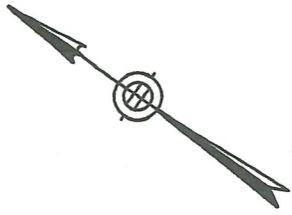
Because the site has two front setbacks and the addition faces Winn Brook Elementary School sport field, the proposed landscaping design includes a vegetated fence along the property perimeter to create year round privacy for the family. The design includes

evergreen Wichita Blue Junipers, deciduous shrubs and perennials to provide layers of privacy and a variety of colors throughout the year. The design also saves and celebrates the existing majestic Maple tree in the backyard.

CONCLUSION

We believe that this special permit should be approved for the following reasons:

- ***Carefully designed for the neighborhood with little visual impact to abutting houses.***
 - We hired a well-regarded architect who focuses on New England and on blending residences with the surrounding area.
 - The addition is at the rear of the home and below the height of the existing home and therefore not visible from the front.
 - From Sherman St, the roofline presents as a traditional gable roof.
 - There are no rear abutters; our property abuts the Winn Brook school and park
 - We designed a very thoughtful landscape that enhances the project and provides additional screening.
- ***Addition results in a reasonably sized house.***
 - While we are adding greater than 30% of the existing square footage, the resulting FAR is just above the average for the neighborhood.
 - The addition itself complies with all setback regulations and the resulting complete dwelling complies with all lot coverage and building height regulations.
- ***Neighborhood support.***
 - We brought our plans to all neighbors within 300 feet and provided an opportunity for feedback. We have received many notes of support and have had no opposition voiced to us.



Bruce Bradford
 COMMONWEALTH OF MASSACHUSETTS
 BRUCE BRADFORD
 No. 38376
 PROFESSIONAL
 LAND SURVEYOR
 3/19/2020

ZONING INFORMATION:

ZONE: SR-C
 DEED REFERENCE: BOOK 62183 PAGE 230
 PLAN REFERENCE: PLAN 319 OF 1947

BROAD STREET

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
LOT AREA	7,615 S.F.	7,615 S.F.	9,000 S.F. MIN.
LOT FRONTAGE	90.57'	90.57'	75' MIN. BROAD
LOT FRONTAGE	100.79'	100.79'	75' MIN. SHERMAN
SETBACK			
FRONT	19.9'	19.9'	22.5' MIN. BROAD
FRONT	19.9'	25.0'	25' MIN. SHERMAN
SIDE	11.2'	11.2'	10' MIN.
REAR	44.1'	30.0'	30' MIN.
LOT COVERAGE	14.4%	20.2%	25% MAX.
OPEN SPACE	81%	69%	50% MIN.
BUILDING HGT	25.2'	28.6'	30' MAX.
# OF STORIES	3.5	3.0	2.5 MAX.

EXISTING AVERAGE GRADE 98.4
 EXISTING AVERAGE ROOF 123.6
 PROPOSED SHED ROOF 127.0

THIS PROPERTY DOES NOT LIE WITHIN THE WETLANDS OR WETLANDS BUFFER ZONE.

THIS PROPERTY IS LOCATED IN ZONE X
 FIRM MAP DATED JUNE 4, 2010
 COMMUNITY PANEL NUMBER 250182 0418 E

Owner PAUL REIGLE & LAURA MIYAKAWA
 Loc. House No. 1
 Lot No. 42-41
 App. No. _____
 Date MARCH 19, 2020
 Scale: 1 in. = 20 Ft.

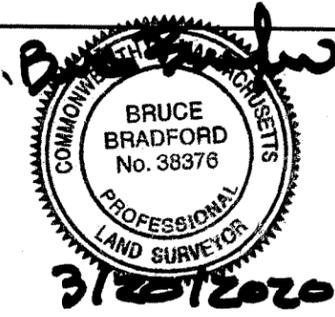
ESTABLISHED 1916
EMB
 EVERETT M. BROOKS CO.
 SURVEYORS & ENGINEERS
 49 LEXINGTON STREET
 WEST NEWTON, MA 02465
 (617) 527-8750
 embrooks@embrooks.com

PLAN OF LAND IN BELMONT, MA

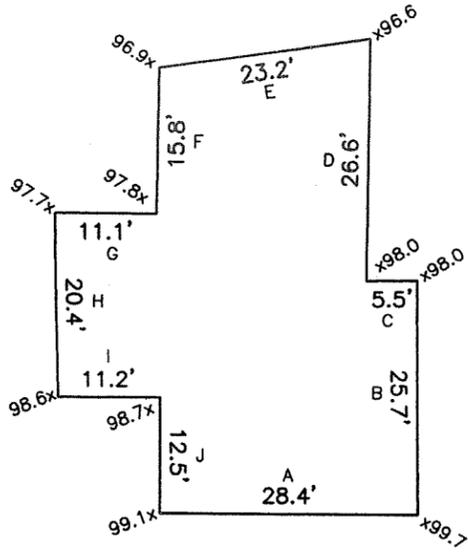
1 BROAD STREET
 PROPOSED ADDITION

SCALE: 1 IN. = 20 FT.
 DATE: MARCH 19, 2020
 DRAWN: GAR
 CHECK: BB

PROJECT NO. 25918



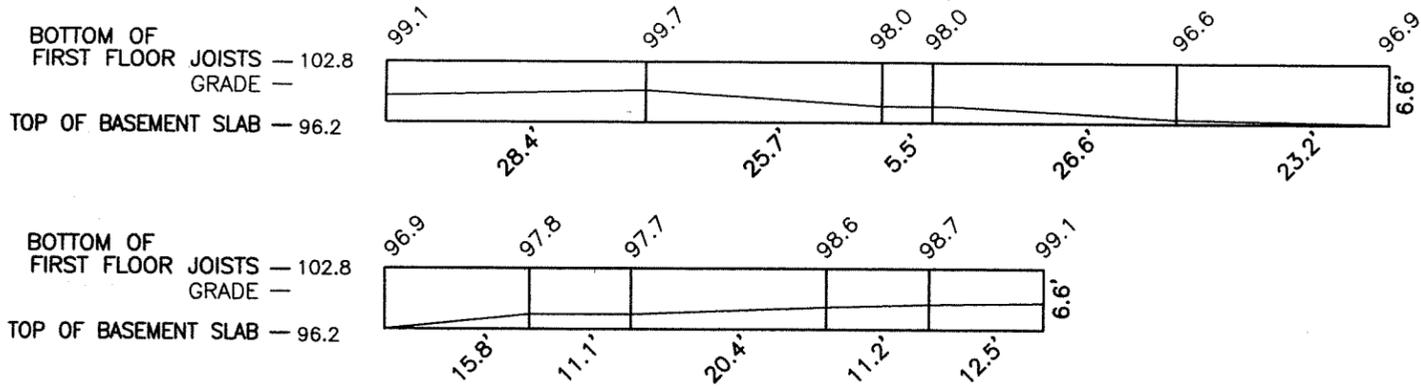
EVERETT M. BROOKS CO.
 SURVEYORS & ENGINEERS
 49 LEXINGTON STREET
 WEST NEWTON, MA 02465
 (617) 527-8750
 INFO@EVERETTBROOKS.COM



EXISTING AVERAGE GRADE: 98.4
 PROPOSED AVERAGE GRADE: 98.1

1 BROAD STREET
 PROPOSED ADDITION

SCALE: 1 IN. = 20 FT.
 MARCH 20, 2020
 PROJECT NO. 25918



BOT FIRST FLOOR JOIST	102.8
TOP BASEMENT SLAB	96.2
CLEAR HEIGHT	6.6

SEGMENT:	LENGTH (FEET)	GRADE AT START OF SEGMENT	GRADE AT END OF SEGMENT	AREA OF EXPOSED FOUND. WALL	TOTAL AREA OF FOUND. WALL
A	28.4	99.1	99.7	96.56	282.48
B	25.7	99.7	98.0	101.515	6.6
C	5.0	98.0	98.0	24	44.88
D	26.5	98.0	96.6	145.75	94.38
E	22.4	96.6	96.9	135.52	44.88
F	15.8	96.9	97.8	86.11	69.3
G	12.0	97.8	97.7	60.6	281.16
H	20.4	97.7	98.6	94.86	172.26
I	11.2	98.6	98.7	46.48	281.16
J	12.5	98.7	99.1	48.75	172.26

SUMS:	840.145	995.94
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$[1 - (\text{SUM OF EXPOSED AREA}) / (\text{SUM OF SEGMENT AREA})] \times 100$

$[1 - (840.15 / 995.94)] \times 100$

15.6% CLEAR HEIGHT BELOW GRADE
THEREFORE THIS SPACE IS NOT A CELLAR AS DEFINED IN THE ZONING BY-LAW

Cellar - A portion of a building partially underground, having 60% or more of its clear height below grade.
 (see basement)



Zoning Compliance Check List

Properties Located within the SR-C Districts
 (To be Completed by a Registered Land Surveyor)

Property Address: 1 BROAD STREET

Surveyor Signature and Stamp: Bruce Bradford Date: 9/17/2020

<u>Per §4.2 of the Zoning By-Law</u>				
		REQUIRED	EXISTING	PROPOSED
Lot Area (sq. ft.)		9,000	7615	7615
Lot Frontage (feet)		75	90-57 BROAD 100-79 SHERMAN	90-57 100-79
Lot Coverage (% of lot)		25	14.4%	20.2%
Open Space (% of lot)		50	31%	69%
Setbacks: (feet)	➤ Front (a)		19.9' BROAD 19.9' SHERMAN	25.0
	➤ Side/Side	10	10	11.2 16.2
	➤ Rear	30 MIN	46.1	30.0
Building Height:	➤ Midpoint (feet)	30	25.2	
	➤ Ridge (feet)	34	29.2'	28.9'
	➤ Stories	2-1/2	3.5	3.0
1/2 Story (feet) (Per §1.4)	➤ Perimeter (50%)			
	➤ Area (60%)	SEE ARCHITECT'S		
	➤ Length (75%)	DOCUMENTS		
HVAC (b)	Prohibited in Front Yard and Side and Rear Setbacks and shall be screened			

- (a) Front setback is equal to the average front setbacks of the abutting properties on either side.
- (b) Includes all outdoor mechanical equipment and fuel storage systems.

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated.

BROAD ST. RENOVATION|ADDITION

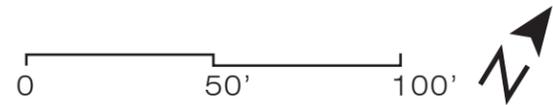
FINAL SUBMISSION: SPECIAL PERMIT DRAWING PACKAGE

1 BROAD STREET BELMONT MA

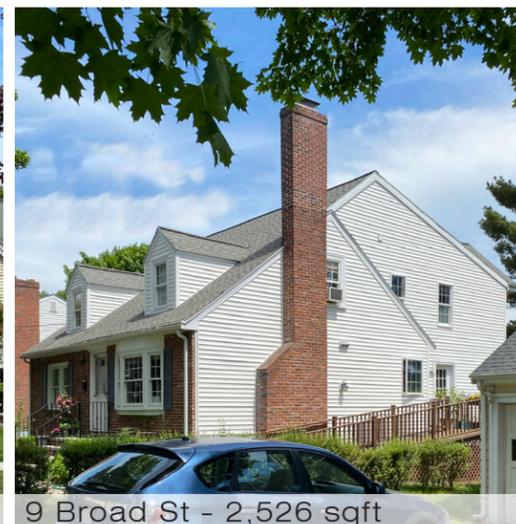
MARYANN THOMPSON ARCHITECTS
SEP 22nd 2020

THE NEIGHBORHOOD

CONTEXT PLAN



2 Broad St - 3,705 sqft



9 Broad St - 2,526 sqft



19 Broad St - 3,154 sqft



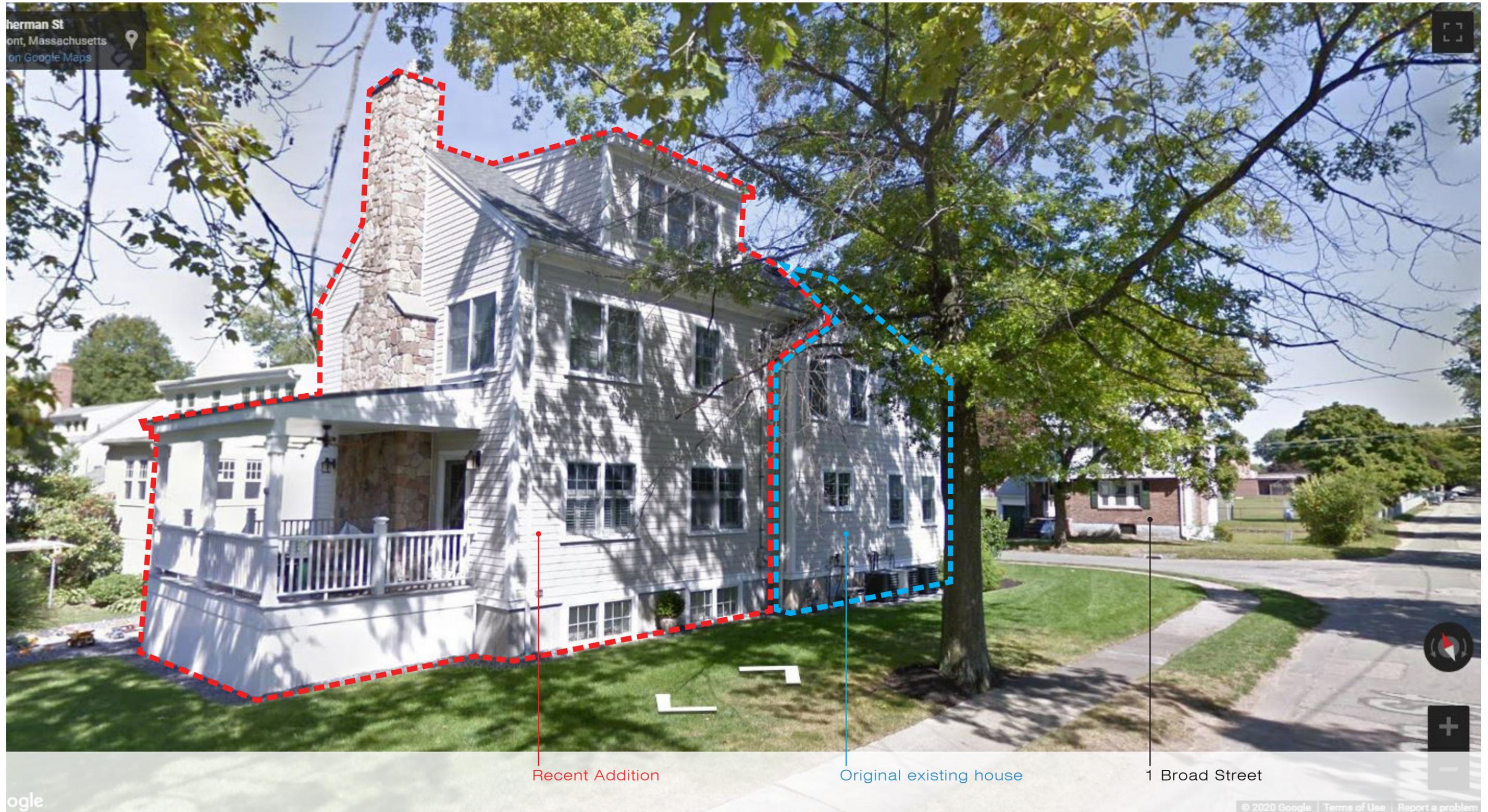
25 Broad St - 2,630 sqft



35 Broad St - 2,992 sqft

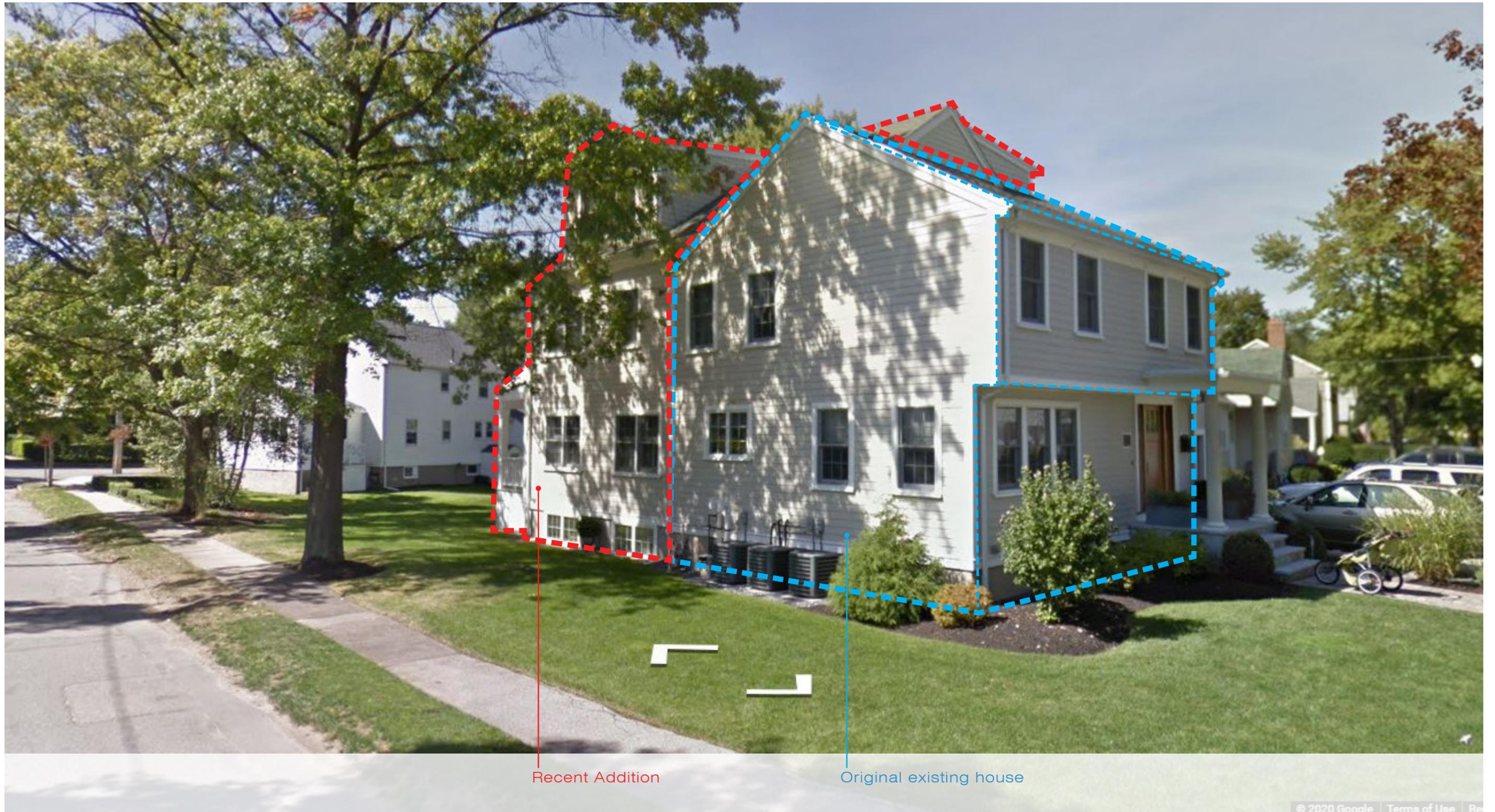
2 BROAD STREET. RECENT ADDITION

Existing house is the exact same building: Same mass and Same height
Recent addition is bigger in footprint and taller than the existing house



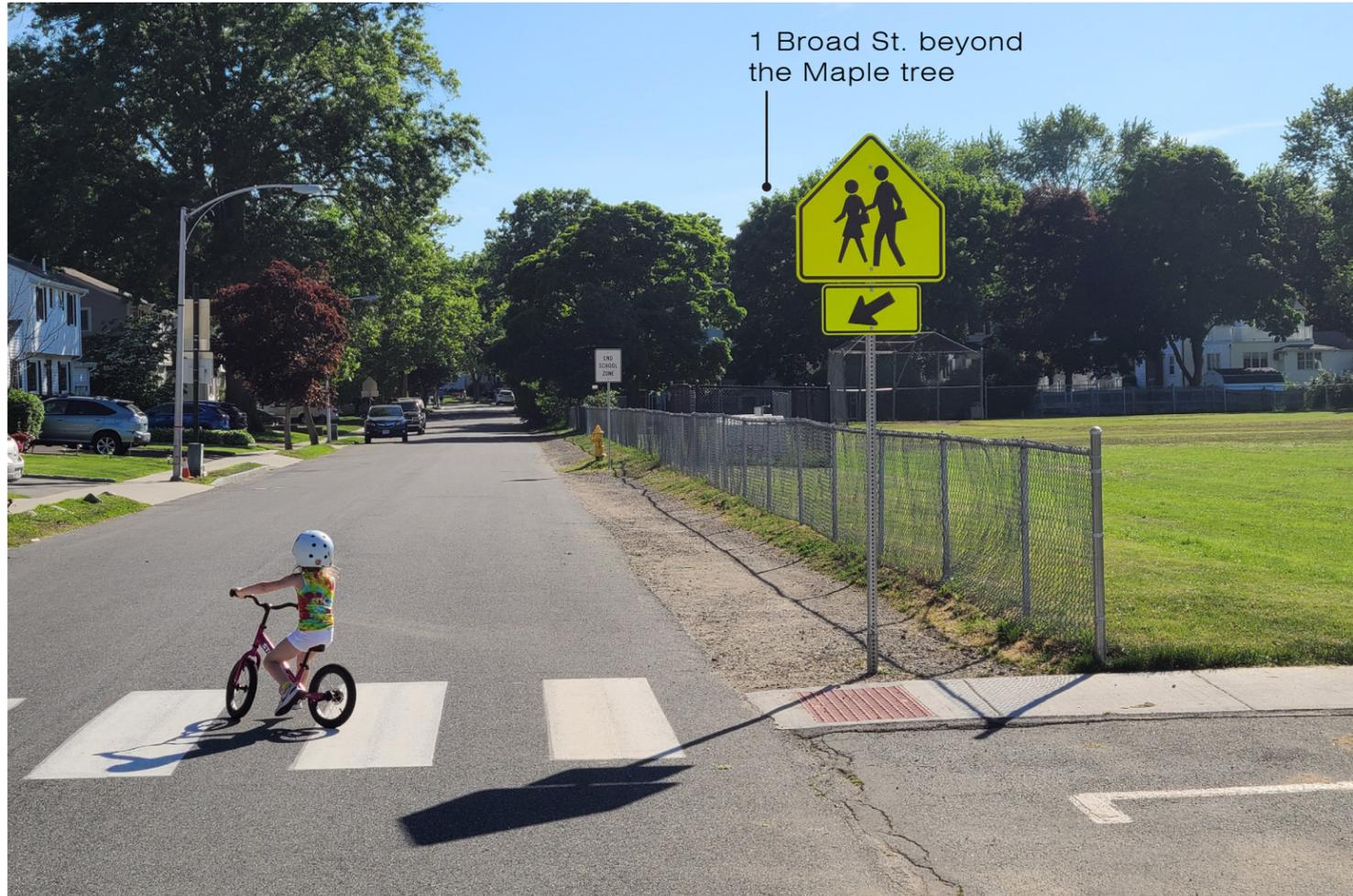
2 BROAD STREET. RECENT ADDITION

Existing house is the exact same building: Same mass and Same height
Recent addition is bigger in footprint and taller than the existing house



1 BROAD STREET | APPROACH BACK VIEW

Approach views toward the proposed addition - Hardly any visibility



“NEIGHBORHOOD SUPPORT”

“Quotes from the abutters”

“...I think it is great and you will have an amazing addition to your home when it is done. you have plenty of room for that addition and it will look fantastic. Best of luck!

100 Dean Street

”

“Your plans for the addition look awesome, and we enthusiastically support the project! We're looking forward to seeing the construction get underway. Good luck!

55 Sherman Street

”

“Thank you for all the information...It was very detailed and thoughtful... It looks like it will be a beautiful addition and we support the changes to your home...

9 Broad Street

”

“We have no objections to your house addition. Wishing you good luck on your project.

121 Dean Street

”

“(We) are 100% in favor of your getting the special permit to add to your house. Plans look great. Good luck!

8 Broad Street

”

“I am writing to support your project of doing an addition to your current house. Good luck!

29 Jason Road

”

“I just read through your housing plan and support the project.

79 Hoitt Road

”

“...The project looks great and I support the addition. Good luck with the project.

82 Dean Street

”

“... What a thorough and well put together proposal... (we) are very excited for you and support your plans for a beautiful addition...

61 Sherman Street

”

“...We fully SUPPORT your addition. It is a cool idea to expand your house at this moment. If additional paperwork needed, we will be more than happy to sign/send.

5 Broad Street

”

“We have reviewed your plans and we support you proceeding with the expansion of your current house. With two children, both parents working from home it makes since to expand. We fully support your plans.

97 Hoitt Road

”

“Thank you for sharing your plans with us regarding the addition to your house. We are in full support of it.

11 Broad Street

”



NEIGHBORHOOD SUPPORT

“...and one more from our neighbor across the street”

20 SEP 2020

Town of Belmont
Attention – Planning Board

The purpose of this letter is to express our strongest support for the proposal by our neighbors at 1 Broad St to construct an addition to their residence for the purpose of accommodating their families’ personal requirements as they plan for their future in Belmont. We find the conceptual site and architectural plans to be both aesthetically appealing and will continue to improve the character and appeal of the neighborhood.

The stated primary goal of the Planning Board is to protect and preserve the character and the quality of life that defines Belmont. We find this proposal to be compliant with that goal and strongly urge the Planning Board to expeditiously approve this proposal so that this growing family can comfortably meet its personal, work, and potentially educational requirements in the event the present Covid situation in which children are learning from home persists.

Please direct any questions or concerns to the undersigned.

Bruce A. Estok

2 Broad St
Belmont, MA
617-595-9152

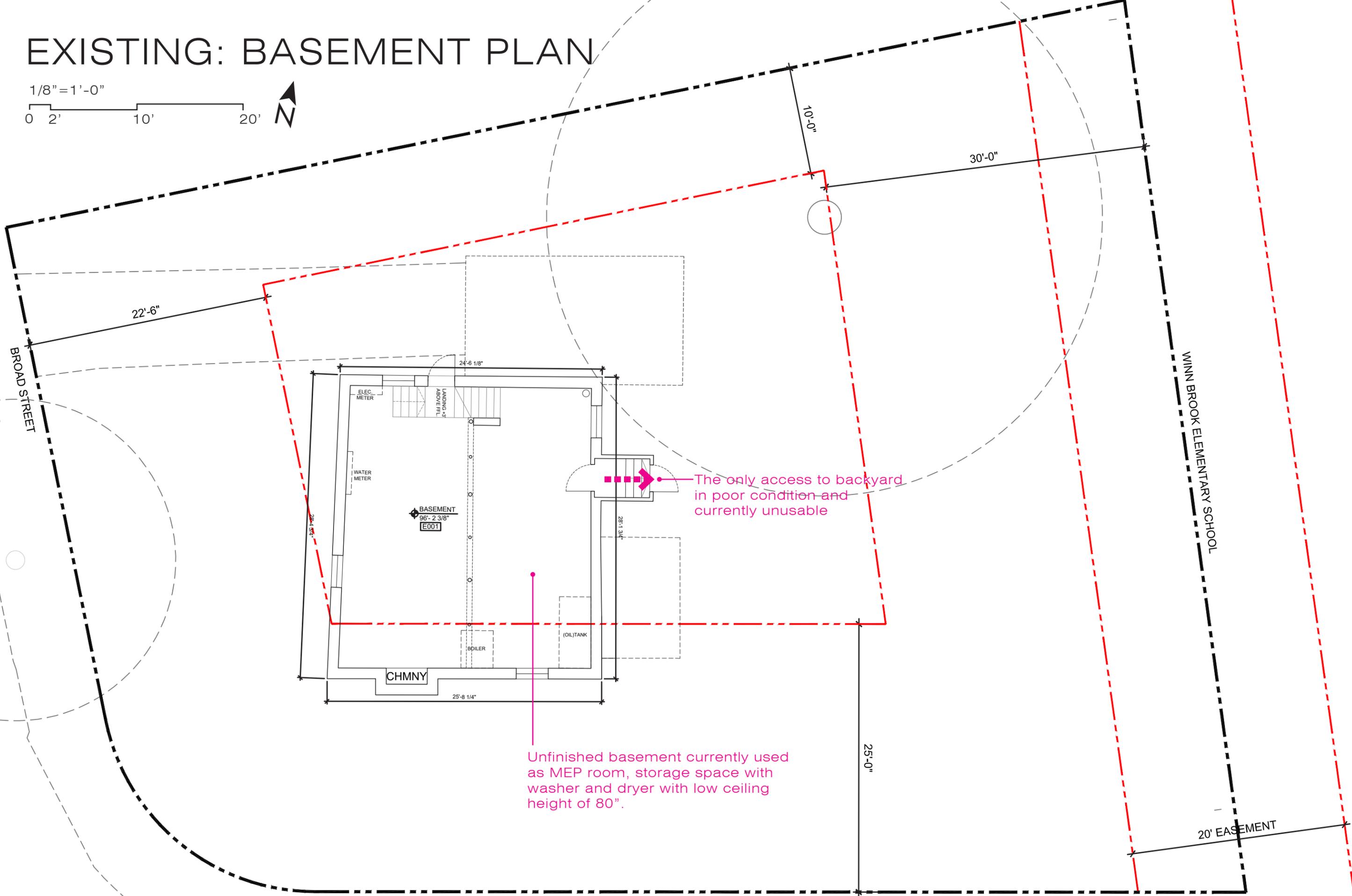


EXISTING and PROPOSED PLANS

EXISTING: BASEMENT PLAN

1/8" = 1'-0"

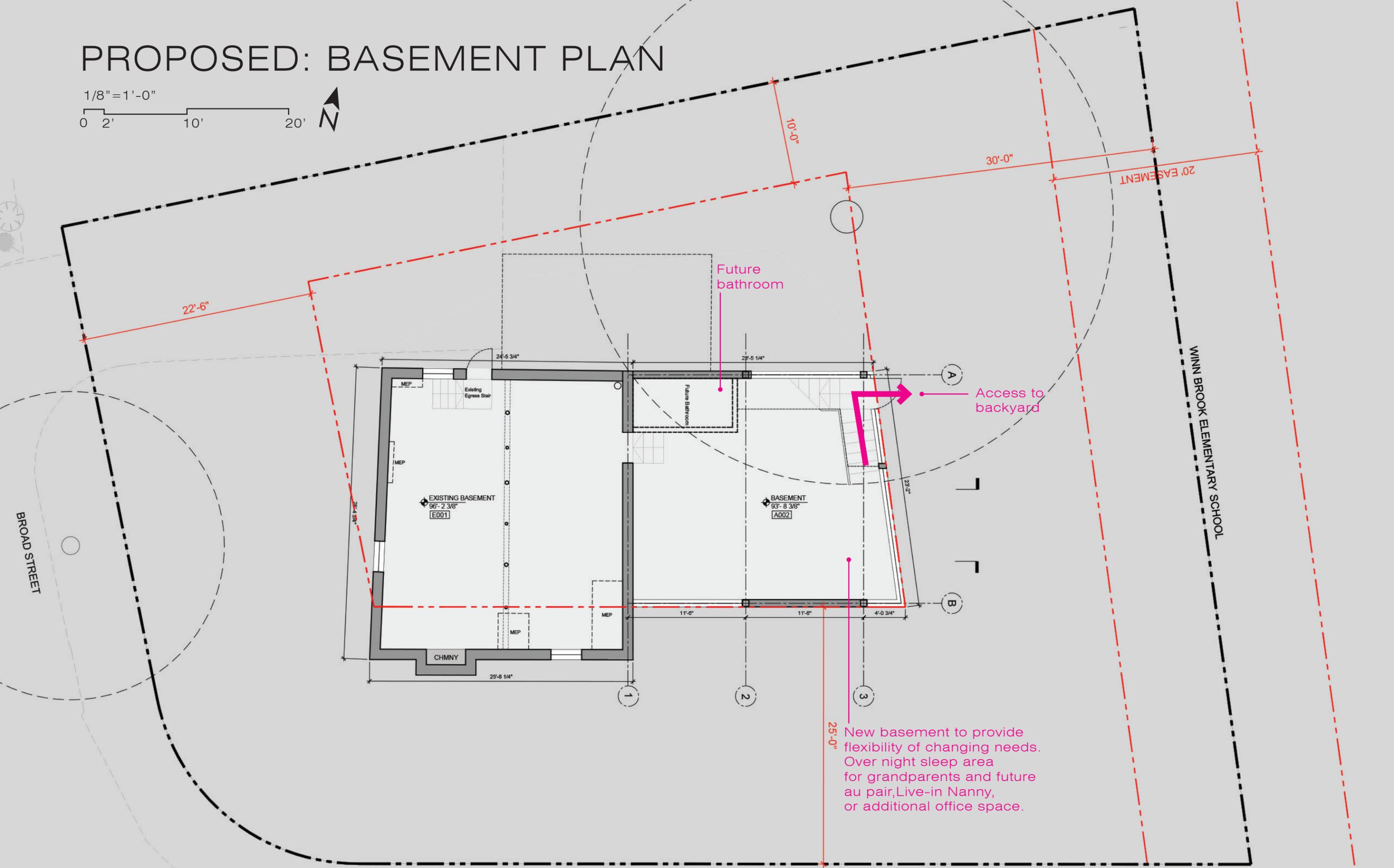
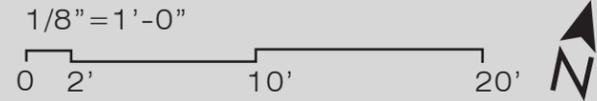
0 2' 10' 20'



The only access to backyard in poor condition and currently unusable

Unfinished basement currently used as MEP room, storage space with washer and dryer with low ceiling height of 80".

PROPOSED: BASEMENT PLAN

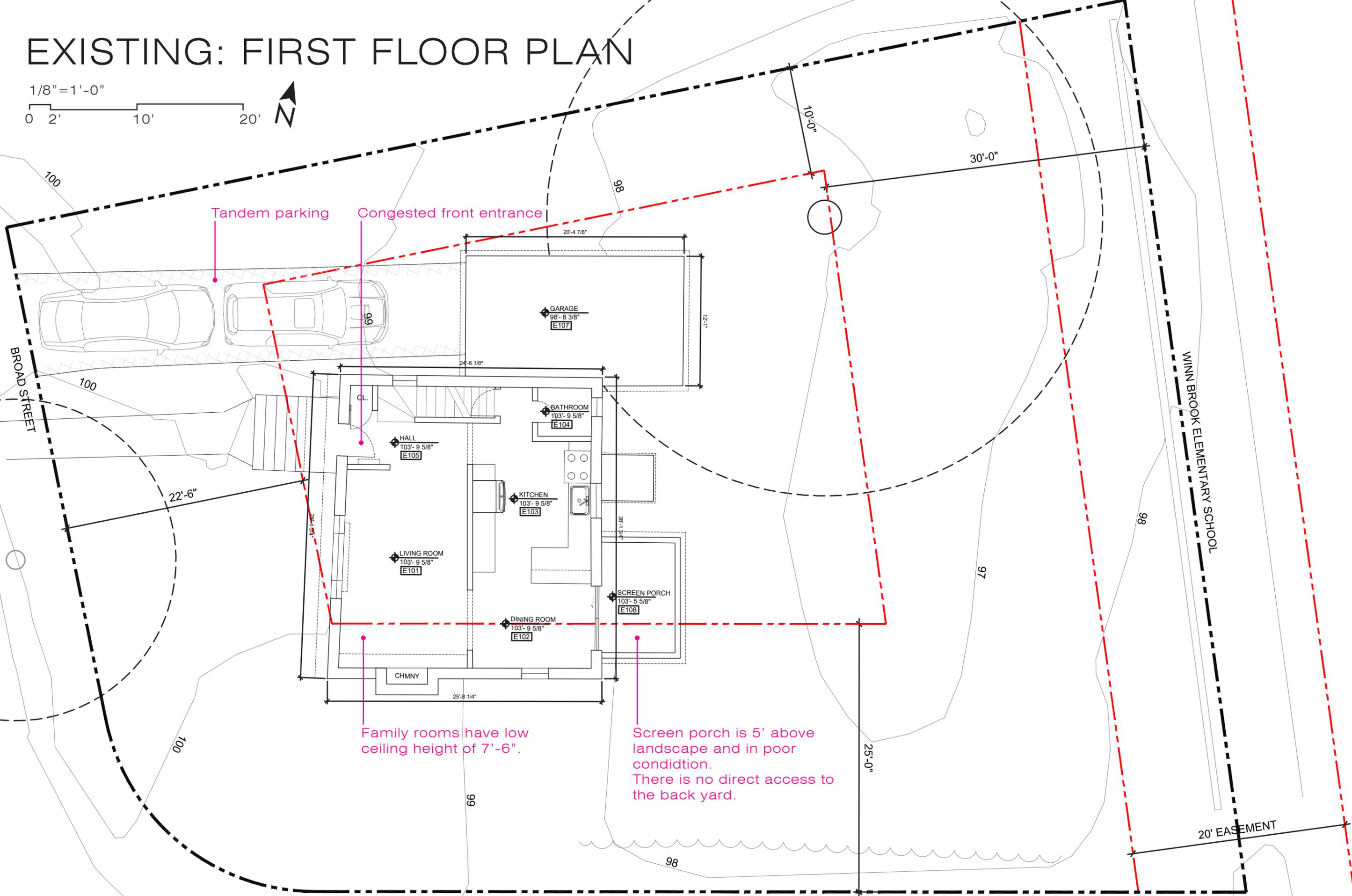


25'-0"
New basement to provide flexibility of changing needs. Over night sleep area for grandparents and future au pair, Live-in Nanny, or additional office space.

EXISTING: FIRST FLOOR PLAN

1/8" = 1'-0"

0 2' 10' 20'



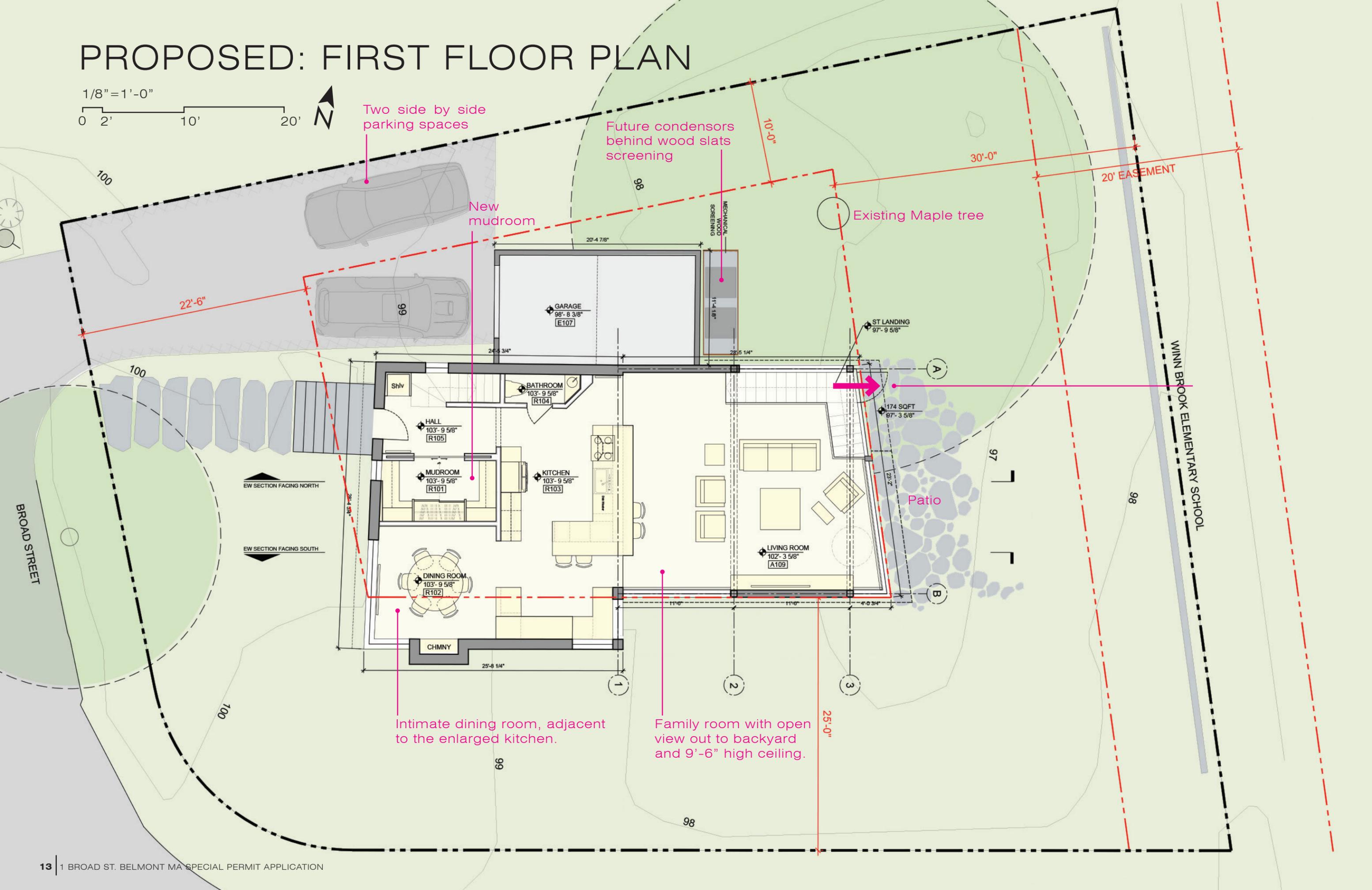
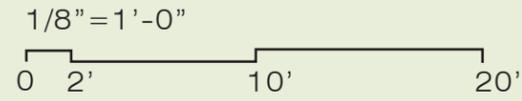
Tandem parking

Congested front entrance

Family rooms have low ceiling height of 7'-6".

Screen porch is 5' above landscape and in poor condition. There is no direct access to the back yard.

PROPOSED: FIRST FLOOR PLAN



Two side by side parking spaces

Future condensers behind wood slats screening

New mudroom

Existing Maple tree

Patio

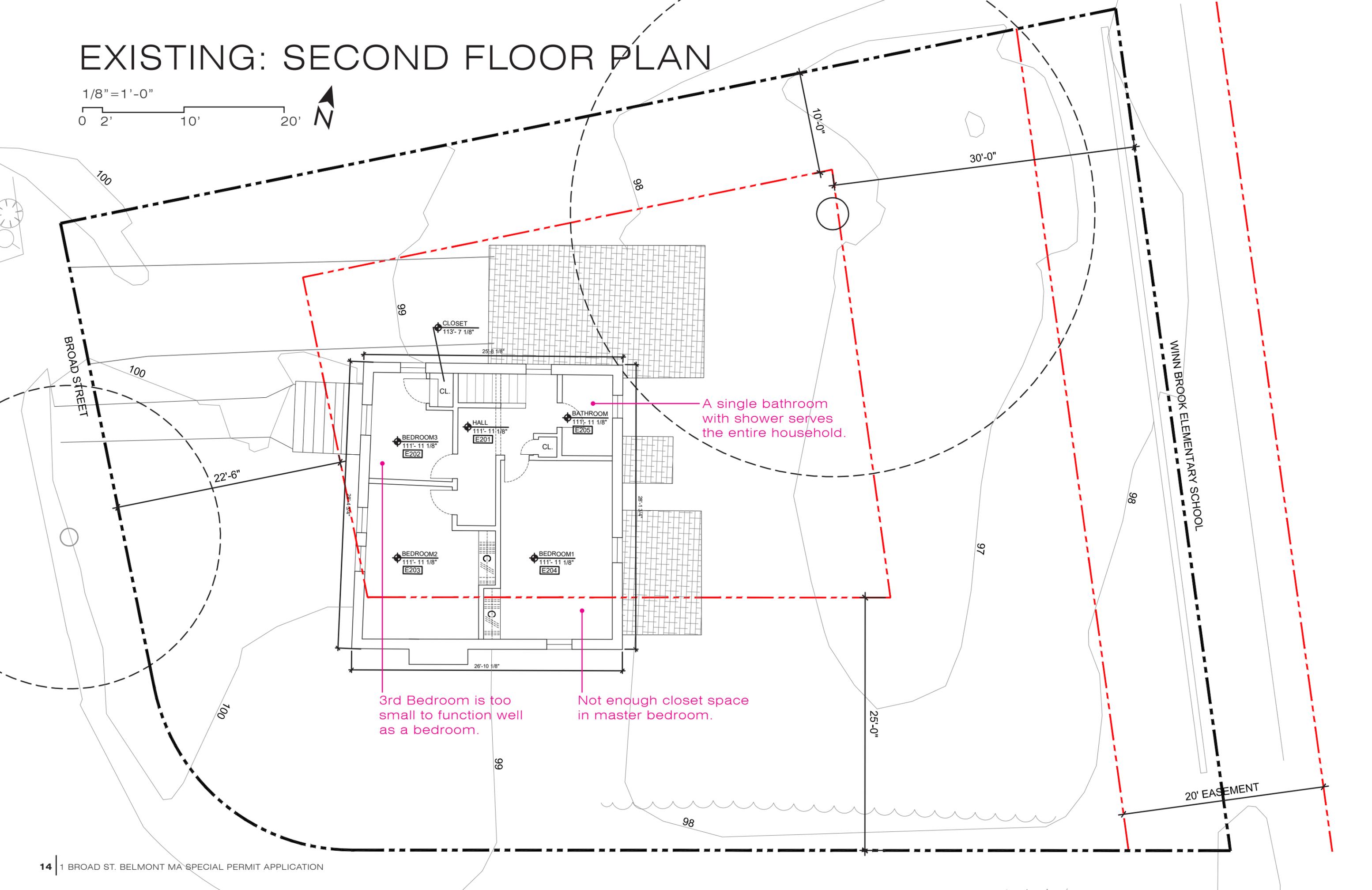
Intimate dining room, adjacent to the enlarged kitchen.

Family room with open view out to backyard and 9'-6" high ceiling.

EXISTING: SECOND FLOOR PLAN

1/8" = 1'-0"

0 2' 10' 20'

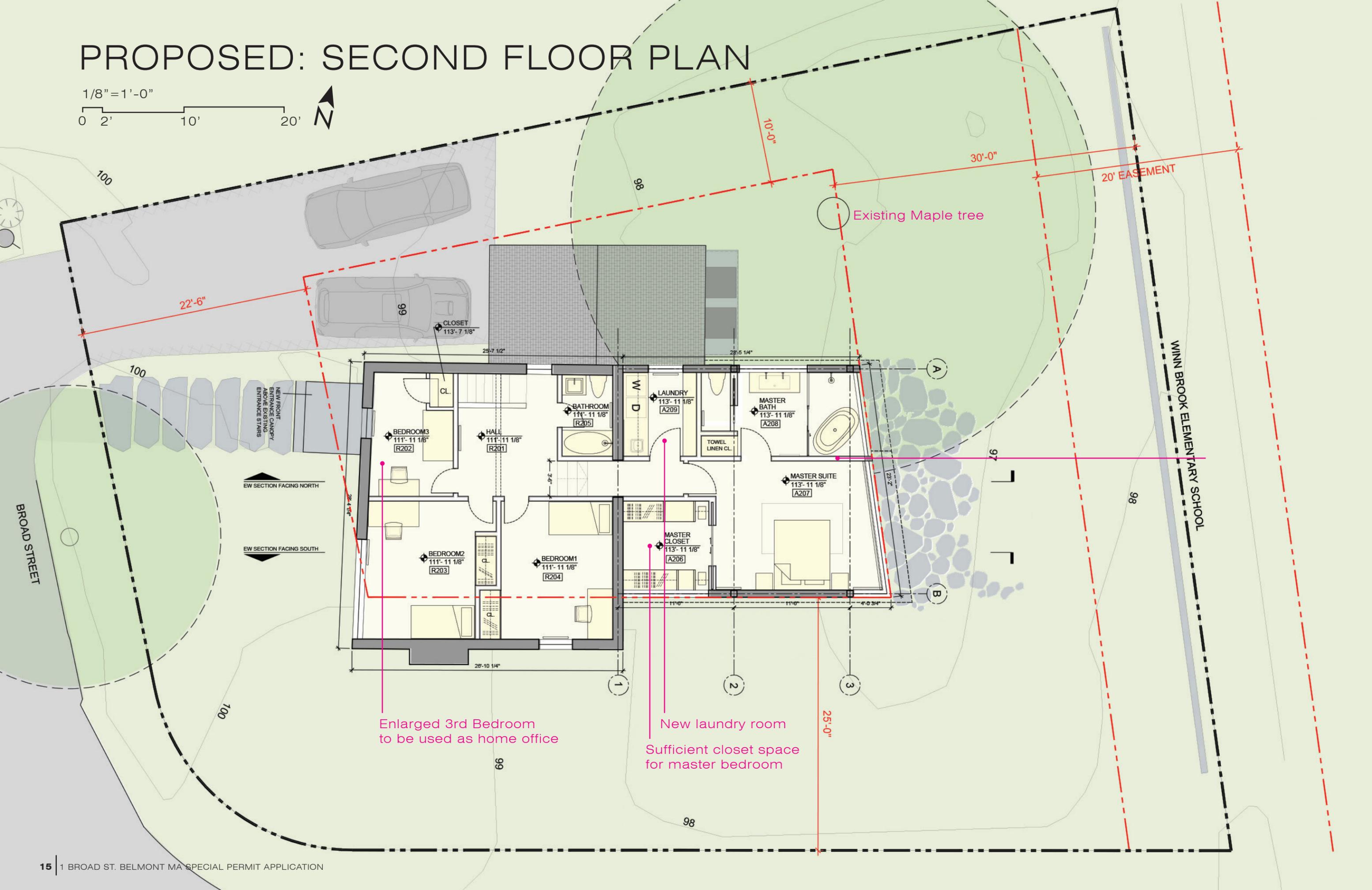
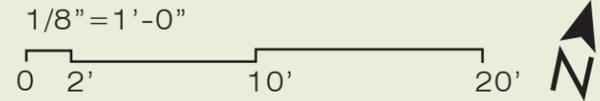


A single bathroom with shower serves the entire household.

3rd Bedroom is too small to function well as a bedroom.

Not enough closet space in master bedroom.

PROPOSED: SECOND FLOOR PLAN



BROAD STREET

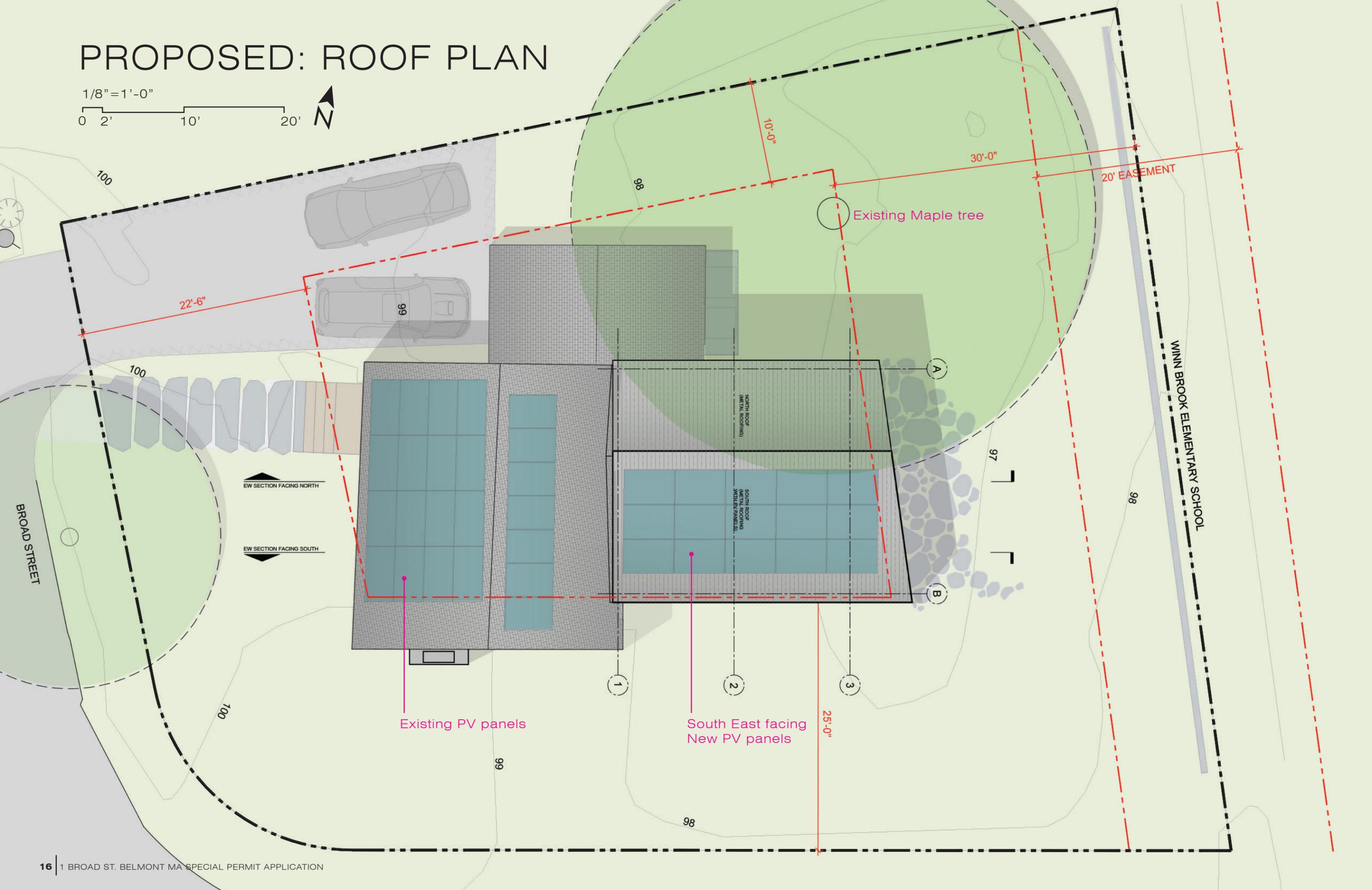
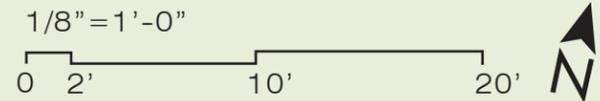
WINN BROOK ELEMENTARY SCHOOL

Enlarged 3rd Bedroom
to be used as home office

New laundry room
Sufficient closet space
for master bedroom

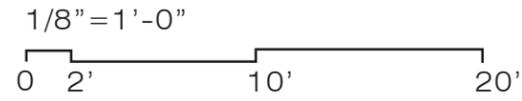
Existing Maple tree

PROPOSED: ROOF PLAN



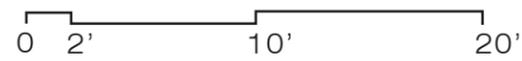
PROPOSED ELEVATIONS

PROPOSED: BROAD STREET - SW ELEVATION



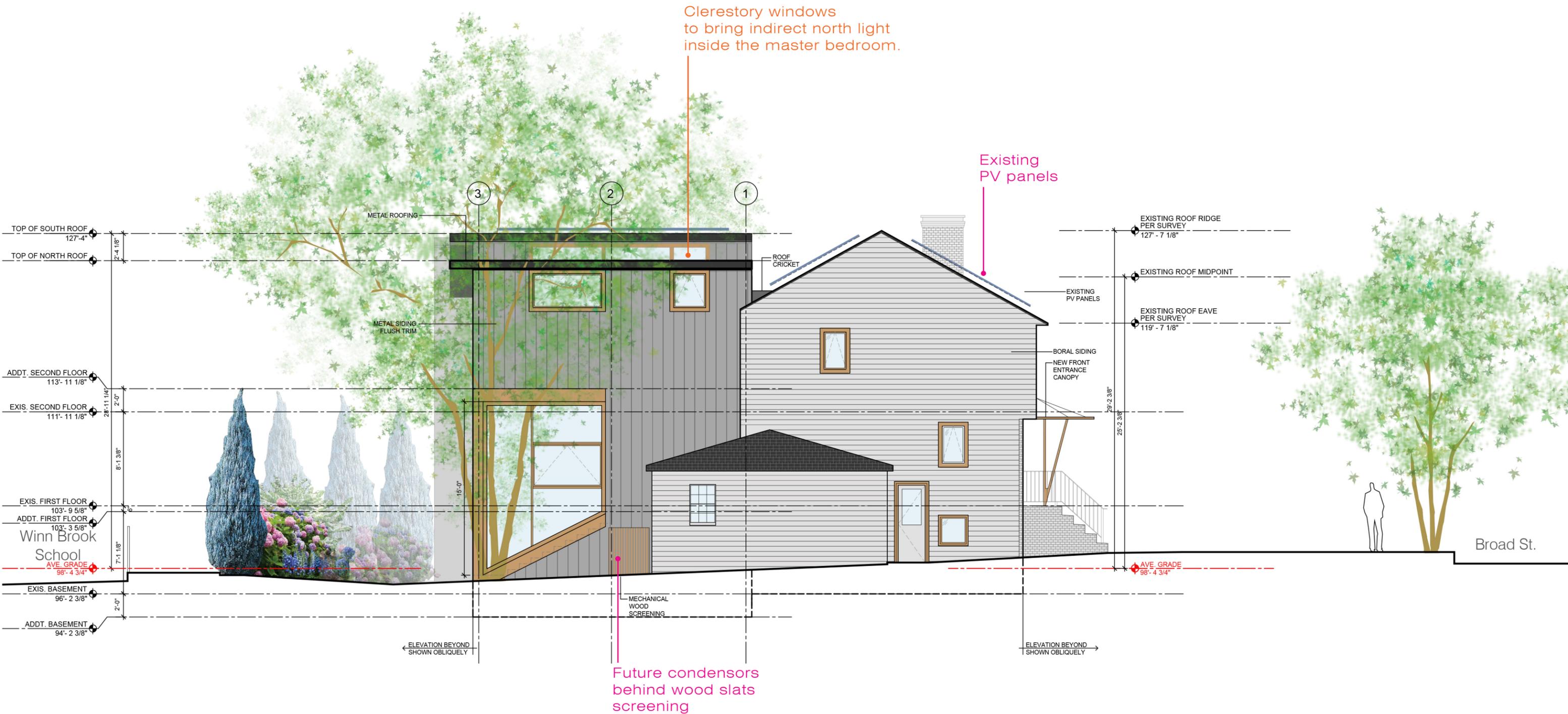
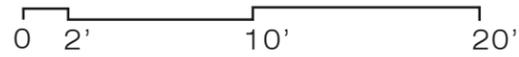
PROPOSED: SHERMAN STREET - SE ELEVATION

1/8" = 1'-0"



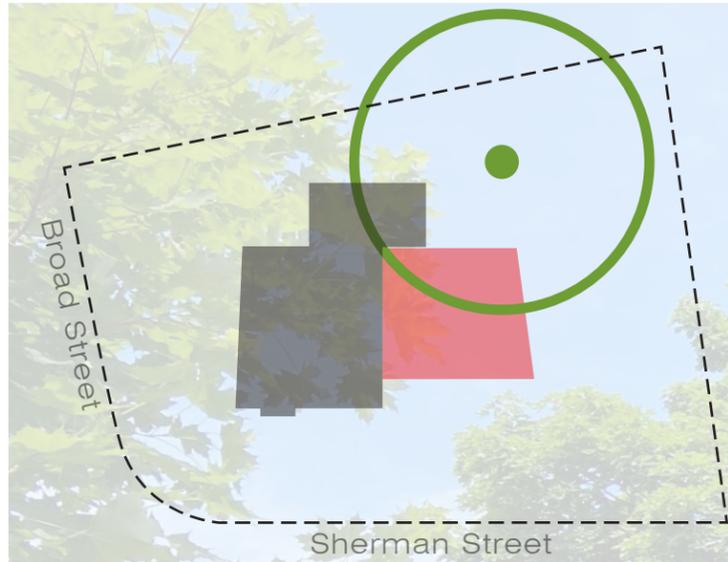
PROPOSED: NW ELEVATION

1/8" = 1'-0"



LANDSCAPING

LANDSCAPING: EXISTING | TO KEEP.



Existing Tree

Species: Maple Tree

Size

H: approx. 40ft

W: approx. 45ft Diameter



LANDSCAPING: EXISTING | TO KEEP.



Existing Mixed Border

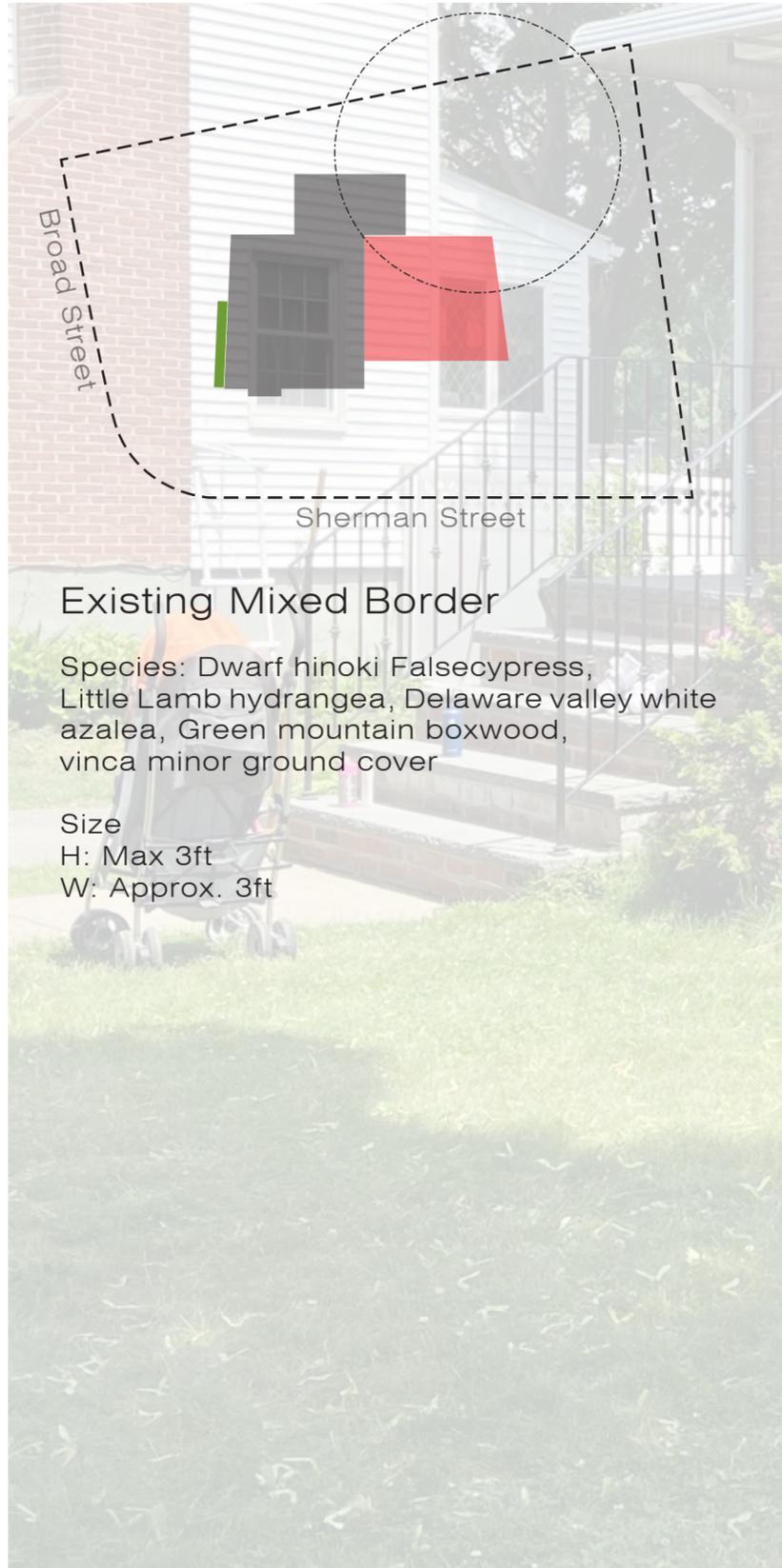
Species: Forsythia, Alba rose bush

Size

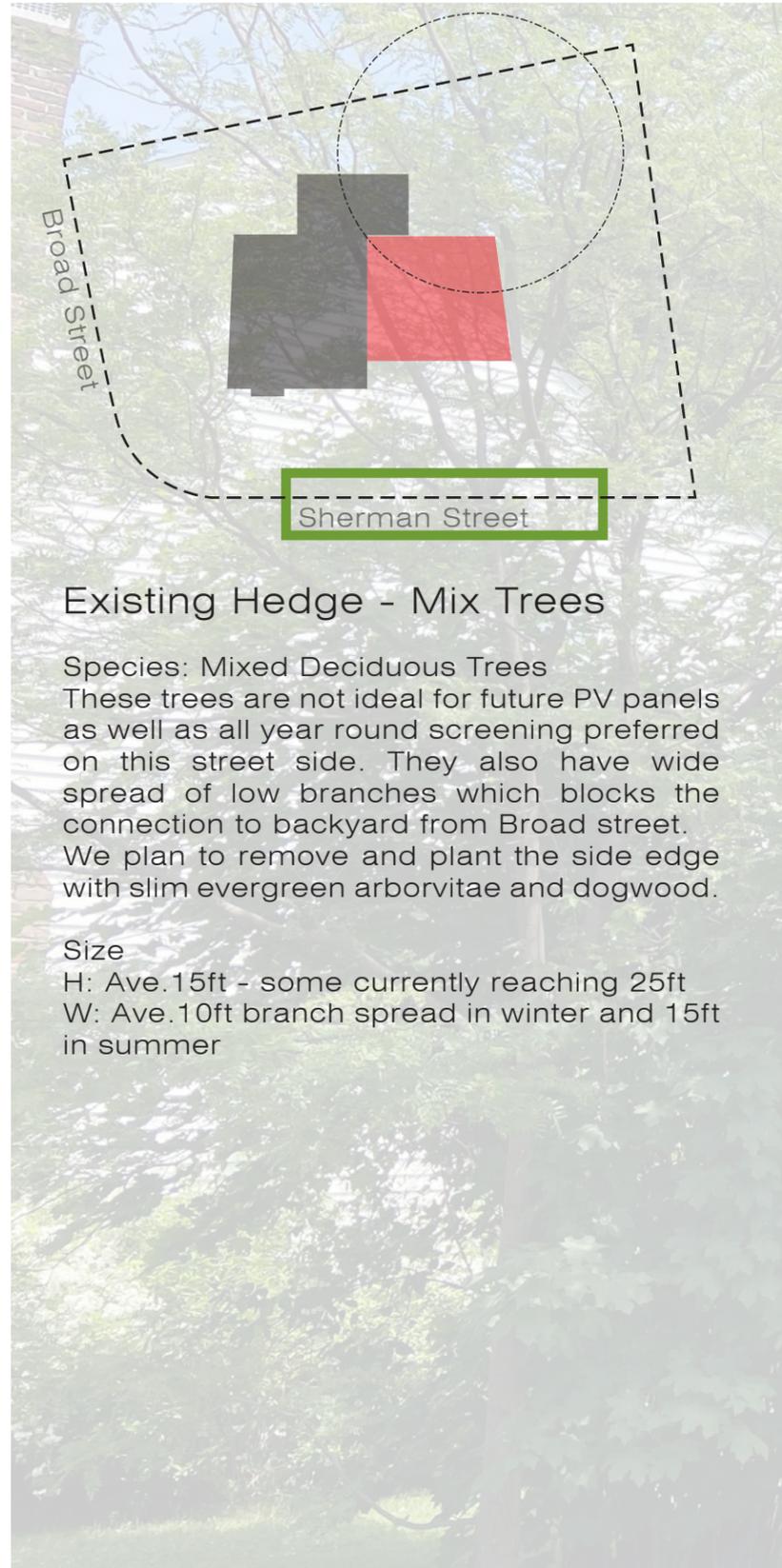
H: Max 5ft

W: Approx. 3ft

LANDSCAPING: EXISTING | TO KEEP.



LANDSCAPING: EXISTING | TO REMOVE.



Existing Hedge - Mix Trees

Species: Mixed Deciduous Trees

These trees are not ideal for future PV panels as well as all year round screening preferred on this street side. They also have wide spread of low branches which blocks the connection to backyard from Broad street.

We plan to remove and plant the side edge with slim evergreen arborvitae and dogwood.

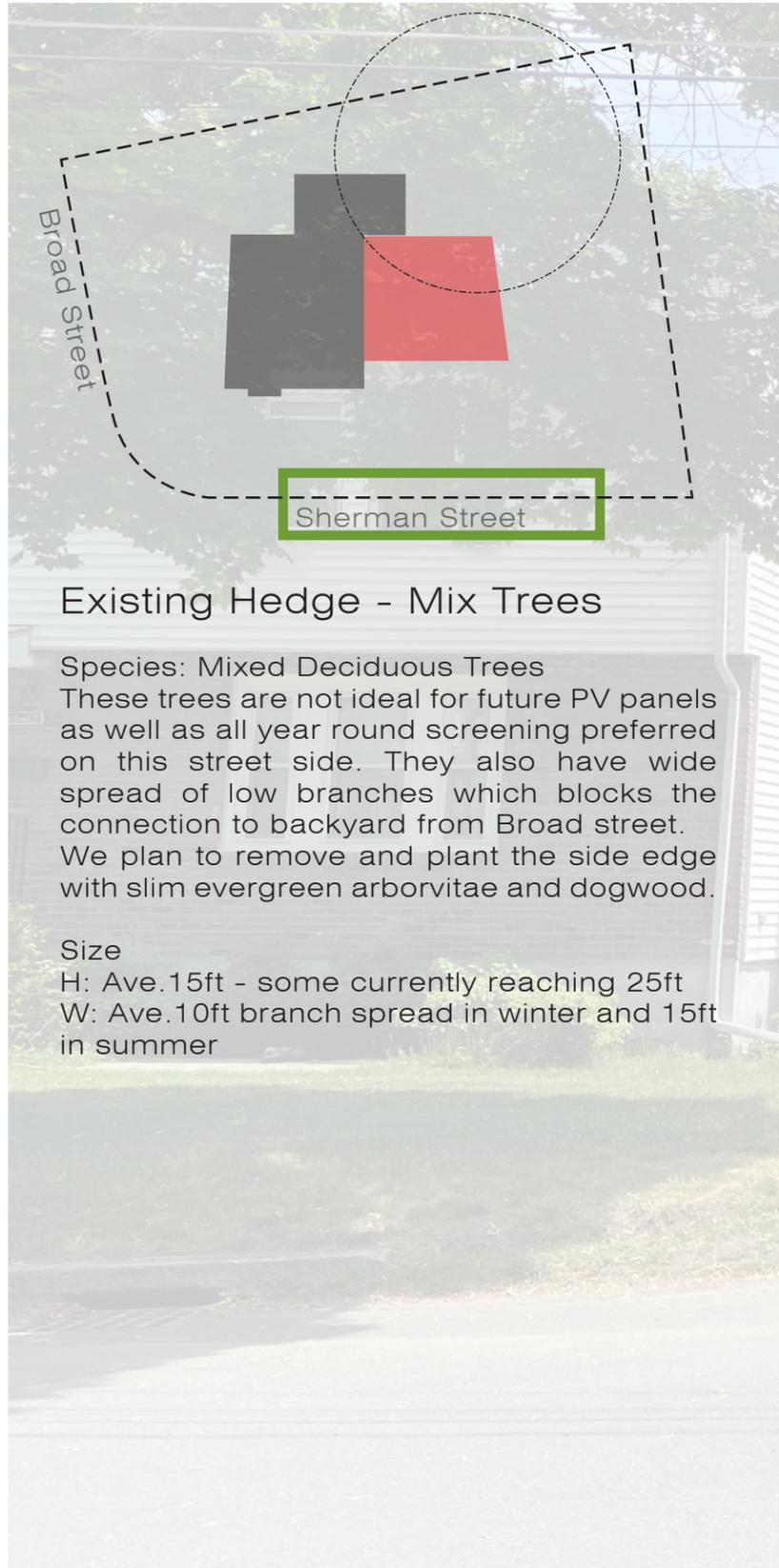
Size

H: Ave. 15ft - some currently reaching 25ft

W: Ave. 10ft branch spread in winter and 15ft in summer



LANDSCAPING: EXISTING | TO REMOVE.



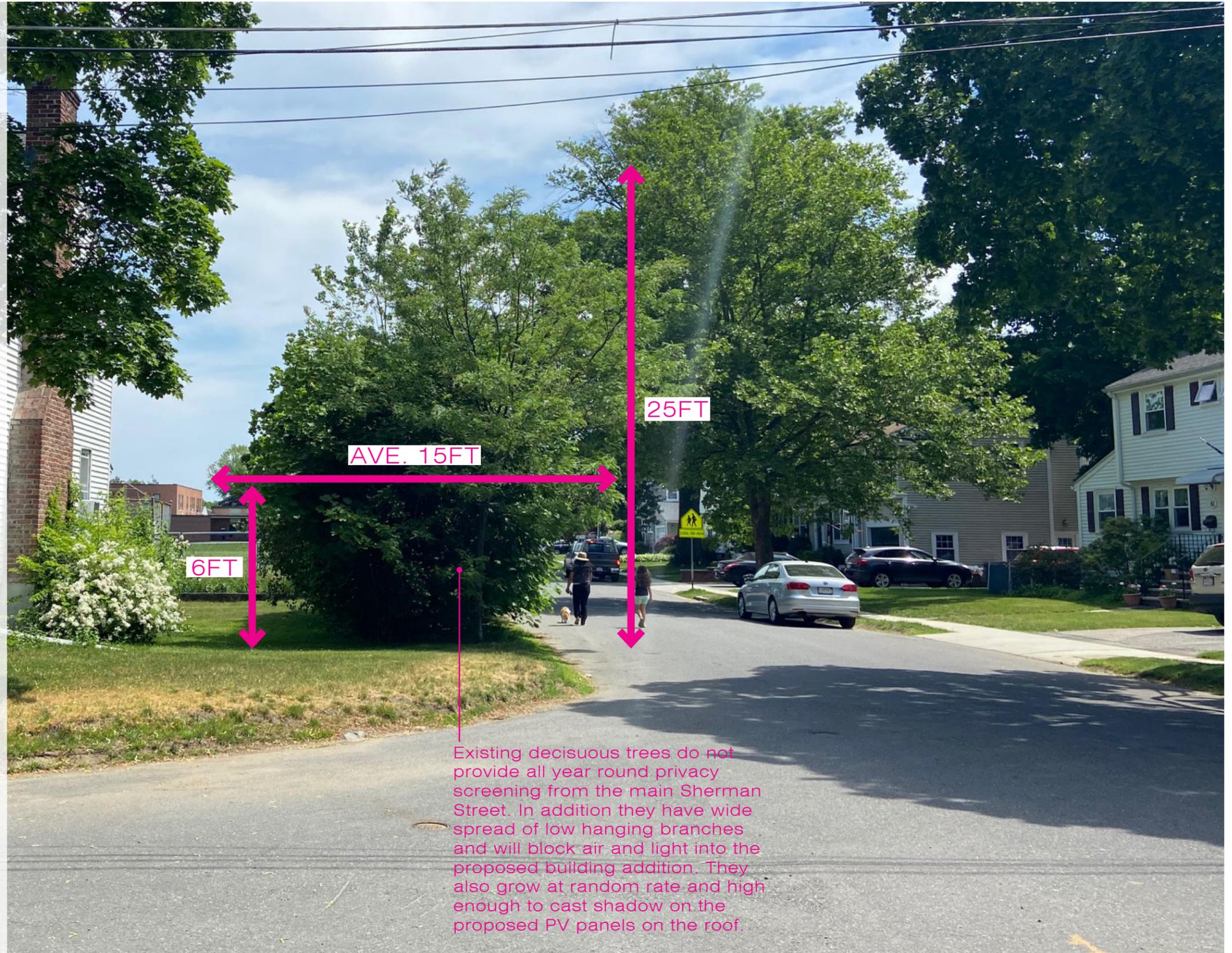
Existing Hedge - Mix Trees

Species: Mixed Deciduous Trees

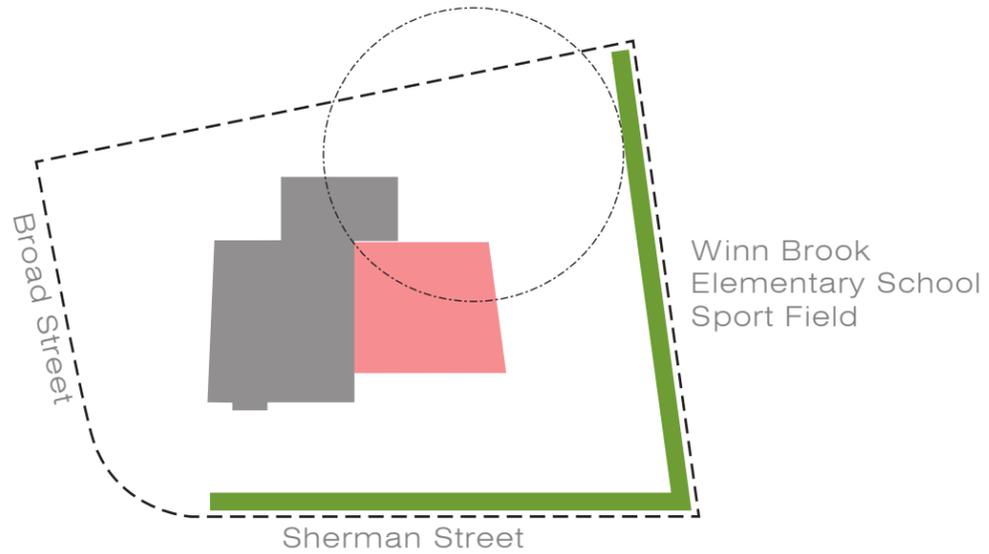
These trees are not ideal for future PV panels as well as all year round screening preferred on this street side. They also have wide spread of low branches which blocks the connection to backyard from Broad street. We plan to remove and plant the side edge with slim evergreen arborvitae and dogwood.

Size

H: Ave. 15ft - some currently reaching 25ft
W: Ave. 10ft branch spread in winter and 15ft in summer



LANDSCAPING: PROPOSED LIVE FENCE | LAYER 1



Proposed Living Fence (Layering the plants)

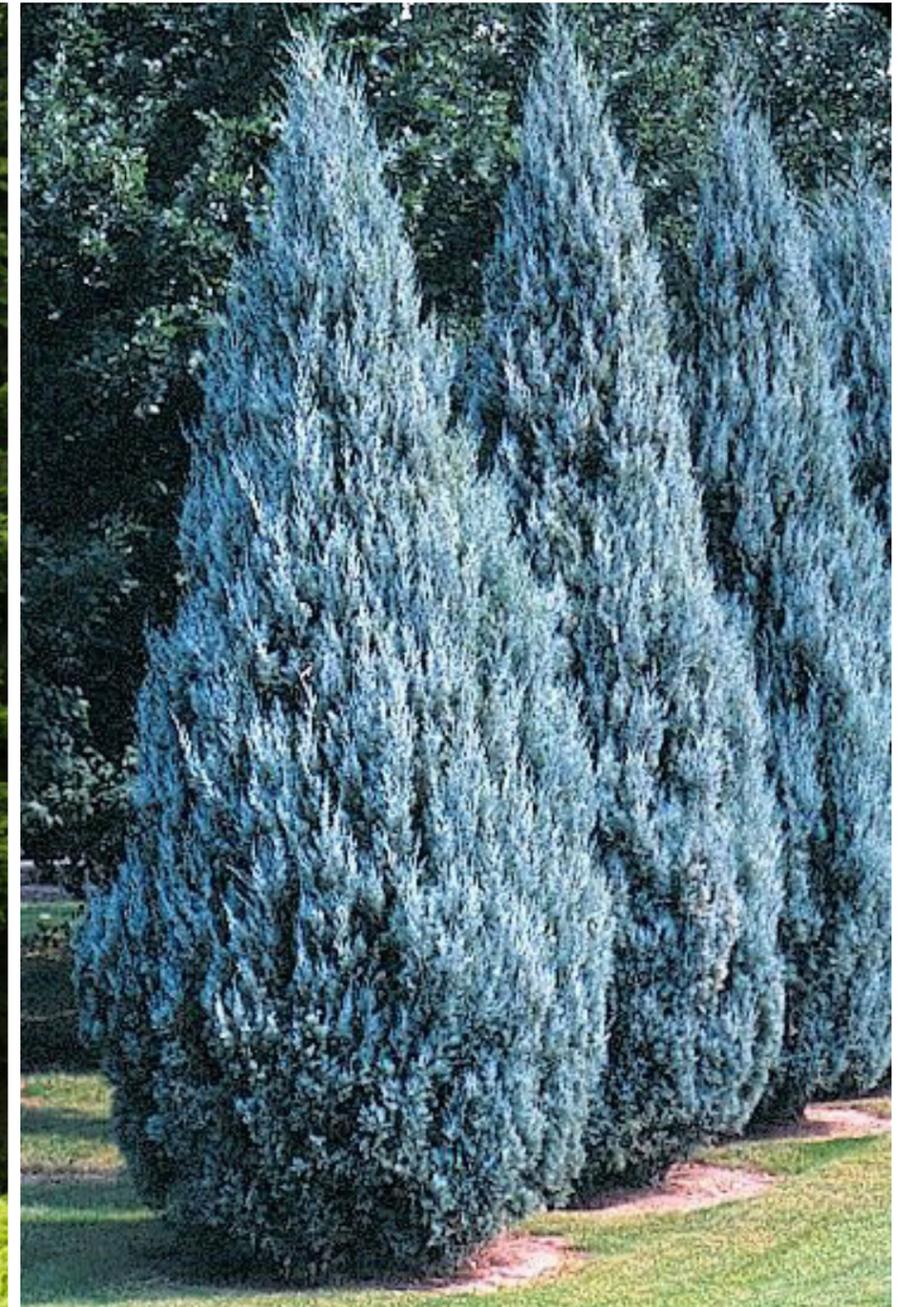
1- Outermost Layer:
Create an all year round privacy screening from Winn Brook Elementary School sport field and Sherman street by creating an arcade of tall and compact evergreen trees.

Species:
Evergreen - Wichita Blue Juniper and Arborvitae

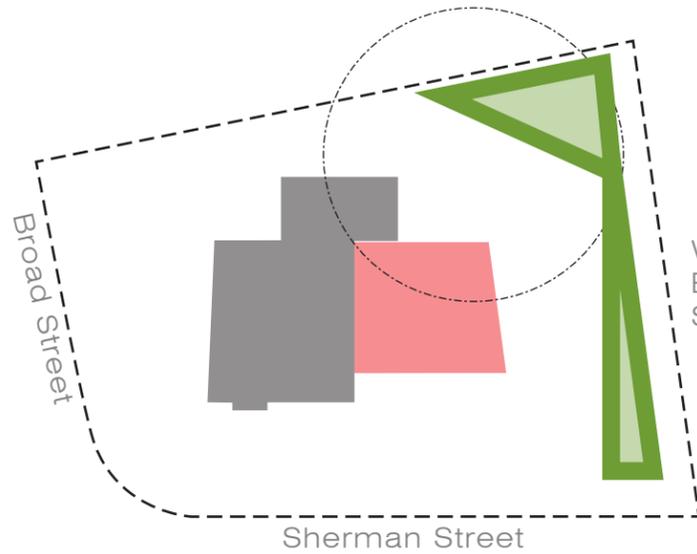
Size:
H: 10-15ft tall when fully grown
W: 3-6ft wide

Quantity:
About 25 pieces to achieve min 6ft spacing.

Growth Rate: Moderate
Growth Habit: Pyramidal
Foliage Color: Silver- Blue - Green
Growing zones: 3-7



LANDSCAPING: PROPOSED LIVE FENCE | LAYER 2



Winn Brook
Elementary School
Sport Field

Proposed Living Fence (Layering the plants)

2-Middle Layer:
Create seasonal flower garden with interesting
foliage colors during fall and berries during winter.

Species:
Mix of deciduous and Evergreen Shrubs: Viburnum -
Viburnum Trilbum, Weigela Variegeta, Hydragea,
White Rhododendron.

Size:
H: 4-6ft tall when fully grown
W: 4ft wide

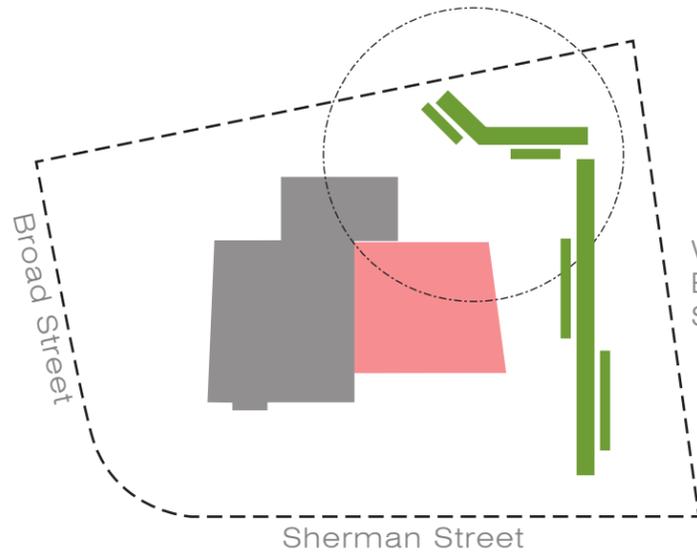
Quantity:
Approx. 10 shrubs

Flower Color:
White, light pink, purple and blue.

Growing zones: 2-9



LANDSCAPING: PROPOSED LIVE FENCE | LAYER 3



Winn Brook
Elementary School
Sport Field

Proposed Living Fence (Layering the plants)

3-Inner Layer:
Colorful short flower plants.

Species:
Perennials: Blue Allium, Delphini, Sweetspire Little Henry,
Sun Sparkler Blue Pearl Sedum,
Peonies, Autumn Fire, Strawberries & Cream

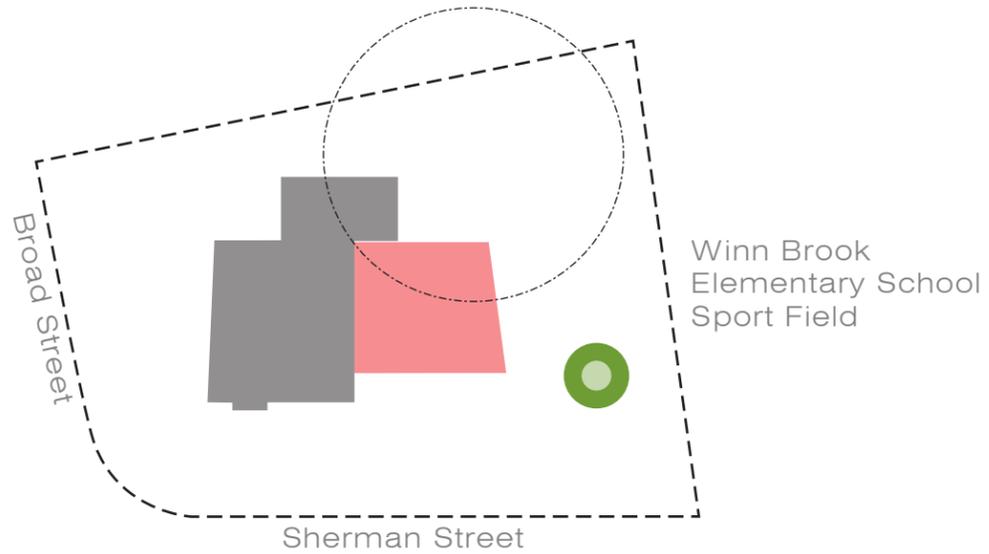
Size:
H: 1-2ft tall when fully grown
W: Max. 2ft wide

Quantity:
Approx. 17 plants

Flower Color:
White, light pink, red, purple and blue



LANDSCAPING: PROPOSED FEATURE TREE | POINT OF ATTRACTION



Proposed Feature Tree(s)
(Introducing wow moment: Localized point of attraction in the back garden)

Feature Tree:
Bright red color

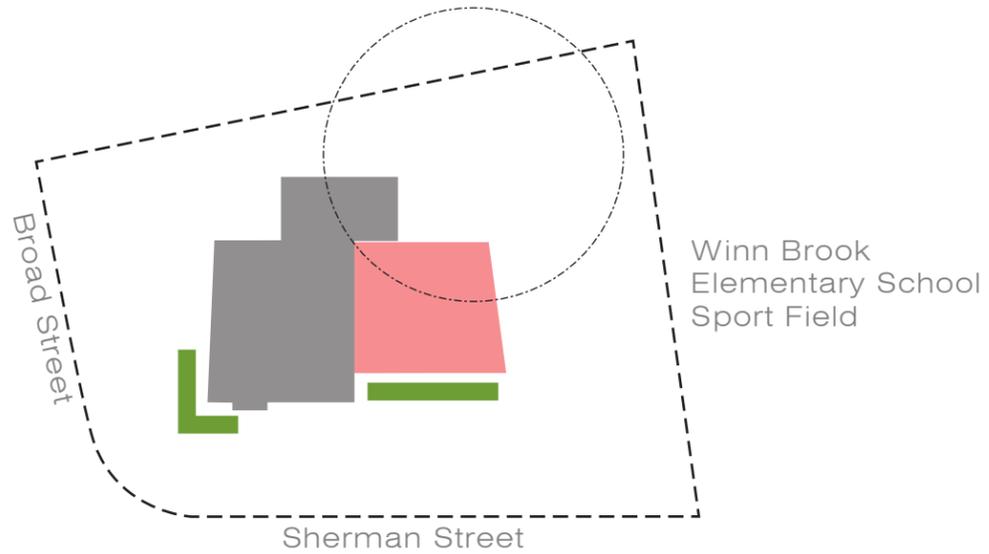
Species:
Deciduous: Japanese Maple

Size:
H: Ave. 6ft tall
W: Max. 4ft wide

Quantity:
1 Piece



LANDSCAPING: PROPOSED FLOWER-SCENTED AIR



Proposed Shrubs with Frangrance
(Close to the building by
the operable windows)

3-Inner Layer:
Colorful short flower plants.

Species:
Deciduous Ornamental Shrubs: Daphne, Miss Kim Lilac

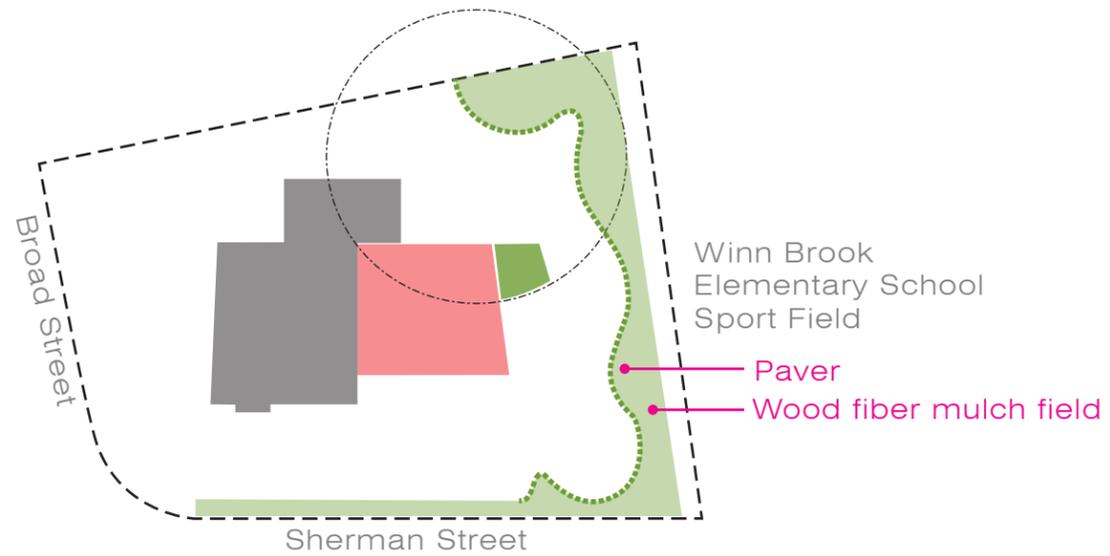
Size
H: Ave. 3ft
W: about 3ft

Quantity:
Approx. 5 plants

Flower Color: white, purple and light pink.



LANDSCAPING: PLANTER ZONE GROUND COVER



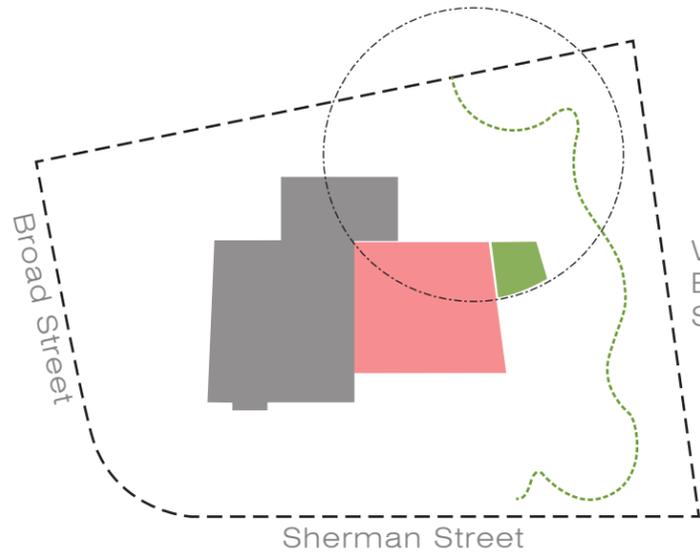
Proposed ground cover materials
(Insulate soil, Moderate soil temperature,
Runoff protection, Reduce evaporation,
Encourage infiltration)

Paver:
Low maintenance and long-term border

Wood fiber mulch:
Costs less than stone, improves root growth as it retains water, prevents weeds. Shall be replaced every few years.



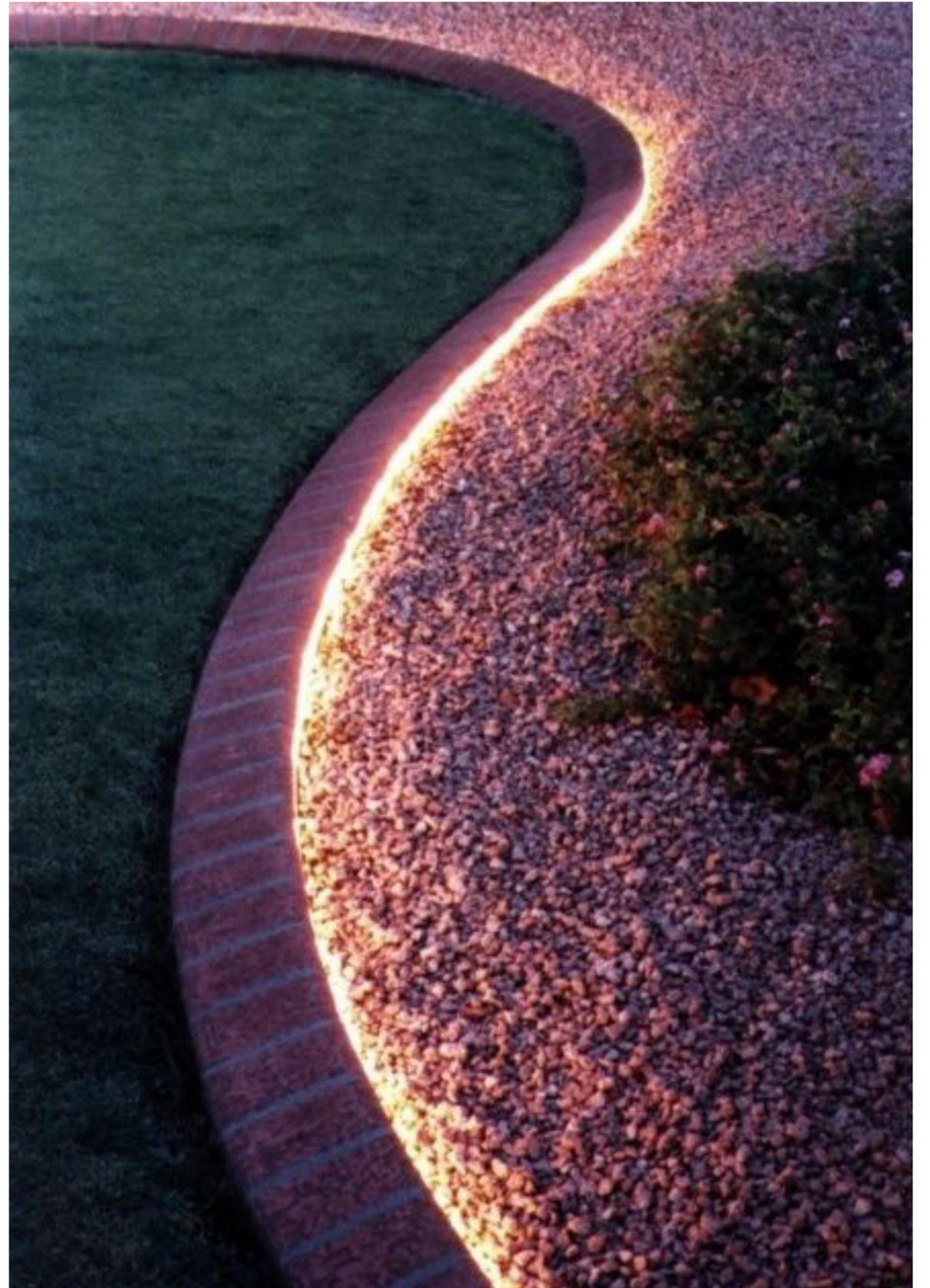
LANDSCAPING: PROPOSED LIGHTING



Winn Brook
Elementary School
Sport Field

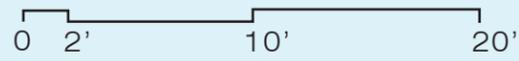
Integrated rope
LED lighting

Feature tree
uplit lighting



LANDSCAPING: PROPOSED VISION

1/8" = 1'-0"



TLA, FAR AND HALF STORY STUDIES

TLA and FAR CALCULATIONS

1/16" = 1'-0"



EXISTING FAR= TLA/LOT AREA = 0.18

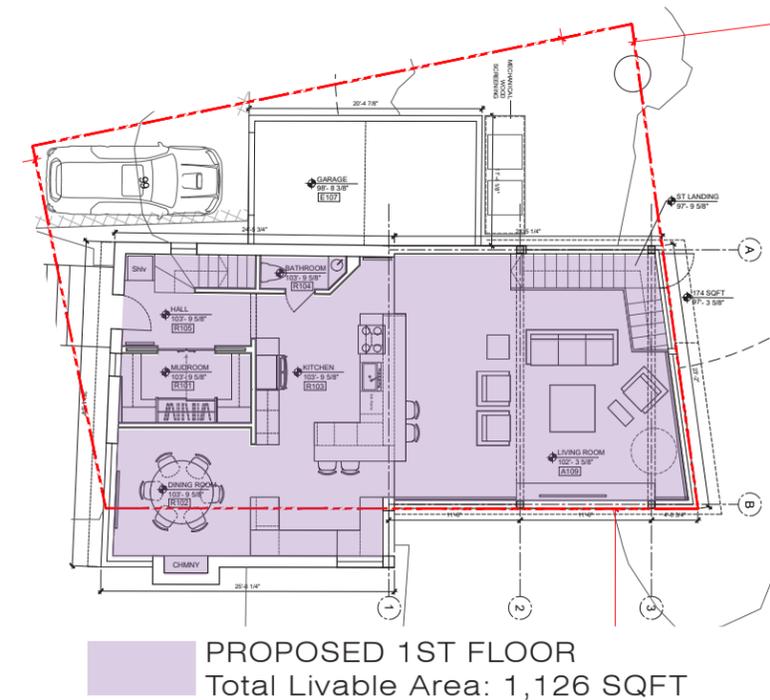
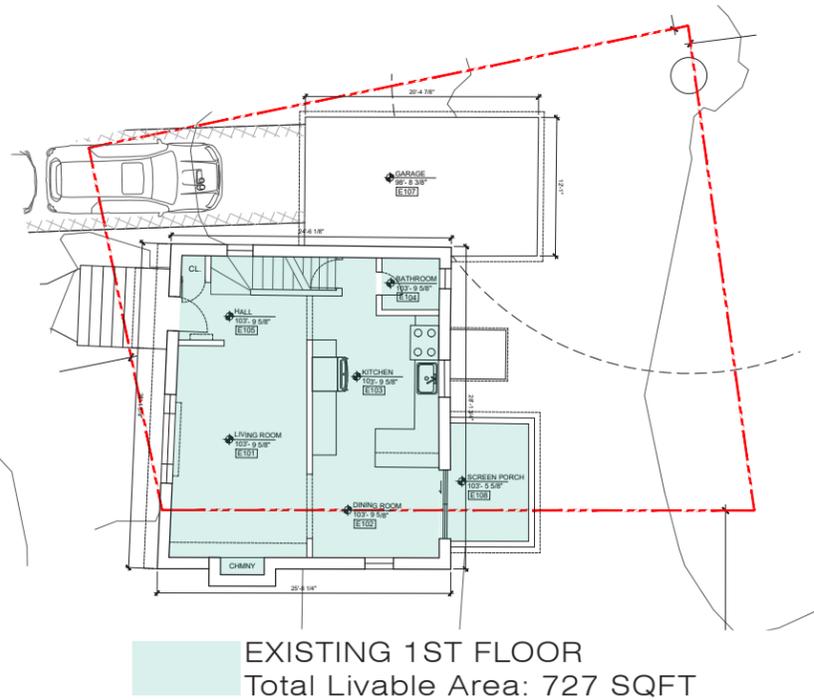
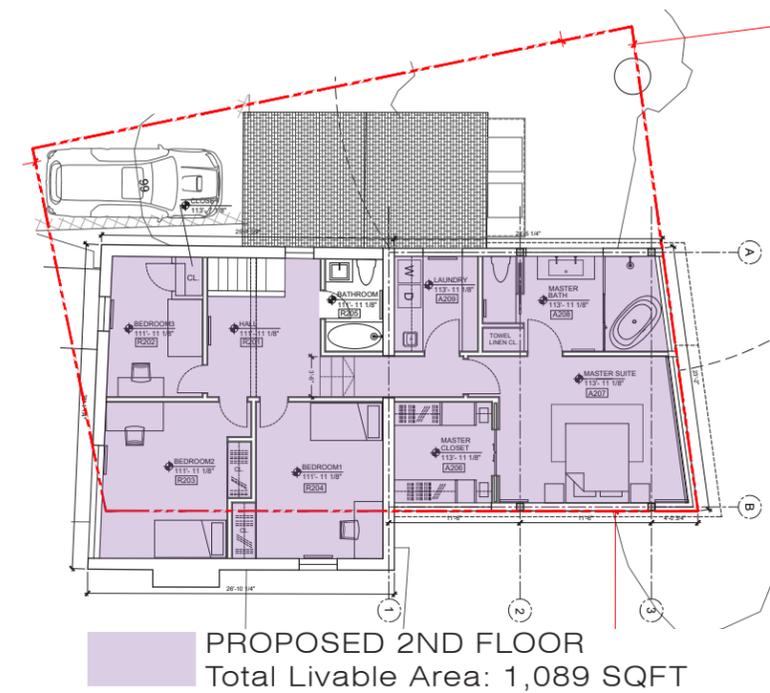
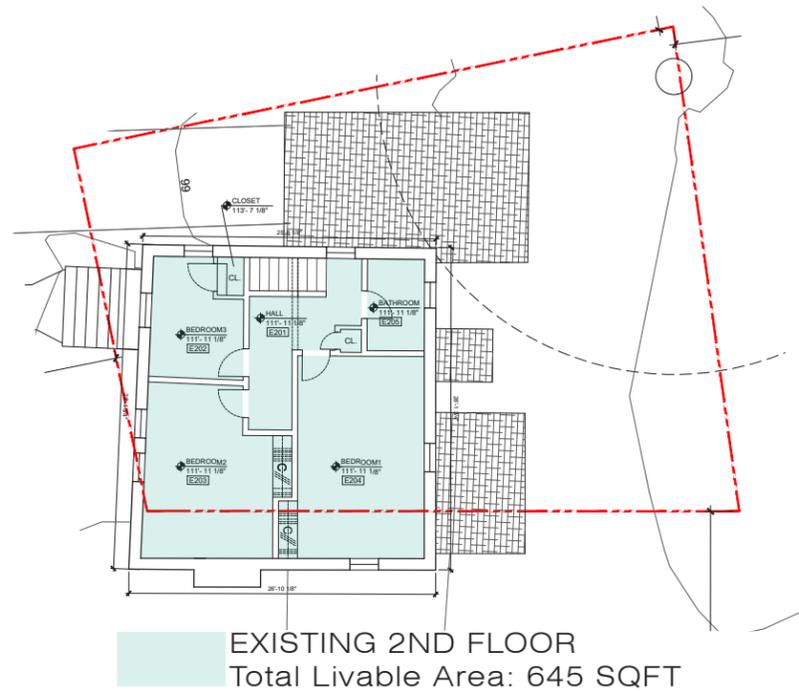
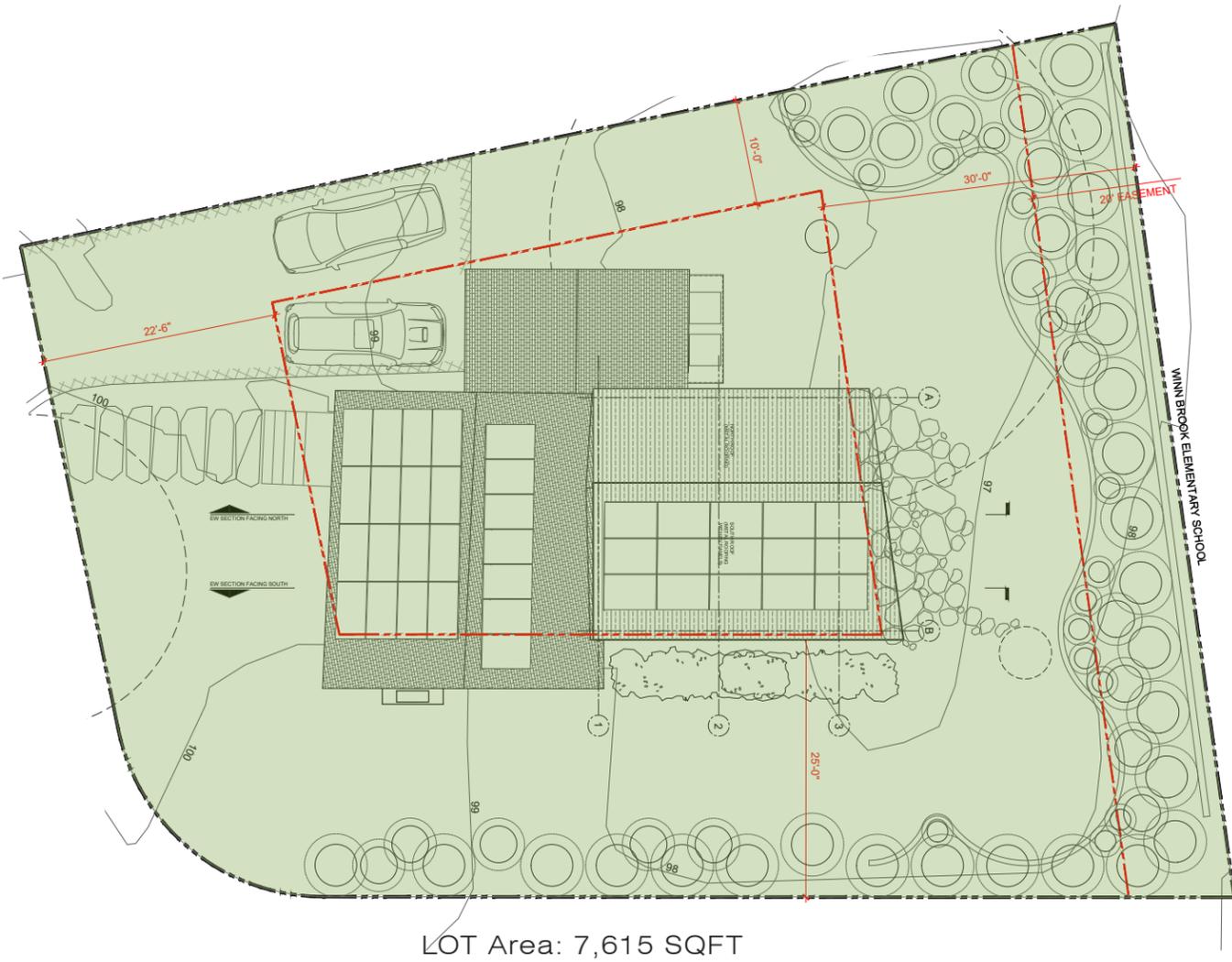
TOTAL LIVABLE AREA: 1,372 SQFT

LOT AREA: 7,615 SQFT

PORPOSED FAR= TLA/LOT AREA = 0.29

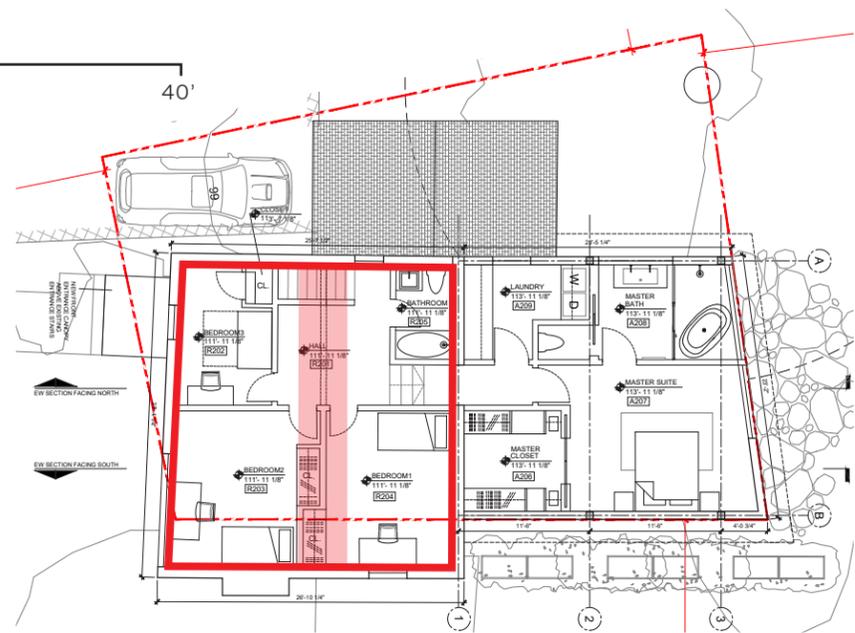
TOTAL LIVABLE AREA: 2,215 SQFT

LOT AREA: 7,615 SQFT

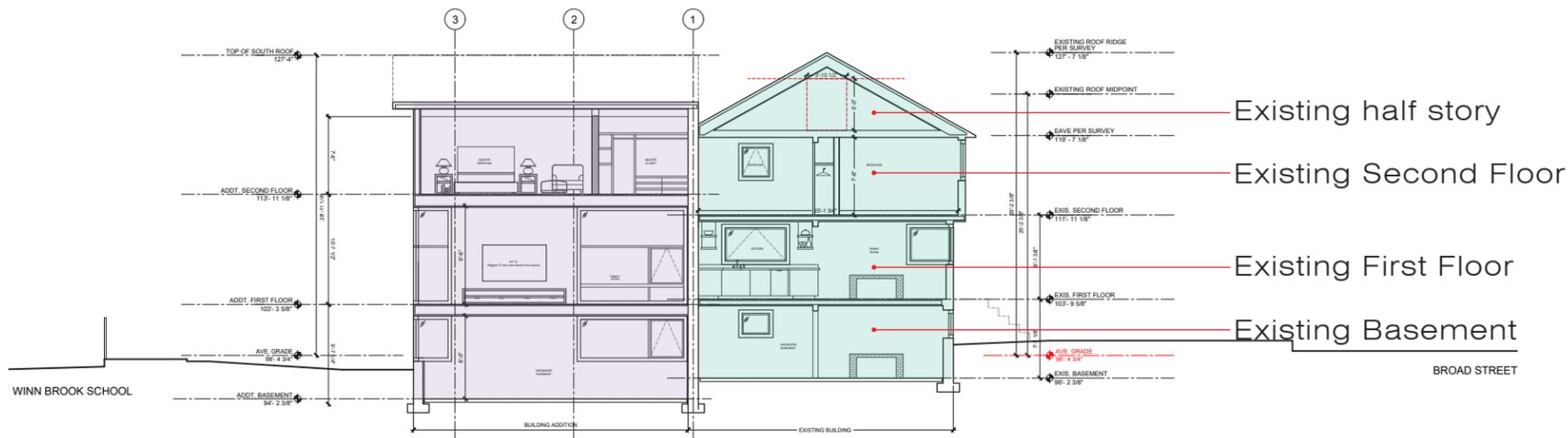


HALF STORY CALCULATION

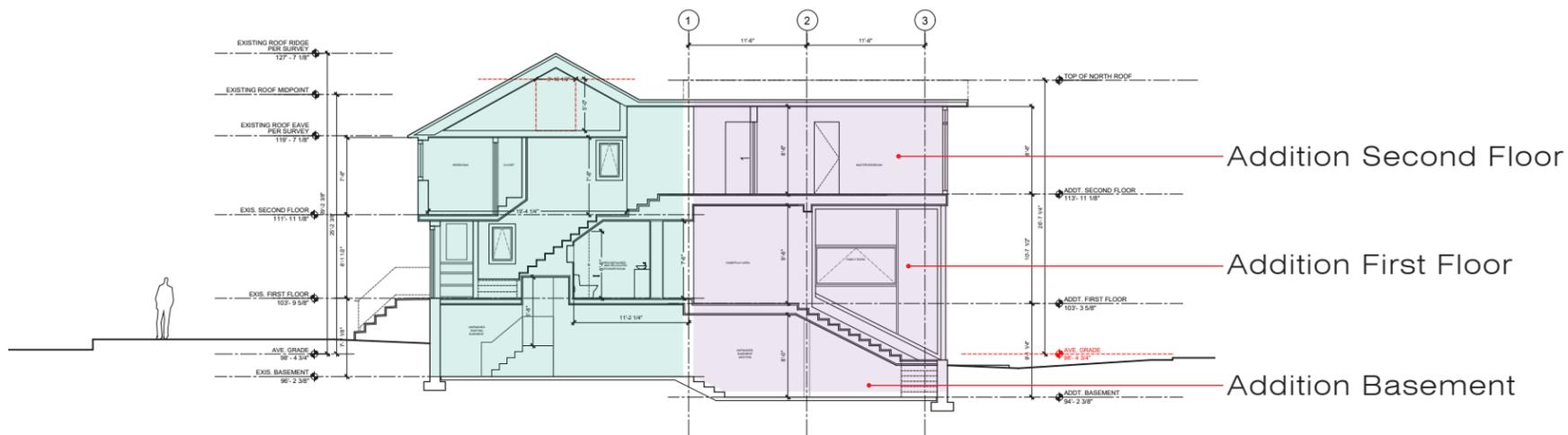
1/16" = 1'-0"



- SECOND FLOOR AREA: 637 SQFT
 - SPACE UNDER SLOPING ROOF WITH 5FT CLEAR HEIGHT: 105 SQFT : 17% of second floor
- ↳ Therefore according to Town of Belmont zoning by-law the space underneath the existing sloping roof is a half story



EXISTING BUILDING IS 3.5 STORIES



ADDITION BUILDING IS 3 STORIES

EXTERIOR PALETTE AND VIGNETTES

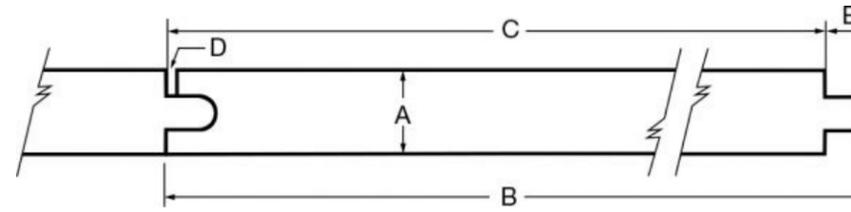
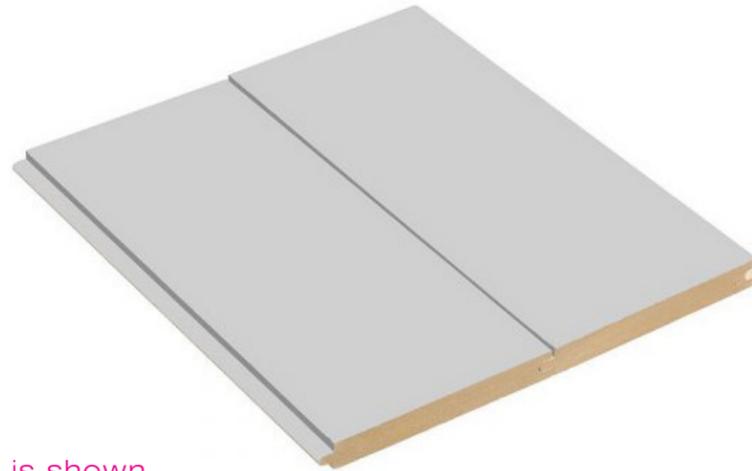
EXTERIOR PALETTE | EXISTING HOUSE

Boral: TruExterior

\$6-6.5 sqft

Repaint every 15-20 years

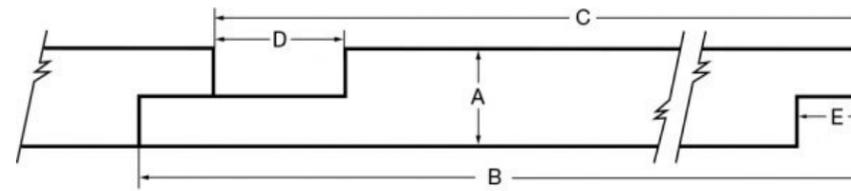
20 years warranty



Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)	Gap (D)	Tongue (E)
1 x 4	0.6875"	3.50"	3.159"	0.08"	0.341"
1 x 6	0.6875"	5.50"	5.159"	0.08"	0.341"
1 x 8	0.6875"	7.25"	6.909"	0.08"	0.341"
1 x 10	0.6875"	9.25"	8.909"	0.08"	0.341"

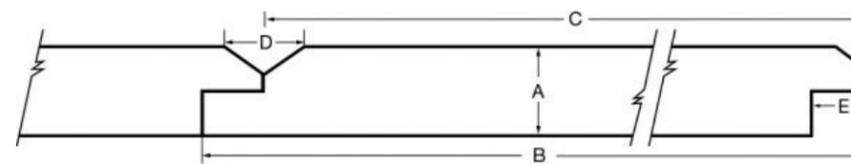
Trim: Nickle Gap

Selected trim which is shown on vignettes following pages.



Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)	Channel (D)	Tongue (E)
1 x 6	0.6875"	5.50"	4.969"	0.969"	0.531"
1 x 8	0.6875"	7.25"	6.719"	0.969"	0.531"
1 x 10	0.6875"	9.25"	8.719"	0.969"	0.531"

Trim: Channel



Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)	Channel (D)	Tongue (E)
1 x 6	0.6875"	5.50"	5.0"	0.354"	0.531"
1 x 8	0.6875"	7.50"	7.0"	0.354"	0.531"
1 x 10	0.6875"	9.50"	9.0"	0.354"	0.531"

Trim: V-Rustic

EXTERIOR PALETTE | ADDITION HOUSE

Pac-Clad: 24 GAL STEEL

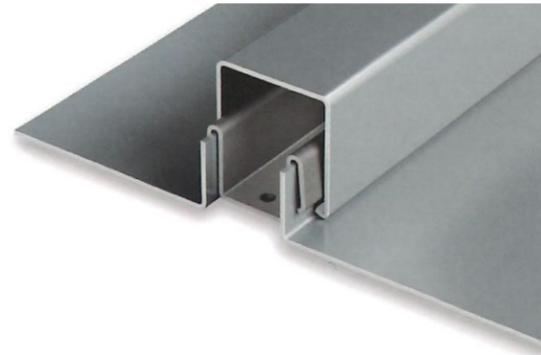
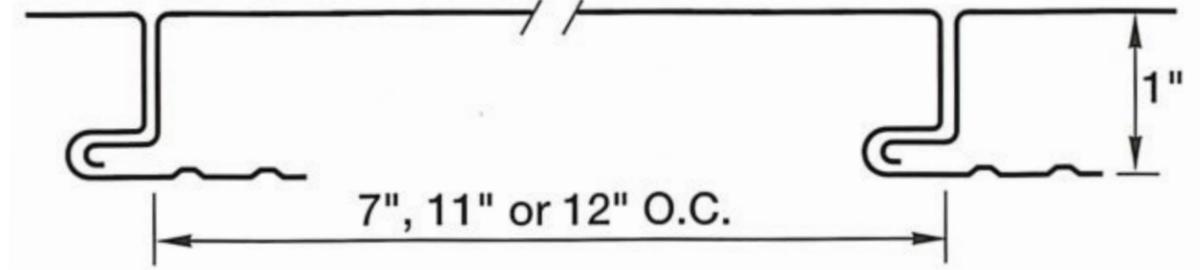
\$3.50/ SFT 500 SFT Minimum

30-year finish warranty

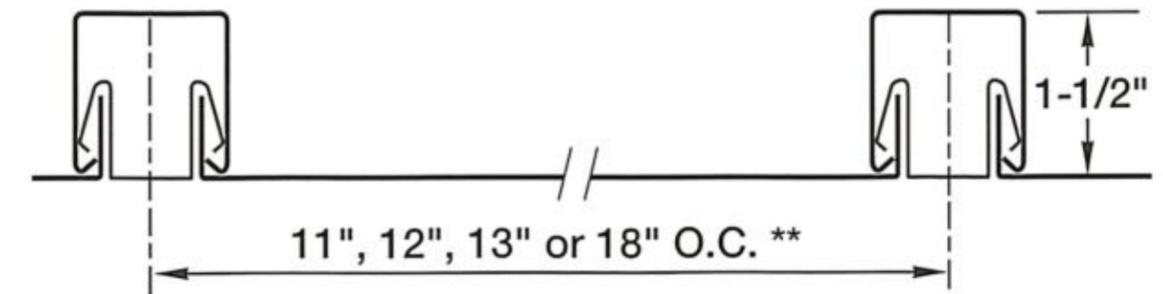


Trim: Flush

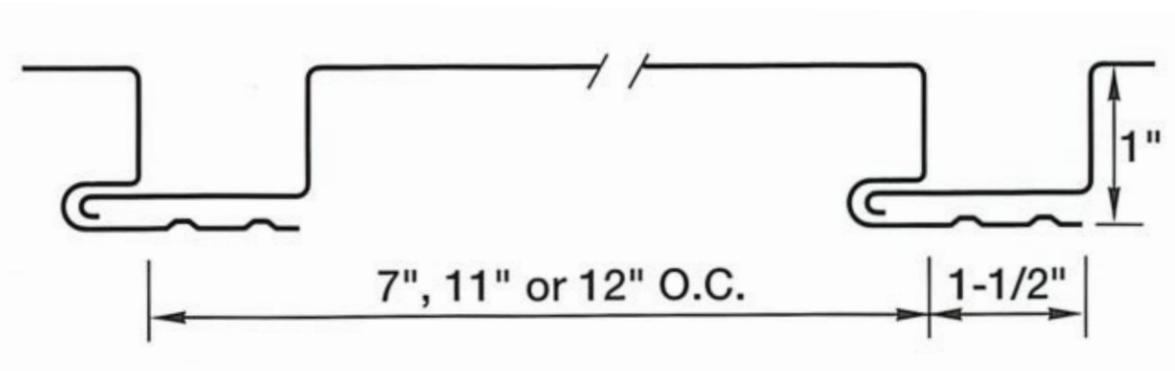
Selected trim which is shown on vignettes following pages.



Trim: Batten



Trim: Reveal

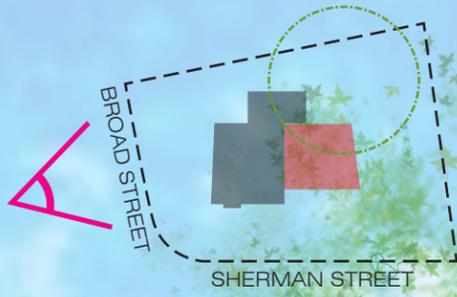


APPROACH VIEW 1 : Part of building addition is seen through the existing Maple tree.

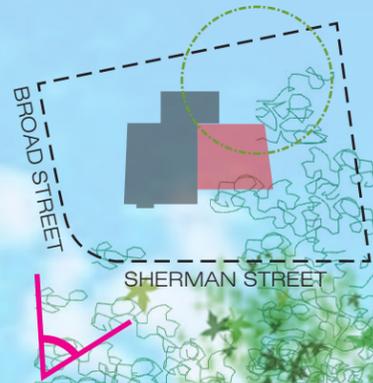


APPROACH VIEW 2

: Building addition is not visible from Broad Street as the height is designed to be lower than the existing building

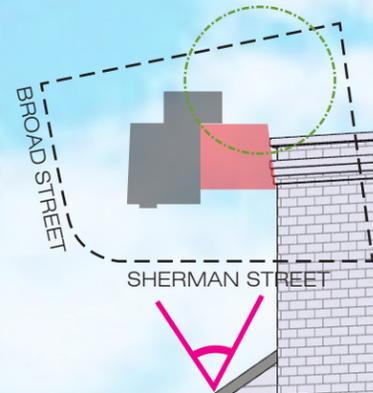


APPROACH VIEW 3 : Building addition roof resembles traditional gable roof seen from Sherman St.



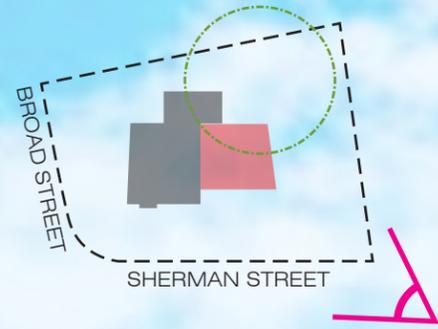
APPROACH VIEW 4

: Building addition roof resembles traditional gable roof seen from Sherman St.



APPROACH VIEW 5

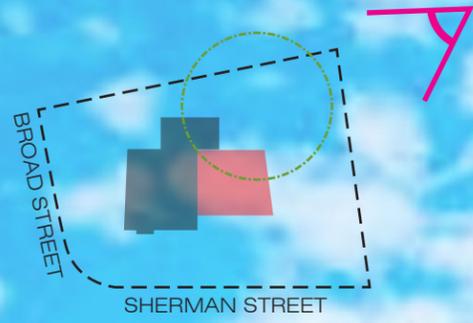
: Landscaping is designed to provide all year round privacy screening on Sherman street as well as Winn Brook Elementary School sport field. Due to clarity, landscaping is taken out in the vignette. Refer to landscaping pages .



Sherman Street

APPROACH VIEW 6

: Landscaping is designed to provide all year round privacy screening on Sherman street as well as Winn Brook Elementary School sport field. Due to clarity, landscaping is taken out in the vignette. Refer to landscaping pages.



Winn Brook Elementary School
Open Sport Field